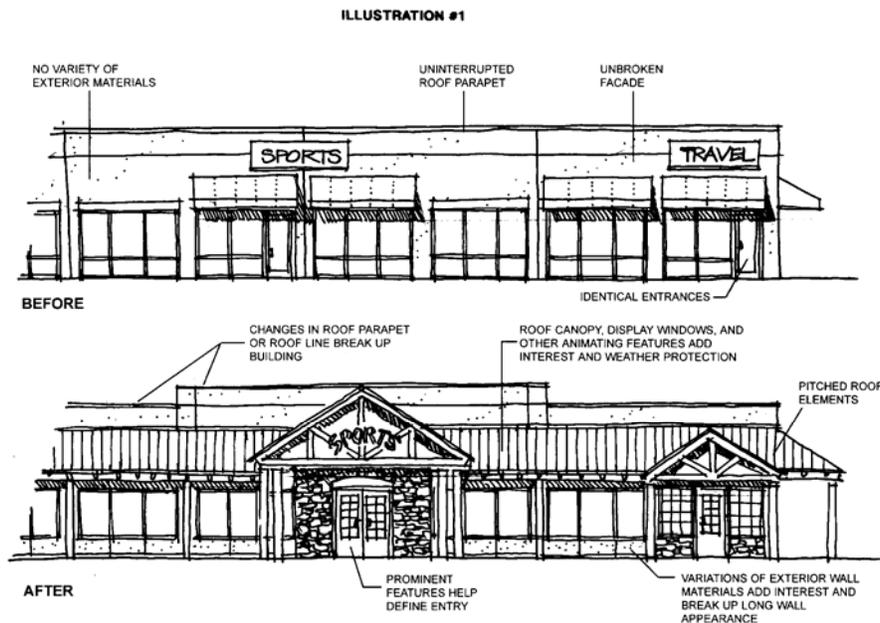


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180-18.4 Summit Boulevard Corridor Overlay District. [Added 12-1-98 by Ord. No. 98-18. Amended 06-13-06, Ord. 06-19]

A. Title and Applicability.

This section of the Frisco Zoning Code shall be known as the "Summit Boulevard Corridor Overlay District Regulations", and shall be applicable for all development located within the Summit Boulevard Corridor Overlay District; the boundaries of which are shown on the Town of Frisco Zoning District Map as amended from time to time by the Frisco Town Council. This section establishes standards, and criteria to be used in the review of development applications proposed within the Summit Boulevard Corridor Overlay District. In no instance shall this ordinance require renovation or changes to existing structures when no development applications are required to be submitted. These regulations shall only be applicable when development is proposed by an applicant.



B. Purpose.

The purpose of this section is to promote the health, safety, and welfare of the citizens of Frisco by encouraging a variety of high quality designs and development along the Summit Boulevard Corridor. The purpose is also to preserve, promote and over time enhance development that is similar but not identical in design; eclectic while still compatible with the small mountain town character of Frisco as depicted in Illustration No. 1. The Town believes the location and design of buildings on a site and their relationship to adjoining properties and the community as a whole is a critical component of the zoning process. The design of buildings and sites as seen from the Summit Boulevard Corridor, which includes the view from Summit Boulevard, Interstate 70, the Dam Road and Ten Mile Drive, is critical.

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C. Development Classifications and Definitions.

In addition to the definition of development contained within Section 180-5 of the town's zoning chapter the following terms and definitions are hereby adopted and shall be utilized in the review of any development proposed within the Summit Boulevard Corridor Overlay District. Within the Summit Boulevard Corridor Overlay District the following terms shall have the following meanings:

1. Class I Development shall mean;

- (1.1) Any addition to an existing building which includes disturbing less than 350 square feet of lot area (coverage), or
- (1.2) Any exterior renovation or remodel, including but not limited to painting of the structure, which changes the basic character of the exterior facade of the building.

2. Class II Development shall mean;

Any addition to an existing building which includes disturbing 350 square feet of lot area (coverage) or more and which addition is less than 2,500 square feet of gross floor area in size.

3. Class III Development shall mean;

- (3.1) Any new development up to 25,000 square feet of gross floor area in size, or
- (3.2) Any addition to an existing building between 2,500 square feet of gross floor area and 25,000 square feet of gross floor area in size.

4. Class IV Development shall mean;

Any new development or addition to an existing building greater than 25,000 square feet of gross floor area in size.

Where a proposed development does not fit into one of these categories, or includes a combination of new buildings and additions it shall be the responsibility of the Community Development Director to place the development within a classification, or classifications, that are appropriate based on the overall size and general impacts of the proposed development.

D. Summit Boulevard Corridor Overlay Standards and Criteria.

Within the Summit Boulevard Corridor Overlay District the following standards and criteria shall apply to the various classifications of development. No development shall be approved by the Town of Frisco unless all relevant standards and criteria have been met.

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1. Class I Development: Class I development applications, including tenant and exterior finishes, proposed within the Summit Boulevard Corridor Overlay District shall meet the following standards and criteria:

(1.1) All development shall be designed in a manner compatible to the "small mountain town" character of Frisco, and in no instance shall development be allowed that is based on a theme or design character representative of environments or locations other than those generally found in Frisco's mountain environment. This would prohibit designs that are based on Southwestern Adobe, Colonial, Contemporary Suburban, or other designs not generally found in Frisco.

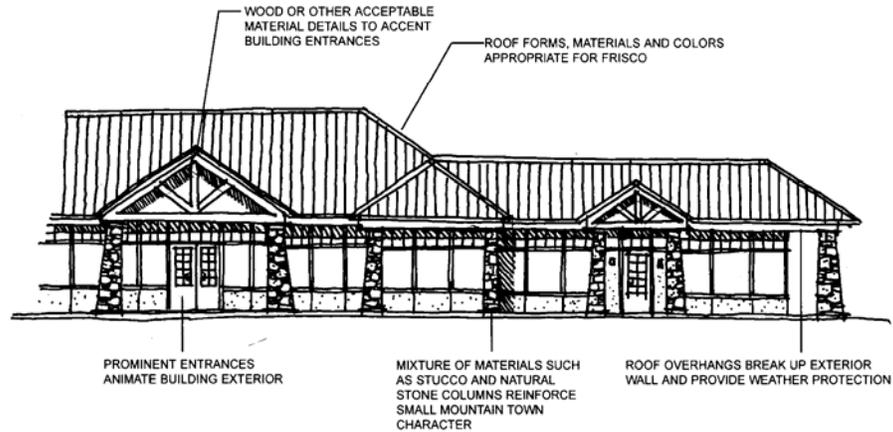
(1.2) Additions to existing buildings that do not presently meet the guidelines, shall be complimentary to the existing structure and blend with the existing structure rather than providing a different building façade, style, materials or color.

(1.3) Provide a mixture of exterior facade materials and natural colors that will blend with the aesthetic, environmental and climatic conditions found in Frisco, in a manner consistent with Illustration No. 2 of these standards.

- a. Where concrete or concrete panels are utilized they shall be textured or scored and shall be used in combination with other materials or such concrete shall be faced with another material, such as stone, stucco, or other textures and/or materials generally found in Frisco or other small mountain town environments.
- b. Where concrete block is utilized it shall be a split, textured or scored block and it shall be used in combination with other materials, generally found in Frisco or other small mountain town environments, rather than as a single exterior building material.
- c. Where metal is utilized it shall have a matte finish or a finish proven to fade and not be reflective. Untreated or unpainted galvanized sheet metal is prohibited as a primary exterior façade material.

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ILLUSTRATION #2



(1.4) The use of mirrored or reflective glass shall be prohibited. Clear glass shall be used for windows. Tinted, colored or opaque glass may be approved on a case by case basis when shown by the applicant to be compatible with the purpose of these regulations, section 180-18.4B.

(1.5) Where secondary structures are provided, such as storage buildings, the materials and colors used on the secondary structure shall be the same or similar to the primary building on site.

(1.6) Any general color may be used as the exterior color for building facades and roof materials within this district, as long as the color to be used meets the chroma standards and is a color generally found within Frisco's small mountain town environment. Colors with a chroma of up to 4, within the Munsell Book of Colors, may be used as the primary building and roof color, while colors with a chroma which does not exceed 8, within the Munsell Book of Colors, may be used as accent or trim colors on building and roof elements such as trim or railings. Luminescent, fluorescent and/or reflective colors and building materials shall not be utilized on any exterior portion of any building within this district.

(1.7) The bulk of the building shall be restricted on all street facades by a bulk plane. This bulk plane requirement shall be in effect for the area located within the Mixed Use Districts located adjacent to Summit Boulevard. The bulk plane shall start from a point 24' feet above the existing grade measured ten (10) feet into the property from the street front and any street side yard property line, and shall extend upward at a 22.5 degree angle, and directly away from the property lines to a point where the envelope intersects with the maximum allowed height for the property based on the underlying zoning district, at which point the bulk plane envelope and the allowed maximum height shall be the same. In addition, the bulk plane for the rear yard shall start from a point 24 feet above the existing grade measured ten (10) feet into the property from the rear property line, and shall extend upward at a 45 degree angle, and directly away from the property line to a point where the envelope intersects with the maximum allowed height for the property, at which point the bulk plane envelope and the allowed maximum

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height shall be the same. Where a conflict exists between the allowed height along a rear yard, and a street side yard, the more restrictive measurement shall



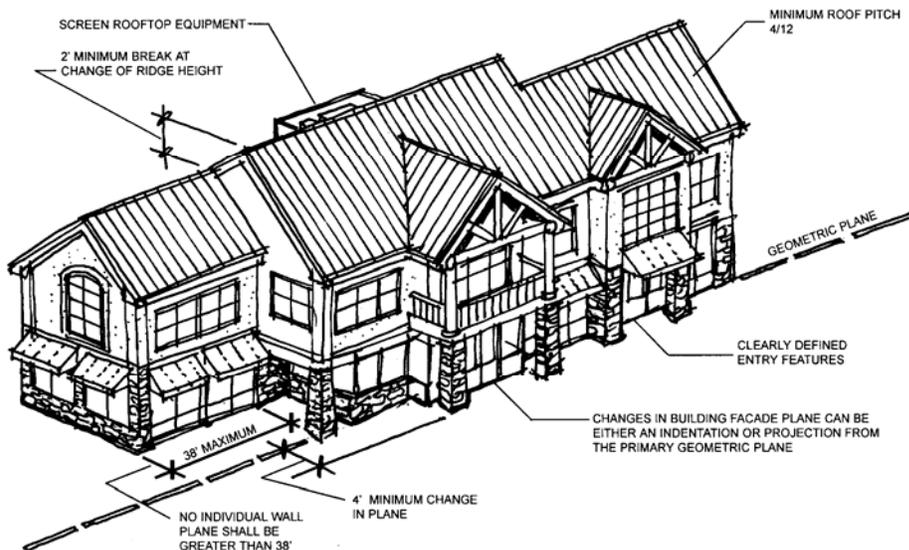
govern. Building forms may deviate from this standard and project beyond the bulk plane if they receive Planning Commission approval, meet the building height, and the encroachment provides for substantial architectural relief.

2. **Class II Development:** All class II development applications within the Summit Boulevard Corridor Overlay District shall meet the following standards and criteria:

(2.1) Meet all applicable requirements of Class I Developments.

(2.2) Provide visual relief and breaks in all new exterior walls. Building facades facing a public street or parking lot shall not exceed 38 feet in length along the same geometric plane, at which time the facade shall be broken up with a change in the geometric plane by a minimum of four (4) feet in depth for a distance of not less than six (6) feet as shown in Illustration No. 3. Where the length of a building facade exceeds 38 feet, no more than 66% of any facade shall be located along the same geometric plane. Upon approval by the Planning Commission, the minimum dimension of 38 feet for a building façade break and

ILLUSTRATION #3

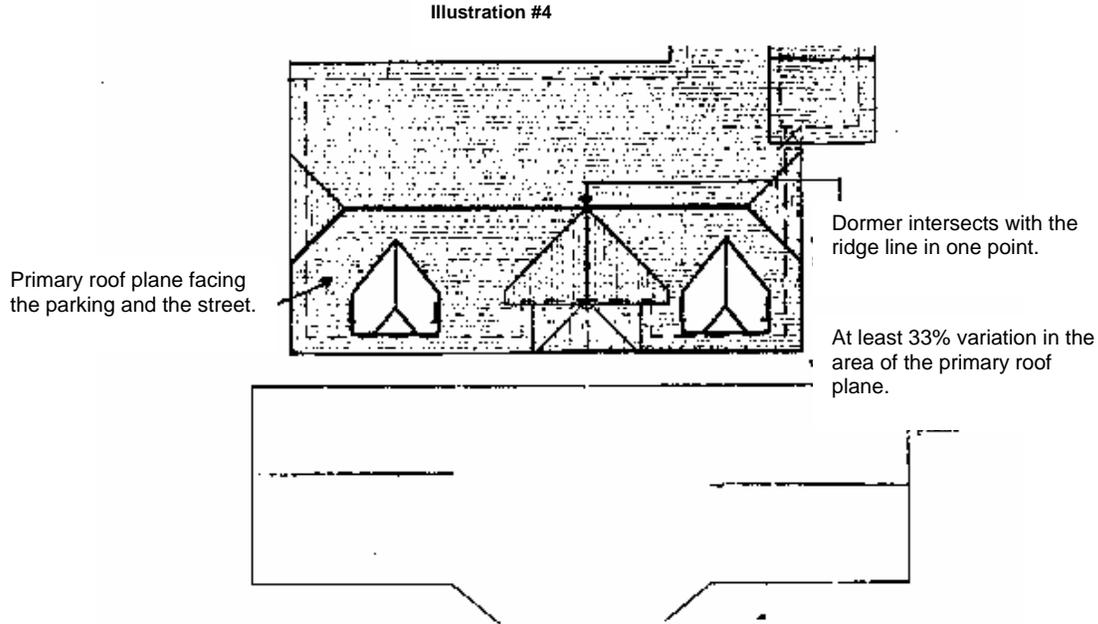


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the maximum dimension of 38 feet for the length of a building façade may be extended as much as ten feet for a total of 48 feet, upon a finding that the design furthers the intent of this section.

(2.3) Provide visual relief and breaks in all new roof ridge lines, flat roofs and large expanses of sloped roof planes.

- a. Either the elevation of the ridge line, or the horizontal line of a flat roof, shall change by a minimum of two (2) feet up or down so that no more than 66% of the ridge line or roof line is on the same elevation, in general compliance with Illustration No. 3 for a sloped roof or Illustration No. 1 (after) for a flat roof, or
- b. The primary sloped roof plane facing a public street or parking lot shall be broken up with dormers, shed roofs, or other architectural elements which intersect with the ridge line in at least one place, so that there is a minimum variation of 33% in the primary roof plane, in general compliance with Illustration No. 4.

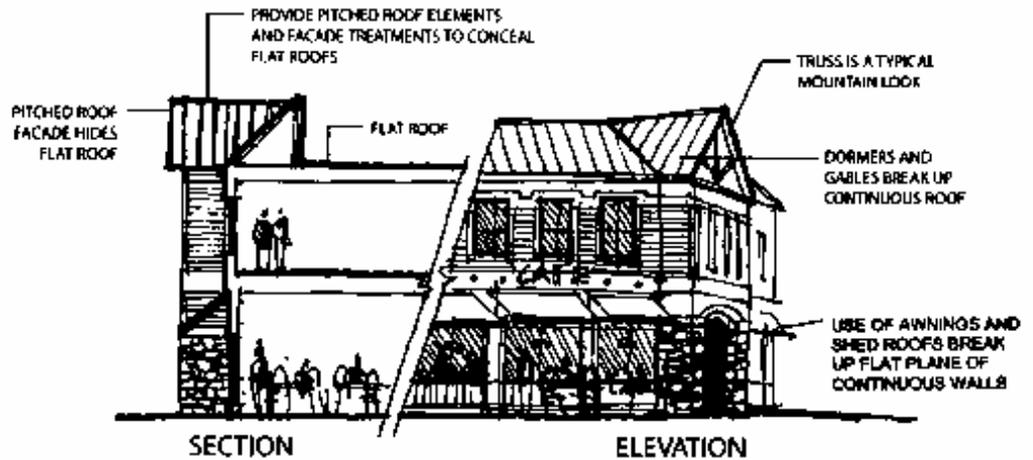


(2.4) Provide either pitched roofs with a minimum pitch of 4/12, or in those instances where flat roofs are proposed they shall have a substantial number of pitched roof elements, including but not limited to peaked or sloped façade elements or vertical parapets facing all street sides and parking lots, as shown in Illustration No. 5. A shed roof with a minimum pitch of 3/12 may be used if that element is below the primary roof level and terminates into the roof or wall of the structure.

- a. The use of Mansard roofs is prohibited.

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Illustration #5



- (2.5) All rooftop equipment shall be screened, and it may be enclosed, from public view, including from any public street or parking lot accessible to the general public or customers of the project, with the same materials and colors utilized on the primary building.
3. Class III Development: All class III development applications within the Summit Boulevard Corridor Overlay District shall meet the following standards and criteria:
- (3.1) Meet all applicable requirements of Class I and Class II Development, with the exception of standard 1.2.
- (3.2) Additions to existing buildings, where the existing building does not reflect the intent of these guidelines, shall be designed to be in compliance with these guidelines, even if not entirely compatible with the existing building.
- (3.3) Where a parking lot abuts any property boundary, a landscaping buffer located between the property line and the paved surface shall be provided. Preferably, the landscaping shall be in a raised planter at least two feet (2') higher than the paved surface, or other landscape buffer deemed acceptable to the town. It shall have a minimum width of ten feet (10'), and contain at least twice the number of trees required by the town's landscaping requirements as outlined in Section 180.20.1 of the Town's Code. All sight distance requirements for traffic and visibility safety issues at intersections must be met with the location and type of plantings.
- (3.4) Provide a variety of building elements that "animate" the building, and are features generally found within the Frisco environment that help define the appropriate design character for Frisco as depicted in Illustration No. 1. Buildings shall provide a minimum of three (3) exterior "animating" features, per every 75' of linear building facade visible from public streets or from any parking lot

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provided for the use of the general public or project customers. The animating features shall include a prominent building entry feature and any two or more of the following features: display windows, deep roof overhangs (a minimum of 18 inches), awnings, arcades, covered outdoor patios, or other animating building features as may be approved by the town.

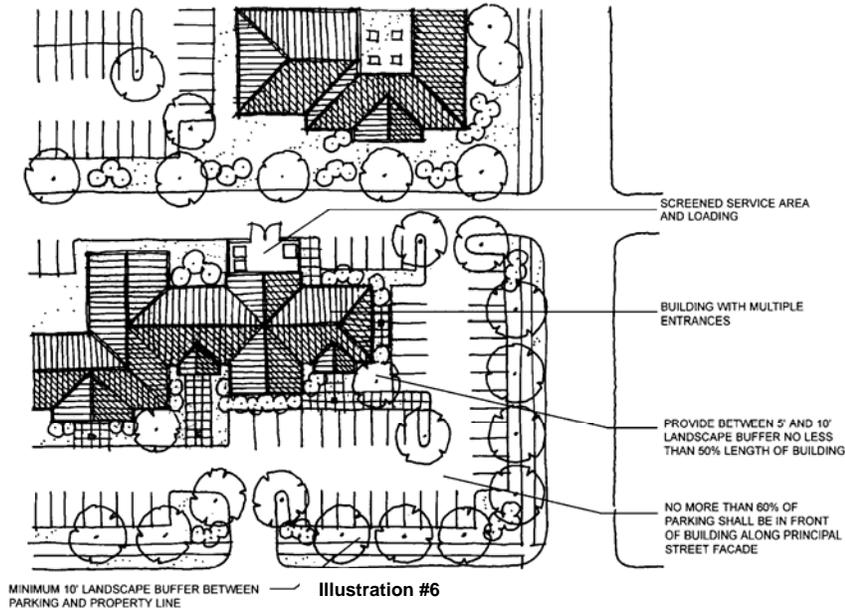
(3.5) Provide a minimum of one or more community spaces. Community spaces shall include the following: public benches, water features, public kiosk/gazebo, public patio/seating areas, public plazas, public art, or other improvements as approved by the Town that meet the general intent of this section.

(3.6) Bicycle racks shall be provided in an amount equal to a minimum of twenty percent (20%) of the required vehicular parking for the project, or a lesser number if reasonably justified by the applicant and approved by the town.

4. Class IV Development: All class IV development applications within the Summit Boulevard Corridor Overlay District shall meet the following standards and criteria, as depicted in Illustration No. 6:

(4.1) Meet all applicable requirements of Class I, Class II and Class III Development, with the exception of standard 1.2 and with the exception that standard 2.2 shall only require visual relief and breaks (a minimum of four (4) feet in depth) in all new exterior wall facades that face a public street or parking lot such that no more than 66% of any building façade shall be located along the same geometric plane.

(4.2) Provide a minimum of two separate and distinct public entrances into the building.



(4.3) Provide a minimum of two additional community spaces, for a total of three, as defined in section 3.5 above.

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(4.4) Provide parking in a manner where no more than 60% of the required parking is located in front of the building along the principal street façade, with the exception that if a building or other structure blocks the view of the parking from the principal street then the parking in front of the building does not count toward this percentage.

(4.5) Where a building abuts paving or parking areas, provide a landscaped area adjacent to the building that varies from 5 to 10 feet in width. The landscaped area shall be a minimum of 50% of the length of the building and half of the landscaped area shall be a minimum of 10' in width. The landscaping shall be planted in compliance with Section 180-20.1 of the Town's Code.

(4.6) Provide a screened service area, including screening any loading or trash areas from any public rights of ways, or customer parking areas.

INCENTIVE: If an applicant elects to have less than 50% of the required parking in the front of the building along the principal street façade, the landscaped area required in standard 4.5 may be reduced to a minimum of 35% of the length of the building upon approval of the Planning Commission.

INCENTIVE: If an applicant provides perimeter landscaping in an amount no less than double the plant quantities and area required in Standard 3.3, or double the requirement in Section 180-20.1.4.G, Perimeter Landscape Area, or double the requirement in Section 180-20.1.4.H, Parking Area Landscaping, whichever is greater, then the applicant may locate up to 75% of the required parking in the front of the building along the principal street façade upon the approval of Planning Commission.