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§ 180-18.3 Granite Street and Galena Street Overlay District. [Added 4-1-97, Ord. 97- 07, Replaced 2-16-99, Ord. 99-01]

A. PURPOSE OF THE OVERLAY DISTRICT IN THE GRANITE AND GALENA STREET AREAS

The purpose of the Granite and Galena Street Overlay District is to conserve and enhance important neighborhood qualities by requiring base standards and providing incentives to help achieve desired attributes. The standards relate to the scale, mass, architecture and overall design character of development which will occur in these neighborhoods in the future. The overlay district adds a layer of criteria specific to conserving and enhancing these neighborhood's attributes.

The purpose of this overlay district is to acknowledge and identify the important neighborhood qualities, and require future developments to be designed in a manner that will protect and promote the character and sense of these critical neighborhoods. The overall appearance and function of these neighborhoods should be compatible with the existing structures in the area and the communities general small mountain town environment.

B. APPLICABILITY

The provisions of this ordinance shall apply to the development of any property within the Overlay Zone as indicated on the Town of Frisco Zoning District Map.

C. PRIMARY GOALS FOR THE OVERLAY DISTRICT

The goal of this overlay district is to require new projects to meet basic design standards that will ensure future developments which are compatible with the desired character of the neighborhoods. Coupled with these basic standards are incentives to encourage certain architectural elements that will further preserve and strengthen the architectural and neighborhood character of the area. These standards and incentives are aimed at preserving and enhancing the area. One of the over riding goals of the community is to allow for a variety of design, with an eclectic effect, while still protecting the character of the neighborhood. Sketches have been incorporated to better illustrate the standards. There is no intent to change the land uses or basic zoning in this area, nor is there any intent to restrict commercial development within the commercial zone, other than to guide the architectural component of the proposed development.

D. ESTABLISHING A SENSE OF PLACE AND THE CHARACTER OF THE NEIGHBORHOOD

Market demand and growth patterns throughout the Town of Frisco have changed over time, as with most of the mountain communities in this area. In 1881, the Original Townsite (25' x 140' lots) was laid out. Historic development occurred in these areas, and this overlay encompasses a portion of the Original Townsite. There is a heightened contrast when comparing new development to some of the older developments on relatively small lots. The older homes, some historic, tend to be smaller (in height, mass and square footage) than the maximums allowed by current zoning.

Land use patterns in this neighborhood are part of what establish the identity of this area. Although the land use mix comprises both residential and commercial uses, that blend seems to

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enhance the attractiveness of this area. The residential uses are primarily long term residences although there are some short term rental in the area which function in a more commercial way and do not contribute as much to the sense of a neighborhood. The commercial uses tend to be ones that compliment the residences. For example, some of the commercial lodging is in the form of smaller bed and breakfasts rather than larger facilities, so they tend to blend in with the existing multiple family residences. Bed and breakfast lodges, offices and other non-retail businesses are the primary commercial uses. Since this neighborhood is a block off of Main Street the businesses tend to be destination-oriented and therefore do not generate as much traffic or congestion as general retail, and create an area that tends to be more pedestrian friendly than the retail located along Main Street.

There are also some parks and gathering areas (such as Walter Byron Park, Pioneer Park, the Historic Park, the Community Center and its pocket park) in this neighborhood or close to it, which help create a sense of community. While there are no sidewalks on Granite and Galena, there are sidewalks along most of the streets leading to Main Street, and a paved bike path connection off of Galena Street (on Third Avenue) which contribute to the pedestrian nature of the area.

There are a variety of naturally occurring elements which shape the look of the neighborhood and add amenities. Ten Mile Creek is located behind (to the North) Galena Street. The views of numerous mountain peaks (such as Mount Royal, Peak One and Buffalo Mountain) can be seen from this relatively flat area. There are quite a few groupings of older trees, primarily Lodgepole Pine and some Spruce, located on private property and in the Town's right-of-way. This helps create a buffer from the houses and enhances the neighborhood. All of these items help define the small town mountain environment.

The built environment is a mixture of shapes and sizes, and this is the neighborhood attribute that received the most attention. There are a number of older homes which tend to be small in mass, scale and square footage. The majority of the Town's historic structures are located in this area, and architecturally are a blend of Pioneer Log, Vernacular Wood Frame and Rustic styles. All of these styles tend to utilize wood materials, have pitched roofs, and small paned windows.

Most of the structures in this area face the street front, although not all of them access from the street or have driveways. The alleys between the streets allow for a secondary point of access and for vehicles to be parked in the rear rather than on the street front.

E. DEVELOPMENT GOALS AND STANDARDS

The following mandatory standards shall be met by all development within the overlay zone district established by this Section 180-18.3. Failure of any proposed development to meet the following mandatory standards shall constitute grounds for denying a final plan or site plan, as the case may be. The following goals are aspirational only. However, the degree to which a proposed development meets these goals may be considered by the Planning Commission and Town Council.

GOAL #1: Structures should be compatible with existing neighborhood structures, their surroundings and with Frisco's "Small Mountain Town" character whenever possible. The existing landforms and historic structures (As noted in the 1991 Historic Resource Inventory for

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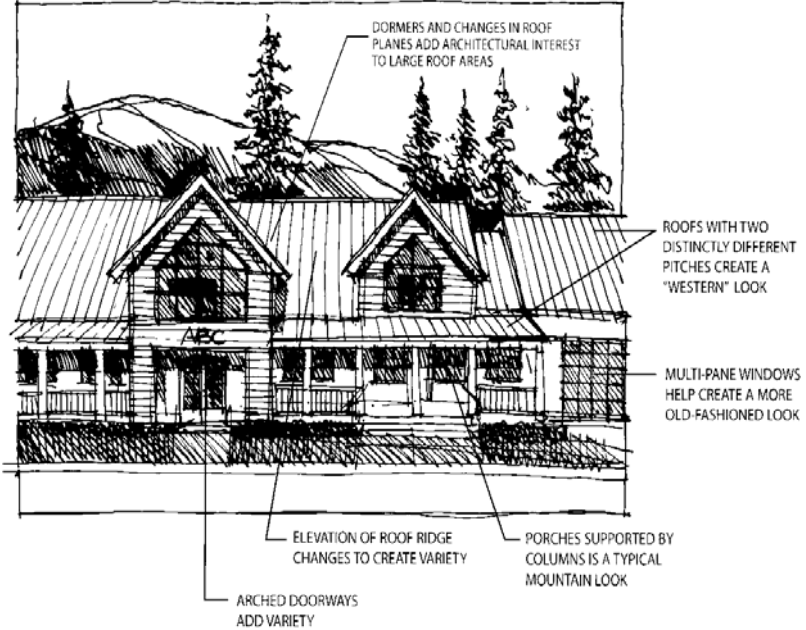
the Town) on a site should be preserved onsite whenever possible and reinforced by development rather than destroyed or replaced by it.

It should not be inferred that buildings must look like the existing structures within the neighborhood to be compatible. Compatibility can be achieved through proper consideration of scale, design, proportions, site planning, landscaping, materials and colors, and compliance with the standards contained herein.

Standard #1. 1.

Buildings shall be designed in a manner that is architecturally fitting with Frisco's small mountain town character and:

- Provides significant variation in all the wall planes.
- Provides significant variation in all the roof lines and roof forms .
- Provides projecting elements (e.g. turrets, bay windows, decks, etc.).



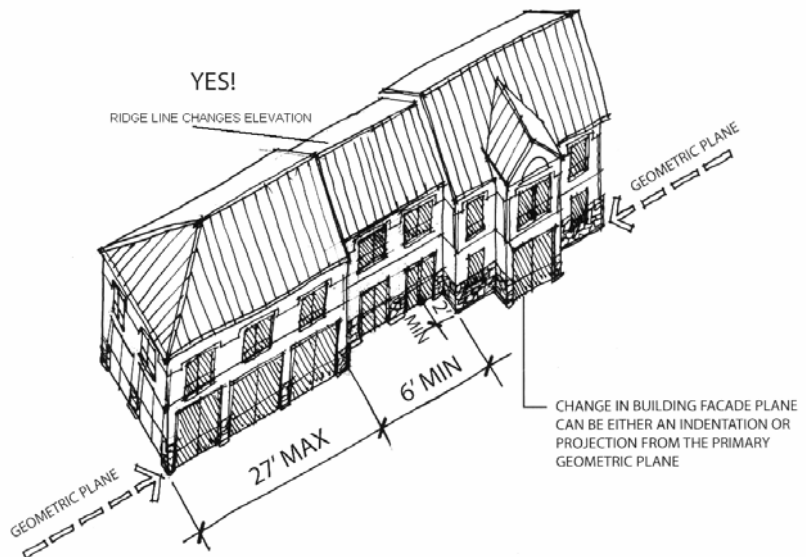
Standard # 1.2.

Buildings shall be designed to provide deep (at least 24 inches) eaves and overhangs, and other building elements that provide shelter from natural elements and provide visual relief, including the use of porches and patios to add interest along street yards. When a substantial number and variety of building elements are utilized the eaves may be less than 24 inches deep in some locations.

GOAL #2: In general, buildings should be designed in a manner that provides elements that relieve the feeling of mass and provides for the graduation of mass as one moves back from the front of a lot, with the smaller elements located near the street, and the larger elements located further away from the street.

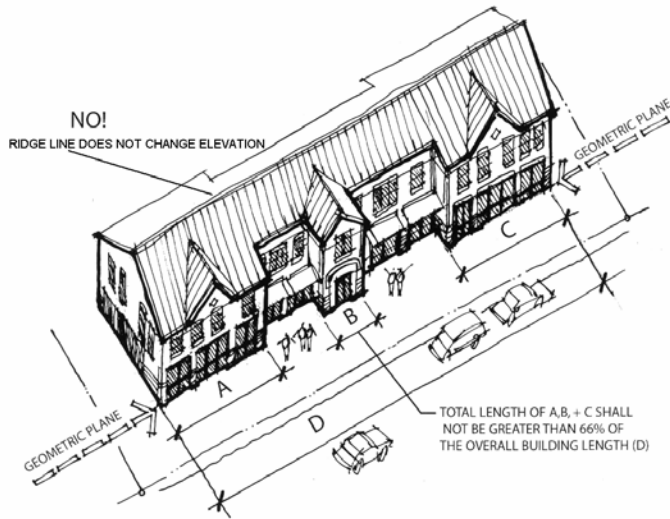
Standard # 2.1.

The primary building facade facing a front or street side yard shall not exceed 27 feet in length along the same geometric plane, at which time the facade shall be broken up by a change in the plane by a minimum of 2 feet in depth for a distance of not less than 6 feet. All primary building facades with a total length of 33 feet or less are exempt from this provision.



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For buildings that exceed 54 feet in length the change in relief shall be increased to a minimum of 4 feet in depth. Upon approval by the Planning Commission the dimension of 27 feet for the length of a building façade which necessitates a building façade break may be extended as much as five (5) feet for a total of 32 feet, upon a finding that the design furthers the intent of this section.



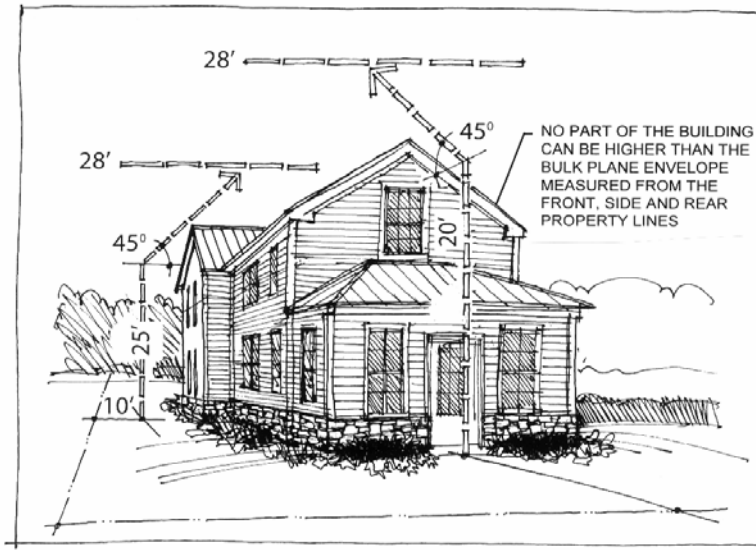
Standard # 2.2.

No building facade facing a front yard or street side yard shall have more than 66% of the length of the wall along the same geometric plane, with the exception that buildings of less than 33 feet in width or length may have that wall located on one geometric plane.

Standard # 2.3.

The bulk of the building shall be restricted on any site lying within the underlying RH zoning district through the use of a bulk plane envelope.

FOR BUILDINGS 28' OR LESS

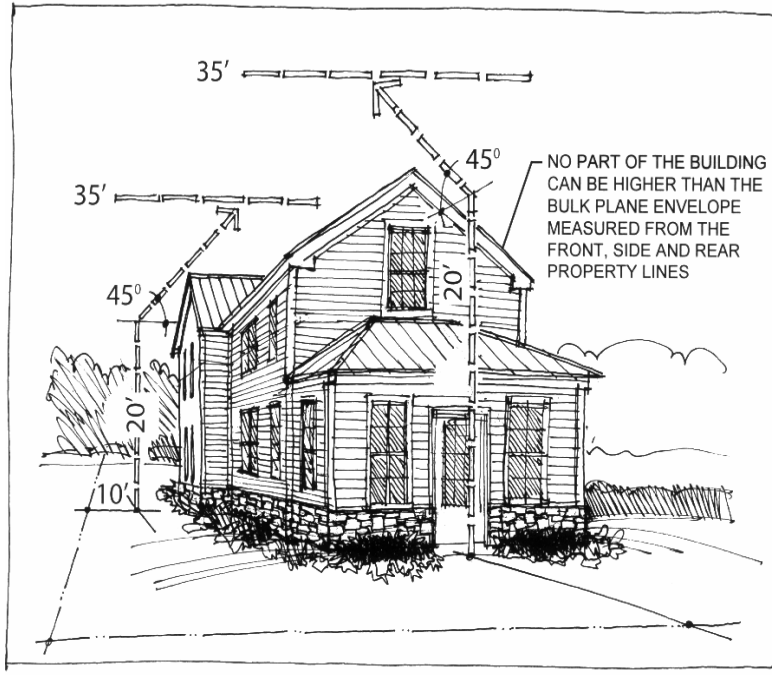


-The bulk plane envelope for buildings that do not exceed 28 feet in height shall start from a point 20 feet above the existing grade measured 20 feet in from the street front property line, and from a point 25 feet above the existing grade measured in 10 feet from the side and rear property lines, and extends at a forty-five (45) degree angle upward, and directly away from the property lines to a point where the envelope intersects with the maximum allowed height (28'), at which point the bulk plane envelope and the maximum allowed height shall be

the same. Building forms may deviate from this standard and project beyond the bulk plane if they receive Planning Commission approval, meet the building height of 28 feet, and provide substantial architectural relief.

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FOR BUILDINGS OVER 28'



-The bulk plane envelope for buildings that exceed 28 feet in height shall start from a point 20 feet above the existing grade measured 20 feet in from the street front property line, and 10 feet from a side property line, and from a point 25 feet above the existing grade measured in 10 feet from the rear property line, and extends at a forty-five (45) degree angle upward, and directly away from the property lines to a point where the envelope intersects with the maximum allowed height for the property (35'), at which point the bulk plane envelope and the maximum allowed height shall be the same. Building forms may deviate from this standard and project beyond

the bulk plane if they receive Planning Commission approval, meet the building height, and provide substantial architectural relief.

Where a conflict exists between the allowed height along a front yard, and a side or rear yard, the more restrictive measurement shall govern.

Standard # 2.4.

The bulk of the building shall be restricted on all street façades, on any site located within the underlying CC zoning district through the use of a bulk plane envelope.

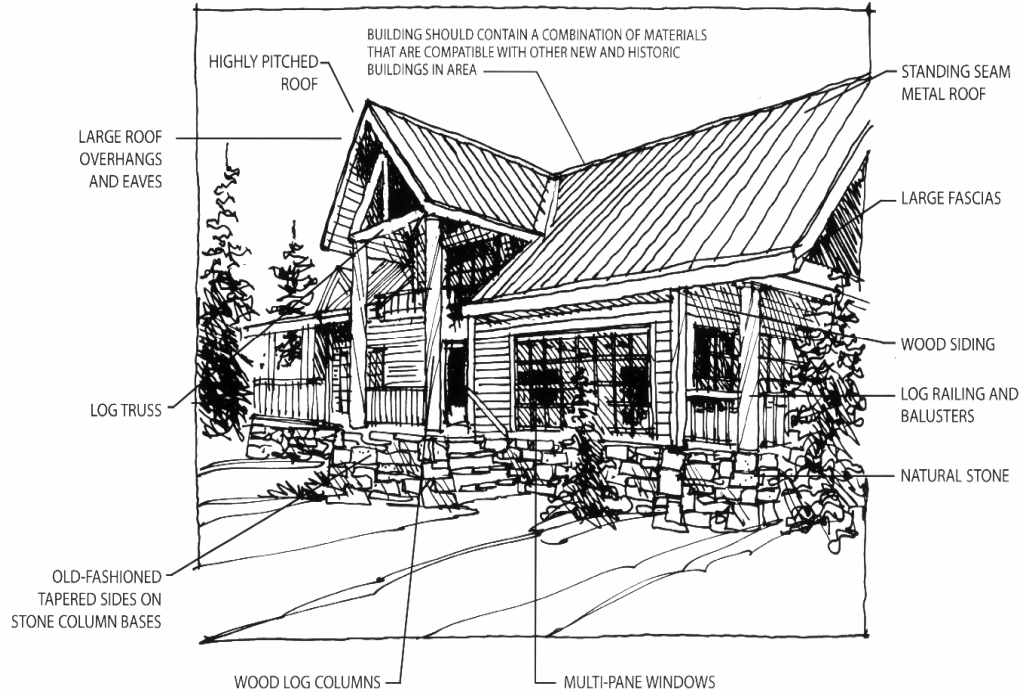
- The bulk plane envelope for buildings that do not exceed 28 feet in height shall start from a point 25 feet above the existing grade measured on the street property line(s) and shall extend upward at a 45 degree angle toward the rear of the property until it intersects with the maximum allowed height (28'), at which point the bulk plane envelope and the maximum allowed height shall be the same. Building forms may deviate from this standard and project beyond the bulk plane if they receive Planning Commission approval, meet the building height, and provide substantial architectural relief.
- The bulk plane envelope for buildings that exceed 28 feet in height shall start from a point 20 feet above the existing grade measured on the street property line(s) and shall extend upward at a 45 degree angle toward the rear of the property until it intersects with the maximum allowed height (35' for a flat roof or 40' for a pitched roof), at which point the bulk plane envelope and the maximum allowed height shall be the same. Building forms may deviate from this standard and project beyond the bulk plane if they receive Planning Commission approval, meet the building height, and provide substantial architectural relief.

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GOAL #3: Buildings should be constructed of materials that are compatible, or complementary to the existing historic, and/or contributing buildings in the area, and should contain a mixture or combination of natural materials, such as utilizing wood as the primary building material and stone, brick or other similar materials as accents or base materials.

Standard #3.1.

Buildings materials shall be predominantly natural, including, but not limited to wood siding, wood shakes, logs, stone, brick or other similar materials. Other materials that imitate natural materials such as Masonite or other materials are also acceptable only if their texture, shape, and size are similar to the natural materials they are simulating, and are not obviously artificial materials.



Standard #3.2.

While not acceptable as the primary exterior materials for the majority of the building, stucco or steel are acceptable materials when used as an accent, or when used in combination with other acceptable materials. Where metal is utilized it shall have a matte finish or a finish proven to fade and not be reflective. Untreated or unpainted galvanized sheet metal is prohibited. Concrete block shall not be allowed as the primary or extensive exterior finish, and when used as an accent shall be a split block, or other similarly shaped, textured, and colored materials that are found to be compatible with the building, and the goals of this chapter.

Standard #3.3.

Aluminum, steel, mirrored or reflective glass and plastic exterior sidings which do not simulate natural materials (as noted in 3.1) shall not be permitted.

Standard #3.4.

The same or similar building materials shall be used on main structures and any accessory structures located on the same site, unless an alternative design can be provided that will complement the project and which meets the remaining standards.

Standard #3.5.

A material board, including samples of all proposed exterior building and roofing materials shall be submitted and reviewed as a component of all applications .

Standard #3.6.

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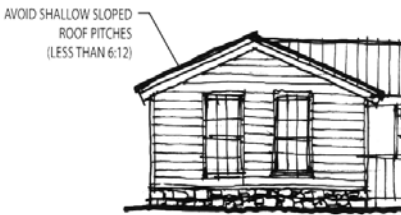
Additions, which are substantially less than the square footage of the existing building, may be allowed to complement the existing structure, even if the building does not presently meet the guidelines, and blend with the existing structure rather than providing a different building façade, style, materials or color.

Standard #3.7.

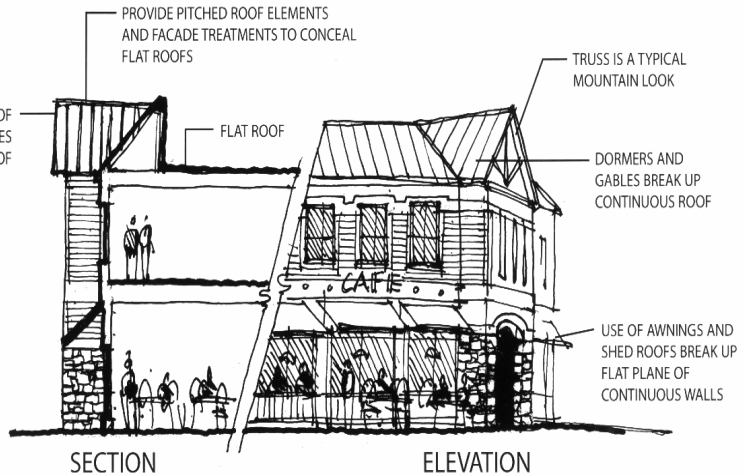
The use of mirrored or reflective glass shall be prohibited. Clear glass shall be used for windows. Tinted, colored or opaque glass may be approved on a case by case basis when shown by the applicant to be compatible with the purpose of these regulations.



GOAL # 4: Roof elements, including materials and colors, should be of a design that is compatible with, or complementary to the historic or contributing roofs found in the neighborhood, and should provide pitched (sloped) roof elements, or facades with pitched element, which can be seen from public rights of ways and places.

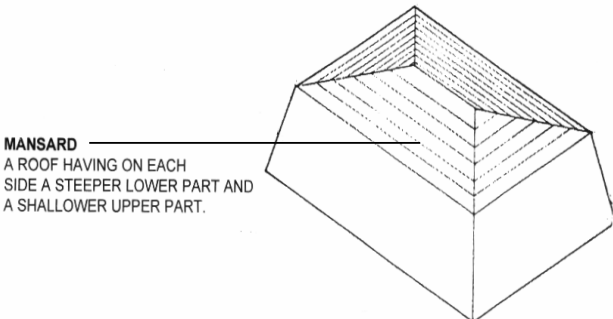


PITCHED ROOF FACADE HIDES FLAT ROOF



Standard #4.1.

Steep pitched roofs are encouraged, but in those instances where flat roof construction is proposed it shall be augmented with pitched roof elements, including but not limited to: peaked or sloped facade elements or parapets facing all street sides. Pitched roof elements shall vary by a minimum of two (2) feet, up or down and are encouraged to change in relationship to changes that occur in the wall plane as required in Standard #2.1, #2.2 and elsewhere in the overlay district. Mansard roofs are not appropriate and shall not be allowed.



Standard # 4.2.

Where pitched roofs are utilized, the use of dormers (shed, peaked, etc.) shall be used to help break up large expanses of roof, to enhance the usability of attic spaces, and to add architectural interest to the roofscape. Ridge lines shall change elevation by no less than two feet for every 27 feet of length, with the exception that buildings of 33 feet or less in length, as noted in section 2.1 are

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exempt from this provision (please reference sketches by Goal #2). Architectural elements which intersect with the ridge line may qualify as ridge line changes upon a finding that the design furthers the intent of this section.

Standard # 4.3.

Roof lines shall be designed in a manner where they do not substantially deposit snow onto required parking areas, sidewalks, trash storage areas, stairways, decks, balconies or entryways.

Standard # 4.4.

If metal roofs are used they shall be surfaced with a low-gloss finish or capable of weathering to a dull finish in order to not be reflective.

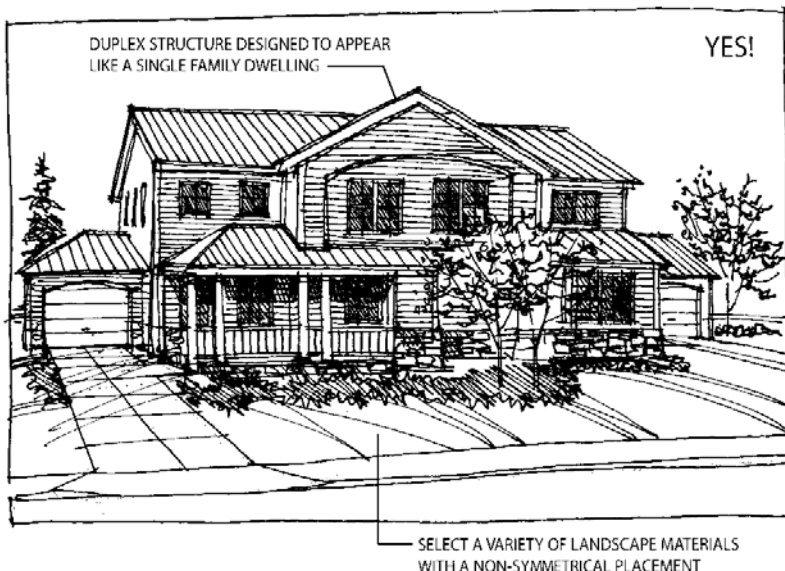
Standard # 4.5.

Metal roofs shall have a standing seam or be of a design that provides relief to the roof surface. Asphalt and fiberglass shingles shall be permitted provided that they are of heavy material to provide substantial relief and shadow, and are of a design and color to be compatible with the building. Spanish/Mission style roofs and other similar roof materials are prohibited. Historic buildings, as noted in the Town's 1991 Historic Resource Inventory, may be permitted to utilize rolled asphalt roofing materials.

Standard # 4.6.

Bright colored roofs, which exceed a chroma of 4 on the Munsell Color chart shall not be allowed.

GOAL #5: Development should create a variety of designs while still being compatible with the desired character of the neighborhood.



Standard # 5.1.

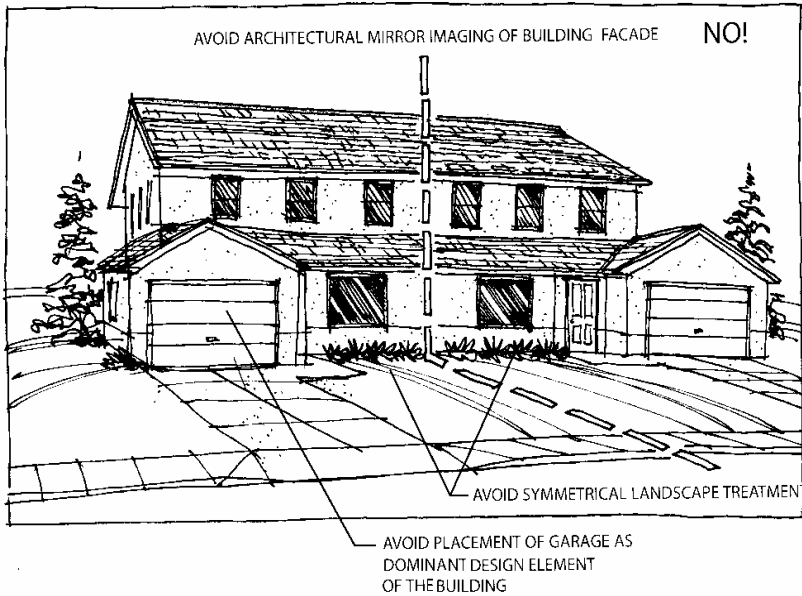
Duplex structures shall be designed to look like a single family structure to the extent architecturally feasible, and shall not be designed in a manner that results in each half of the structure appearing substantially similar or mirror image in design.

Standard # 5.2.

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Building designs that duplicate, or are substantially similar in design to existing or proposed structures within the Overlay Zone shall not be allowed, with the exception that accessory structures on the same lot or parcel as the primary structure may be similar in design as the primary structure. In those instances where a proposed building contains a multiple of identical units, the building design shall provide architectural relief from the duplication of units by

providing a variety in windows, decks, balconies, or exterior facade composition (As noted in section 1.2).



GOAL # 6: Building colors should be used that are compatible with the existing neighborhood characteristics, and that do not conflict with the goals of the community to provide a "small mountain town" feel. Exterior wall colors should be compatible with the site and surrounding buildings. Natural colors (earth tones found within the Frisco area) and stains on wood should be utilized. Darker colors are recommended for roofs.

Standard # 6.1.

No color may be used as the primary color of the building that exceeds a chroma of 4 on the Munsell Color chart.

Standard # 6.2.

Colors that exceed a chroma of 4, but that do not exceed a chroma of 8 on the Munsell Color chart may be used only as accents and then sparingly, such as upon trim or railing, and in no instance shall luminescent, fluorescent, or reflective colors be utilized on any exterior portion of the building.

Standard # 6.3.

The same, or similar colors shall be used on the main structure and on any accessory structures upon the site, unless an alternative scheme can be provided that will complement the primary structure.

Standard # 6.4.

A color board shall be submitted and reviewed showing all proposed primary and accent colors and intensities proposed for the building and how each will be utilized.

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F. DEVELOPMENT INCENTIVES

To encourage compatibility with the general goals of the community for development within the underlying RH zoning district of the Galena Street/Granite Street Overlay District the Town desires to allow additional lot coverage as an incentive for the provision of various design and site improvements that are in keeping with the community's desire to maintain and enhance the character of this area.

1. To promote better building and site design the town shall allow the following increases in lot coverage in those cases where the proposed development meets the specific development standards listed below, with the exception that the additional aggregate lot coverage granted under these provisions shall not exceed 12%.
 - a. Where building heights are limited to a maximum of 28 feet, the allowed lot coverage for the project may be increased by 8%.
 - b. Where a covered (but not enclosed) front porch element is provided, which is designed in a manner consistent with the overall design of the project, and is connected to the street by a walkway, the allowed lot coverage for the project may be increased by 4%.
 - c. Where the applicant provides additional trees as part of the proposed landscaping the allowed lot coverage for the project may be increased as specified.
 - i. A 33% increase in required number of trees, the lot coverage may be increased by 1%. *
 - ii. A 50% increase in required number of trees; the lot coverage may be increased by 2%. *
 - iii. A 66% increase in required number of trees; the lot coverage may be increased by 3%. *
 - iv. A 100% increase in required number of trees; the lot coverage may be increased by 4%. *

*To meet this standard, the mixture, number, and size of trees shall meet the requirements of the town's landscaping requirements, with the exception that it shall require 2 deciduous trees or 1 coniferous tree to be installed for every 1 required by the ordinance.

2. To encourage the placement of garages away from the street, where they will not act as the primary design element of the building, the town shall allow the front yard setback to be reduced to 20 feet from 25 feet in the underlying RH zone in those instances where there are garages and the doors do not face the street, or where they face the street and the garage doors are placed a minimum of 40 feet from the front property line.

G. DECISIONS AND FINDINGS

No development located within the Granite Street/Galena Street Overlay zone shall be approved by the Town unless the project is in substantial compliance with the specific standards

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and regulations of the Town, and after review of the project, and findings are made to that effect.