

LIBRARY LOFTS PROJECT OVERVIEW/CONDITIONAL USE REQUEST

The subject property is the former Summit County Library site situated at the northwest corner of Madison Avenue and Mount Royal Drive; it is currently zoned Mixed Use and falls within the Main Street Overlay District. The property to the north is Peak One Schools which is also zoned Mixed Use and falls within the Main Street Overlay District. The south borders unincorporated Summit County, which is predominately single family and duplex residential units. The property to the east is The Spruce Point Townhomes which is a residential PUD with underlying Central Core zoning and falls within the Galena-Granite Overlay District. The property to the west is the Royal Glen Townhomes which is zoned Mixed Use however it is a solely residential and contains no commercial/retail...it too falls within the Main Street Overlay District.

The proposed use: RESIDENTIAL – addresses and meets the following six conditions:

- 1. That the proposed use in its location is necessary or desirable to provide a service or facility that will contribute to the general welfare of the community.**

Given the proposed Library Lofts development is bordered on three contiguous sides by solely residential developments, with the exception of Peak One School to the north, the proposed conditional use request for residential is consistent and compatible with its residential neighbors and as such does not adversely change the complexion or intent of the masterplan or the integrity/fabric of the neighborhood.

- 2. That such use will neither, under circumstances of the particular case and the conditions imposed, be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community.**

As stated in the response to Number 1 above, the proposed request will in no way be detrimental to the health, safety and general welfare of the persons or property, nor will this use have any negative impact on any surrounding functions within the community. In addition, per the findings of the traffic study, the proposed “exclusive” residential use will in fact reduce traffic which will be an attribute to the adjacent residential development.

- 3. That the proposed use will comply with the regulations and conditions specified in the Town Code for such use.**

The proposal use will comply and fall within all conditions and regulations for this use per the Town Code.

- 4/5. That the proposed use conforms to the Community Master Plan for the Town of Frisco, and; that the proposed use furthers the architectural qualities and the character of the community.**

In light of the proposed developments context within a predominantly residential environment it will enhance not diminish the peaceful enjoyment of the neighborhood by both reducing traffic and providing a compatible occupancy that is aesthetically congruent and consistent with the Main Street Overlay District's Goals and Objectives, which will in turn serve to expand and enrich the Main Street Corridor.

6. That the proposed use is compatible in function and design with surrounding land uses.

Although the elimination of retail/office may seem to diminish the retail tax base, the addition of residents to the Central Core/Main Street District actually serves to enhance the economic sustainability of the existing businesses via the economic stimulation and vitality these new families/residents will bring to the commerce of Main Street as well as Summit Boulevard. The proposed development will not only enhance the streetscape but is a sustainable solution given the preservation of the existing structure. In the end, people not buildings create economic sustainability; therefore affording the opportunity to bring to fruition fresh new dwellings, will serve to maintain and enhance economic growth which in turn will increase the vitality and vibrancy of the community.

DESIGN NARRATIVE

The subject Property is located at the Northwest corner of the intersection of Madison Avenue and Mount Royal Drive and falls within the Main Street Overlay district. The Property formally was home to the Summit County Library built circa 1976. It was subsequently sold and repurposed as an office in 1998. The Property borders the Peak One School (formerly the Summit Sentinel) on the North and the South Property line abuts the Mount Royal Drive which also is the dividing line between the Frisco Town boundaries and unincorporated Summit County. The West property line adjoins the Mount Royal Town Homes and the easterly property line fronts Madison Avenue which abuts the Blue Spruce Inn and Spruce Point Town Homes to the East.

The surrounding structures are ascetically/architecturally eclectic and very dated. The existing residential units to the East and West are multi-story townhomes with predominately shed roof forms. The Evergreen subdivision to the South consists of duplex and single family residences of similar design vernacular.

The existing library design is a Prairie Style/Wrightian structure which warrants preservation. In the interests of sustainability and preservation the proposed design of the condominium units will straddle the existing structure and thereby preserve both the building and minimize site disturbance. Aesthetically, the existing building will be integrated within the stone pedestals supporting the condominiums above. In addition, the existing exterior siding will be resurfaced with stucco to visually integrate the new and the old. The massing of the proposed residential units have been broken down into three separate structures linked by bridge elements. This design approach allows for a play-of-forms; mass/void, light/shadow that affords the preservation of vistas to the mountains beyond, which in turn will serve to visually integrate the "built" and "natural" environment. Aesthetically, the building mass is articulated to provide visual relief which in combination with the use of natural indigenous materials will blend with the surrounding environs. In addition, the combination of broad/cantilevered overhangs, recessed terraces, and vertical masonry elements will serve to anchor and integrate the structure to the horizontal ground plane as well as the verticality of Mount Royal.

The aggregate of these design elements are intended to preserve and enhance both the mountain character and architectural integrity of the development goals and standards set for both in the Main Street and Residential Overlay districts.

Given this Property adjoins residential developments to the East, South and West our proposal to repurpose this Property to a sole residential use will act as a transitional element between these residential properties and that of the commercial developments to the North.

Stone:



Sedum Green Roof @ Parking Garage:



Stucco:



Window Cladding Color:



Slate Roofing:



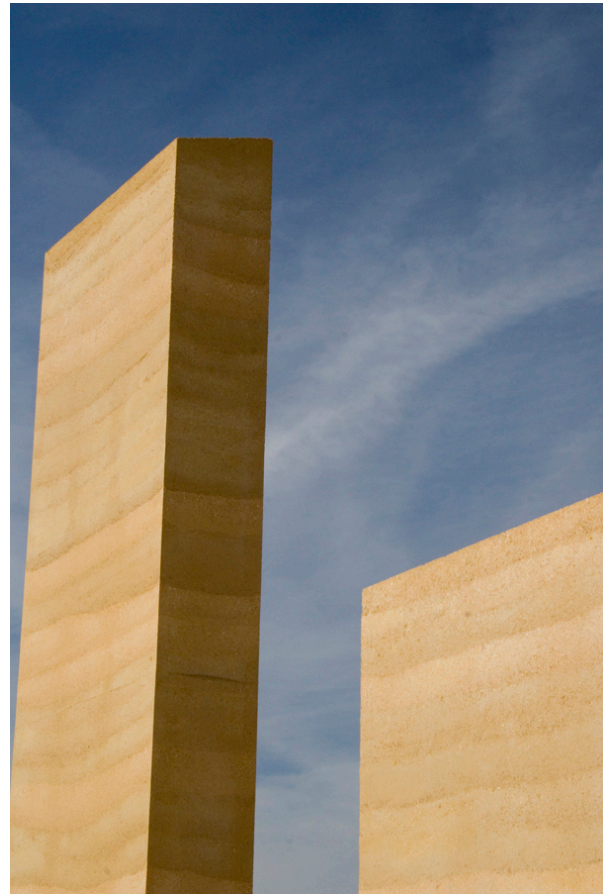
Glass Block @ Elevator/Stair Tower:



Heavy Timber Posts/Beams and Soffits:



Rammed Earth Element:



Metal Deck Railing (Finish: Corten Steel):



Recessed Exterior Can Lighting:





**FELSBURG
HOLT &
ULLEVIG**

connecting and enhancing communities

May 30, 2017

Bill Gibson
Community Development Assistant Director
1 Main Street
Frisco, Colorado 80443

RE: The Library Lofts Traffic and Parking Review
FHU Reference # 117211-01

Dear Mr. Gibson:

This brief letter provides a trip generation and parking analysis using industry standard rates. It also includes a qualitative discussion on Frisco area travel patterns and the potential reduction in vehicle-trips and potentially parking demand based on the Library Loft's proximity to transit and downtown Frisco.

Trip Generation Estimate

Trip generation for the proposed residential development was estimated based on trip rates and information documented in Trip Generation (Institute of Transportation Engineers, Ninth Edition, 2011). Trip Generation classifies The Library Lofts as condominium units and to be conservative in the trip generation calculation we based the analysis on the number of bedrooms rather than the number of units. As shown in **Table 1**, the 14 bedrooms would generate about 80 vehicles-trips per day with approximately seven trips during the AM peak hour and eight trips during the PM peak hour.

Table 1. Existing Trip Generation

Land Use	ITE Code	Bedrooms	Daily	AM			PM		
				In	Out	Total	In	Out	Total
Condominiums	220	14	82	1	6	7	6	2	8
Daily: 5.81 trips / unit AM Peak: 0.44 trips / unit PM Peak: 0.52 trips / unit									

The ITE trip generation rates are based on sites surveyed throughout the United States and they generally reflect national trends in the use of private vehicles, transit and non-motorized modes of transportation. **Table 2** shows that nationally the use of alternative transportation modes to commute to and from work are relatively low. In Summit County and Frisco, the use of transit and

non-motorized uses are still low compared to private automobile usage but are higher than national averages.

Table 2. Transportation by Mode

Mode	National Average	Summit County	Frisco
Private Vehicle	86%	76%	79%
Bus	2.6%	5.5%	3.3%
Walk	2.8%	7.7%	3.1%
Bike	0.6%	2.0%	2.1%

This propensity for Summit County and Frisco residents to use alternative modes of transportation and the site's location relative to transit lines on Main Street, it is likely that some residents on any given day will not use their private automobile.

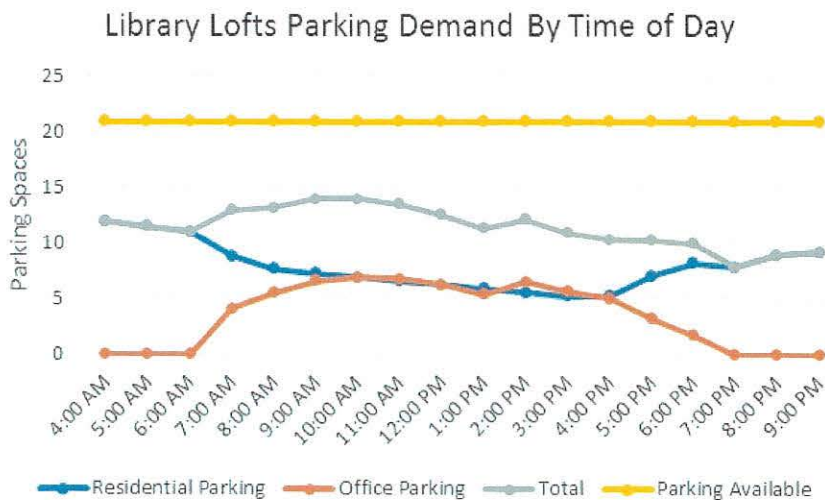
Parking Evaluation

Current plans for The Library Lofts are seven units with two bedrooms. Per the Town of Frisco code one space is required per bedroom plus one space for every five units for visitors. In total, code seems to require 15 to 16 parking spaces. Currently on-site 15 parking spaces are provided which is sufficient for the number of planned bedrooms. Adjacent to the site on Madison Avenue are six public spaces that are available for visitor use.

According to ITE's Parking Generation (4th Edition) the peak parking demand for condominiums is on average 1.38 vehicles per dwelling unit and the 85th percentile demand is 1.52 vehicles per dwelling unit. Based on this data The Library Loft's peak parking demand may range between 10 and about 12 vehicles.

If a small percentage of office space is provided (approximately 1,000-2,000 square feet) with this redevelopment, then an additional parking demand will need to be accommodated. According to ITE's Parking Generation the peak parking demand for office is on average 2.84 spaces per 1,000 square feet and the 85th percentile demand is 3.45 vehicles per 1,000 square feet. Using these rates this potential office space may have a peak parking demand of three to seven spaces. Again, Summit County and Frisco resident's propensity to used alternative modes of transportation could reduce this demand by a space or two.

In addition, the peak residential demand and office demand peak at different times. Residential parking typically peaks in the evening hours while office parking typically peaks during the day. The chart to the right shows that the combined parking needs of the residential and office uses does not exceed the 15 on-site parking spaces provided by the Library Lofts development and six street parking spaces provided along Madison Avenue.



7

Summary

The Library Lofts is anticipated to generate about 80 vehicle-trips per day which makes this development a low generate of traffic. In fact, given the propensity of Summit County residents to utilize transit and non-motorized methods of travel this trip generation estimate is likely lower. In terms of parking, the 15 on-site parking spaces and the availability of visitor parking on Madison Avenue should be sufficient to accommodate the resident and visitor parking demands and any additional parking demands if office space is included in The Library Lofts development.

Should there be any questions about information presented in this letter please feel free to contact me at 303-721-1440.

Sincerely

FELSBURG HOLT & ULLEVIG



Todd S. Frisbie, PE, PTOE
Senior Transportation Engineer



PO Box 1627
Dillon, Co. 80435

June 2nd, 2017

**RE; 90 MADISON AVE, FRISCO, CO 80443
LIBRARY LOFTS**

TODD CROWE, FRISCO PROJECT

To: BUILDING AND PLANNING DEPARTMENT

I have reviewed the site plans and Timberline Disposal can provide weekly or biweekly service for the dumpster and recycling totes. Dumpsters and Totes can be provided in various sizes to accommodate different areas of storage. We can also provide Bear dumpsters and totes if needed. Dumpsters with wheels will allow us to service this account as needed.

Thank you,

Larry Romine

Larry Romine, coo
970-418-0110

BELGARD®

Subterra Stone



APPLICATIONS



Subterra® Stone might very well be the most attractive, natural-looking permeable paver on the market. Featuring a false joint structure, it offers the elegant look of chiseled stone, yet it's easy to install. Subterra is ideal for homeowners who desire environmental stewardship without compromising beauty and style, by installing permeable pavers to reduce water run-off.

SPECS

**SUBTERRA** $7 \frac{5}{8} \times 11 \frac{3}{8} \times 3 \frac{1}{8}$

COLORS

Contact your local Belgard representative for available colors.



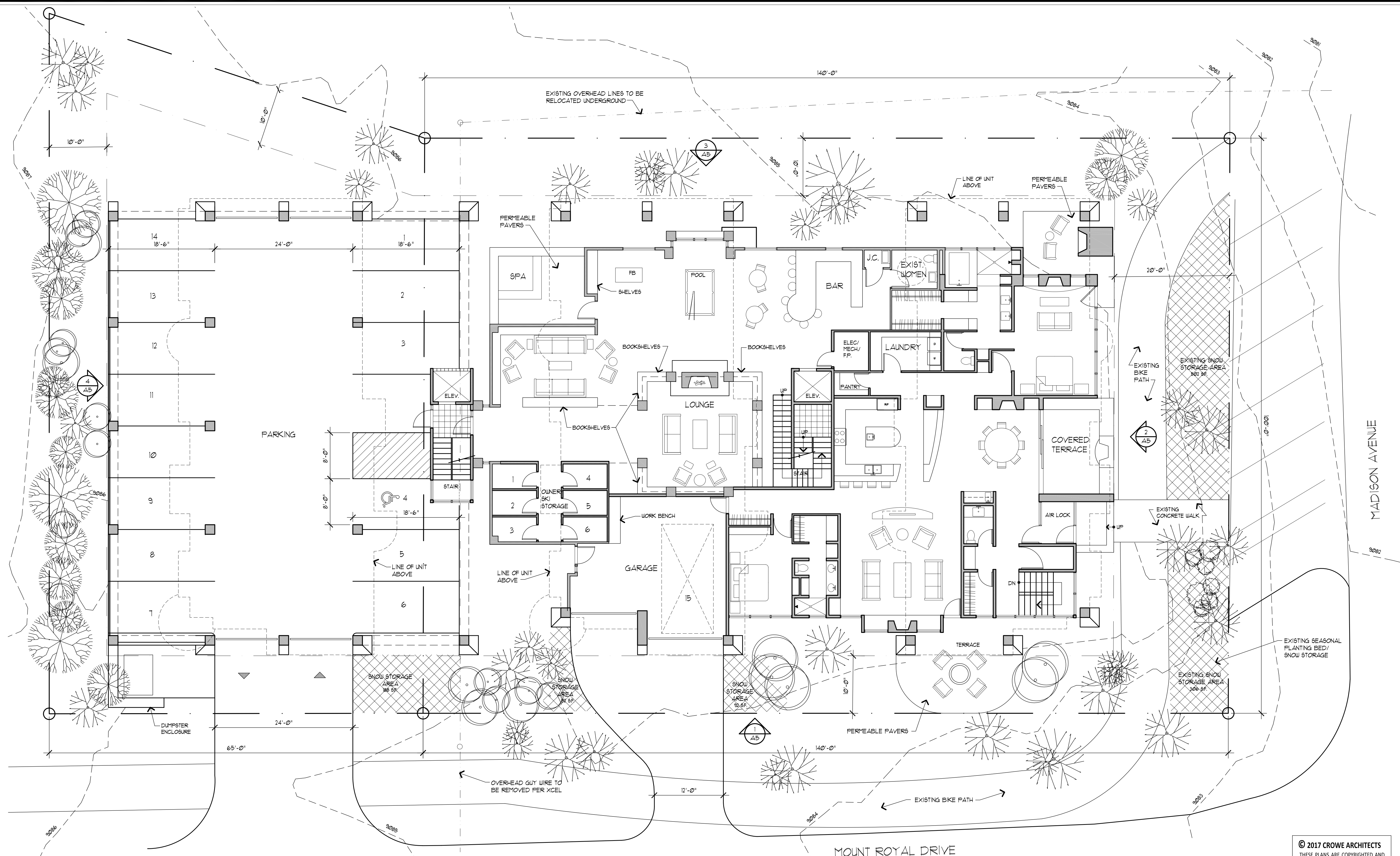
THE LIBRARY LOFTS
90 MADISON AVENUE
FRISCO, COLORADO

Revisions:

Date: 07-13-17

Sheet:

A1



INDEX OF DRAWINGS:

- ARCHITECTURAL
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 - A3 ROOF PLAN
 - A4 UNIT FLOOR PLAN
 - A5 ELEVATIONS
- TOPOGRAPHICAL SURVEY
 - CIVIL
 - DRAINAGE PLAN
 - ROOF DRAINAGE PLAN
- LANDSCAPE
 - LANDSCAPE PLANS

COVERAGE:

TOTAL SITE: 21,181
 COVERAGE ALLOWED: 21,181 x .6 = 12,712
 EXISTING: 6,303 (BUILDING)
 4,836 (COVERED PARKING)
 TOTAL COVERAGE: 12,243/21,181 = 57.78%
 OPEN SPACE REQUIRED: 1,830
 OPEN SPACE PROVIDED: 8,289
 GROSS FLOOR AREA (ALL LEVELS): 18,303
 ADJACENT OFFSITE PARKING = 6 SPACES
 * EXCLUDES PERMEABLE PAVER AREAS

PROPOSED DRIVEWAY: 100 SF
 SNOW STORAGE REQUIRED: 200 SF (100 SF PER 350 SF)
 SNOW STORAGE PROVIDED: 362 SF
 DENSITY:
 RESIDENTIAL: 1 TWO-BEDROOM UNITS
 PARKING REQUIRED - 2/UNIT = 14 SPACES
 PARKING PROVIDED = 16 SPACES (1 HC)
 ADJACENT OFFSITE PARKING = 6 SPACES

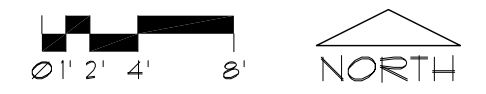
LANDSCAPE LEGEND

- EXISTING LODGEPOLE PINE
- EXISTING ASPEN TREE
- EXISTING SPRUCE TREE
- EXISTING 5-GALLON SHRUB

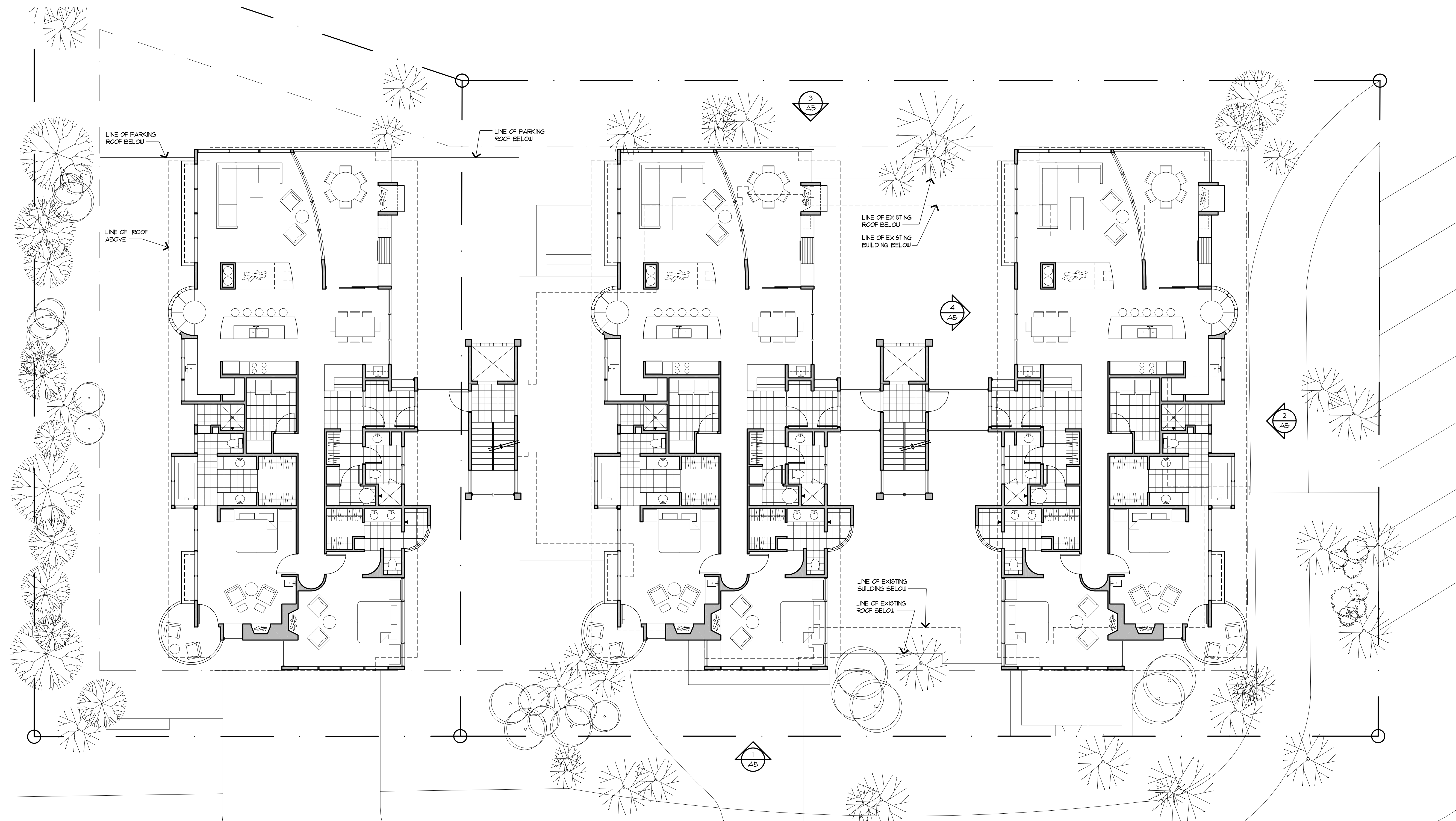
NOTE:
 ALL EXTERIOR LIGHTING TO BE RECESSED
 DOWN LIGHTS CONTAINED WITHIN THE SOFFITS

COMPOSITE PLAN - MAIN LEVEL

SCALE: 1/8" = 1'-0"

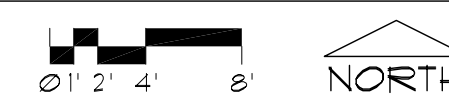


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COMPOSITE PLAN - LEVELS 2 & 3

SCALE: 1/8" = 1'-0"



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 croweworks@att.net
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THE LIBRARY LOFTS
 90 MADISON AVENUE
 FRISCO, COLORADO

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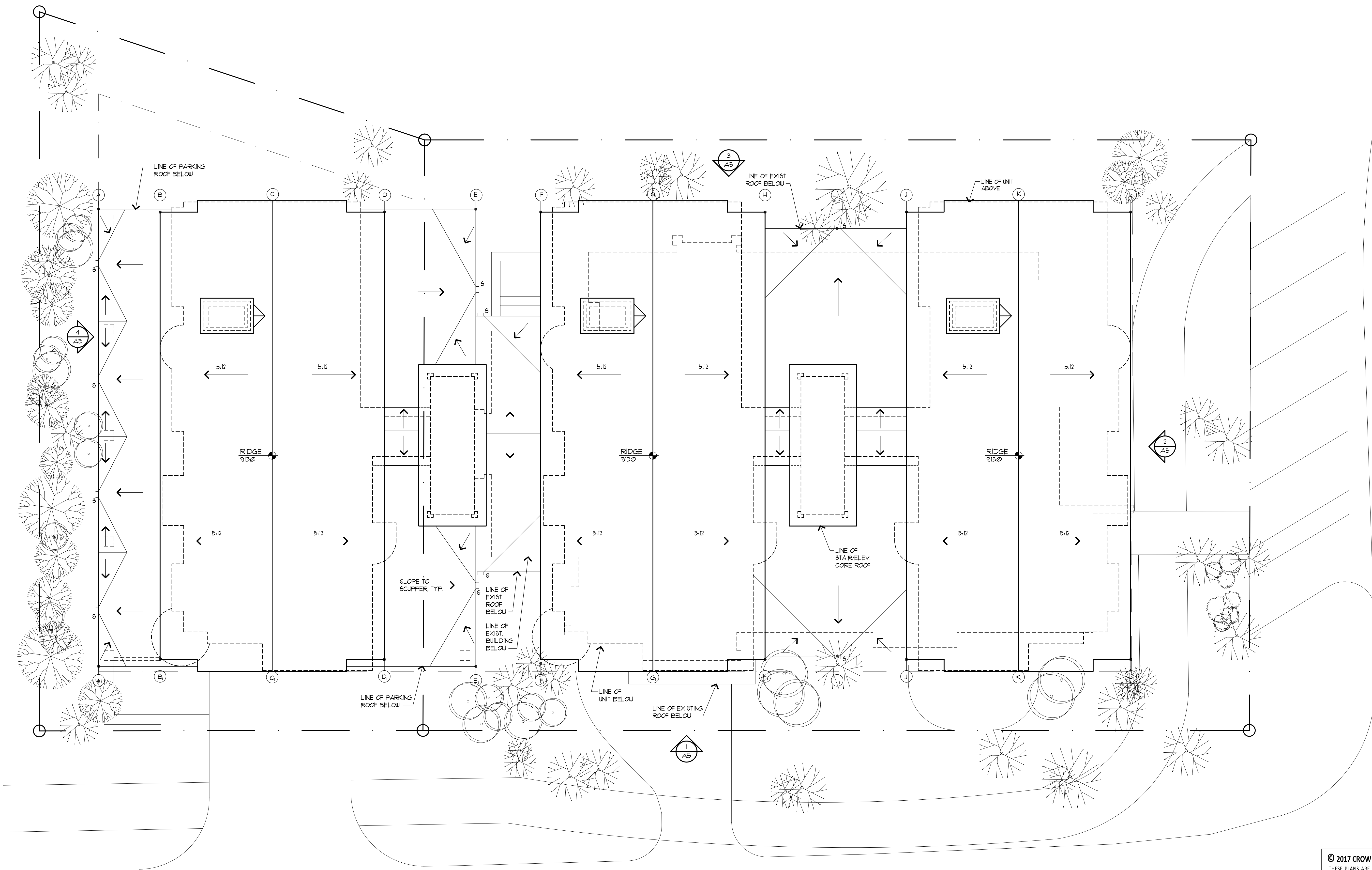
Date: 05-30-17

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 A2

THE LIBRARY LOFTS
90 MADISON AVENUE
FRISCO, COLORADO

MADISON AVENUE

MOUNT ROYAL DRIVE



BUILDING HEIGHT CHART

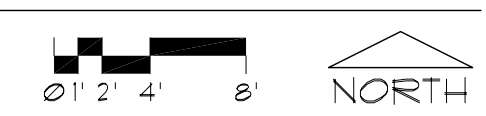
POINT	A	B	C	D	E	F	G	H	I	J	K	L
NATURAL GRADE	9086.5	9086	9086	9085	9086	9085	9085	9085	9085	9085	9084.8	9084.5
PROPOSED GRADE	9086.5	9086	9085	9085	9086	9085	9085	9085	9085	9085	9085	9085
ROOF HEIGHT (FROM FFE 9085)	16	36.5	45	36.5	16	36.5	45	36.5	16	36.5	45	36.5
ROOF HEIGHT (USGS)	9101	9121.5	9130	9121.5	9101	9121.5	9130	9121.5	9101	9121.5	9130	9121.5
ROOF HEIGHT FROM NATURAL GRADE	14.5	35.5	44	36.5	15	36.5	45	36.5	16	36.5	44.2	37
ROOF HEIGHT FROM PROPOSED GRADE	14.5	35.5	45	36.5	15	36.5	45	36.5	16	36.5	45	36

NOTE: THE EXISTING/PROPOSED GRADE ON THE NORTH AND SOUTH SIDES OF THE BUILDING ARE VIRTUALLY THE SAME.

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ROOF PLAN

SCALE: 1/8" = 1'-0"

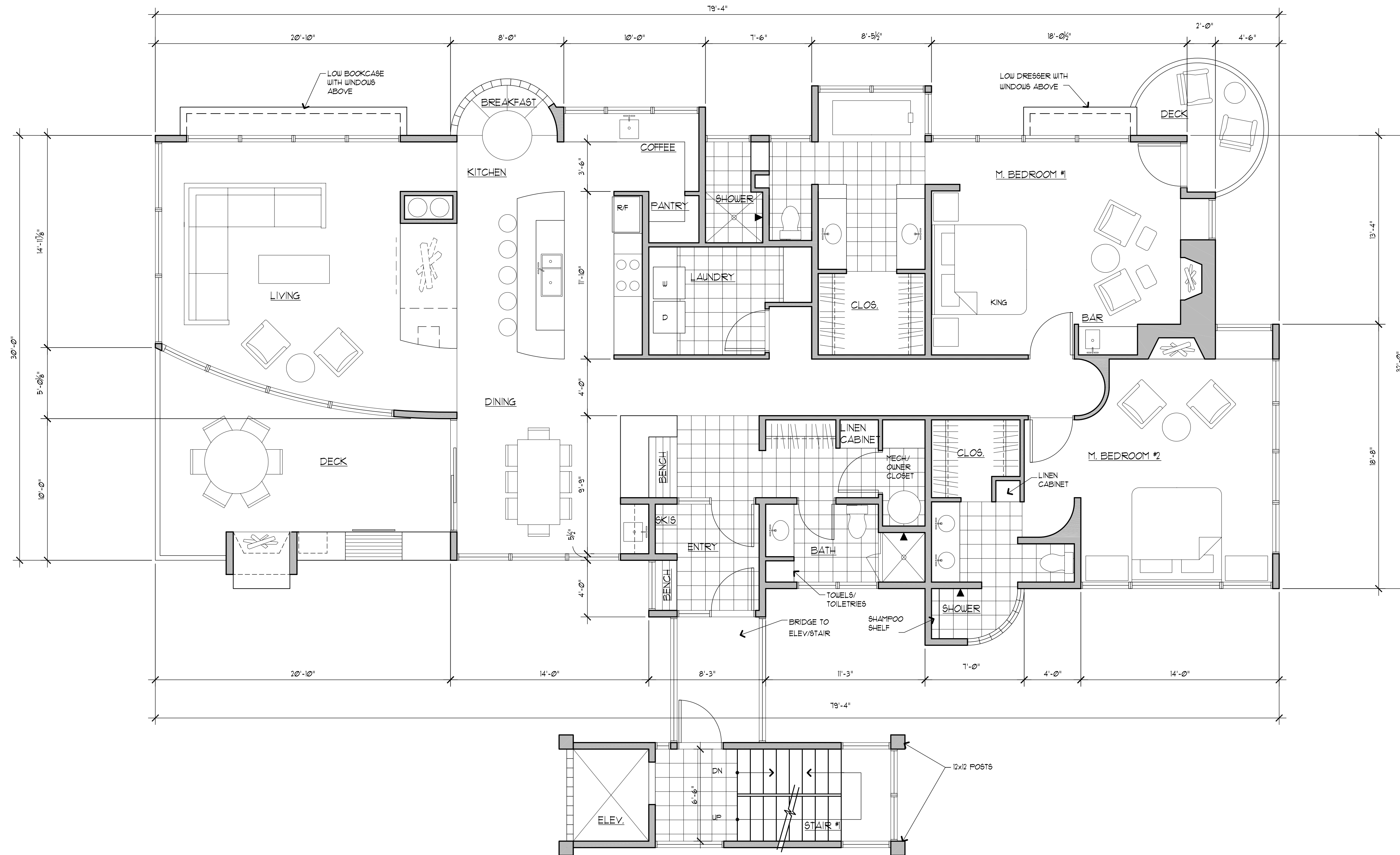


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Date: 07-10-17

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UNIT FLOOR PLAN

SCALE: 1/4" = 1'-0"



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 P.O. Box 643
 Spearfish, SD 57783
 605.642.7677

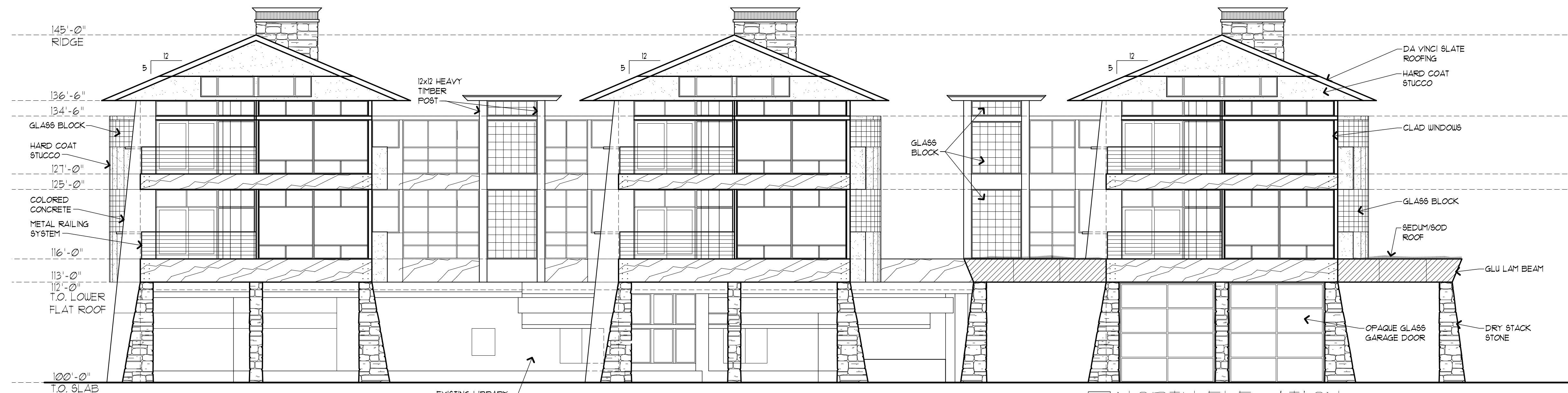
THE LIBRARY LOFTS
 90 MADISON AVENUE
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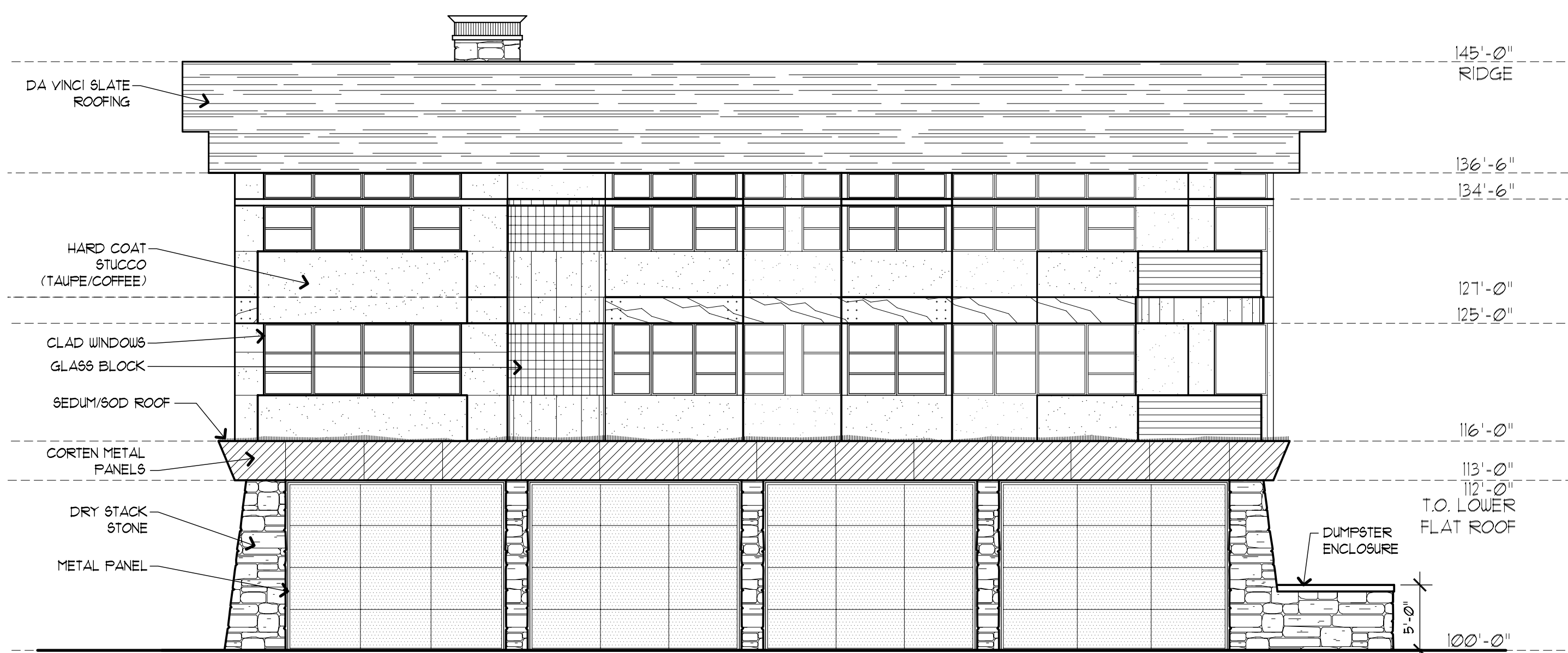
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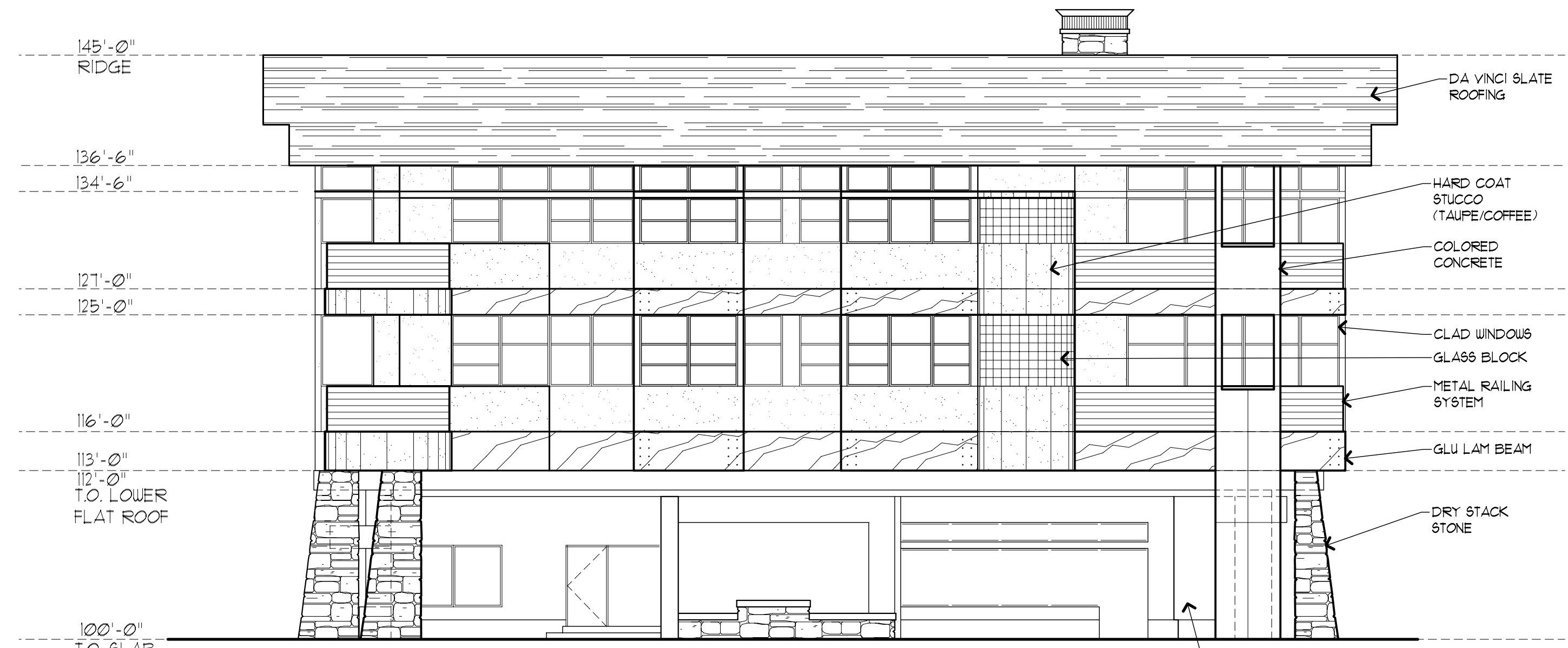
3 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



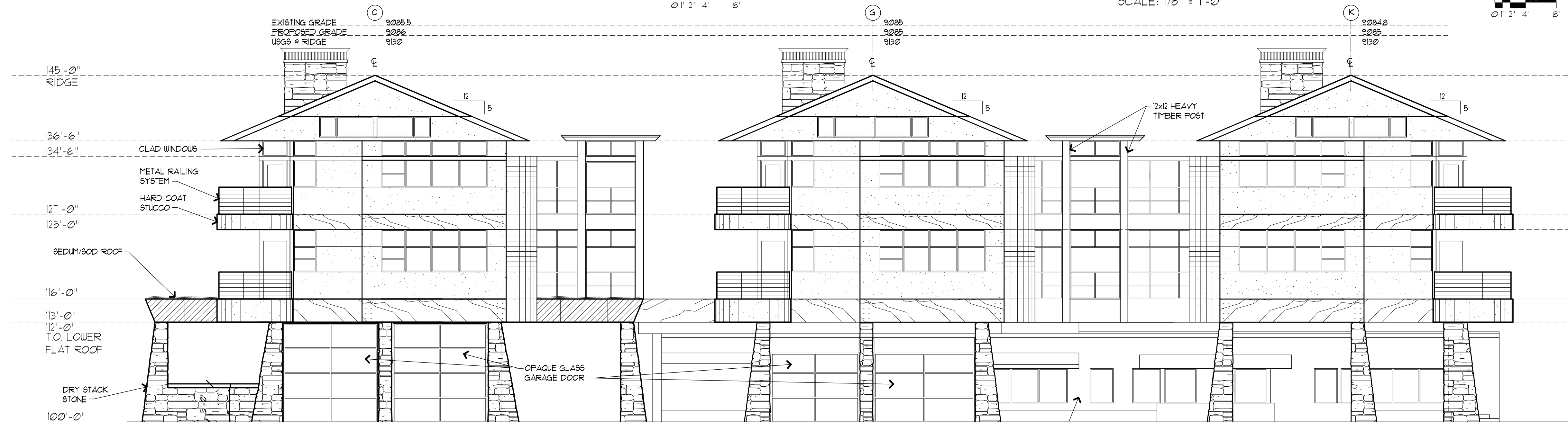
4 WEST ELEVATION

SCALE: 1/8" = 1'-0"



2 EAST ELEVATION

SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

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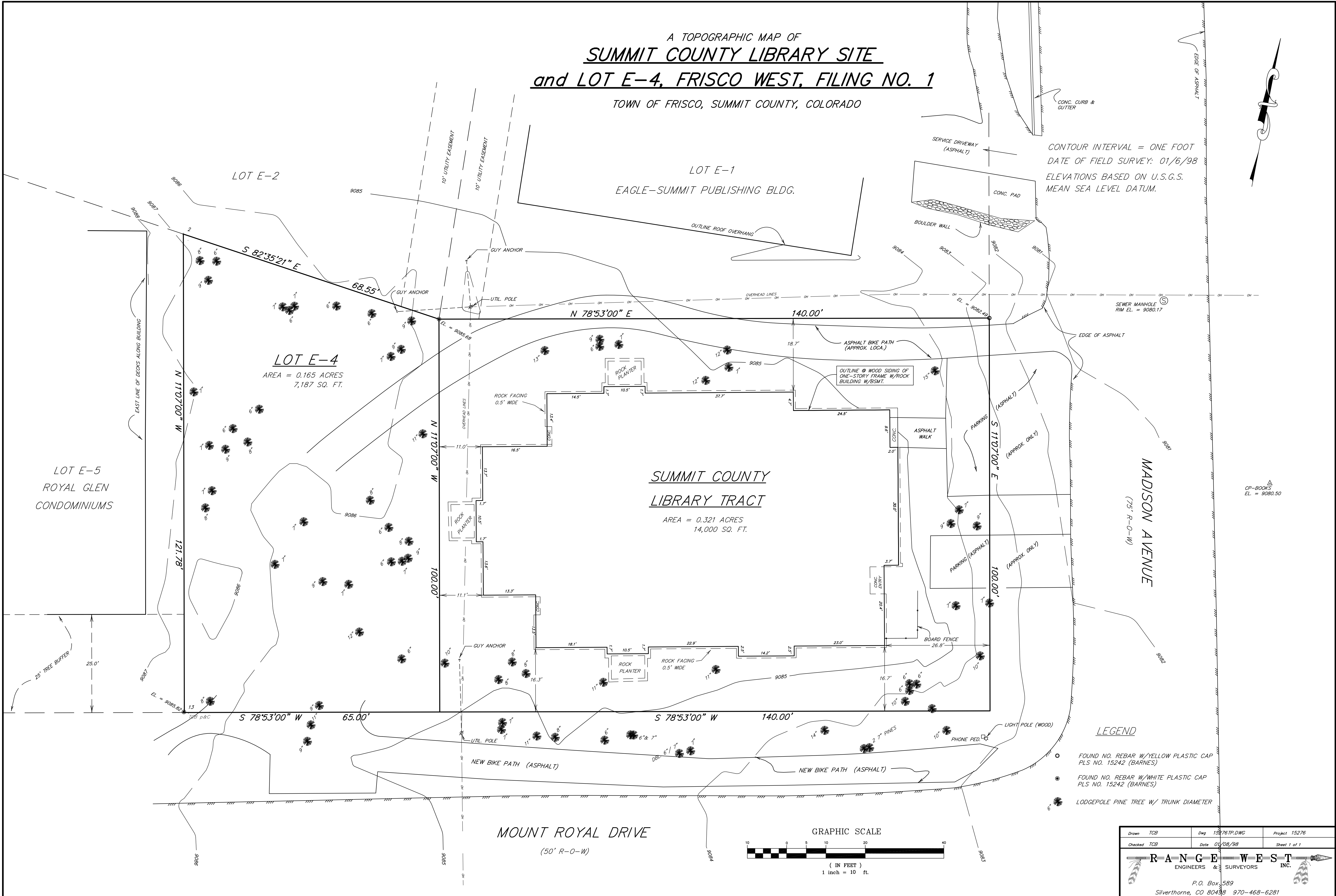
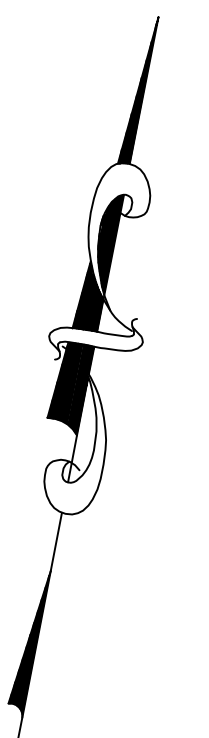
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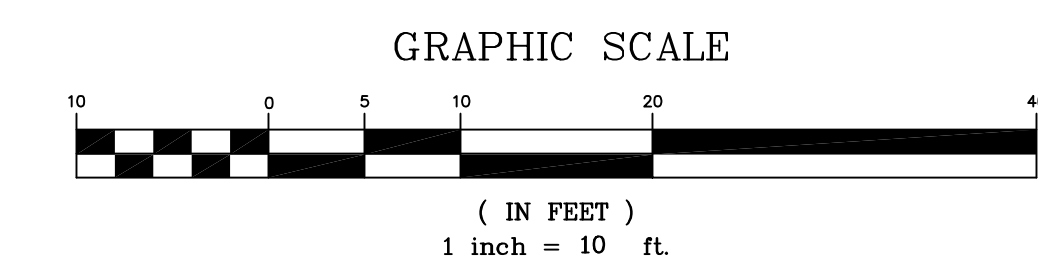
A TOPOGRAPHIC MAP OF
SUMMIT COUNTY LIBRARY SITE
and LOT E-4, FRISCO WEST, FILING NO. 1

TOWN OF FRISCO, SUMMIT COUNTY, COLORADO

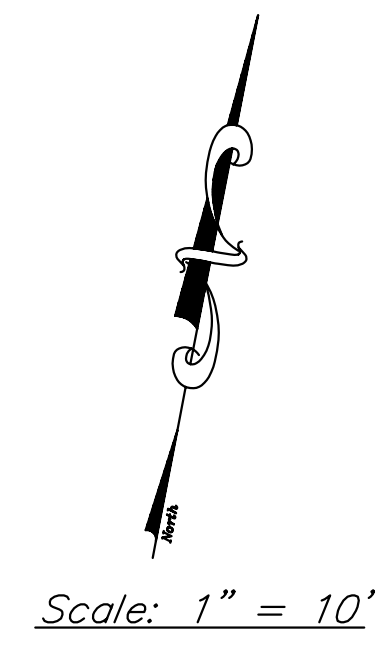
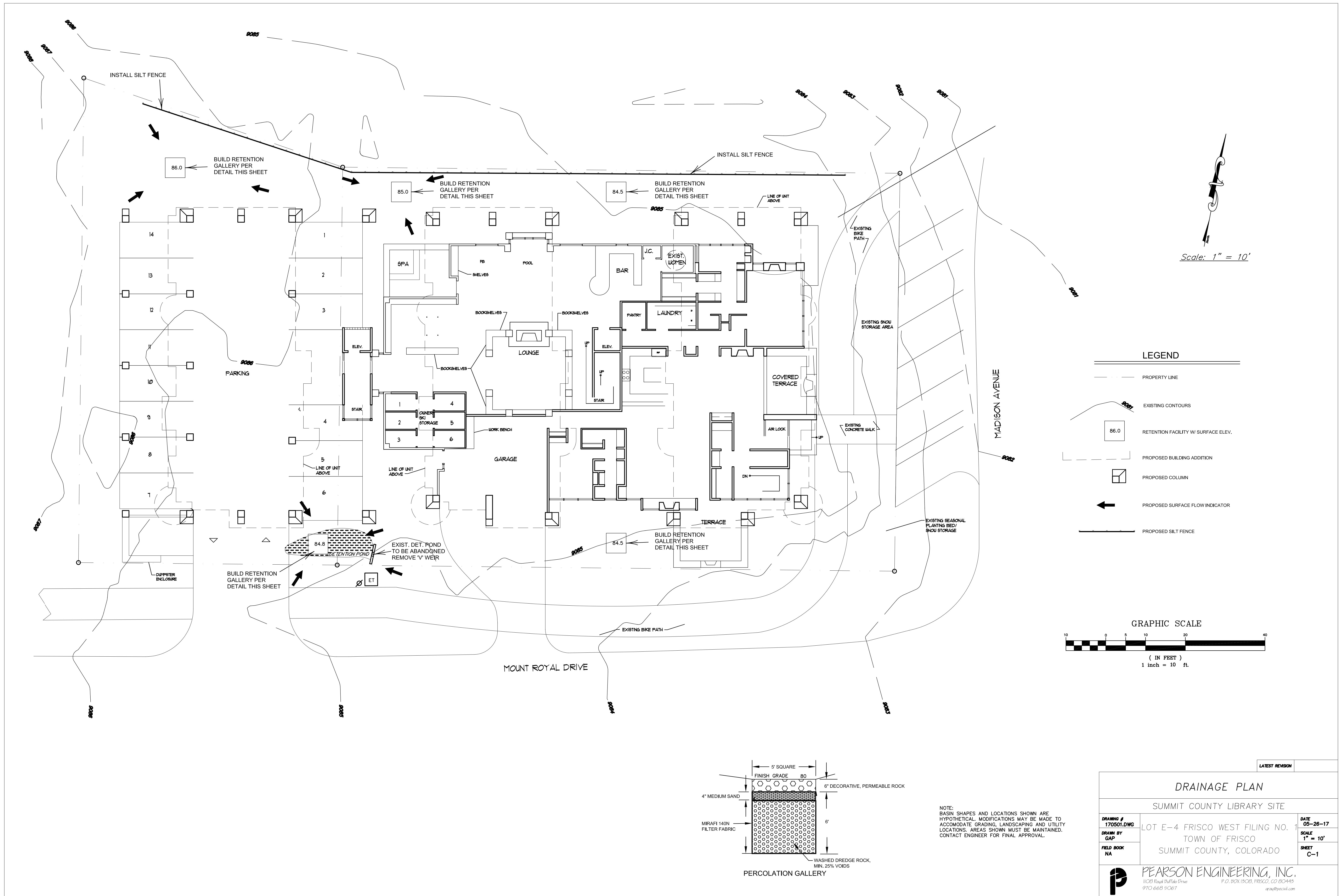
CONTOUR INTERVAL = ONE FOOT
 DATE OF FIELD SURVEY: 01/6/98
 ELEVATIONS BASED ON U.S.G.S.
 MEAN SEA LEVEL DATUM.



- LEGEND**
- FOUND NO. REBAR W/YELLOW PLASTIC CAP
PLS NO. 15242 (BARNES)
 - FOUND NO. REBAR W/WHITE PLASTIC CAP
PLS NO. 15242 (BARNES)
 - LODGEPOLE PINE TREE W/ TRUNK DIAMETER

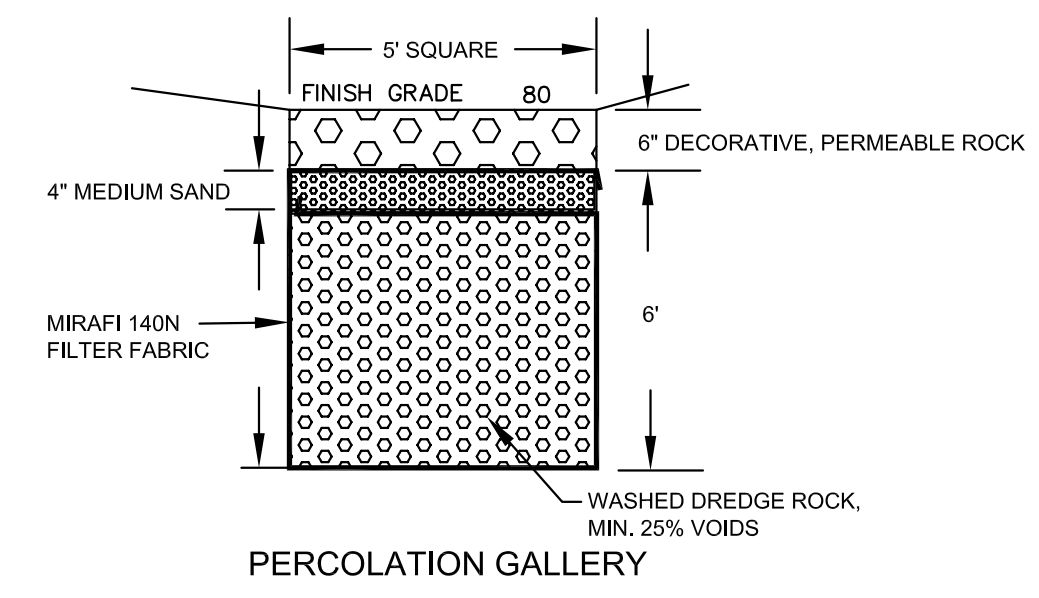
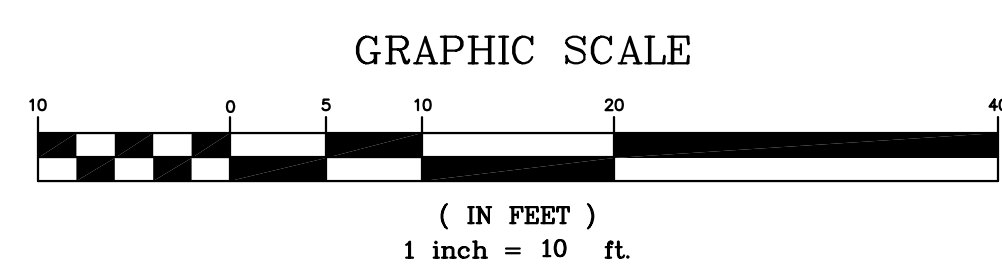


Drawn TCB	Dwg 15276TP.DWG	Project 15276
Checked TCB	Date 01/08/98	Sheet 1 of 1
R-A-N-G-E-W-E-S-T ENGINEERS & SURVEYORS INC.		
P.O. Box 589 Silverthorne, CO 80438 970-468-6281		



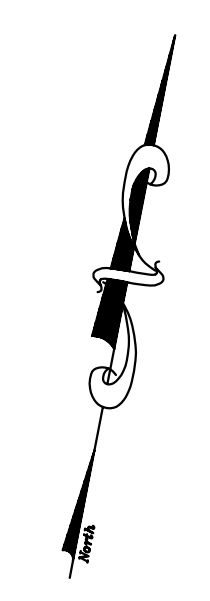
LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- RETENTION FACILITY W/ SURFACE ELEV.
- PROPOSED BUILDING ADDITION
- PROPOSED COLUMN
- PROPOSED SURFACE FLOW INDICATOR
- PROPOSED SILT FENCE

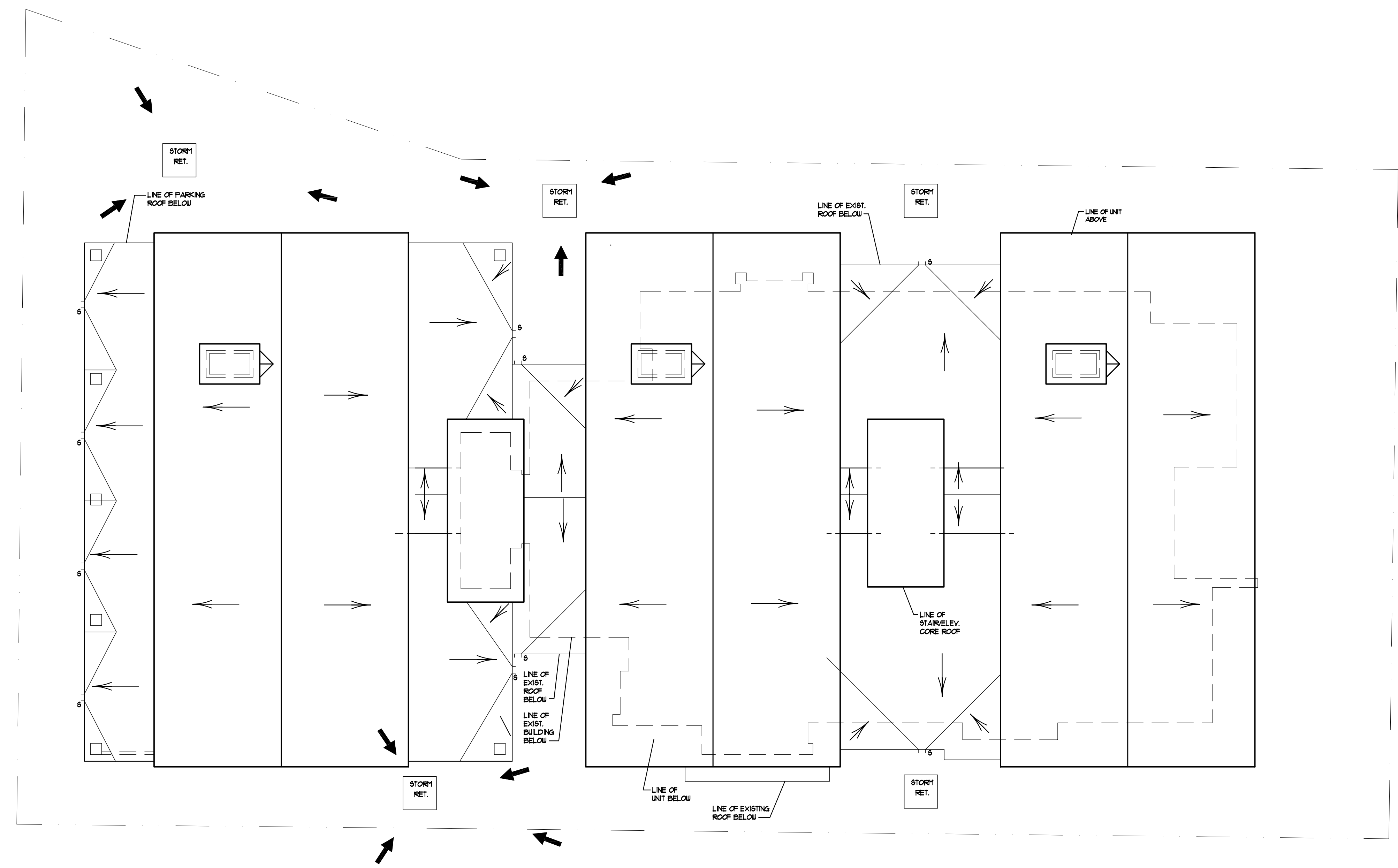


NOTE:
BASIN SHAPES AND LOCATIONS SHOWN ARE
HYPOTHETICAL. MODIFICATIONS MAY BE MADE TO
ACCOMMODATE GRADING, LANDSCAPING AND UTILITY
LOCATIONS. AREAS SHOWN MUST BE MAINTAINED.
CONTACT ENGINEER FOR FINAL APPROVAL.


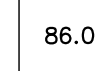


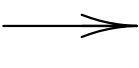
LATEST REVISION		
DRAINAGE PLAN		
SUMMIT COUNTY LIBRARY SITE		
DRAWING # 170501.DWG	LOT E-4 FRISCO WEST FILING NO. 1 TOWN OF FRISCO SUMMIT COUNTY, COLORADO	DATE 05-26-17
DRAWN BY GAP		SCALE 1" = 10'
FIELD BOOK NA		SHEET C-1
PEARSON ENGINEERING, INC. 1108 Road Buffalo Drive 970 668 5067		P.O. BOX 1508, FRISCO, CO 80445 era@pescivil.com

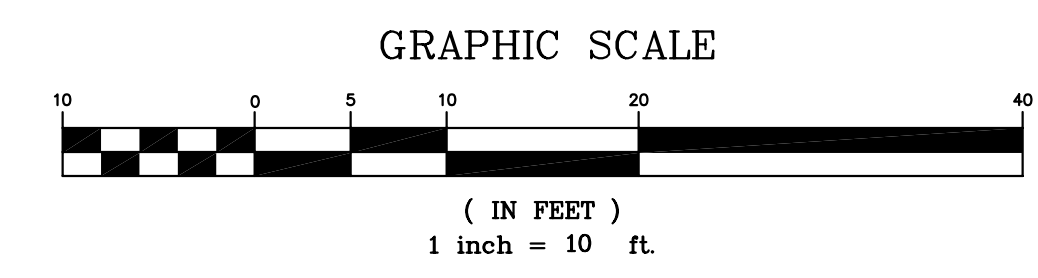


Scale: 1" = 10'



LEGEND

-  PROPERTY LINE
-  RETENTION FACILITY W/ SURFACE ELEV.
-  PROPOSED BUILDING ADDITION
-  PROPOSED GROUND SURFACE FLOW INDICATOR
-  PROPOSED ROOF SURFACE FLOW INDICATOR




LATEST REVISION

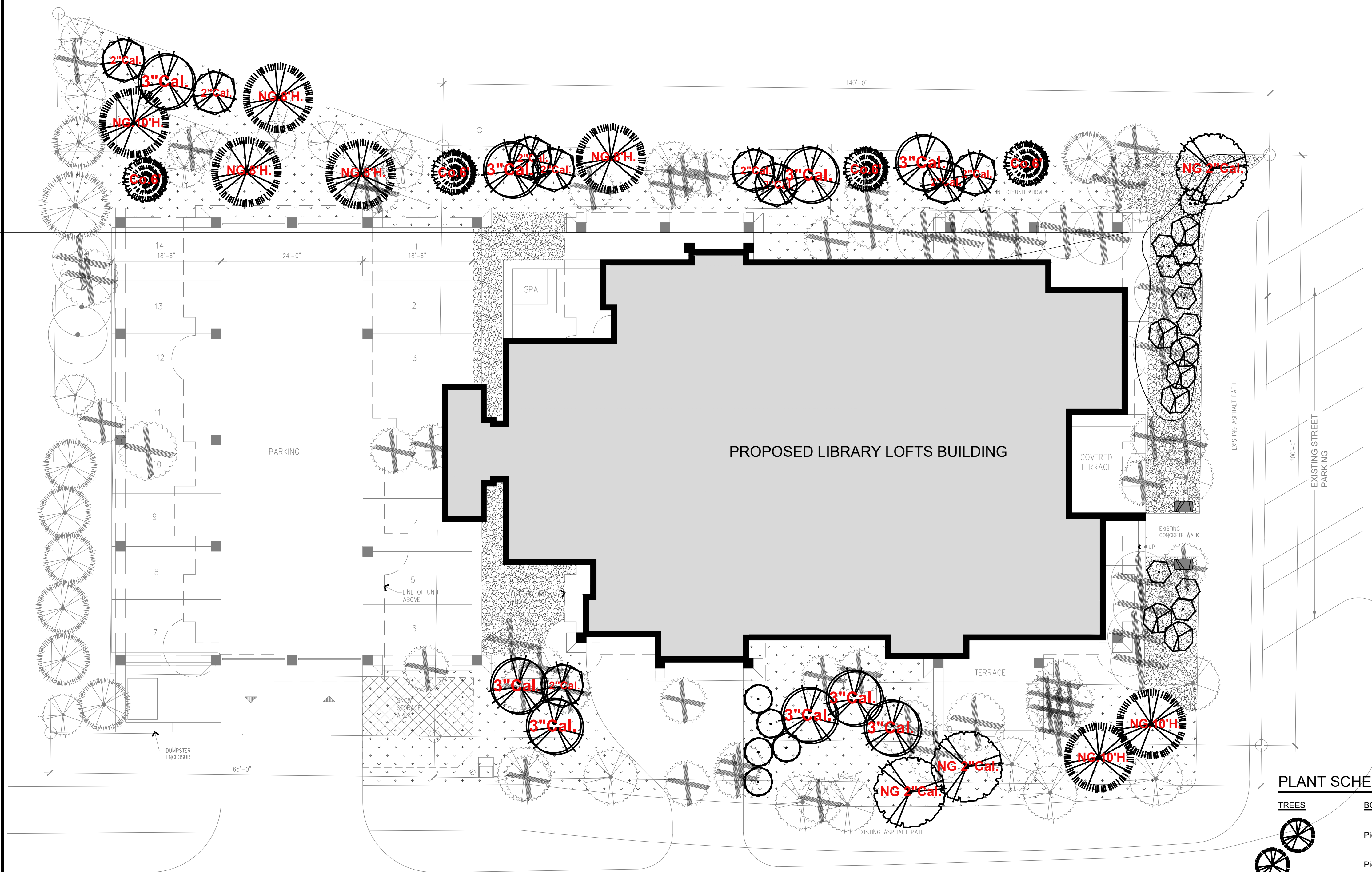
ROOF DRAINAGE PLAN

SUMMIT COUNTY LIBRARY SITE

DRAWING # 170501.DWG DRAWN BY GAP FIELD BOOK NA	LOT E-4 FRISCO WEST FILING NO. 1 TOWN OF FRISCO SUMMIT COUNTY, COLORADO	DATE 05-26-17 SCALE 1" = 10' SHEET C-2
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PEARSON ENGINEERING, INC.
1108 Road Buffalo Drive P.O. BOX 1508, FRISCO, CO 80445
 970.668.5067 pear@pscnll.com



Landscape Notes

- All areas of disturbance, not formally landscaped with other ground cover shall be revegetated with 3" topsoil and mulch or short dry grass seed, depending on location. All soil must be approved by Landscape Designer prior to installation.
- Tree and shrub wells to be back filled with 50% native soil and 50% organic amendment.
- Location of all trees shall be staked by Contractor and approved by the Landscape Designer prior to installation.
- Shredded wood mulch will be used as a ground cover treatment in designated areas with weed barrier fabric. All shrub and tree planting beds shall receive medium shredded wood mulch 3" deep over weed barrier fabric.
- All boulders over 1.5' in diameter uncovered during excavation will be stocked on site for use as landscape boulders as shown per plan. Final boulder placement to be approved by the Landscape Designer.
- Locate all plant material to avoid snow shed, snow removal locations, sight lines, utility lines, fire hydrants, and easements.
- Exact placement and shape of planting beds shall be reviewed by Landscape Designer prior to installation of irrigation drip tubing. Shrubs, in their pots, shall be placed for review by Landscape Designer.
- It is the contractor's responsibility to furnish plant material free of pests or disease. Pre-selected, "tagged" material must be inspected by the Landscape Designer prior to installation. The Contractor must certify that all plant material is free of pests and disease. The Contractor must warranty all plant materials for health and proper installation for a period of one year after installation per their contract.
- All new trees and shrubs shall be drip irrigated upon installation. A permanent irrigation system is required.
- The plant materials in the snow storage area have been selected by their hardiness, growth habit and ability to shed snow. Both shrub varieties shown in the snow storage area have these qualities either by limber branching structure or caning habit in growth. Plant materials shown can withstand heavy snow load and snow stacking.
- Landscaping installed in this project shall be maintained in perpetuity. If any new plant material in this plan dies within 1 year it must be replaced per this landscape plan.
- This proposed plan contains no sod or lawn areas.
- Existing vegetation including tree and shrubs shall receive a 4 foot high visibility fence located no closer to the plant than the drip line.
- This document, information and design is proprietary data and the exclusive property of Neils Lunceford, Inc. Reproduction or use of this document is prohibited without written consent.

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 Silverthorne, CO 80498
 Phone: (970) 468-0340
 Fax: 970-468-6865
 www.neilslunceford.com

Landscape Design - Build - Maintain - Garden Centers

Library Lofts
 90 Madison Avenue
 Frisco, Colorado 80443

CONCEPTUAL LANDSCAPE PLAN

PROJECT MANAGER:
G. Lee

PROJECT DESIGNER:
G. Lee

RELEASE DATES:
 05.30.2017
 07.14.2017

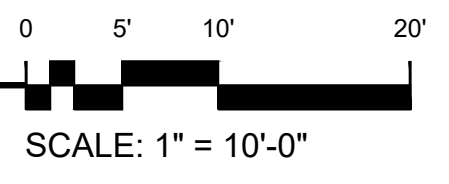
PROJECT MANAGER:
G. Lee

PROJECT DESIGNER:
G. Lee

RELEASE DATES:
 05.30.2017
 07.14.2017

L1
SHEET
 1 OF 2

Conceptual Landscape Plan



Layout Notes

- The extent of underground utilities is not known. Contractor is responsible for field verification of utilities prior to commencing work. Notify Landscape Designer of any conflicts.
- Base information is provided by Crowe Architects, PC. Contractor shall verify existing conditions prior to installation.
- If conflicts arise between the size of areas and plans the Contractor is to notify the Landscape Designer for resolution. Failure to make such conflicts known to the Landscape Designer will result in Contractor's liability to relocate the materials.
- Contractor shall be responsible for any coordination with Subcontractors or General Contractors as required to accomplish landscape installation.
- Finished grades shall provide for natural runoff of water without low spots or pockets. Set flow lines accurately and provide for grading per Civil Engineering plans. Notify Landscape Designer of any discrepancies before beginning work.
- Rough grade shall be reviewed and accepted by Civil Engineer prior to soil preparation and landscape installation.

ZONING CODE COMPLIANCE:

- 1 TREE FOR EVERY 875 SQFT (21,187 SQFT SITE) = 25 TREES ARE REQUIRED: 48 PROVIDED (INCLUDING 50% CREDIT FOR 16 OF THE 32 EXISTING TREES TO REMAIN)
- 1 SHRUB FOR EVERY 1,500 SQFT = 15 SHRUBS REQUIRED: 22 PROVIDED
- SPECIES DIVERSITY: NO VARIETY OF TREE EXCEEDS 33% OF TOTAL TREE COUNT
 LODGEPOLE PINES = 32.8% OF TREE COUNT
 ASPEN = 32.8% OF TREE COUNT
 COLORADO BLUE SPRUCE = 25% OF TREE COUNT
 BRISTLECOONE PINE = 6.3% OF TREE COUNT
 SHUBERT CHOKE CHERRY = 4.7%
- TREES SHOWN TO BE REMOVED ARE CONFLICTING WITH THE PROPOSED BUILDING, OVERGROWN, CHOKING AND POSE A FIRE DANGER OR DEAD/DYING.

REFERENCE NOTES SCHEDULE

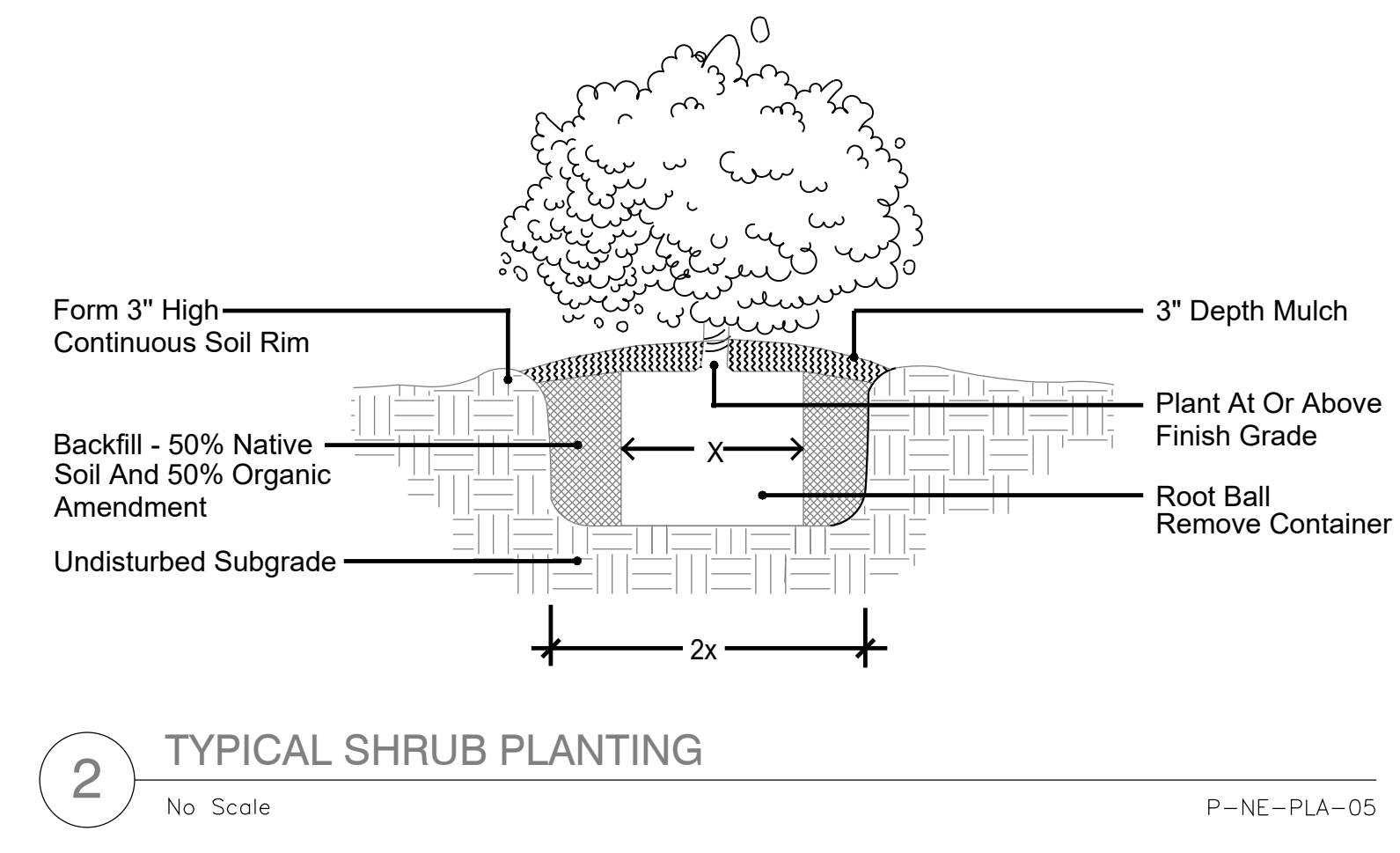
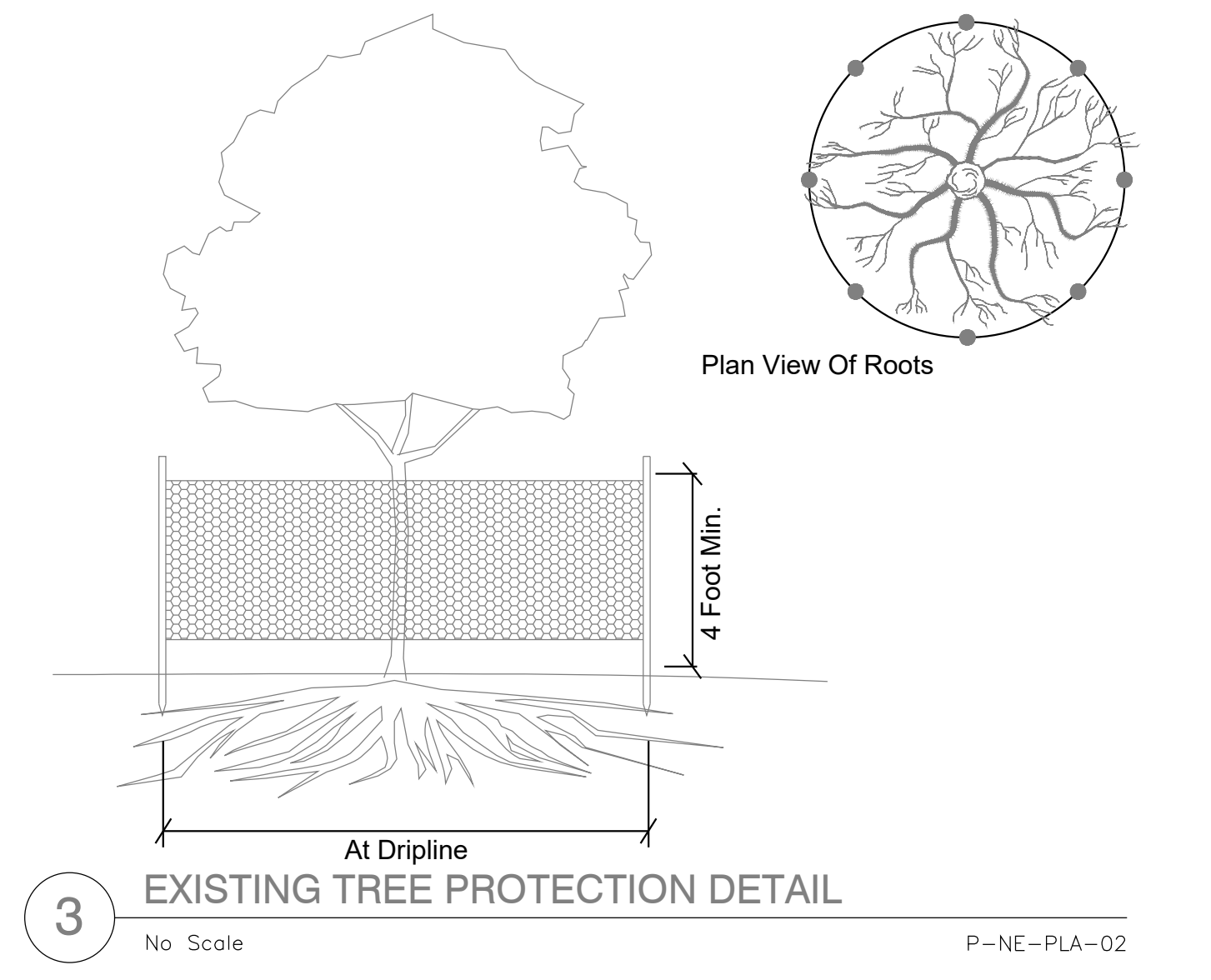
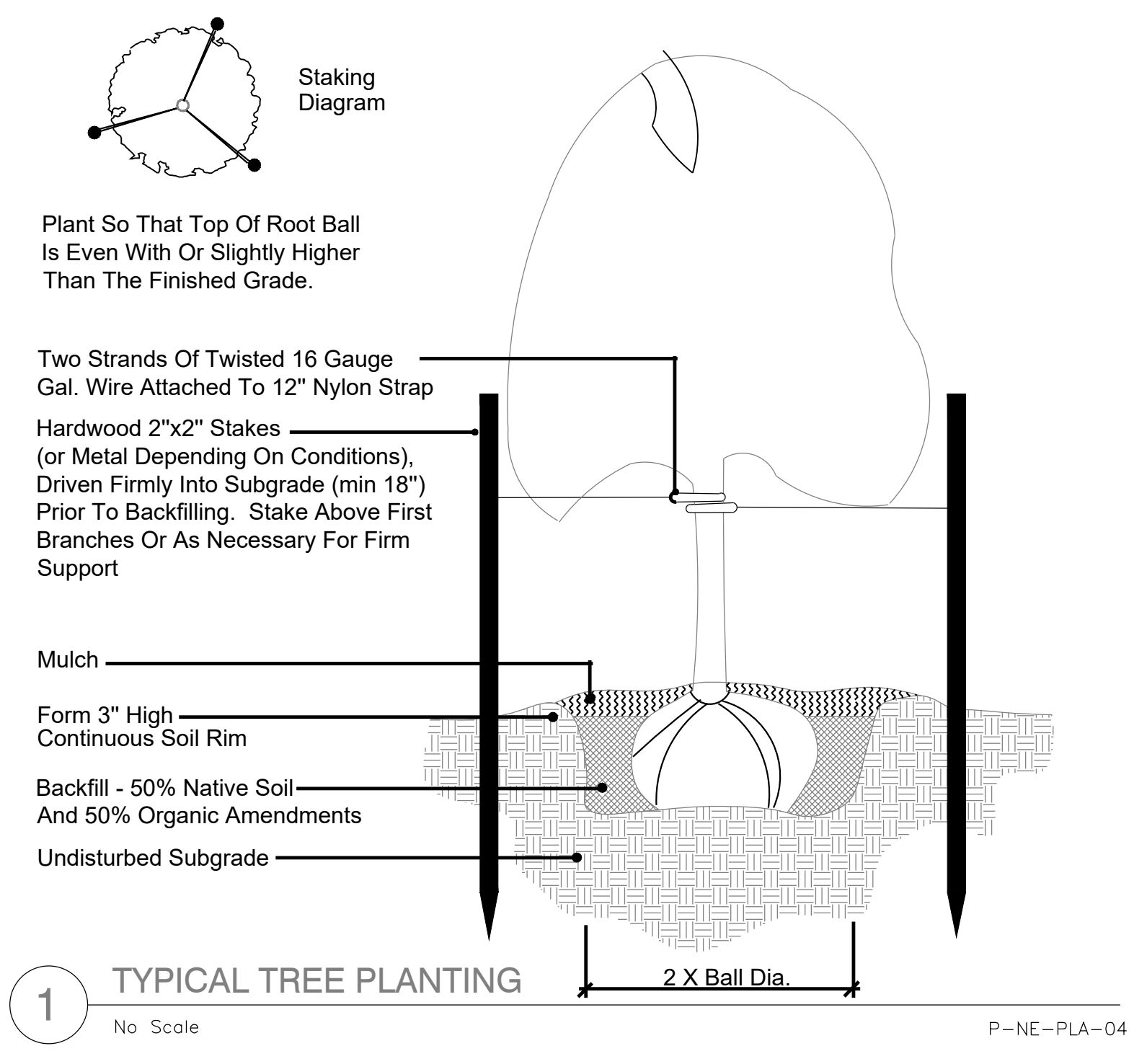
SYMBOL	DESCRIPTION	QTY	DETAIL
	Reuse Existing Granite Boulder	5	
	Large Size Siloam Stone	2	
	Native Grass Seed	5,484 sf	
	4"-6" Cobble Rock	24.61 cy	

Native Grass Seed Mix

- Revegetation all disturbed areas on site
- Short-Dry Grass Seed Mix:**
- Hard Fescue, VNS 30%
 - Creeping Red Fescue, VNS 30%
 - Sheep Fescue, Meklenberger 25%
 - Canada Bluegrass, Rubens 10%
 - Canby Bluegrass, Canbar 5%
- Sow @ 2 lbs/1000s.f.

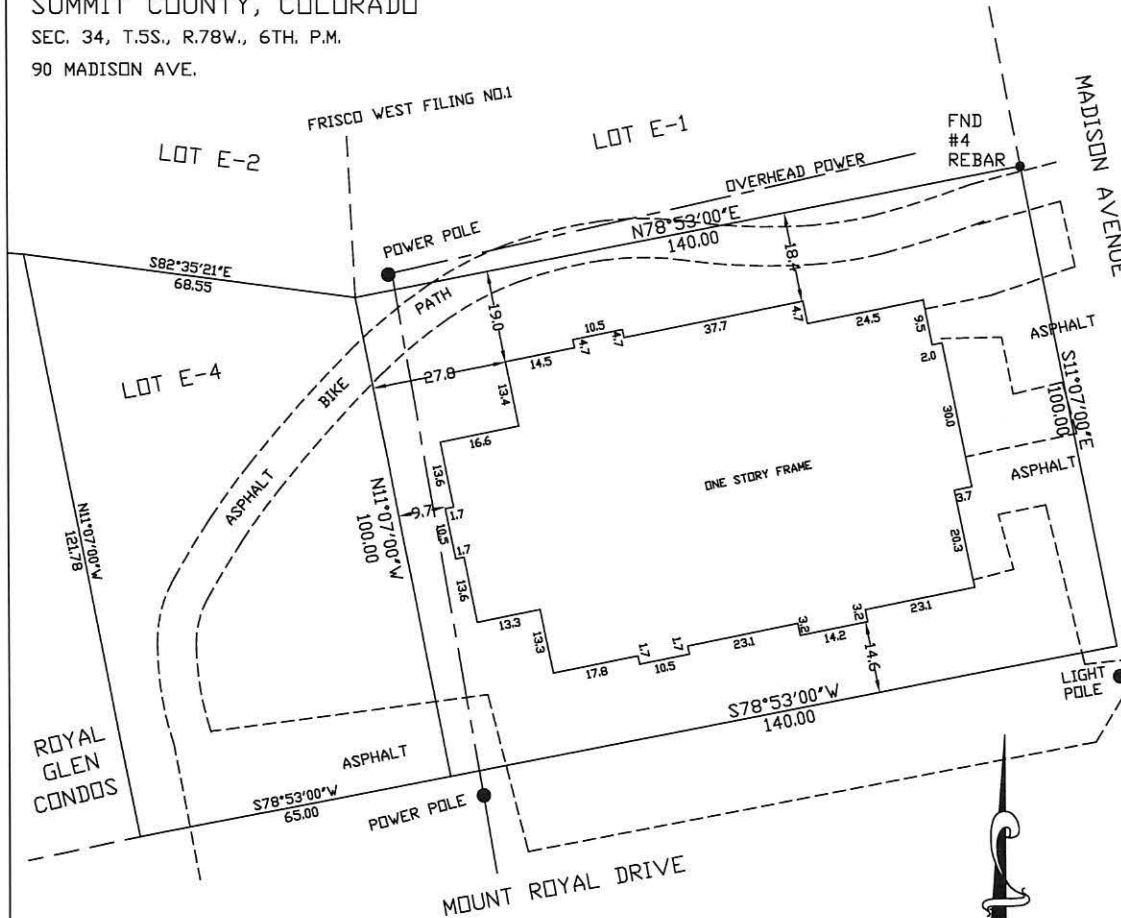
PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	Picea pungens 'Glauca' / Colorado Blue Spruce	Nursery Grown		10' Height	3
	Picea pungens 'Glauca' / Colorado Blue Spruce	Nursery Grown		8' Height	4
	Pinus longaeva / Bristlecone Pine	Collected		6' Height	4
	Populus tremuloides / Quaking Aspen	B & B	2"Cal		9
	Populus tremuloides / Quaking Aspen	B & B	3"Cal		9
	Prunus virginiana 'Shubert' / Shubert Choke Cherry	Nursery Grown	2"Cal		3
EXISTING	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	Existing Deciduous Tree	Existing			2
	Existing Lodgepole Pine	Existing			21
	Existing Spruce Tree	Existing			9
TREE REMOVAL	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	Existing Deciduous Tree	Existing to be Removed			14
	Existing Lodgepole Pine Tree	Existing to be Removed			38
	Existing Spruce Tree	Existing to be Removed			6
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
	Physocarpus monogynus / Mountain Ninebark	5 gal			5
	Pinus mugo 'Compacta' / Dwarf Mugo Pine	5 gal			1
	Sambucus racemosa / Red Elderberry	5 gal			7
	Sambucus racemosa 'Morden Golden Glow' / Morden Golden Glow Elderberry	5 gal			9



PROJECT MANAGER:
 G. Lee
 PROJECT DESIGNER:
 G. Lee
 RELEASE DATES:
 05.30.2017
 07.14.2017

IMPROVEMENT LOCATION CERTIFICATE
 SUMMIT COUNTY LIBRARY TRACT
 & LOT E-4 FRISCO WEST FILING NO. 1
 SUMMIT COUNTY, COLORADO
 SEC. 34, T.5S., R.78W., 6TH. P.M.
 90 MADISON AVE.



SCALE 1" = 30'

I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR SUMMIT COUNTY THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING OR OTHER FUTURE BUILDING OR OTHER FUTURE IMPROVEMENT LINES.

I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON THIS DATE, AUGUST 1, 1997, EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS INDICATED, THAT THERE ARE NO ENCROACHMENTS ON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING PREMISES, EXCEPT AS SHOWN AND THAT THERE IS NO APPARENT EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED.

DATE _____ BY _____

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

BACKLUND LAND SURVEYS



P.O. BOX 614
 FRISCO, CO. 80443
 PHONE (970) 668-3730

THIS PARCEL IS LOCATED IN FLOOD ZONE C,
 ACCORDING TO COMMUNITY PANEL NO. 080290 0118 C.

DRAINAGE REPORT
For
FRISCO LIBRARY SITE AND LOT E-4
90 MADISON AVENUE
TOWN OF FRISCO, COLORADO

May 25, 2017

Pearson Engineering, Inc. (PEI) has been retained to prepare an analysis and make recommendations for the storm water drainage facilities on the referenced site. PEI has analyzed the site based on an existing topographic plan and drainage design prepared previously by a consulting engineering and surveying firm and on-site observations by the undersigned.

The previous facilities include a surface detention basin with an outlet control weir and a subgrade retention facility composed of porous rock. These facilities are located in the westerly portion of the site adjacent to a paved parking lot. Due to improper site grading configuration and lack of maintenance these facilities are currently non-functional. Runoff water currently ponds away from the detention basin and weir and percolates into the ground or overflows into the adjacent street depending on the runoff volume. In the vicinity of the retention facility the water flows into a localized accumulation area adjacent to the existing building foundation.

It is presumed that the system as originally designed and as intended met the criteria of the Town of Frisco. Its implementation and presumed approval by the Town is beyond the scope of this analysis. It is noted that the building is occupied.

The recommendations of this report call for the abandonment of the two existing facilities and replacement with five facilities serving the same drainage areas as the previous plus intercepting two localized areas to the mid portion of the north and south landscaped areas receiving runoff from new roof areas.

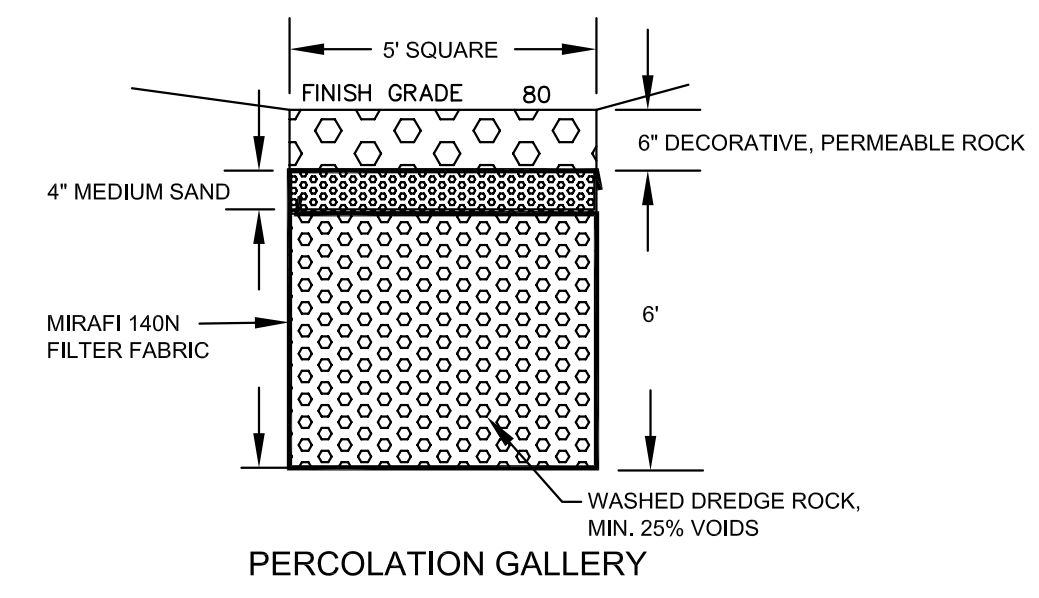
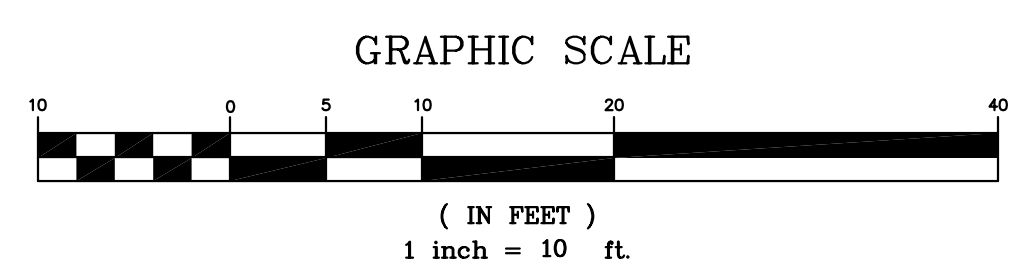
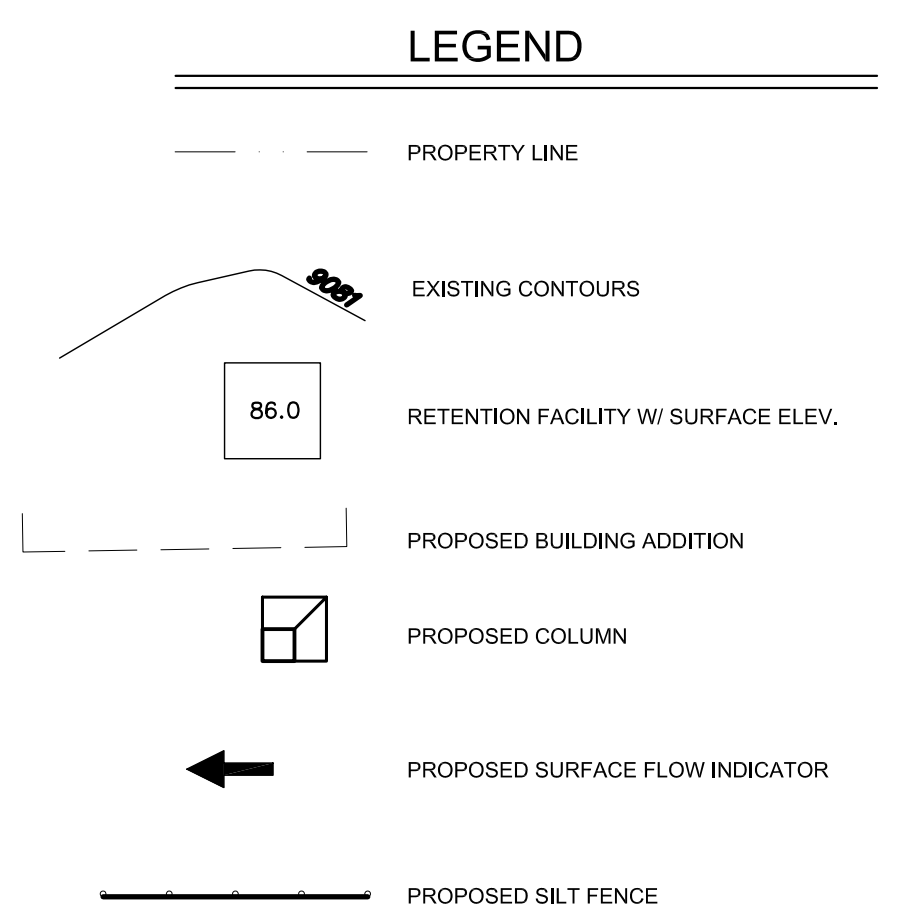
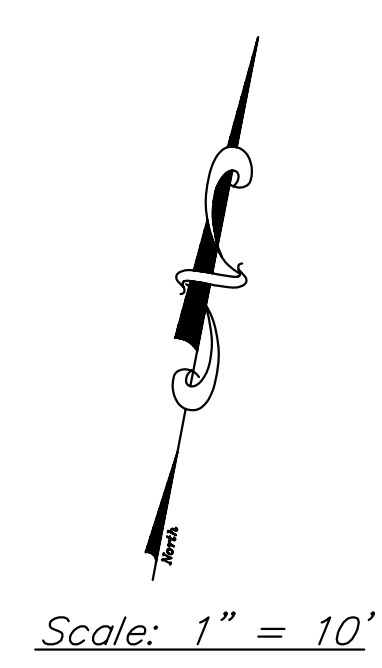
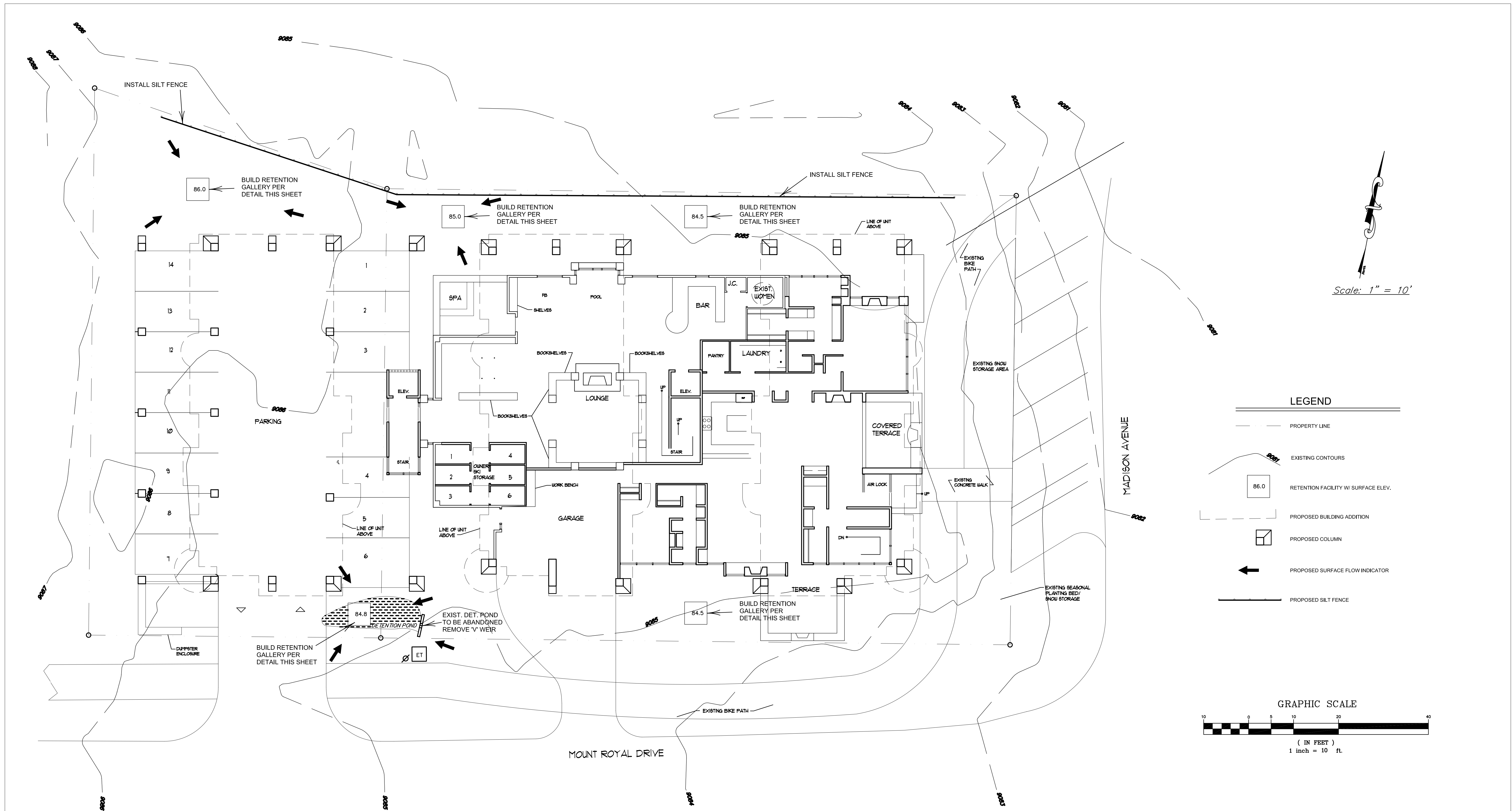
The facilities are proposed to be subsurface retention facilities of the dimensions shown and locations shown on the accompanying drainage plan prepared by the undersigned. Localized grading will be required to direct surface runoff into the facilities and away from the building foundation and adjacent street.

It is noted that the existing detention facility includes a 'V' notch weir which was intended to discharge at a measured, calculated rate into Mount Royal Drive per Town runoff criteria. The proposed replacement facility is, by its nature, a 'zero discharge' facility thus relieving non-approved impacts onto public property.

Sincerely

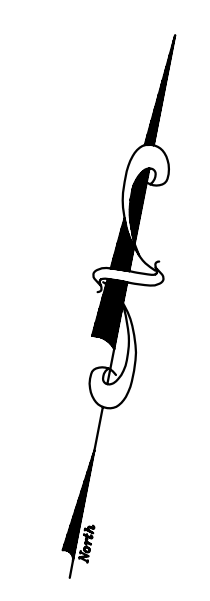
Gray Pearson, P.E.



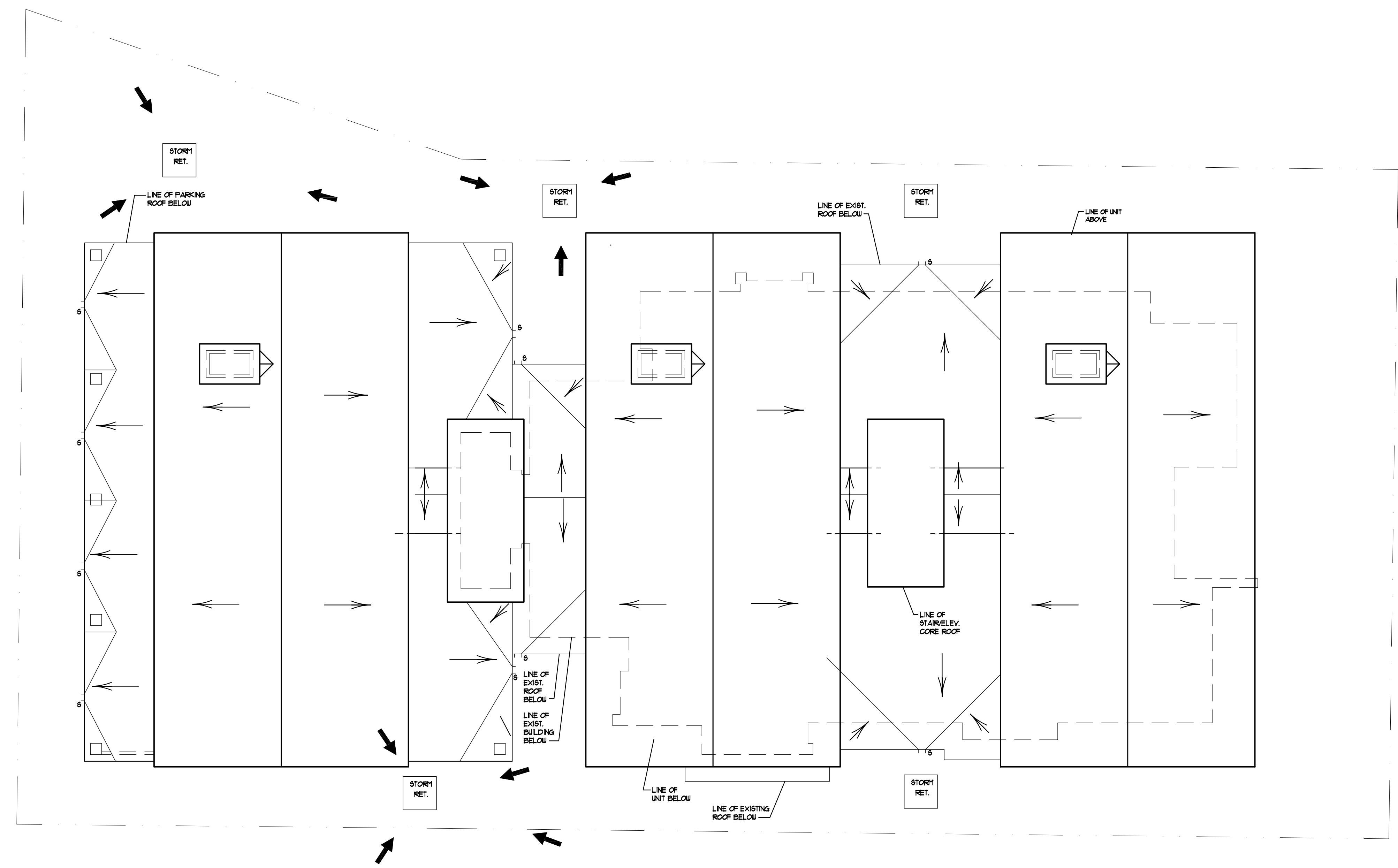



NOTE:
BASIN SHAPES AND LOCATIONS SHOWN ARE
HYPOTHETICAL. MODIFICATIONS MAY BE MADE TO
ACCOMMODATE GRADING, LANDSCAPING AND UTILITY
LOCATIONS. AREAS SHOWN MUST BE MAINTAINED.
CONTACT ENGINEER FOR FINAL APPROVAL.

LATEST REVISION		
DRAINAGE PLAN		
SUMMIT COUNTY LIBRARY SITE		
DRAWING # 170501.DWG	LOT E-4 FRISCO WEST FILING NO. 1 TOWN OF FRISCO SUMMIT COUNTY, COLORADO	DATE 05-26-17
DRAWN BY GAP		SCALE 1" = 10'
FIELD BOOK NA		SHEET C-1
PEARSON ENGINEERING, INC. <small>1108 Road Buffalo Drive P.O. BOX 1508, FRISCO, CO 80445 970.668.5067</small>		<small>PEARSON ENGINEERING, INC. P.O. BOX 1508, FRISCO, CO 80445 970.668.5067</small>

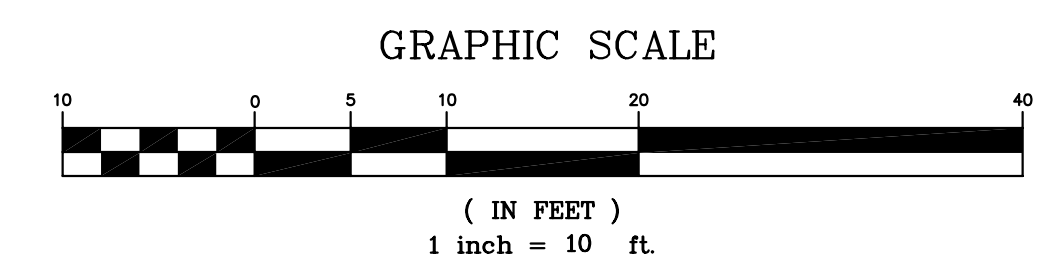


Scale: 1" = 10'



LEGEND

- PROPERTY LINE
- RETENTION FACILITY W/ SURFACE ELEV.
- PROPOSED BUILDING ADDITION
- PROPOSED GROUND SURFACE FLOW INDICATOR
- PROPOSED ROOF SURFACE FLOW INDICATOR



LATEST REVISION

ROOF DRAINAGE PLAN

SUMMIT COUNTY LIBRARY SITE

DRAWING # 170501.DWG	LOT E-4 FRISCO WEST FILING NO. 1 TOWN OF FRISCO SUMMIT COUNTY, COLORADO	DATE 05-26-17
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PEARSON ENGINEERING, INC.
 1108 Road Buffalo Drive P.O. BOX 1508, FRISCO, CO 80445
 970.668.5067 era@pescivil.com