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§ 180-20.1 Landscaping and Revegetation Requirements [Added 3-19-96,Ord. 96-6; Amended 5-15-01, Ord. 01-10; 2-10-04, Ord. 04-01; 7-27-04, Ord. 04-14; 2-13-07, Ord. 07-04)

A. Applicability.

All projects requiring a development application or building permit and any landscape improvements within the Town of Frisco shall meet the landscaping requirements of this Section.

B. Purpose.

The purpose of this Section is to provide landscaping standards for sites undergoing development in the Town of Frisco. It is the Town's goal that landscape design protects the area's unique natural beauty and environment and enhances its aesthetic appeal. Since mountain climactic conditions affect the probability of plant establishment, landscape improvements shall respect the unique mountain environment of Frisco. The applicant shall consider key elements of good landscape design practices and appropriate use of plant materials that consider Frisco's semi-arid climate during the design and construction process. Reduction of environmental and visual impacts within and between developments, consideration of on-site characteristics, encouragement of plantings that require less water and long-term maintenance, and control and reduction of noxious weeds, are all integral aspects of Town design objectives for landscaping.

C. Landscaping Requirements by Project Type.

Plant materials shall be required in amounts determined by the type of development and lot size as follows:

1. Residential Development.

- a. For every 875 square feet of project lot area or fraction thereof, a minimum of one (1) tree must be planted on the site. One (1) shrub shall be required for every 1,500 square feet.
- b. A minimum of one (1) tree shall be planted within the yard setback adjacent to any public street for every thirty (30) feet of total street frontage or fraction thereof. Street trees shall be placed at least eight (8) feet away from the edges of driveways and alleys and to the extent reasonably feasible, be positioned at evenly spaced intervals.

2. Mixed-Use Development. Except as provided in subpart 4.

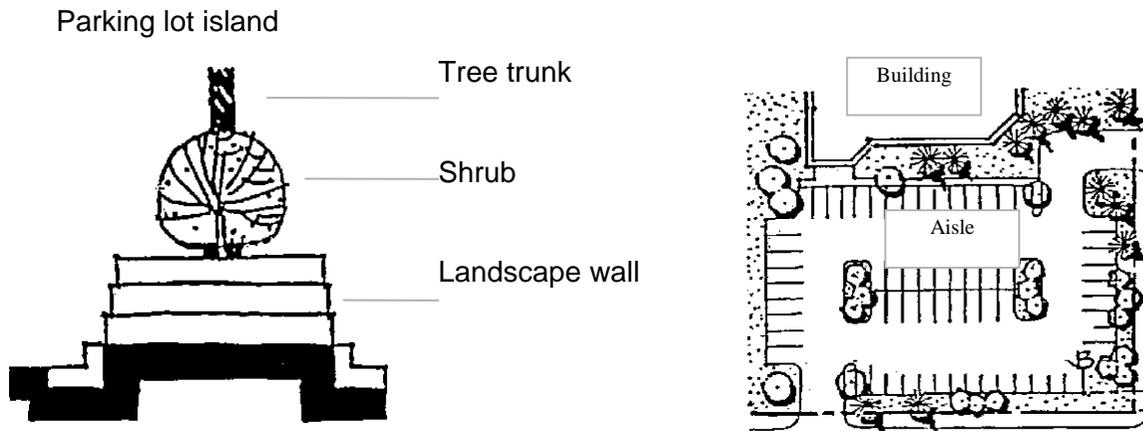
- a. For every 1,000 square feet of project lot area or fraction thereof, a minimum of one (1) tree must be planted on the site. One (1) shrub shall be required for every 1,500 square feet of project lot area or fraction thereof.
- b. Mixed-use projects are eligible for substitution of hardscape and planter boxes for a portion of the landscaping required as outlined in §180-20.1.D.2 "Required Vegetation".

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3. Commercial Development. Except as provided in subpart 4.
 - a. For every 1,125 square feet of project lot area or fraction thereof, a minimum of one (1) tree must be planted on the site. One (1) shrub shall be required for every 1,750 square feet of project lot area or fraction thereof.
 - b. Commercial projects are eligible for substitution of hardscape and planter boxes for a portion of the landscaping required as outlined in §180-20.1.D.2 "Required Vegetation".
4. Commercial and Mixed-Use Large Project Development.
 - a. For commercial and mixed-use large projects as defined in Chapter 180 of this Code, for every 1,500 square feet of project lot area or fraction thereof, a minimum of one (1) tree shall be planted on the site. One (1) shrub shall be required for every 2,500 square feet of project lot area or fraction thereof.
 - b. Large projects are eligible for substitution of hardscape and planter boxes for a portion of the landscaping required as outlined in §180-20.1.D.2 "Required Vegetation".
5. Public Projects. For projects undertaken by the Town or projects which will serve a public purpose and benefit such as, but not limited to: public parks, recreation areas and rights-of-way, the amount of trees and shrubs required shall be determined by the Town. The Town shall be guided by the comparison with similar uses within Town or within the region to determine appropriate landscaping requirements.
6. Parking Area Landscaping. In addition to the landscaping required in §180-20.1.C.2, 3 & 4, landscaping is required under this section to reduce the visual impacts created by parking areas in multi-family residential, mixed-use and commercial projects.
 - a. Any parking lot providing twenty (20) or more parking spaces shall have an area equal to at least six percent (6%) of the total paved area landscaped. In parking areas providing twenty (20) or more parking spaces, at least 50% of the landscaping required by this section must be internal to the parking area. The remainder of the landscaped area may be external to the parking area so long as it is within 10' of the perimeter of the paved area.
 - b. All landscaping required by this section shall include at a minimum, one (1) tree and two (2) shrubs for every one hundred fifty (150) square feet of landscape area required, or fraction thereof. All required trees and shrubs must meet the minimum plant size requirements set forth in §180-20.1.D.1. All trees and shrubs internal to the parking area must be planted at least two (2) feet above the adjacent paved surface.
 - c. Internal parking lot landscaping provided shall be proportionately dispersed so as to define aisles and limit unbroken rows of parking.
 - d. Parking lot islands shall be a minimum of eight (8) feet in width and/or length and contain at least one tree.

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- e. Parking lot islands may not be used for snow storage.



7. Additions to Existing Developments. In determining landscape requirements for additions to existing developments or structures, the required amount of landscaping in this chapter shall be determined by the amount of soil disturbance and project type per §180-20.1.C. A nonconforming use or structure that is nonconforming due to inadequacies in its provision of landscaping may be expanded, changed, or altered provided that landscaping is provided for the expansion in accordance with this section.

D. Required Vegetation.

The Community Development Department encourages the planting of required trees to be located predominantly in the Front Setback and the Side Yards to increase the visual buffer of the building and paving from the street, enhance the site, and provide a landscape buffer to adjacent properties. Spacing of plant material shall be appropriate for each species planted. In proposing landscaping to meet the requirements of this Chapter applicants shall use materials from the Plant Materials List of §180.20.1.H. Alternative plant materials may be considered if it is determined by the Community Development Department or Planning Commission on competent evidence that the proposed plant material is suitable to the climate and placement on the site.

1. Plant Sizes. Plant materials used to satisfy the requirements of this chapter must comply with the following minimum size requirements at the time of installation:
- a. Deciduous Trees:
- i. Fifty percent (50%) three (3) inch minimum diameter measured twelve (12) inches above the ground. If only one tree is required, then it must be at least three (3) inches in diameter.
 - ii. Fifty percent (50%) two (2) inch minimum diameter measured twelve (12) inches above the ground.
 - iii. When there are an odd number of trees required, then the larger specimen is required.

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- iv. Deciduous trees shall be planted in groups of three or more to achieve a clustered effect, or as a single specimen tree.
 - b. Coniferous (evergreen) trees:
 - i. Twenty-five percent (25%) ten (10) foot minimum height. When only one tree is required, then it must be a minimum of ten (10) feet in height.
 - ii. Twenty-five percent (25%) eight (8) foot minimum height.
 - iii. Fifty percent (50%) six (6) foot minimum height.
 - iv. When there are an odd number of trees required, then the largest specimen required by this section is required.
 - c. Shrubs (deciduous and evergreen):
 - i. Five (5) gallon container, with minimum height or spread of two (2) feet.
- 2. Landscape Alternatives for Mixed-use, Commercial and Large Projects.

The following alternative forms of landscaping may be used to meet the vegetation requirements:

- a. Up to 50% of the landscaping required by §180.20.1.C.2, 3 or 4 may be provided in the form of street furniture, planter boxes, or other forms of landscaping. To be substituted for landscaping that is otherwise required, planter boxes shall have a minimum plantable area of sixteen (16) square feet. Each bench or each sixteen (16) square feet of plantable planter box area or other non-vegetative landscaping may be substituted for one (1) required tree.
- b. Up to 25% of the landscaping required by §180.20.1.C.2, 3 or 4 may be provided in the form of public art or public space such as a patio, plaza, or outdoor seating area. To be substituted for landscaping required by §180.20.1.C.2, 3 or 4, public spaces shall have a minimum area of one hundred (100) square feet. Each one hundred (100) square feet of public space may be substituted for one (1) required tree.
- c. Up to 10% of the landscaping required by §180.20.1.C.2, 3 or 4 may be provided in the form of planter boxes located on upper level decks. To be substituted for landscaping required by §180.20.1.C.2, 3 or 4, planter boxes on upper level decks shall have a minimum plantable surface area of eight (8) square feet. Each eight (8) square feet of plantable area in an upper level deck planter box may be substituted for two (2) required shrubs.

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3. Species Diversity. To prevent uniformity and insect or disease susceptibility, species diversity is required and extensive monocultures of trees are prohibited. The following minimum requirements shall apply to any development plan:

Number of required trees on site	<i>Maximum percentage of any one species (for both evergreen and deciduous requirements)</i>
1-9	No diversity required
10-19	45%
20-39	33%
40 or more	25%

E. General Landscape Requirements.

1. Yard Landscaping Required. Except for the placement of landscaping required in this Chapter and except for such lawn area as permitted by §180.20.1.E.3.a, all front, side and rear yards, exclusive of permitted access drives, walkways, parking lots and accessory structures, shall be left in natural vegetation.
2. Additional Screening Requirements. Additional landscape screening may be required when it is determined by Community Development Department staff or Planning Commission to be in the best interest of the affected properties. Additional landscaping may be deemed to be in the best interest of the affected properties only if it is determined by the Community Development Department that 1) the proposed development will have a substantial adverse impact on an adjacent property, and 2) the substantial adverse impact is due to an impact of the proposed development that is unique and peculiar to the proposed development and not of the type normally associated with the type of development proposed. Additional landscaping, not to exceed 20% of the landscaping otherwise required may be required in areas including but not limited to:
 - a. At the edges (perimeter) of a parking lot and between parking lots.
 - b. Between building development and recreational trails or open space.
 - c. Between multi-family or commercial development and a road or other public spaces.
 - d. Between commercial and residential areas.
 - e. On slopes of over fifteen percent (15%). Developers shall be required to place additional trees in sufficient numbers to screen such properties from major thoroughfares, such as Highway 9 and Main Street.
3. Water Conservation. All landscape plans should be designed to incorporate water conservation materials and techniques through application of xeriscape landscaping principles. Xeriscape is a method of landscaping that promotes water conservation by minimizing the amount of native vegetation removed, limiting new vegetation to native or drought tolerant vegetation, limiting the amount and type of irrigation and other related measures to conserve water and create a native landscape.

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- a. Maximum Amount of Lawn Area. The maximum amount of lawn/sod area shall not exceed 10% of the undeveloped area of the site.
 - b. Plant Materials. The selection of plant materials shall be based on the Town of Frisco's climate and site specific conditions. All new plant materials shall use species found in the "Plant Materials List – Frisco Colorado" of this code. These species have been selected either because they are a native species to this climate or have a demonstrated ability to survive in this harsh alpine climate with minimal water and no threat of competition. Alternative plant materials may be considered if it is determined by the Community Development Department or Planning Commission on competent evidence that the proposed plant material is suitable to the climate and placement on the site.
4. Limit of Work Area. Prior to approval of any grading or building permit, existing trees, shrubs, and/or sensitive native landscape areas that are to be preserved shall be defined in the field. These plants and areas shall be defined by a minimum of a four (4) foot high visibility fence (polyethylene, painted, wooden slat, snow fence, etc.) which is to be located no closer than the drip line of the vegetation to be preserved and which is to remain and be maintained throughout the construction period until ready for revegetation.
5. Revegetation of Disturbed Land. Development activities should only disturb, clear, or grade the area necessary for construction.
- a. All areas disturbed by grading or construction, not being formally landscaped, shall be mulched and revegetated with seeding and/or other plant materials. All seeded areas shall receive seeding mulch (straw-crimped in place or hydromulch, etc.). Seeded areas in excess of 3:1 (horizontal:vertical) slope (33%) shall receive erosion control blankets, to reduce potential for damage from heavy, concentrated storm-water runoff. Seed mixes and other plant material shall be selected from the "Plant Materials List – Frisco Colorado". Alternative plant materials may be considered if it is determined by the Community Development Department or Planning Commission on competent evidence that the proposed plant material is suitable to the climate and placement on the site.
 - b. Keep vehicles and construction equipment out of undisturbed areas to preserve the natural ground cover and vegetation.
6. Noxious Weeds. It is the duty of any property owner or occupant to control noxious weeds which aggressively invade native plant communities or are carriers of detrimental insects, diseases, or parasites and it is unlawful to permit such noxious weeds to grow as noted in Chapter 61, Brush, Grass and Weeds.
7. Lodgepole Pines. Lodgepole Pines (*pinus contorta*) will not be allowed as a required tree except as provided in §180.20.1.E.8 "Credit for Preservation of Existing Trees".
8. Credit for Preservation of Existing Trees. The use of existing healthy, undamaged vegetation is encouraged because it is already established on the site and is natural to the area. Existing healthy trees (including Lodge Pole pine) may be substituted for up to fifty percent (50%) of the tree landscaping required by this Chapter, on a tree for tree

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basis, in cases where the existing trees meet or exceed the standards for formal landscaping and minimum plant sizes.

9. Protection of Existing Vegetation.

- a. Existing vegetation including trees, shrubs and/or sensitive native landscape areas that are to be preserved on the site shall be identified on the required landscape plan and shall be protected during construction.
 - i. This vegetation shall be identified on the site by a minimum of a four (4) foot high visibility fence (polyethylene, painted wooden slat, snow fence, etc.). This fence is to be located no closer than the drip line of the vegetation to be preserved and shall remain and be maintained throughout the construction period until ready for revegetation.
 - ii. Construction debris storage/staging areas shall be located away from vegetation to be preserved.
 - iii. Snow storage and snow shedding areas may not overlap sensitive landscape areas, such as those which include non-flexible deciduous trees, shrubs and formal planting beds.
- b. All coniferous trees with a diameter of six (6) inches or more and all deciduous trees with a diameter of three (3) inches or more, measured one (1) foot above the ground shall be defined as a Qualifying Tree and may be removed without replacement, only as follows:
 - i. Trees on land to be occupied by buildings, parking, and paving plus a maximum eight (8) foot clearance strip adjacent to the perimeter thereof.
 - ii. Diseased trees, trees damaged by natural causes, and other trees that interfere with utility lines may be removed only upon authorization of the State Forester or other qualified person and authorization of the Town.
 - iii. Trees whose removal is necessary for fire safety or wildland fire defense may be removed upon authorization of a qualified specialist and authorization of the Town.
- c. Any removed qualifying trees that are not subject to the exceptions set forth in §180.20.1.E.9 shall be replaced with a one for one and a half (1:1.5) replacement ratio.¹ All replacement plant material shall conform to the requirements by plant type set forth in §180.20.1.D.1 “Plant Sizes”.

¹ The total diameter (in inches) of the replacement trees, must be one and a half times greater than the total diameter (in inches) of those trees removed, (e.g.-one removed twelve (12) inch diameter coniferous tree may be replaced with two (2) nine (9) inch diameter coniferous trees, or three (3) six (6) inch diameter coniferous trees, etc.) with a minimum diameter replacement for coniferous trees of four (4) inches and for deciduous trees of two (2) inches. The tree replacement requirements of this paragraph may be partially waived on a case-by-case basis as determined by Planning Commission for project sites that have at least 50% more again, the number of trees that would be required. In the case of these significantly forested sites, whenever possible, building and paving placement should occur in the least

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10. Irrigation System Requirements. Landscape improvements shall be properly irrigated during that period of time necessary for the plant to be established on the site and on an ongoing basis so as to maintain the landscape in good health and condition. The applicant must indicate what method of irrigation is proposed for any required landscape improvements. As indicated on the "Plant Materials List – Frisco Colorado", some species may not require formal irrigation after their establishment period. It is encouraged that temporary, above ground piping and heads or hand watering be used for these plants during their establishment period to promote water conservation once the plant has become established.

F. Landscape Maintenance.

Landscaping shall be maintained in good health and condition for perpetuity. If any vegetative landscaping required by this chapter shall die the owner of the property on which it is located shall replace it with the vegetation required by the approved landscape plan within one (1) year of the death of the vegetation.

G. Landscape Plan Submittal Requirements.

The applicant shall provide landscape, irrigation and grading plans that cover the entire property. There may be a separate landscape plan, however, in most cases it can be configured with a site plan. All landscape plans must contain the following information:

1. Property lines and dimensions.
2. Existing and finished grade.
3. North arrow and both graphic and written scales.
4. Name of Applicant and Landscape Consultants, if any.
5. A legend indicating all proposed plant materials with common and botanical names, indication of drought tolerant plants, sizes, maximum spacing, caliper size, and quantities.
6. Method of irrigation.
7. Location of all plant material, other landscape features (including but not limited to wetlands, water bodies, rock outcroppings, detention areas, retaining walls) and buildings and paved areas (both existing and proposed).
8. Ground surfaces and materials by type, such as paving, sod, mulch, edger, seed mixes, shrub and flower beds, etc., shall be clearly indicated with a note as to the percentage of plant coverage.

densely forested area of the lot to take advantage of any naturally occurring openings that would result in the removal of fewer trees.

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9. Clearly labeled locations and calculations for amounts for all of the required landscape vegetation, including the percentage of drought tolerant plantings and any required parking area landscaping.
10. A tree survey with the size and location of all existing coniferous trees with a diameter of six (6) inches or more and all deciduous trees with a diameter of three (3) inches or more measured one (1) foot above the ground. The tree survey shall be prepared by and Colorado licensed surveyor.
11. Identify which existing trees will remain on the property and how they will be protected from damage during construction.
12. If snow storage is required, the location of all snow storage areas in relation to proposed landscaped areas must be shown.
13. Identify construction debris storage and staging areas.
14. Additional information may be required by the Town on a case-by-case basis if such information is deemed necessary to determine compliance with provisions of this Chapter.

H. Plant Materials List – Frisco Colorado.

1. Plant materials listed are those determined to be suitable for Frisco's arid alpine environment. Landscaping materials required by this Chapter shall be chosen from this section. Alternative plant materials may be considered if it is determined by the Community Development Department or Planning Commission on competent evidence, that the proposed plant is suitable to the climate and placement on the site.
2. Information has been included to help the applicant select a mixture of drought tolerant materials, likely to survive in this climate with little water.

 - Native

X – Thrives in slightly dry conditions. Once established, these plants generally require about 1" of water per week.

XX – Thrives in dry conditions. Once established, these plants generally require about ½" of water per week.

XXX – Thrives in very dry conditions. Once established, these plants generally require about ½" of water every 2 weeks.

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a. Grass Mixes

	Xeriscape Rating	
Short Grass Mixture	X	
Perennial Ryegrass	25%	A premium lawn mix for consistently watered and mowed lawns. Similar mix as used in sod. Not recommended for wildflowers.
Chewings Fescue	30%	
Kentucky Bluegrass, Limousine	25%	
Kentucky Bluegrass, Marquis	20%	
Short Dry Grass Seed Mixture	XX	
Hard Fescue	30%	Drought tolerant low growing grass mix that can be left unmowed. Requires little water once established. Use with wildflowers only if not watering, this mix will out compete wildflowers. Grows 6" to 8" in height.
Creeping Red Fescue	30%	
Sheep Fescue	25%	
Canada Bluegrass	10%	
Canby Bluegrass	5%	
Aggressive Grass Seed Mixture	XXX	
Intermediate Wheatgrass	20%	Quick cover mix that contains tall non-native aggressive grasses. Use for erosion control & reclamation. For very steep slopes & poor soils. With water can grow 4' in height. Do Not use with wildflowers and not recommended for home properties. Provides a crop or field look.
Crested Wheatgrass	15%	
Kentucky Bluegrass	10%	
Orchardgrass	10%	
Creeping Red Fescue	10%	
Tall Fescue	10%	
Perennial Ryegrass	5%	
Timothy	5%	
Mountain Broomegrass	5%	
Annual Ryegrass	5%	
Summit Hills Grass Seed Mixture	XXX	
Slender Wheatgrass ☼	25%	Mixture of primarily bunch type grasses to provide a "natural" look. With water, can grow to 3' in height. Good companion with wildflowers.
Hard Fescue	20%	
Sheep Fescue ☼	20%	
Tall Fescue	15%	
Big Bluegrass ☼	10%	
Canby Bluegrass ☼	10%	
Native High Country Grass Seed ☼XXX		
Slender Wheatgrass	15%	☼ 100% Native mix. With water, can grow to 3' in height. Good companion for wildflowers.
Bluebunch Wheatgrass	15%	
Sandberg Bluegrass	10%	This mix meets Summit County recommendations for reclamation.
Indian Ricegrass	10%	
Idaho Fescue	10%	
Western Wheatgrass	10%	
Blue Wildrye	10%	
Rocky Mountain Fescue	10%	
Tufted Hairgrass	5%	
Canby Bluegrass	5%	

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b. Trees

	Xeriscape Rating		Xeriscape Rating
Coniferous Trees		Deciduous Trees	
Bristlecone Pine ☀	XX	Aspen ☀	
Colorado Spruce ☀		Balsam Poplar ☀	
Colorado Blue Spruce ☀		Narrowleaf Cottonwood ☀	
Engelmann Spruce ☀		Shubert Chokecherry	X
Rocky Mountain Douglas Fir ☀			
Subalpine Fir ☀			

c. Shrubs

	Xeriscape Rating		Xeriscape Rating
Alder, Thinleaf ☀		Mountain Ninebark ☀	XX
Birch, Bog ☀		Mugo Pine	X
Birch, Western River ☀		Peking Cotoneaster	XX
Buffaloberry, Silver ☀	XXX	Potentilla	XX
Chokecherry, Native ☀	X	Raspberry, Boulder	
Chokecherry, Shubert's	X	Raspberry, Wild	XX
Currant, Alpine	XXX	Rose, Canadian	
Currant, Golden	XXX	Rose, Harrison's Yellow	
Currant, Red Lake	XXX	Rose, Redleaf	X
Currant, Squaw or Wax ☀	XXX	Rose, Woods ☀	XX
Dogwood, Red		Sage, Big Leaf	XXX
Elder, Red-berried ☀		Serviceberry	X
Gooseberry, Pixwell & Whitestem	XXX	Siberian Peashrub	XXX
Honeysuckle, Arnold's Red	XX	Snowberry, Mountain ☀	
Honeysuckle, Twinberry ☀		Spirea, Rock	
Juniper	XX	Thimbleberry ☀	
Kinnikinick ☀	XX	Waxflower	
Lilac, Canadian & Common	XX	Willow, Bluestem	
Mahonia, Creeping ☀		Willow, Dwarf Arctic	
Mountain Lover ☀		Willow, Golden or Mountain ☀	

d. Perennials/Groundcover

	Xeriscape Rating		Xeriscape Rating
Ajuga	X	Liatriis	X
Allium		Lily	
Alyssum	XX	Locoweed, Rocky Mountain	
Anthemis	XX	Lupine ☀	
Aster ☀	XX	Mallow	
Baby's Breath, Creeping	XX	Maltese Cross	X
Balsam Arrowroot ☀		Meadow Rue ☀	
Barren Strawberry		Mints	
Basket of Gold	X	Monarda	
Bellflower	X	Moneywort	

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Bergenia		Monkeyflower, Red & Yellow	
Bishop's Weed	XX	Monkshood	
Black-Eyed Susan	XX	Pansy	X
Bleeding Heart		Pasque Flower 	XX
Blue Bells (Mertensia)		Penstemon 	XXX
Blue Eyed Grass		Phlox, Creeping 	XX
Border Jewel	XX	Pink Plumes 	
Buttercup, Creeping		Poppy, Iceland	
Campion, Moss		Poppy, Oriental	XX
Candytuft	X	Potentilla, Creeping	XX
Columbine 	X	Primula	
Coral Bells	X	Purple Coneflower	X
Cornflower		Pussytoes 	XXX
Cow Parsnip 		Rockcress	XX
Creeping Charlie		Sage Buttercup 	
Cushion Spurge	XXX	Salvia	XX
Daisy, Shasta & Painted		Sandwort	XX
Daylily	XX	Saxifrage	
Delphinium	X	Scabiosa	XX
Dianthus	XX	Sea Pink	XX
Draba		Sedum	XX
Edelweiss	X	Senecio	
English Daisy		Shooting Star 	
Erigeron/Fleabane	XX	Silky Phacelia 	
Evening Primrose	XXX	Silver Mound	XX
Fireweed	X	Silverweed 	
Flax, Blue	XXX	Snow in Summer	X
Forget-me-not		Snow Lover	
Foxglove	X	Snow on the Mountain	
Gaillardia	XXX	Soapwort	X
Gentian 		Strawberry, Domestic & Wild	
Geranium 	X	Statice	XX
Geum	XX	Sulphurflower 	XXX
Goldenrod	XX	Sunrose	XX
Harebell 	X	Sweet William	
Hens & Chicks	XX	Sweet Woodruff	X
Hop Vine		Tansy	
Iceplant	XX	Thyme	XX
Indian Paintbrush 		Veronica, Spike	
Iris, Bearded	XX	Veronica, Creeping	XX
Iris, Rocky Mountain 		Veronica, Turkish & Wooly	XX
Siberian			
Irish & Scotch Moss		Viola	
Jacob's Ladder 	XX	Yarrow 	XX
Lady's Mantle	X		
Lamb's Ears	XX		
Lamium	X		
Larkspur, Native 			

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Sources:

Colorado State University, Summit County Extension Office; Frisco, Colorado
Neils Lunsford Inc.; Silverthorne, Colorado
Summit County Landscaping Guide; Summit County, Colorado