

Date: 8/8/2018

To: Town of Frisco

Re: 305 S. 8<sup>th</sup> Ave. Major Site Plan Review

I recently purchased the subject property, which is a single family house with a detached 3 car garage and apartment above. The first phase of improving this property as approved in the Minor Site Plan review in June 2018 is to remodel and expand the existing cabin and garage apartment.

The second phase as described in this Major Site Plan Review application is the proposal to add a third unit on the property by building a detached single family home at the north end of the property.

This proposed project meets the principles of the Frisco Master plan and Frisco UDC. This project is consistent with the Community Direction Chapter meeting the principles of the Art Culture, Built Environment and Housing sections as well as all zoning codes requirements.

The proposed project also plans to incorporate as many sustainable and energy efficient methods as possible, including Geothermal Heating & Solar PV panels. The Solar PV array will meet the requirements of the UDC Chapter 180-5.3.3 and will be located on the roof of the southern half of the upper roof and will not exceed 18" in height from the roof.

Parking Requirements: As shown on the updated plans, we will have a total of 3 bedrooms for the remodeled cabin plus the remodeled 1 bedroom apartment above the garage. These will have 3 garage parking spots plus one surface parking spot. The new single family modular house will have 4 bedrooms with 2 garage parking spots and 2 surface tandem parking spots. The proposed tandem spots meet the first three required criteria of the Frisco UDC Chapter 180-6.13.4 as stated here.

- i. That some of the spaces could be used as potential visitor parking space;
- ii. That, given the layout and design of the building, adequate storage space is provided for the residents so that it is not anticipated the parking space(s) will be needed predominately for storage;
- iii. That the architecture of the building façade which faces or accesses the parking spaces avoids a canyon effect, such that movement is provided in the building design

The project also meets the criteria stated in the Frisco UDC for Building Elements façade on each side of the house. Specifically the north & west facades meet the following requirements:

*c. Building elements that provide shelter from natural elements;* The façade has a covered porch and overhang at the 2<sup>nd</sup> level.

*d. Offsets, insets, bays, or other similar architectural features to add a variety of depths to the wall plane;* All facades show a variety of depths with the upper level roof dormers as well as the ridgeline eave is carried down on both the east & west facades providing architectural feature.

*e. A change in texture or material, provided all exterior wall textures and materials are consistent with the overall architectural style of the building;* The 2<sup>nd</sup> level has been updated to show a board & batten material where the 1<sup>st</sup> level is lap siding in a different color as shown in the Exterior Material Schedule

*f. Variation in roof planes or roof forms, including dormers or gables; or .* The 2<sup>nd</sup> level has a dormer showing across all facades

*g. Variation in window sizes and shapes.* We have incorporated various window & door sizes on all facades.

I plan to keep these properties for my family and upon completion become full time residents of Frisco raising our children here. Please let me know if there any questions or more information is needed.

Thank you,


Shane Wagner

A handwritten signature in blue ink, appearing to read "Shane Wagner", is located below the typed name.

# WAGNER RESIDENCE

## EXTERIOR MATERIALS SCHEDULE (MODULAR

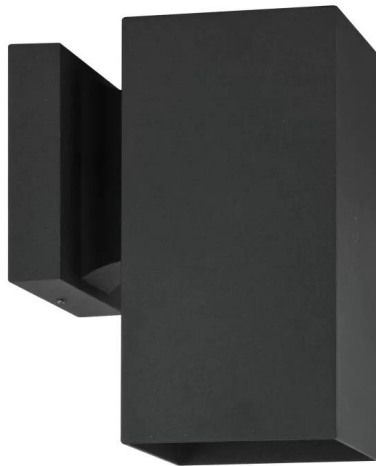
HOME) DATE: 31 JULY 2018

ITEM	COLOR	DESCRIPTION
ROOF PRIMARY		STANDING SEEM METAL ROOF DREXEL COLOR CHARCOAL GRAY MATTE
FASCIA/SOFFIT		LP CEDAR MILL SMART TRIM & PANEL PAINTED SW 7068 URBANE BRONZE
BOARD & BATTEN SIDING		LP CEDAR MILL SMART PANEL PAINTED SW 7039 VIRTUAL TAUPE
LAP SIDING		LP CEDAR MILL SMART LAP SIDING SABLE
DOORS/WINDOWS		GERKIN VINYL SANDSTONE
DOOR/WINDOW TRIM		LP CEDAR MILL SMART TRIM PAINTED SW 7039 URBANE BRONZE
DECKS		EVERGRAIN WEATHERED WOOD
EXPOSED POSTS/BEAMS		SUPERDECK 2320 BLACKWOOD

# WAGNER RESIDENCE

EXTERIOR MATERIALS SCHEDULE  
(MODULAR HOME) DATE: 31 JULY 2018

ITEM	COLOR	DESCRIPTION
STEEL RAILINGS/POSTS		CHARCOAL GRAY MATTE FINISH
FOUNDATION CONCRETE WALLS		GALLEGOS COLORADO SANDSTONE #339G ASPEN BARK BLEND



EXTERIOR SCONCE  
MANUFACTURER: SUNSET LIGHTING  
MODEL # F6891-31  
DIMENSIONS: 8" HEIGHT: 4 3/8" WIDTH: 6 1/8" DEPTH  
FINISH: BLACK ALUMINUM  
MAX WATTAGE: 75 WATTS

**TO:** Town of Frisco Engineering (Bill Linfield)  
**FROM:** Matt Wadey, P.E., Alpine Engineering Inc.  
**DATE:** August 24, 2018

**SUBJECT:** 307 8<sup>th</sup> Avenue Development  
**Existing and proposed retaining walls**

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**PROJECT DESCRIPTION:**

The project is a renovation of an existing cabin (3 bedroom + studio) and the construction of a proposed residence (4 bedrooms).

The existing rock wall adjacent to the existing parking has been reviewed and will remain intact. The existing parking area to the east of the rock wall will be paved with asphalt. The function of the rock wall will remain unchanged and is functioning adequately in retaining adjacent earth.

The proposed retaining walls will consist of angular boulders. The walls will be only 18" tall and a detail for construction has been provided. The boulders will have geosynthetic fabric on the backside to prevent migration of fine soils.



**Matt Wadey, P.E.**  
Principal  
Alpine Engineering Inc.  
(970) 926-3373  
email: [wadey@alpinecivil.com](mailto:wadey@alpinecivil.com)  
web: [www.alpineciv.com](http://www.alpineciv.com)

# WAGNER NEW RESIDENCE

LOT 10, 11, 12 . BLOCK 29 . FRISCO TOWN SUBDIVISION  
**305** SOUTH 8TH AVENUE  
 FRISCO . COLORADO



NOTE: RENDERING FOR PRESENTATION PURPOSES ONLY

## PLANNING

13 JULY 2018

WAGNER - NEW RESIDENCE

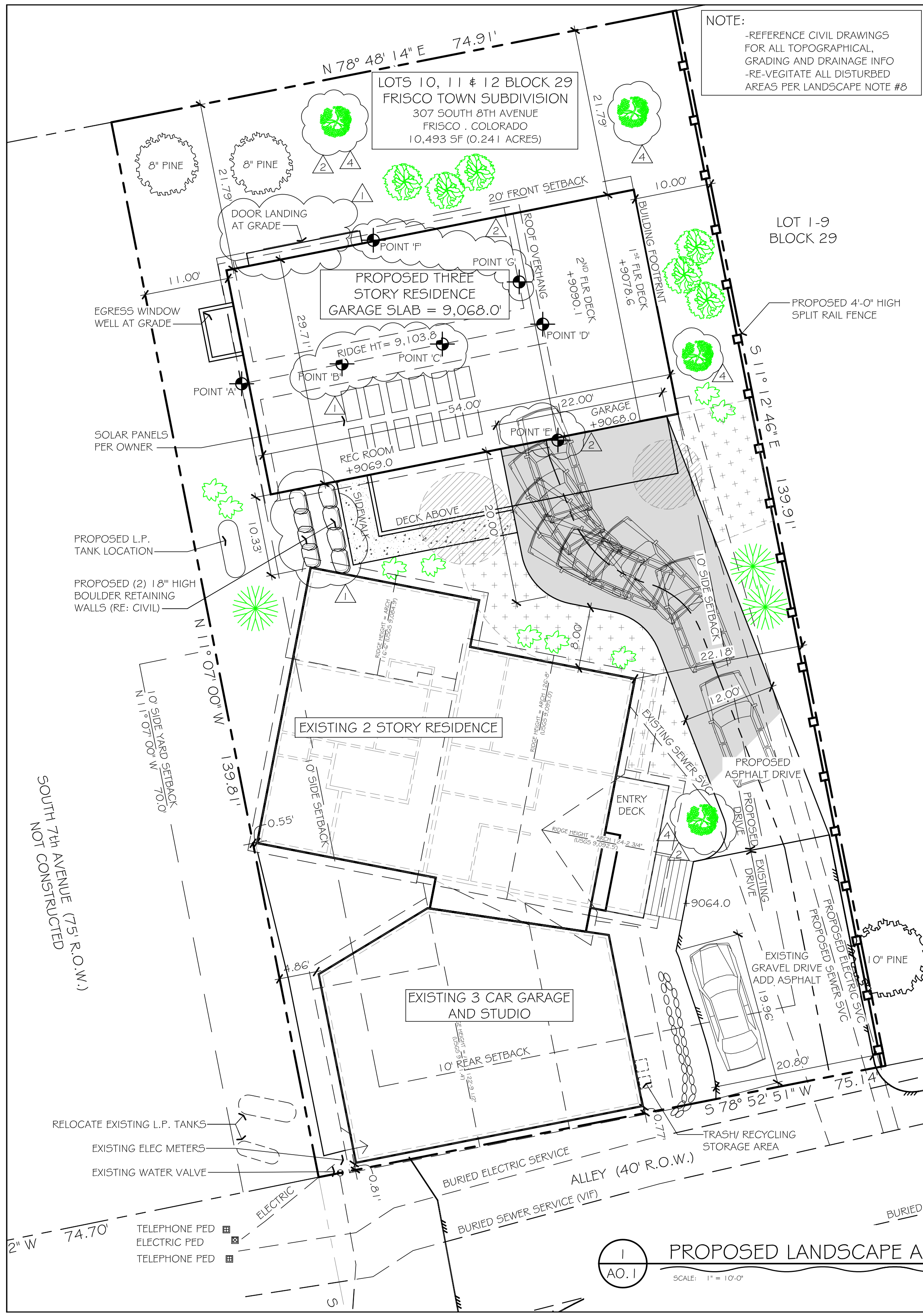
LOT 10, 11, 12 . BLOCK 29 . FRISCO TOWN SUBDIVISION  
 307 SOUTH 8TH AVENUE . FRISCO . COLORADO

TITLE  
 COVER SHEET

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ISSUE	DATE
PLAN FULL APP	13 JULY 2018

G



### RIDGE HEIGHT CALCULATIONS

POINT	NAT GRADE ELEVATION	FIN GRADE ELEVATION	MEASURED FROM	ROOF ELEVATION	CALCULATION	HEIGHT
A	9,079.4'	9,079.4'	NAT GRADE	9,103.8'	9,103.8'-9,079.4'	24.4'
B	9,077.0'	N/A	NAT GRADE	9,103.8'	9,103.8'-9,077.0'	26.8'
C	9,074.0'	N/A	NAT GRADE	9,103.8'	9,103.8'-9,074.0'	29.8'
D	9,071.9'	N/A	NAT GRADE	9,103.8'	9,103.8'-9,071.9'	31.9'
E	9,070.8'	9,068.1'	FIN GRADE	9,098.5'	9,098.5'-9,068.1'	30.4'
F	9,076.9	9,078.0'	NAT GRADE	9,098.5'	9,098.5'-9,076.9'	21.6'
G	9,072.4	N/A	NAT GRADE	9,101.75'	9,101.75'-9,072.4'	29.35'

### SITE LEGEND

- PROPOSED SIDEWALK
- PROPOSED SNOWSTACK AREA
- PROPOSED ASPHALT DRIVEWAY

### SITE CALCULATIONS

SITE AREA:	10,493 SF (0.241 ACRES)
FOOTPRINT W/ DECKS & PATIOS:	5,396 SF
PAVED DRIVE LESS 12' EXCEPTION 1,442-980=	462 SF
SNOWSTACK AREA:	477 SF (33% OF PAVED AREA)
LOT COVERAGE:	5,858 SF (55% OF SITE)

### LANDSCAPE NOTES

- EROSION CONTROL METHODS: CONTROL ALL RUNOFF WITHIN SITE PER SUBDIVISION STANDARDS AND TOWN REQUIREMENTS BY UTILIZING, SINGLY OR IN COMBINATION, NON-EROSIVE DRAINAGE MATS, SILT FENCING, DIVERSION SWALES, AND DIKES AS NECESSARY TO TRAP, INTERCEPT, AND DIVERT RUNOFF WITHIN BUILDING ENVELOPE.
- NATIVE LANDSCAPING AREA IN CONTACT WITH BUILDING ENVELOPE WILL BE PROTECTED FROM ROOF RUNOFF AS SHOWN IN WALL SECTION. RIVER ROCK RIPRAP IS TO EXTEND 8" BEYOND DRIP LINE.
- EXISTING VEGETATION SHALL BE PROTECTED AS MUCH AS POSSIBLE TO PROMOTE XERISCAPING - PER TOWN OF FRISCO CODE SECTION 180-6.14.5.H
- REMOVE ALL EXISTING BEETLE KILL AND DISEASED TREES, PER TOWN CODE REQMNTS.
- TREE REMOVAL TO BE COORDINATED BETWEEN OWNER, GENERAL CONTRACTOR, HOA, AND TOWN PLANNING STAFF, PRIOR TO REMOVAL.
- ALL AREAS WITHIN BUILDING ENVELOPE RE-VEGETATED WITH EROSION BLANKETING AND 100% NATIVE HIGH COUNTRY GRASS SEED MIXTURE CONSISTING OF:
  - 30% SLENDER WHEATGRASS
  - 10% BIG BLUEGRASS
  - 10% SHEEP FESCUE
  - 5% BLUE WILDRYE
  - 15% CANBY BLUEGRASS
  - 10% IDAHO FESCUE
  - 10% WESTERN WHEATGRASS
  - 5% TUFTED HAIRGRASS
 ALONG WITH A MIXTURE OF PERENNIALS & GROUND COVER. A DRIP IRRIGATION SYSTEM SHALL BE INSTALLED TO ALL NEW TREES AND SHRUBS.

### PLANT LEGEND

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	9	RIBES ALPINUM & ROSA WOODSII	ALPINE CURRANT & WOODS ROSE	5 GAL
	4	PRUNUS VIRGINIANA	SHUBERT CHOKECHERRY	3" CAL MIN
	4	POPULUS TREMULOIDES	QUAKING ASPEN	50% 2" 50% 3" CAL MIN
	4	PICEA PUNGENS	COLORADO SPRUCE	8' MIN
		EXISTING PINE TO REMAIN - SURROUND WITH PROTECTIVE FENCE TO KEEP FROM DAMAGE DURING CONSTRUCTION		
		EXISTING TREE TO BE REMOVED		

**WAGNER - NEW RESIDENCE**  
 LOT 10, 11, 12 . BLOCK 29 . FRISCO TOWN SUBDIVISION  
 305 SOUTH 8TH AVENUE . FRISCO . COLORADO

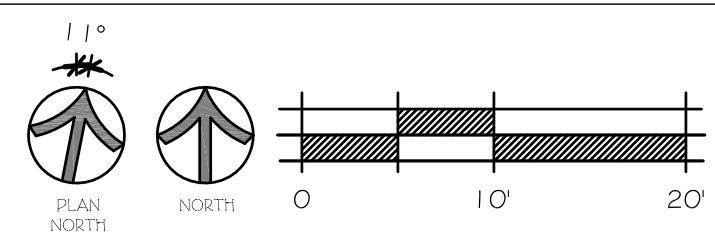
**PROPOSED LANDSCAPE & SITE PLAN**

TITLE: COPYRIGHT AS AN UNPUBLISHED WORK. REUSE OR REPRODUCTION PROHIBITED WITHOUT WRITTEN CONSENT OF ARCHITECT

ISSUE:	DATE:
PRELIMINARY	31 JAN 2018
PRELIMINARY	21 FEB 2018
PLANNING	27 MAR 2018
PLANNING REV	30 MAY 2018
PLAN REV 2	22 JUNE 2018
PLAN FULL APP	13 JULY 2018
REVISION 1	8 AUG 2018
REVISION 2	21 AUG 2018
REVISION 3	24 AUG 2018
REVISION 4	28 AUG 2018

AO.1

**PROPOSED LANDSCAPE AND SITE PLAN**  
 SCALE: 1" = 10'-0"





1  
AO2  
NTS

SOUTHEAST PERSPECTIVE



2  
AO2  
NTS

NORTHEAST PERSPECTIVE

NOTE: RENDERINGS FOR PRESENTATION PURPOSES ONLY

WAGNER - NEW RESIDENCE

LOT 10, 11, 12 . BLOCK 29 . FRISCO TOWN SUBDIVISION  
307 SOUTH 8TH AVENUE . FRISCO . COLORADO

TITLE SITE PERSPECTIVE VIEWS

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ISSUE	DATE
PLAN FULL APP	13 JULY 2018

AO.2





1 NORTHWEST PERSPECTIVE  
 AO.3 NTS



2 SOUTHWEST PERSPECTIVE  
 AO.3 NTS

NOTE: RENDERINGS FOR PRESENTATION PURPOSES ONLY

WAGNER - NEW RESIDENCE

LOT 10, 11, 12 . BLOCK 29 . FRISCO TOWN SUBDIVISION  
 307 SOUTH 8TH AVENUE . FRISCO . COLORADO

TITLE SITE PERSPECTIVE VIEWS

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AO.3



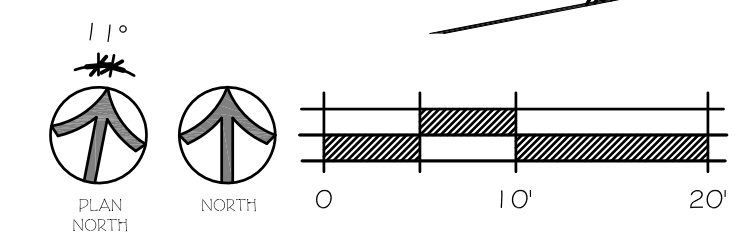
## SLOPE ANALYSIS NOTES

- RE-VEGETATE ALL DISTURBED AREAS PER LANDSCAPE NOTE #8 ON LANDSCAPE PLAN AO.1
- CONSTRUCTION DISTURBANCE WILL BE MINIMAL DUE TO PRE-FAB MODULAR BUILDING
- REFERENCE LANDSCAPE AND SITE PLAN AO.1 FOR PROPOSED PLANTING
- REFERENCE CIVIL DRAWINGS FOR ALL TOPOGRAPHICAL, GRADING AND DRAINAGE INFO

## LEGEND & CALCULATIONS

	SITE SLOPE OF 15%-29.9% - STEEP SLOPES (RE: SLOPE ANALYSIS, SHEET C2.0)	5,451 SQ FT
	STRUCTURES, DRIVEWAY AND SIDEWALKS ON STEEP SLOPES	2,577 SQ FT
	CONSTRUCTION SITE DISTURBANCE ON STEEP SLOPES WITHIN 1'-0" OF STRUCTURE (MODULAR CONST.)	179 SQ FT
	PERCENTAGE OF SITE DISTURBANCE FROM STRUCTURES, DRIVEWAY AND SIDEWALKS ON STEEP SLOPES	47%
	PERCENTAGE OF CONSTRUCTION SITE DISTURBANCE ON STEEP SLOPES	3%
	PERCENTAGE OF TOTAL SITE DISTURBANCE ON STEEP SLOPES	50%

1  
C2.1 SLOPE ANALYSIS PLAN  
SCALE: 1" = 10'-0"



WAGNER - NEW RESIDENCE  
LOT 10, 11, 12 . BLOCK 29 . FRISCO TOWN SUBDIVISION  
305 SOUTH 8TH AVENUE . FRISCO . COLORADO

TITLE: SLOPE ANALYSIS PLAN

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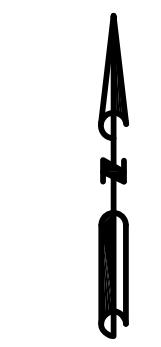
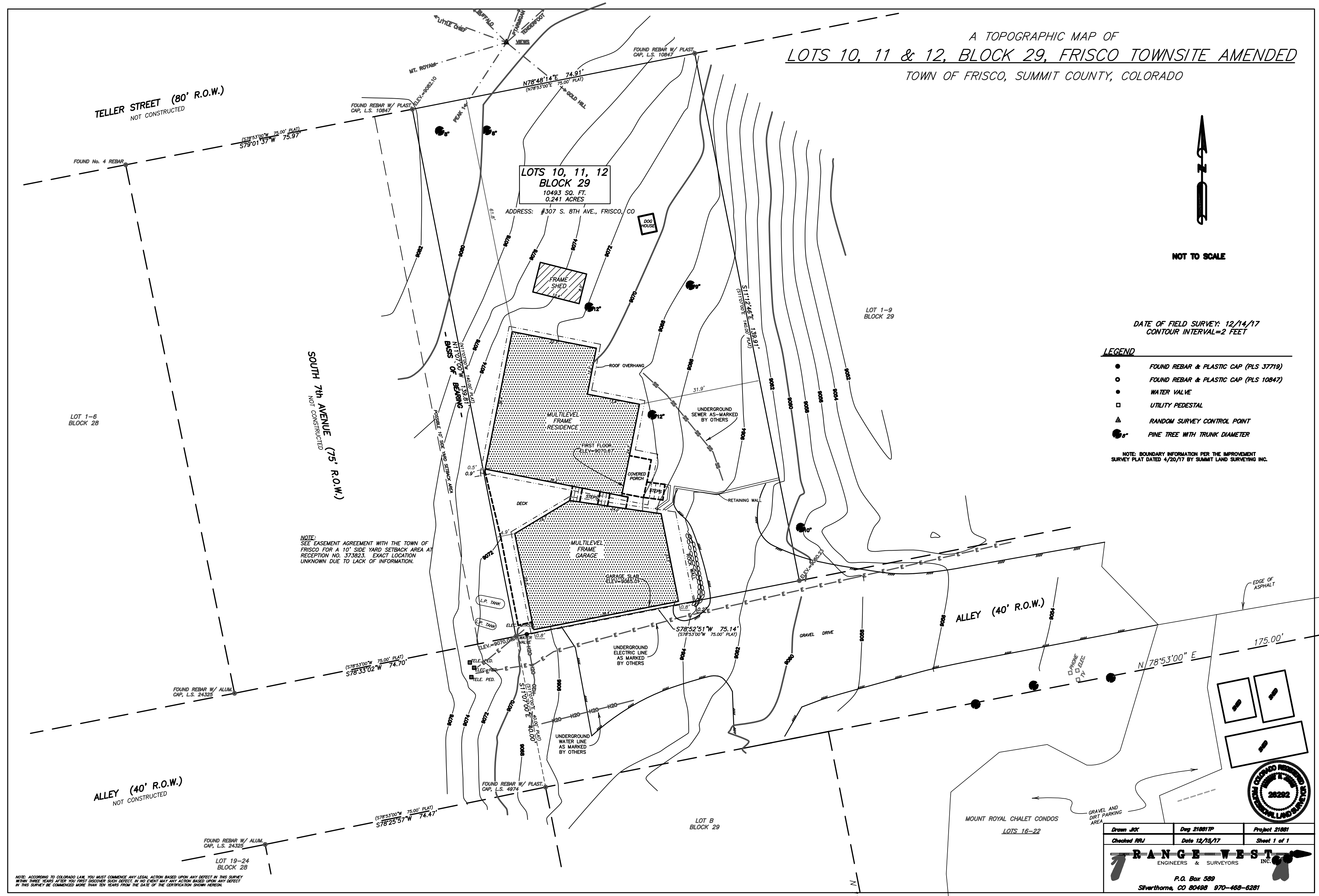
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REVISION 3	24 AUG 2018

C2.1

NO.	DATE	REVISIONS	BY	
			MCW	MCW
	03/29/2018	BUILDING PERMIT SUBMITTAL	MCW	MCW
	07/10/2018	BUILDING PERMIT SUBMITTAL	MCW	MCW

DESIGNED	MCW	DATE	03/26/2018
DRAWN	MCW		
CHECKED	XXX		
JOB NO.	XXX		

A TOPOGRAPHIC MAP OF  
**LOTS 10, 11 & 12, BLOCK 29, FRISCO TOWNSITE AMENDED**  
 TOWN OF FRISCO, SUMMIT COUNTY, COLORADO



NOT TO SCALE

DATE OF FIELD SURVEY: 12/14/17  
 CONTOUR INTERVAL=2 FEET

- LEGEND**
- FOUND REBAR & PLASTIC CAP (PLS 37719)
  - FOUND REBAR & PLASTIC CAP (PLS 10847)
  - WATER VALVE
  - UTILITY PEDESTAL
  - ▲ RANDOM SURVEY CONTROL POINT
  - PINE TREE WITH TRUNK DIAMETER

NOTE: BOUNDARY INFORMATION PER THE IMPROVEMENT SURVEY PLAT DATED 4/20/17 BY SUMMIT LAND SURVEYING INC.

NOTE: SEE EASEMENT AGREEMENT WITH THE TOWN OF FRISCO FOR A 10' SIDE YARD SETBACK AREA AT RECEPTION NO. 373823. EXACT LOCATION UNKNOWN DUE TO LACK OF INFORMATION.

NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BE BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

Drawn JJK Dwg 21881TP Project 21881  
 Checked RRU Date 12/15/17 Sheet 1 of 1

**RANGE WEST**  
 ENGINEERS & SURVEYORS INC.

P.O. Box 589  
 Silverthorne, CO 80488 970-468-6281



**WAGNER RESIDENCE**  
 307 S. 8TH AVENUE  
 FRISCO, CO  
 SLOPE ANALYSIS

NO.	DATE	REVISIONS	BY	
			MCW	MCW
	03/29/2018	BUILDING PERMIT SUBMITTAL	MCW	
	07/10/2018	BUILDING PERMIT SUBMITTAL	MCW	

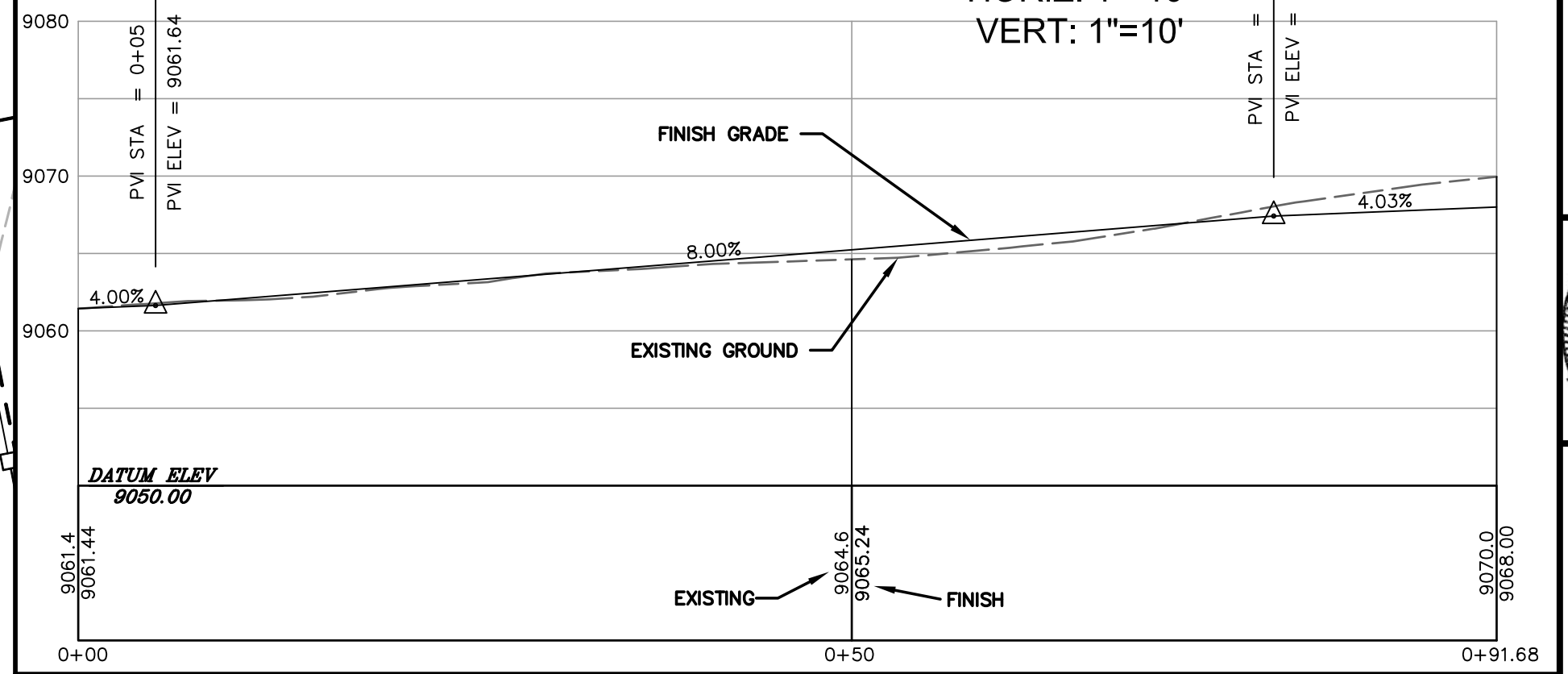
DESIGNED	MCW	DATE	03/26/2018
DRAWN	MCW		
CHECKED	XXX		
JOB NO.	XXX		



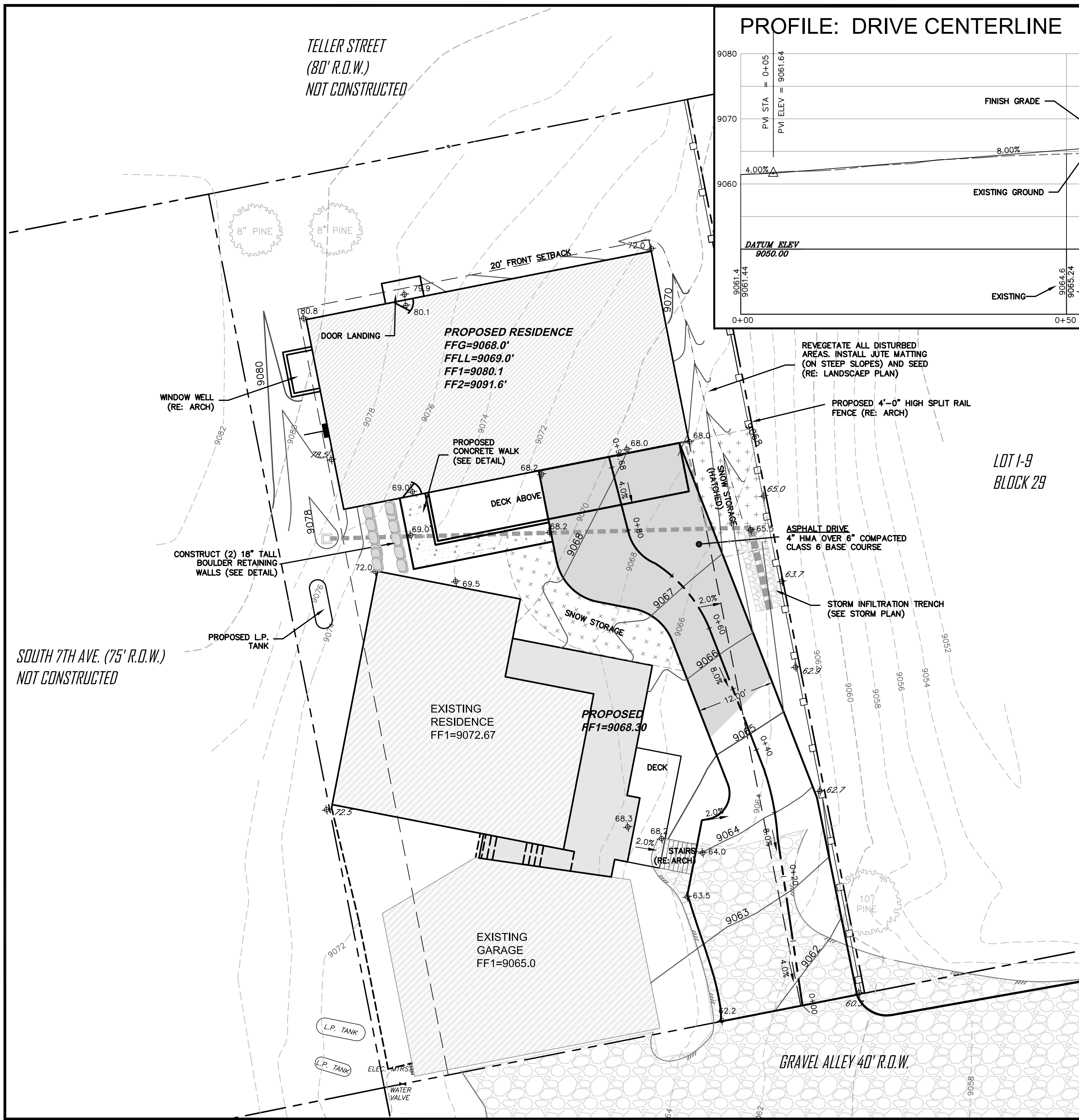
TELLER STREET  
(80' R.O.W.)  
NOT CONSTRUCTED

PROFILE: DRIVE CENTERLINE

SCALE:  
HORIZ: 1"=10'  
VERT: 1"=10'



SOUTH 7TH AVE. (75' R.O.W.)  
NOT CONSTRUCTED



GRAVEL ALLEY 40' R.O.W.

LOT 1-9  
BLOCK 29

REVEGETATE ALL DISTURBED  
AREAS. INSTALL JUTE MATTING  
(ON STEEP SLOPES) AND SEED  
(RE: LANDSCAPE PLAN)

PROPOSED 4'-0" HIGH SPLIT RAIL  
FENCE (RE: ARCH)

ASPHALT DRIVE  
4" HMA OVER 6" COMPACTED  
CLASS 6 BASE COURSE

STORM INFILTRATION TRENCH  
(SEE STORM PLAN)

CONSTRUCT (2) 18" TALL  
BOULDER RETAINING  
WALLS (SEE DETAIL)

PROPOSED L.P.  
TANK

EXISTING  
RESIDENCE  
FF1=9072.67

PROPOSED  
FF1=9068.30

DECK

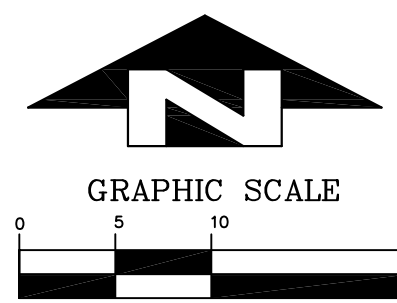
STAIRS  
(RE: ARCH)

EXISTING  
GARAGE  
FF1=9065.0

L.P. TANK

L.P. TANK

ELEC. MTR. VALVE



LEGEND

- PROPERTY LINE
- - - - 8110 --- EXISTING CONTOUR
- 1.5% 4.06.6' PROPOSED SLOPE/SPOT
- - - - EASEMENT
- 8106 --- PROPOSED CONTOUR
- 1.5% 4.06.6' PROPOSED GRADING, SLOPE/SPOT
- PROPOSED STORM SEWER
- PROPOSED BOULDER RETAINING
- PROPOSED CONCRETE/ASPHALT

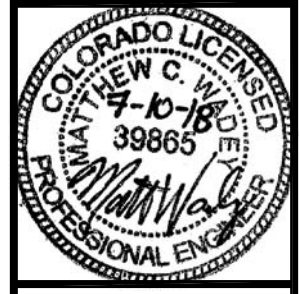
**WAGNER RESIDENCE**  
307 S. 8TH AVENUE  
FRISCO, CO  
GRADING PLAN

ALPINE ENGINEERING INC.  
24510 HWY 8 UNIT A1 PO BOX 97  
WWW.ALPINECIVIL.COM

NO.	DATE	REVISIONS	BY		
			MCW	MCW	MCW
	03/29/2018	BUILDING PERMIT SUBMITTAL			
	07/10/2018	BUILDING PERMIT SUBMITTAL			
	07/30/2018	TOWN COMMENTS			

DESIGNED	DRAWN	CHECKED	JOB NO.	DATE
MCW	MCW	XXX	XXX	03/26/2018

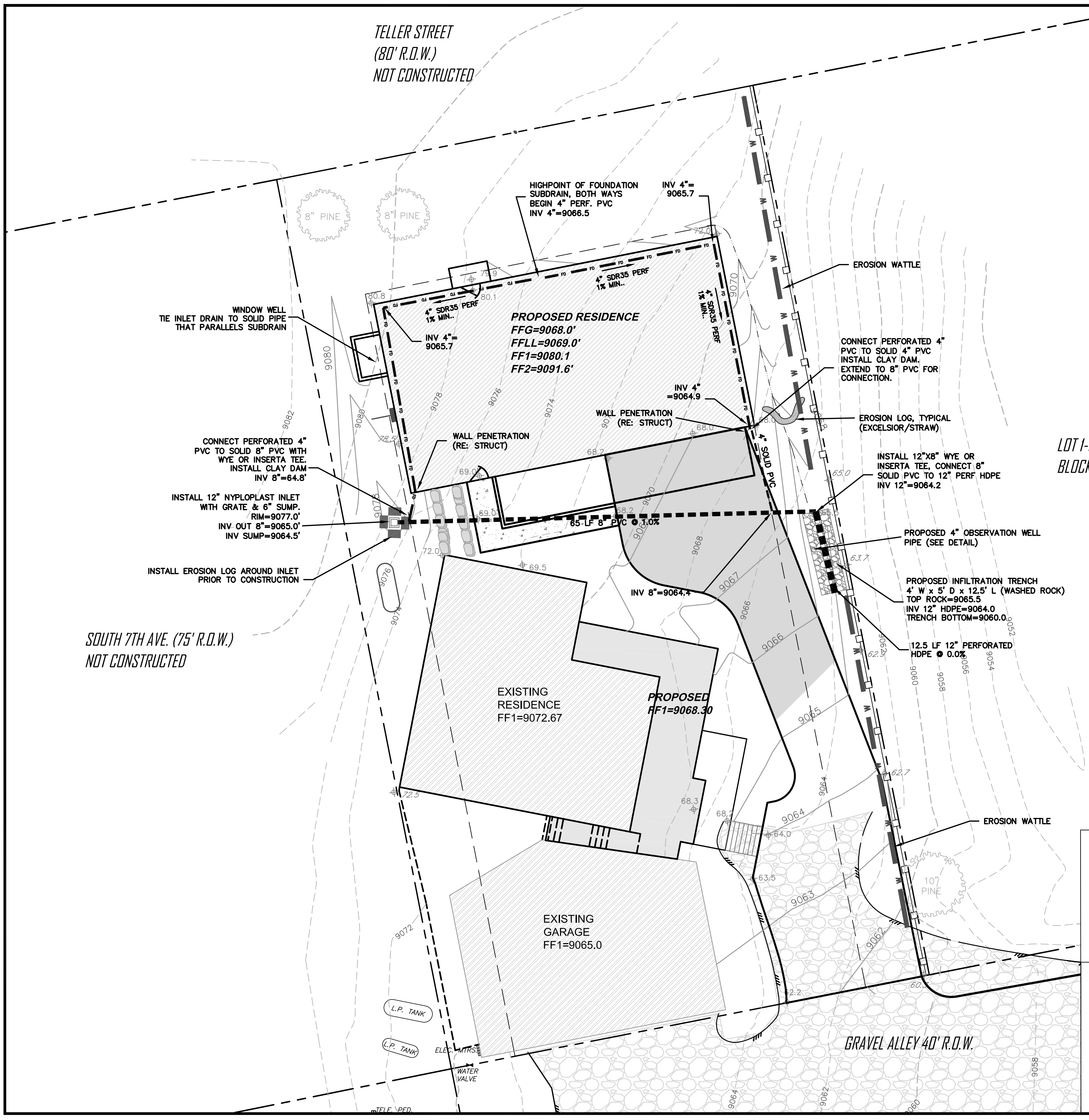
SHEET  
C3.0



**WAGNER RESIDENCE**  
 307 S. 8TH AVENUE  
 FRISCO, CO  
**DRAINAGE PLAN**

NO.	DATE	REVISIONS	BY			
			MCW	MCW	MCW	MCW
	03/29/2018	BUILDING PERMIT SUBMITTAL				
	07/10/2018	BUILDING PERMIT SUBMITTAL				
	07/30/2018	TOWN COMMENTS				

DESIGNED	DRAWN	CHECKED	JOB NO.	DATE
MCW	MCW	XXX	XXX	03/26/2018

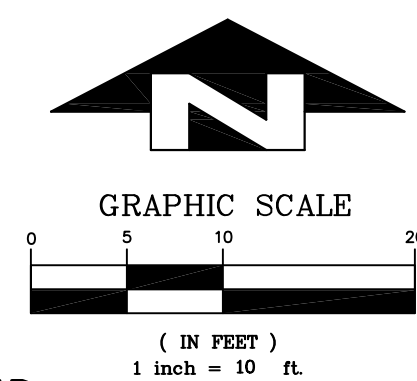
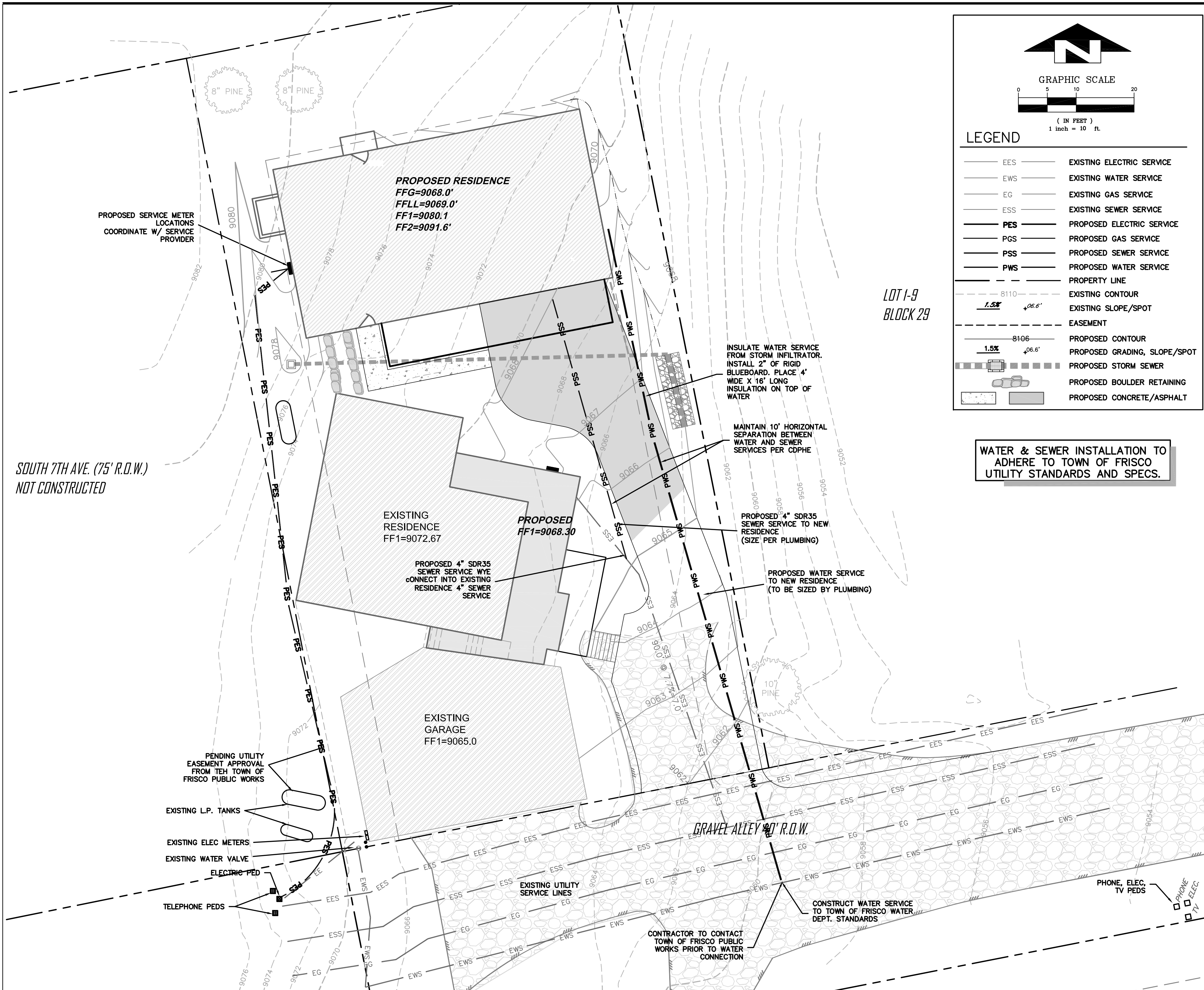


**GRAPHIC SCALE**

( IN FEET )  
 1 inch = 10 ft.

**LEGEND**

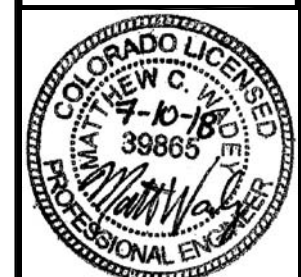
- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING SLOPE/SPOT
- EASEMENT
- PROPOSED CONTOUR
- PROPOSED SLOPE, SLOPE/SPOT
- PROPOSED STORM SEWER
- PROPOSED BOULDER RETAINING
- PROPOSED CONCRETE/ASPHALT



**LEGEND**

- EES — EXISTING ELECTRIC SERVICE
- EWS — EXISTING WATER SERVICE
- EG — EXISTING GAS SERVICE
- ESS — EXISTING SEWER SERVICE
- PES — PROPOSED ELECTRIC SERVICE
- PGS — PROPOSED GAS SERVICE
- PSS — PROPOSED SEWER SERVICE
- PWS — PROPOSED WATER SERVICE
- — PROPERTY LINE
- - - 8110 - - - EXISTING CONTOUR
- 1.5% 406.6' - - - EXISTING SLOPE/SPOT
- - - EASEMENT
- - - 8106 - - - PROPOSED CONTOUR
- 1.5% 406.6' - - - PROPOSED GRADING, SLOPE/SPOT
- — — PROPOSED STORM SEWER
- — — PROPOSED BOULDER RETAINING
- — — PROPOSED CONCRETE/ASPHALT

**WATER & SEWER INSTALLATION TO ADHERE TO TOWN OF FRISCO UTILITY STANDARDS AND SPECS.**



**WAGNER RESIDENCE**  
 307 S. 8TH AVENUE  
 FRISCO, CO  
 UTILITY PLAN

NO.	DATE	REVISIONS
	03/29/2018	BUILDING PERMIT SUBMITTAL
	07/10/2018	BUILDING PERMIT SUBMITTAL
	07/30/2018	TOWN COMMENTS

DESIGNED	DRAWN	CHECKED	JOB NO.	DATE
MCW	MCW	XXX	XXX	03/26/2018

**SHEET C5.0**

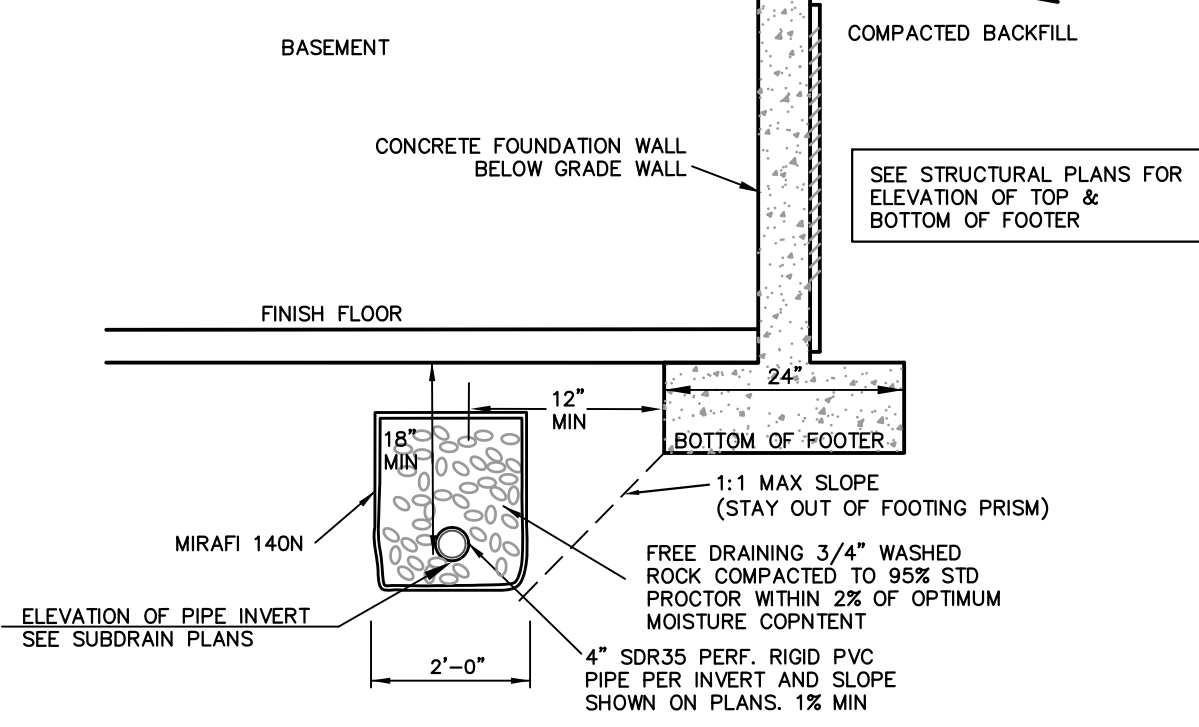
C:\frisco\Wagner-307 8th Ave\dwg\Master\Utility-Wagner.dwg, 8/1/2018 3:46:47 PM, Wadey

NO.	DATE	REVISIONS
1	03/29/2018	BUILDING PERMIT SUBMITTAL
2	07/10/2018	BUILDING PERMIT SUBMITTAL
3	07/30/2018	TOWN COMMENTS

DESIGNED	DRAWN	CHECKED	JOB NO.	DATE
MCW	MCW	XXX	XXX	03/26/2018

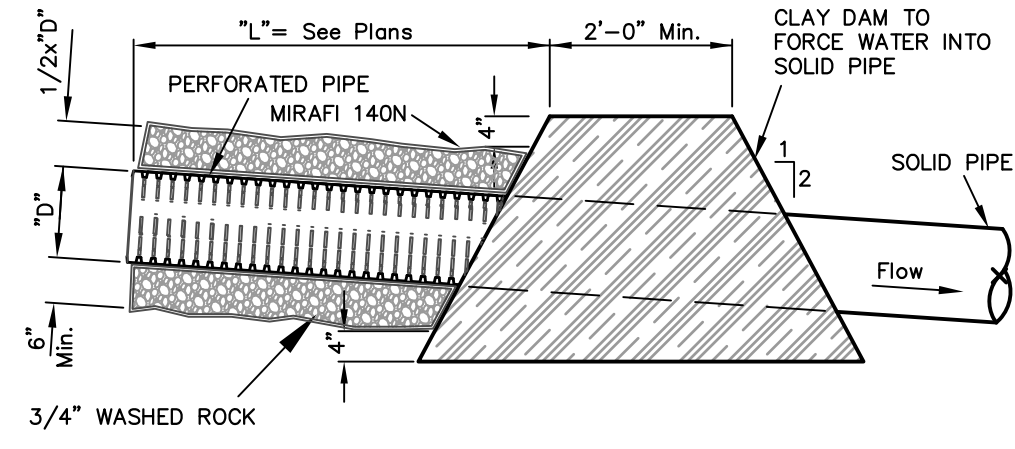
ALTHOUGH NO FREE WATER WAS ENCOUNTERED IN THE GEOTECHNICAL REPORT, THIS SYSTEM, IF INSTALLED, WILL PROTECT THE LIVEABLE SPACE FROM PERCHED GROUNDWATER

SEE STRUCTURAL PLANS FOR ELEVATION OF TOP & BOTTOM OF FOOTER



N.T.S.

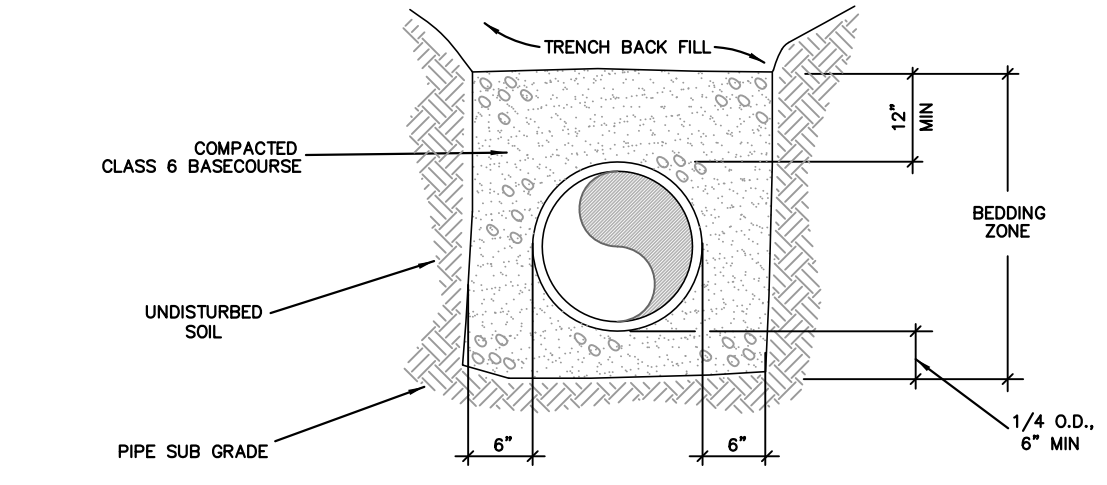
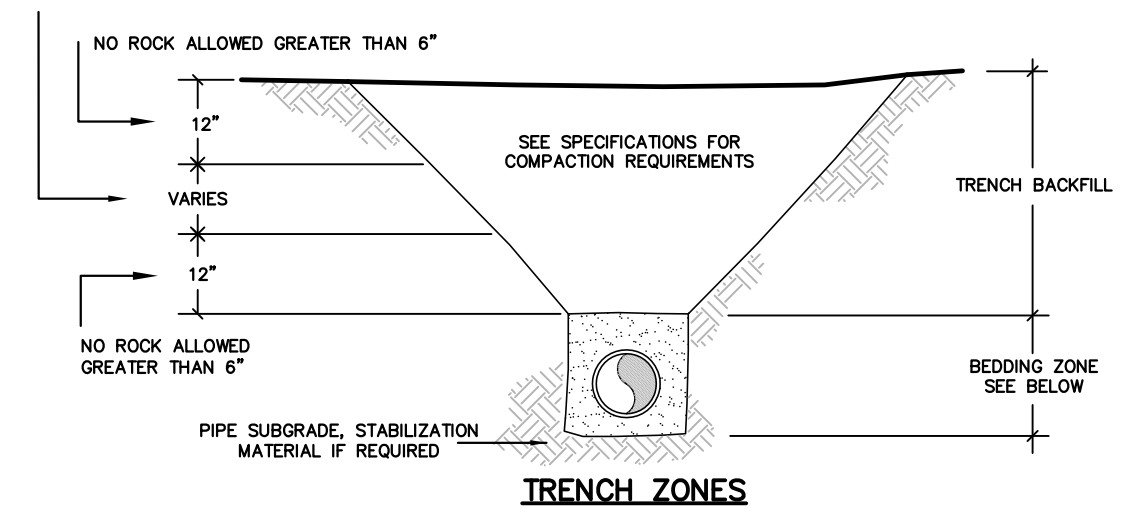
**A INTERIOR PERIMETER DRAIN**



N.T.S.

**B CLAY DAM**

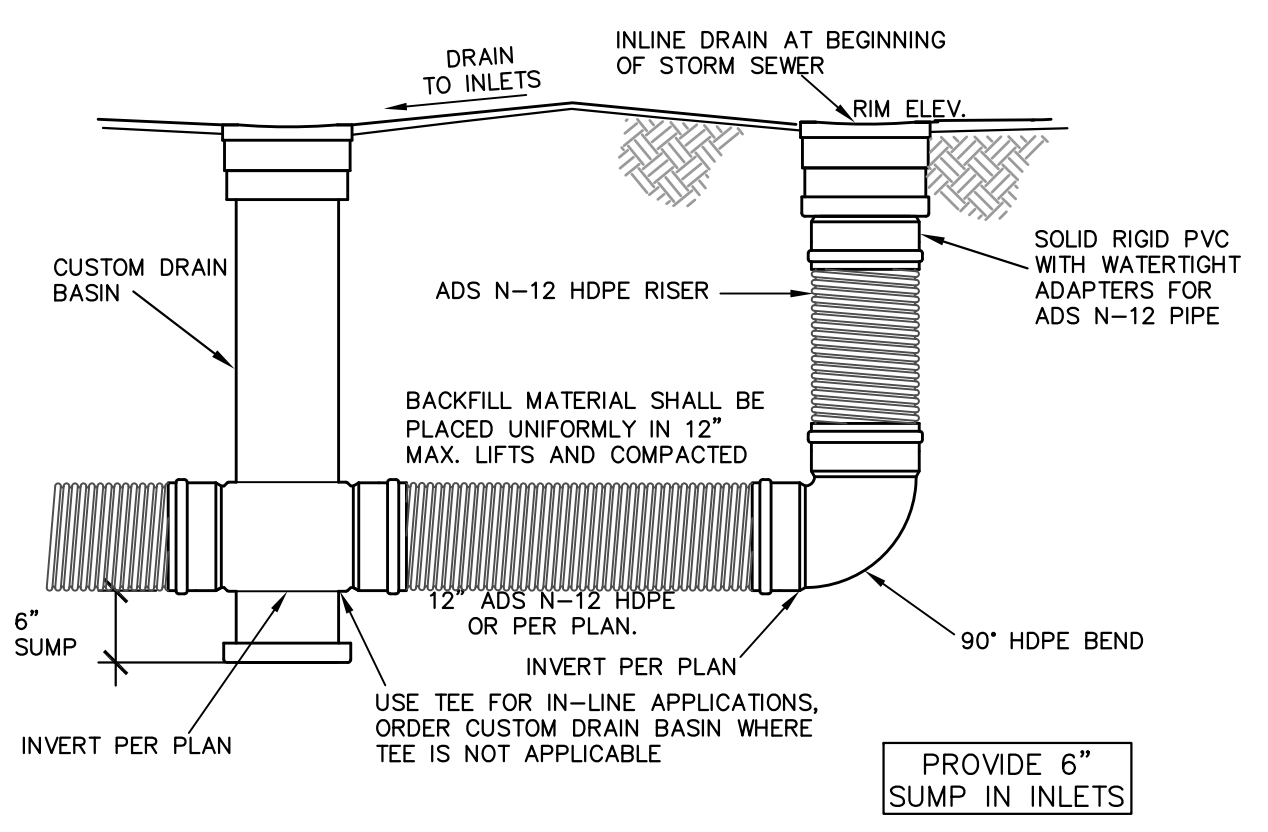
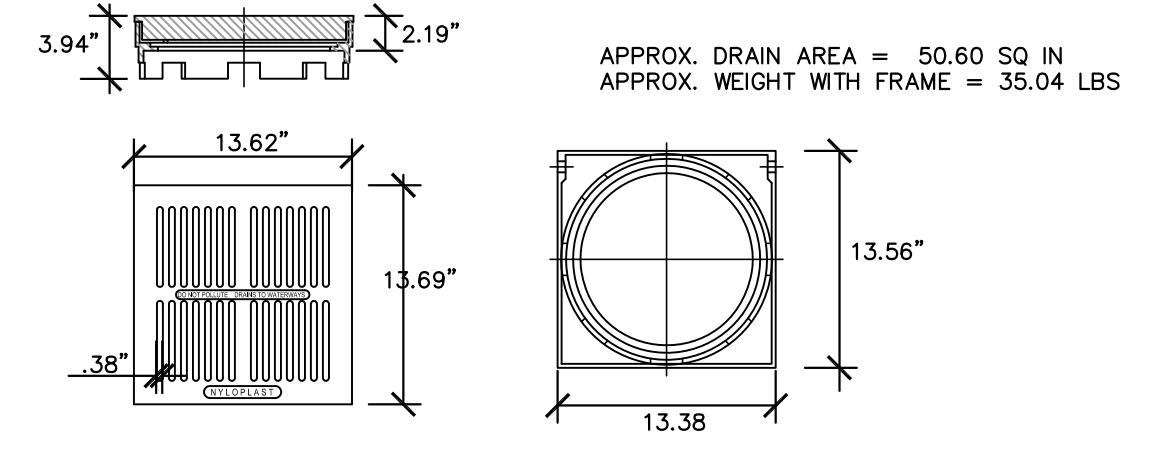
DISPERSE LARGE ROCKS IN THIS ZONE PROVIDED ROCKS DO NOT INTERFERE WITH BACKFILL COMPACTION REQUIREMENTS BOULDERS GREATER THAN 18" TO BE REMOVED FROM BACKFILL AND DISPOSED OF OFF SITE.



N.T.S.

**C STORM SEWER PIPE BEDDING**

**1299CGP (DUCTILE GRATE)**

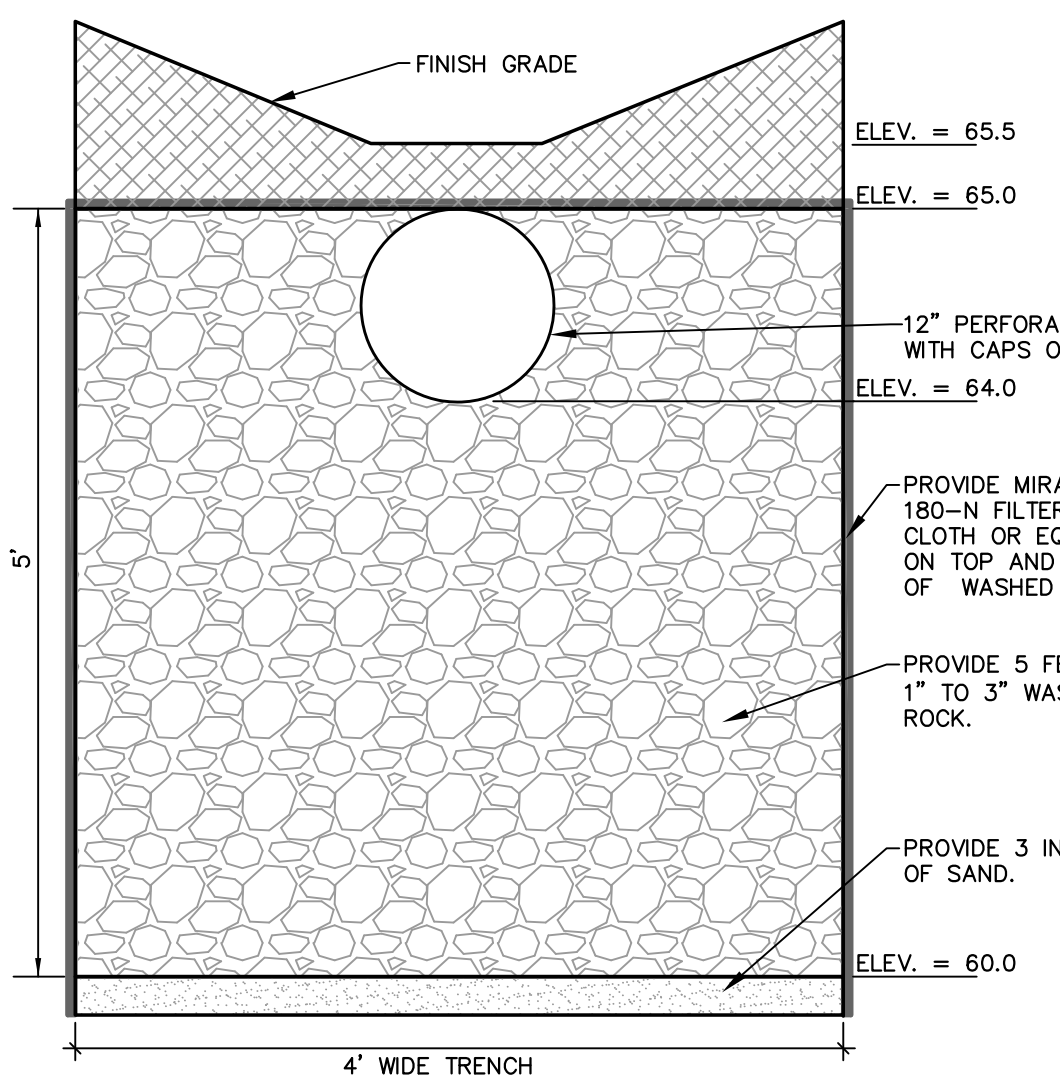


N.T.S.

**D NYLOPLAST 12" AREA INLINE DRAINS**

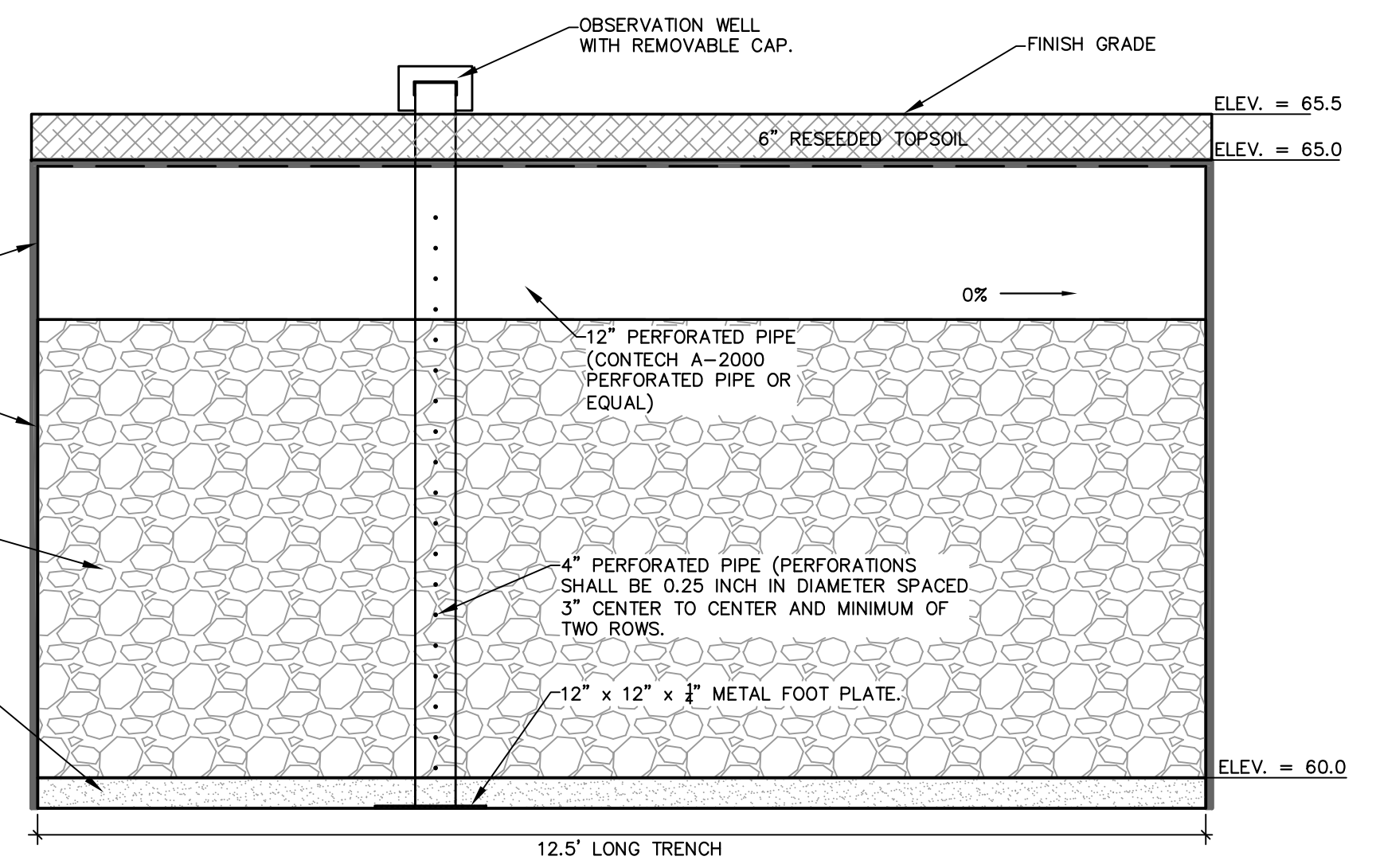
**GENERAL NOTES:**

1. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
2. IF THE STORM WATER BMP IS TO SERVE AS A TEMPORARY SEDIMENT BASIN, GRADE THE BMP TO WITHIN THREE (3) FEET OF FINAL GRADE TO PREVENT CLOGGING OF INSITU SOIL. ONCE CONSTRUCTION IN THE CONTRIBUTING DRAINAGE AREA HAS BEEN COMPLETED AND THE SITE IS STABILIZED, EXCAVATE THE INFILTRATION TRENCH TO FINAL GRADE AND COMPLETE CONSTRUCTION OF THE INFILTRATION TRENCH.
3. GRADING OF THE INFILTRATION TRENCH SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. WIDE TRACKED VEHICLES SUCH AS BACK HOES, SMALL DOZERS AND BOBCATS ARE RECOMMENDED.
4. EXCAVATE THE INFILTRATION TRENCH TO THE SPECIFIED DEPTH (ELEVATION). ALL SUB MATERIAL BELOW THE SPECIFIED ELEVATION SHALL BE LEFT UNDISTURBED, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
5. GRADE TO THE DEPTH (ELEVATION) SPECIFIED IN THE CONSTRUCTION DOCUMENTS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
6. IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THE SEDIMENT WILL NEED TO BE REMOVED FROM THE INFILTRATION TRENCH PRIOR TO INITIATING THE NEXT STEP IN THE INFILTRATION TRENCH CONSTRUCTION PROCESS.
7. MATERIAL EXCAVATED FROM THE INFILTRATION TRENCH SHALL BE DISPOSED OF ON-SITE AT LOCATIONS.
8. CONSITE MATERIAL OR 3/4" SCREENED ROCK SHALL BE PLACED IN THE BOTTOM OF THE INFILTRATION TRENCH TO THE DEPTH SPECIFIED IN THE CONSTRUCTION DOCUMENTS. IT SHOULD BE PLACED IN LIFTS AND LIGHTLY COMPACTED WITH PLATE COMPACTORS.

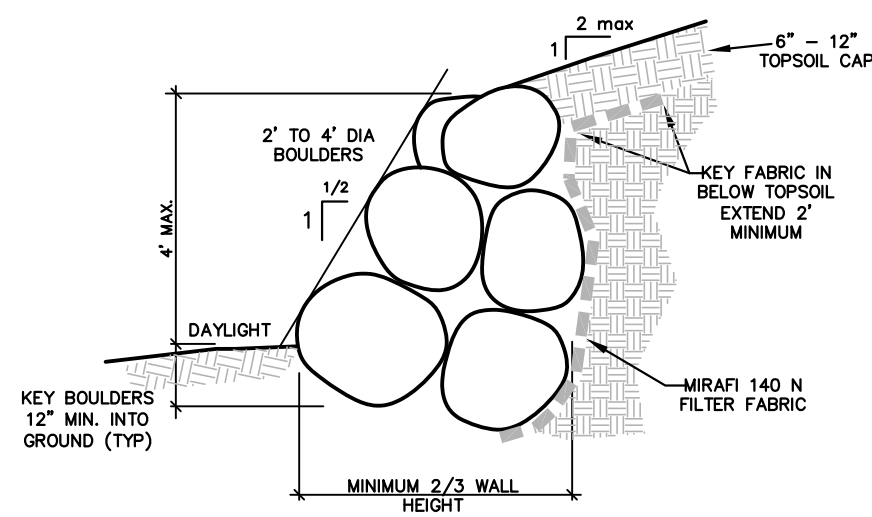


N.T.S.

**E INFILTRATION TRENCH**

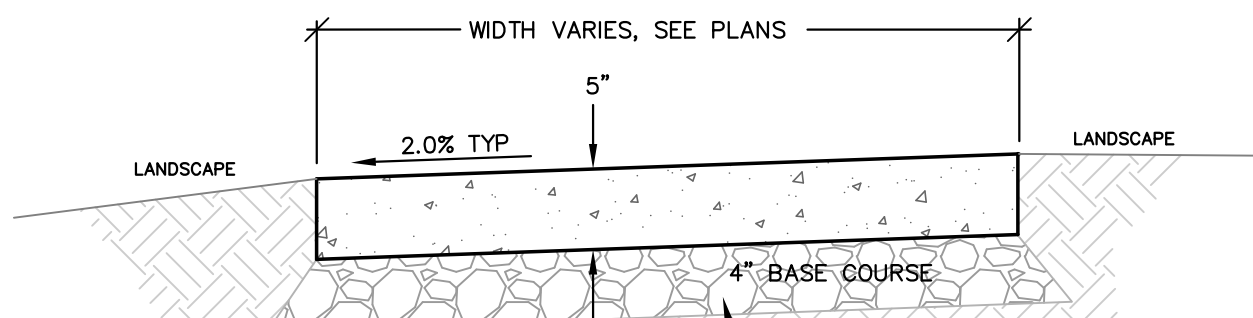






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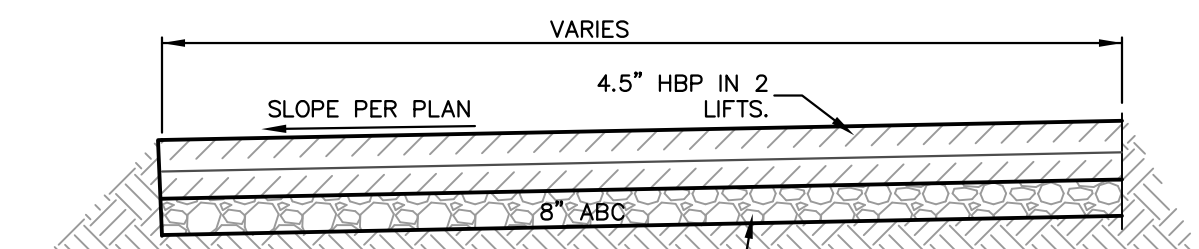
**A** BOULDER WALL



SIDEWALK CONTRACTION JOINT SPACING TO MATCH WALK WIDTH OR 6' MAX. WHICHEVER IS THE SMALLER DIMENSION.  
SIDEWALK BASE PREPARATION CONTRACTOR TO PLACE 4" CLASS 6 ROAD BASE AND COMPACT TO 95% STANDARD PROCTOR DENSITY @ MOISTURE CONTENT WITHIN 2% OF OPTIMUM.

N.T.S.

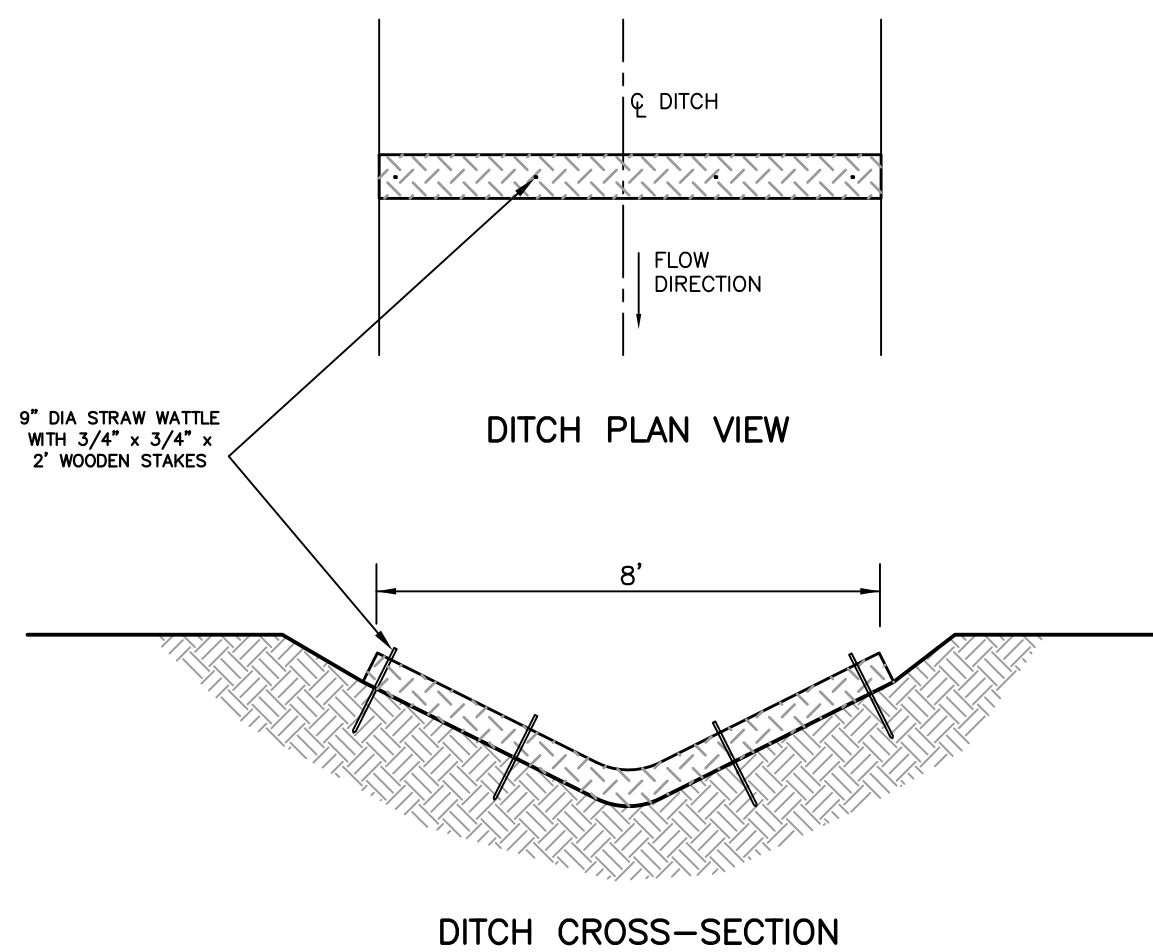
**B** CONCRETE WALK



BASE PREPARATION CONTRACTOR TO PLACE CLASS 6 ROAD BASE AND COMPACT TO 95% STANDARD PROCTOR DENSITY @ MOISTURE CONTENT WITHIN 2% OF OPTIMUM.

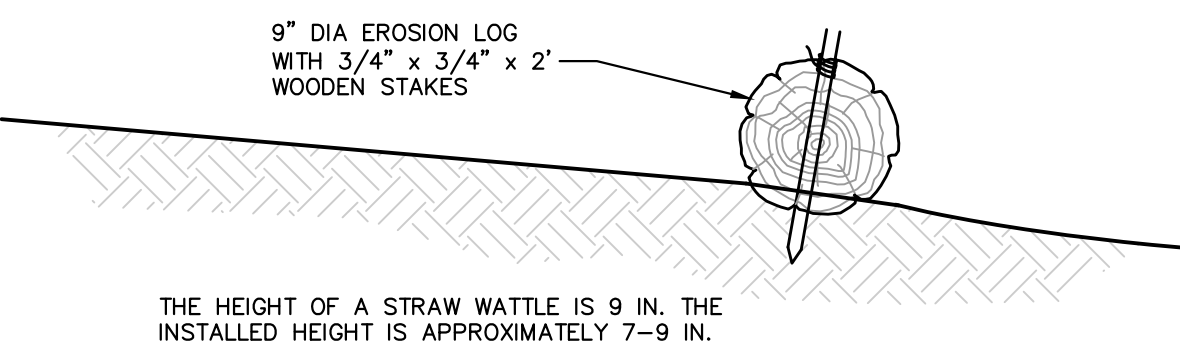
N.T.S.

**C** ASPHALT DRIVE



1. THE HEIGHT OF A STRAW WATTLE IS 9 IN. THE INSTALLED HEIGHT IS APPROXIMATELY 5 - 7 IN. THE STANDARD LENGTH OF STRAW WATTLES IS 25 FT., HOWEVER OTHER LENGTHS WILL BE MADE UPON REQUEST.
2. STRAW WATTLES SHOULD BE INSTALLED IN SHALLOW TRENCHES, 2 - 4 IN. DEEP, DEPENDING ON SOIL TYPE AND SLOPE STEEPNESS. DIG THE TRENCH DEEPER FOR SOFT, LOAMY SOILS AND STEEPEST SLOPES; DIG THE TRENCH SHALLOWER FOR HARD, ROCKY SOILS AND GENTLER SLOPES. USE MATTOCKS AND SHOVEL TO DIG THE TRENCH, THROWING EXCAVATED SOIL TO THE UPHILL SIDE TO PREVENT RUNOFF FROM UNDERCUTTING THE WATTLE.
3. INSTALL WATTLE IN DRAINAGE DITCH PERPENDICULAR TO FLOW DIRECTION.

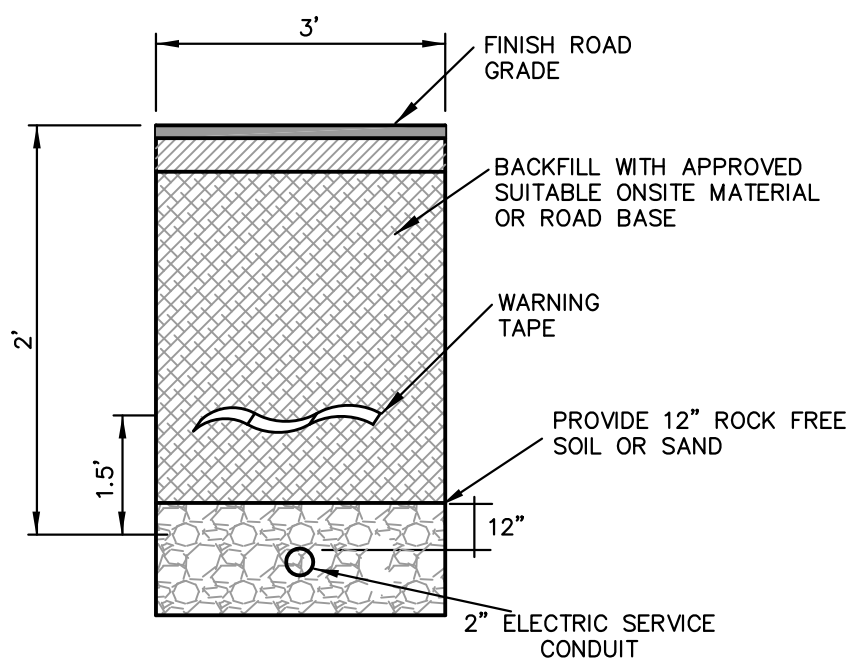
**D** NOT USED



**E** EROSION LOG WATTLE DETAIL

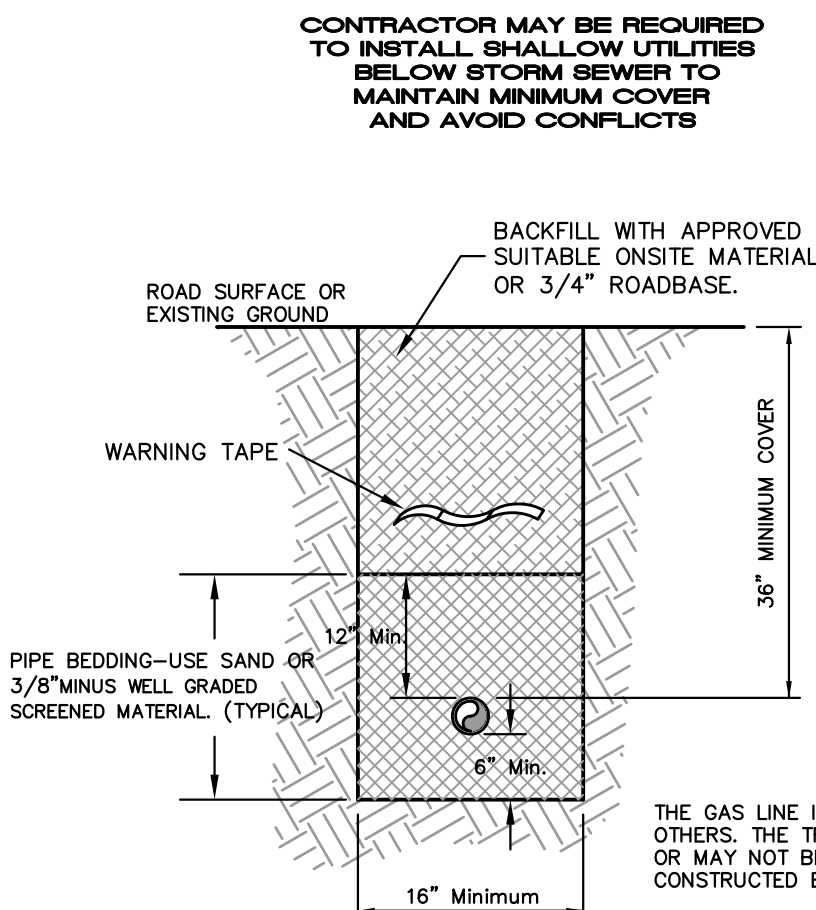
**F** DITCH EROSION LOG

**G** INLET PROTECTION - EROSION LOG



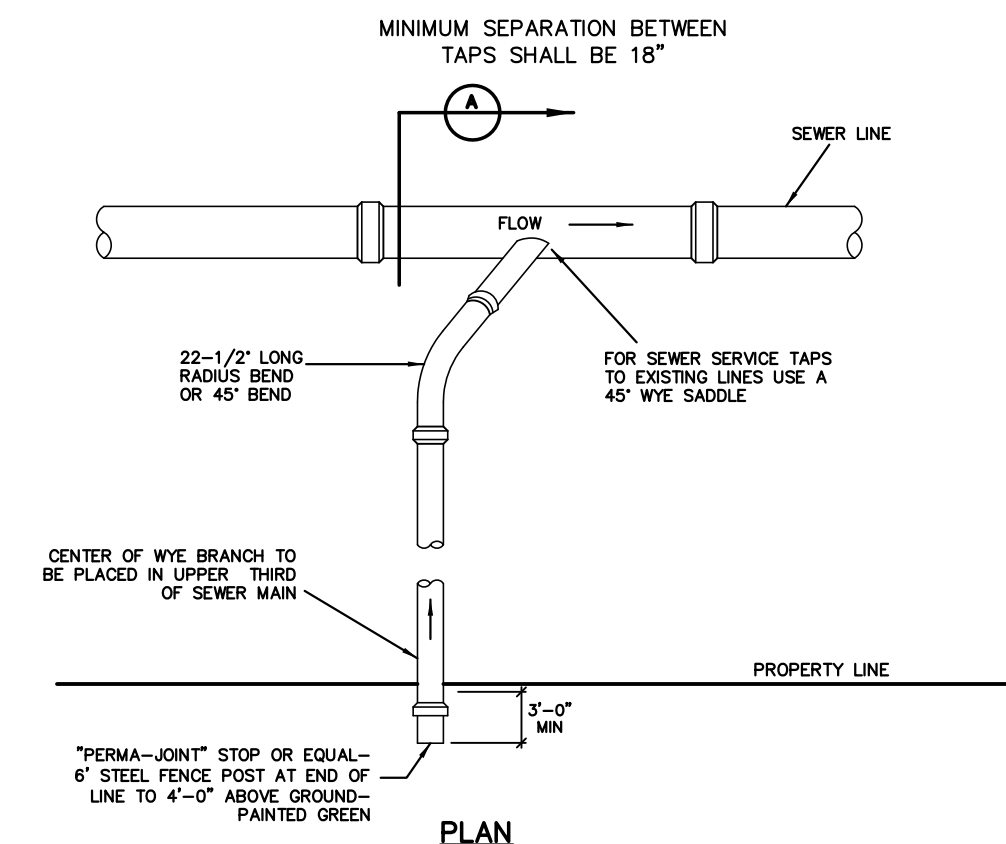
N.T.S.

**H** ELECTRIC SERVICE TRENCH



N.T.S.

**I** GAS TRENCH



N.T.S.

**J** SEWER SERVICE CONNECTION

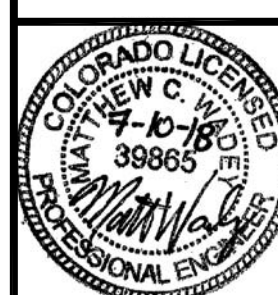
**WAGNER RESIDENCE**  
307 S. 8TH AVENUE  
FRISCO, CO  
DETAILS

NO.	DATE	REVISIONS
	03/29/2018	BUILDING PERMIT SUBMITTAL
	07/10/2018	BUILDING PERMIT SUBMITTAL
	07/30/2018	TOWN COMMENTS

DESIGNED	DRAWN	CHECKED	JOB NO.	DATE
MCW	MCW	XXX	XXX	03/26/2018

**SHEET C6.1**

**ALPINE ENGINEERING INC.**  
34510 HWY 6 UNIT A8 FPO BOX 97  
FRISCO, CO 80439  
WWW.ALPINECIVIL.COM



C:\frisco\Wagner-307 8th Ave\dwg\Master\Details-Wagner.dwg, 8/2/2018 1:58:44 PM, Wsadey

## GENERAL NOTES

- I. THESE PLANS WERE DESIGNED TO CONFORM WITH THE INTERNATIONAL RESIDENTIAL CODE AND THE NATIONAL ELECTRIC CODE. DUE TO CONTINUOUS CHANGES IN BOTH LOCAL AND NATIONAL BUILDING CODES, ACCOMMODATING ALL BUILDING RESTRICTIONS IS IMPOSSIBLE. THEREFORE, THESE PLANS ARE SUBJECT TO LOCAL REQUIREMENTS AND INTERPRETATIONS. IT BECOMES THE RESPONSIBILITY OF THE BUILDER TO MAKE CERTAIN THESE PLANS COMPLY TO LOCAL CODE REQUIREMENTS.
- II. EVERY EFFORT HAS BEEN MADE TO ELIMINATE ERRORS DURING THE PREPARATION OF THESE DRAWINGS. BECAUSE HERITAGE HOMES OF NEBRASKA, INC. CANNOT GUARANTEE AGAINST THE POSSIBILITY OF HUMAN ERROR, IT IS THE OBLIGATION OF THE BUILDER TO VERIFY THE ACCURACY OF ALL DETAILS, DIMENSIONS, AND BE PERSONALLY RESPONSIBLE FOR THEM.
- III. THE PLANS, DRAWINGS, SPECIFICATIONS, DESIGNS, AND ENGINEERING HAVE BEEN DEVELOPED BY HERITAGE HOMES OF NEBRASKA, INC. SOLELY FOR ITS USE IN PREPARING AND SUBMITTING CONSTRUCTION CONTRACTS. HERITAGE HOMES OF NEBRASKA, INC. MAKES NO WARRANTY OF ANY KIND, LIABILITY, OR RESPONSIBILITY WHATSOEVER FOR THE PROPRIETY, EFFICACY, OR FITNESS OF SUCH WORK WHEN USED BY ANY OTHER PARTY FOR ANY OTHER PURPOSE, EXCEPT WHEN COVERED BY HERITAGE HOMES OF NEBRASKA, INC. WARRANTIES ACCOMPANYING ITS OWN CONTRACTS.

## ELEVATION

- I. ALL PORCHES, DECKS, AND GARAGES ARE THE RESPONSIBILITY OF AN ON-SITE CONTRACTOR.
- II. CONTINUOUS RIDGE AND SOFFIT VENTS ARE STANDARD.
- III. VENT PIPES AND FLUES ARE TO BE EXTENDED THROUGH DORMERS AND GARAGE ROOFS BY ON-SITE CONTRACTOR.
- IV. ALL FINISHED GRADE LINES ON DRAWINGS ARE APPROXIMATE. FINAL GRADE MAY VARY.

## FLOOR PLAN

- I. EXTERIOR DIMENSIONS ARE FROM SHEATHING TO SHEATHING.
- II. ANY DRYWALL WRAPPED MATING WALL OPENINGS ARE TO BE FINISHED BY AN ON-SITE CONTRACTOR.
- III. 5/8" TYPE-X DRYWALL ON GARAGE SIDE OF ANY ADJOINING WALL.
- IV. GROUT FOR FLOOR TILE SUPPLIED BY HERITAGE HOMES OF NEBRASKA, INC., BUT APPLIED BY ON-SITE CONTRACTOR.

## MECHANICAL/ELECTRICAL/PLUMBING

- I. SWITCH, OUTLET, MECHANICAL, AND OTHER UTILITY LOCATIONS ARE APPROXIMATE.
- II. IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY THE ON-SITE PLUMBER HAS PROPERLY CHECKED AND TIGHTENED FITTINGS ON SUPPLY LINES, AND CONNECTIONS OF WASTE LINE FITTINGS PRIOR TO TURNING ON WATER.
- III. INSTALL DRYER VENT MATERIAL ONSITE PER M1501.
- IV. 1/2" SUPPLY DROPS PROVIDED AT EACH FIXTURE. MINIMUM 3/4" DISTRIBUTION LINE REQUIRED BY ON-SITE CONTRACTOR.
- V. ALL ELECTRICAL WORK IN BASEMENT DONE BY AN ON-SITE CONTRACTOR.
- VI. GROUND FAULT AND ARC FAULT PROTECTION PER NATIONAL ELECTRICAL CODE.
- VII. KITCHEN SMALL APPLIANCE CIRCUITS TO BE GFCI PROTECTED.
- VIII. EQUIPMENT AND APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SO THE SOURCE OF IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE FLOOR IN HAZARDOUS LOCATIONS AND PRIVATE GARAGES IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE.
- IX. ALL TUBS, TUB/SHOWERS AND SHOWERS ARE EQUIPPED WITH ANTI-SCALD 120 DEGREE MAX. MIXING VALVES.

## FOUNDATION

- I. THESE DRAWINGS ARE INTENDED TO PROVIDE OVERALL PLAN-VIEW DIMENSIONS ONLY. PIERS, FOOTINGS, FOUNDATION SIZES, AND DESIGNS ARE TO BE BASED ON SITE SOIL CONDITIONS. ALL PIERS, FOOTINGS, FOUNDATIONS, AND OTHER ON-SITE CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES.
- II. ALL WORK BELOW FLOOR SYSTEM TO BE DESIGNED AND COMPLETED BY AN ON-SITE CONTRACTOR.
- III. FOUNDATION WALLS INSULATED TO MIN. R-10, EXCEPT FOR A CRAWL SPACE.
- IV. INSULATE FLOOR SYSTEM TO R-30 WHEN ON A CRAWL SPACE.
- V. FOR CRAWL SPACE FOUNDATIONS, INSTALL FOUNDATION VENTS TO PROVIDE VENTING PER INTERNATIONAL RESIDENTIAL CODE.
- VI. IN BASEMENT GARAGES, 5/8" TYPE-X DRYWALL IS REQUIRED ON WALLS AND CEILINGS WITH MINIMUM R-19 INSULATION IN CEILING.
- VII. IN BASEMENT GARAGES, STEEL BEAMS MUST BE PROTECTED BY MINIMUM 1/2" DRYWALL.

# SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	
<b>LIGHTS</b>			<b>FANS</b>			
	STANDARD LIGHT		CEILING FAN W/ LIGHT (2 SWITCHES PROVIDED)		SINGLE RETURN AIR VENT	
	PULL-CHAIN LIGHT		CEILING FAN W/O LIGHT (2 SWITCHES PROVIDED)		DOUBLE RETURN AIR VENT	
	6" LED LIGHT		BATHFAN W/ LIGHT		TOE KICK REGISTER	
	4" LED LIGHT		EXHAUST FAN		4X10 FLOOR REGISTER	
	6" EYEBALL RECESSED LIGHT		VENT FREE EXHAUST FAN		2X12 FLOOR REGISTER	
	6" LED LIGHT IN A SOFFIT		ROUGH-IN ONLY CEILING FAN (2 SWITCHES PROVIDED)		WALL STACK	
	4" RECESSED LIGHT IN A SOFFIT	<b>T.V. &amp; PHONE OUTLETS</b>			<b>PLUG-IN OUTLETS</b>	
	PENDANT LIGHT		PULL WIRE		110V OUTLET	
	CANISTER LIGHT		TV WIRE		110V GFCI PROTECTED OUTLET	
	DINING ROOM CHANDELIER		PHONE WIRE		110V WEATHER PROOF GFCI OUTLET	
	STAIR CHANDELIER		TV/PHONE WIRE		110V SWITCHED OUTLET	
	CANTILEVER CHANDELIER		SPEAKER WIRE		110V 4-PLEX OUTLET	
	LED UNDER CABINET LIGHT	<b>SWITCHES</b>				110V FLOOR OUTLET
	4' TRACK LIGHTING		SINGLE SWITCH		220V OUTLET	
	SCONCE LIGHT		3-WAY SWITCH	<b>MISC.</b>		
	FLOOD LIGHT		4-WAY SWITCH		SMOKE/CO DETECTOR	
	ROUGH-IN ONLY LIGHT		DIMMER SWITCH		SMOKE DETECTOR	
			3-WAY DIMMER SWITCH		THERMOSTAT	
			TIMER SWITCH		DOOR BELL CHIME	
			TRI-PLEX SWITCH		ICE MAKER BOX	
			CEILING FAN SWITCH		CAPPED HALF-WALL	
					INSULATED WALL	
					TOWEL BAR	
					RECESSED MEDICINE CABINET	
					WINDOW WHICH MEETS EGRESS REQUIREMENTS	
					SAFETY GLASS	

BUILDING CODES	
2012 IRC	
2012 IMC	
2012 IPC	
2017 NEC	
2015 IECC	
COLORADO	

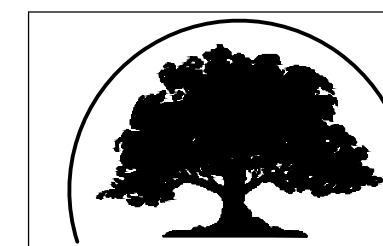
SQ. FOOTAGE		
1ST FLOOR	1456	SQ. FT.
2ND FLOOR	1018	SQ. FT.
BASEMENT	1675	SQ. FT.
<b>TOTAL</b>	<b>4149</b>	<b>SQ. FT.</b>
GARAGE	N/A	SQ. FT.

DESIGN LOADS		
ROOF LIVE LOAD (Pf)	80.0	PSF
FLOOR LIVE LOAD	40.0	PSF
WIND LOAD (3-SECOND GUST)	90.0	MPH
EXPOSURE	C	
SEISMIC	B	

FRAMING SPECS.	
1ST FLOOR WALLS	2 X 6
2ND FLOOR WALLS	2 X 6
FOUNDATION WALLS	8"
1ST FLOOR HEIGHT	9'-0 1/4"
2ND FLOOR HEIGHT	VARIES
FOUNDATION HEIGHT	10'-0"

INDEX	
GENERAL	
G1.1	COVER SHEET
ARCHITECTURAL	
A1.1	EXTERIOR ELEVATION
A2.1	1ST FLOOR PLAN
A2.2	2ND FLOOR PLAN
A3.1	DETAILS
STRUCTURAL	
S1.1	FOUNDATION PLAN
S2.1	CROSS SECTION
S3.1	INSTALLATION MANUAL
S4.1	FRAMING PLAN

JOB STATUS		
	DATE	DWN BY
PA	03/15/18	JD
A	04/05/18	JD
CO1	5/21/18	BB
CO2	5/29/18	RC
CO3	6/27/18	RC
CO4	7-16-18	BLT
CO5		
CO6		
CO7		

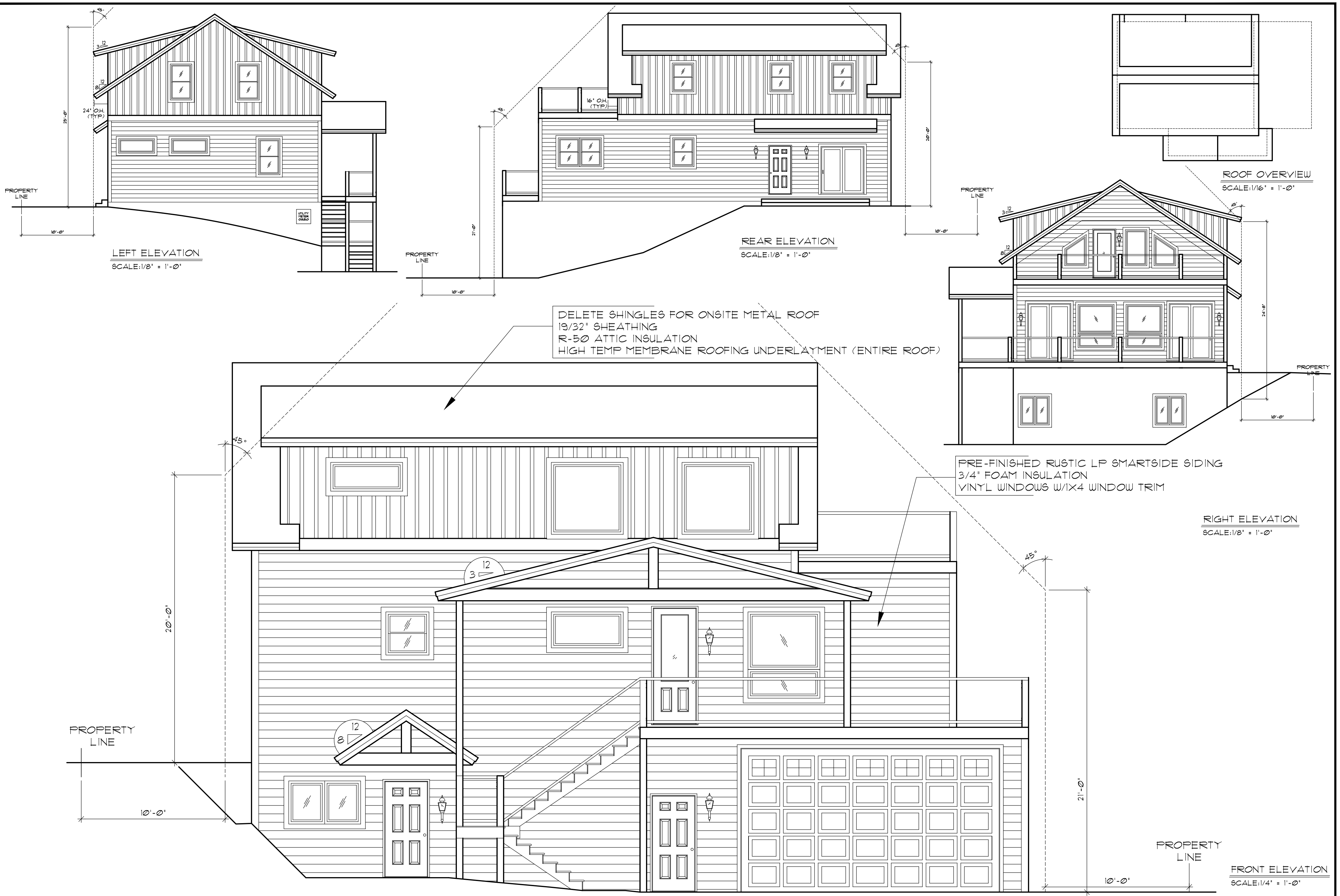


# HERITAGE HOMES

OF NEBRASKA, INC.



	<b>PLAN RETURN NOTICE &amp; SIGNATURES</b> <small>(CHECK ONE BOX ONLY)</small> <input type="checkbox"/> REVISE & RESEND TO BUILDER <input type="checkbox"/> APPROVED AS FINAL BUILD PLAN	<small>WE THE UNDERSIGNED RETURN THIS PLAN TO HERITAGEHOMES FOR THE EXPRESSED PURPOSE INDICATED AT THE IMMEDIATE LEFT. NOTE: INVALID IF MORE THAN ONE BOX IS CHECKED.</small> BUILDER SIGNATURE _____ DATE _____ CUSTOMER SIGNATURE _____ DATE _____	<b>DATE DRAWN/REVISED</b> 7-16-18	<b>HERITAGE HOMES BUILDER</b> <b>COLORADO MODULAR HOMES</b> <small>BUILDER LOCATION</small> <b>EVERGREEN, CO</b>	<b>DESIGNED FOR</b> <b>SHANE WAGNER</b> <small>NEW HOME LOCATION</small> <b>FRISCO, CO</b>	<b>JOB NO.</b> <b>7201</b> <small>SHEET NO.</small> <b>G1.1</b>
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**LEFT ELEVATION**  
SCALE: 1/8" = 1'-0"

**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

**ROOF OVERVIEW**  
SCALE: 1/16" = 1'-0"

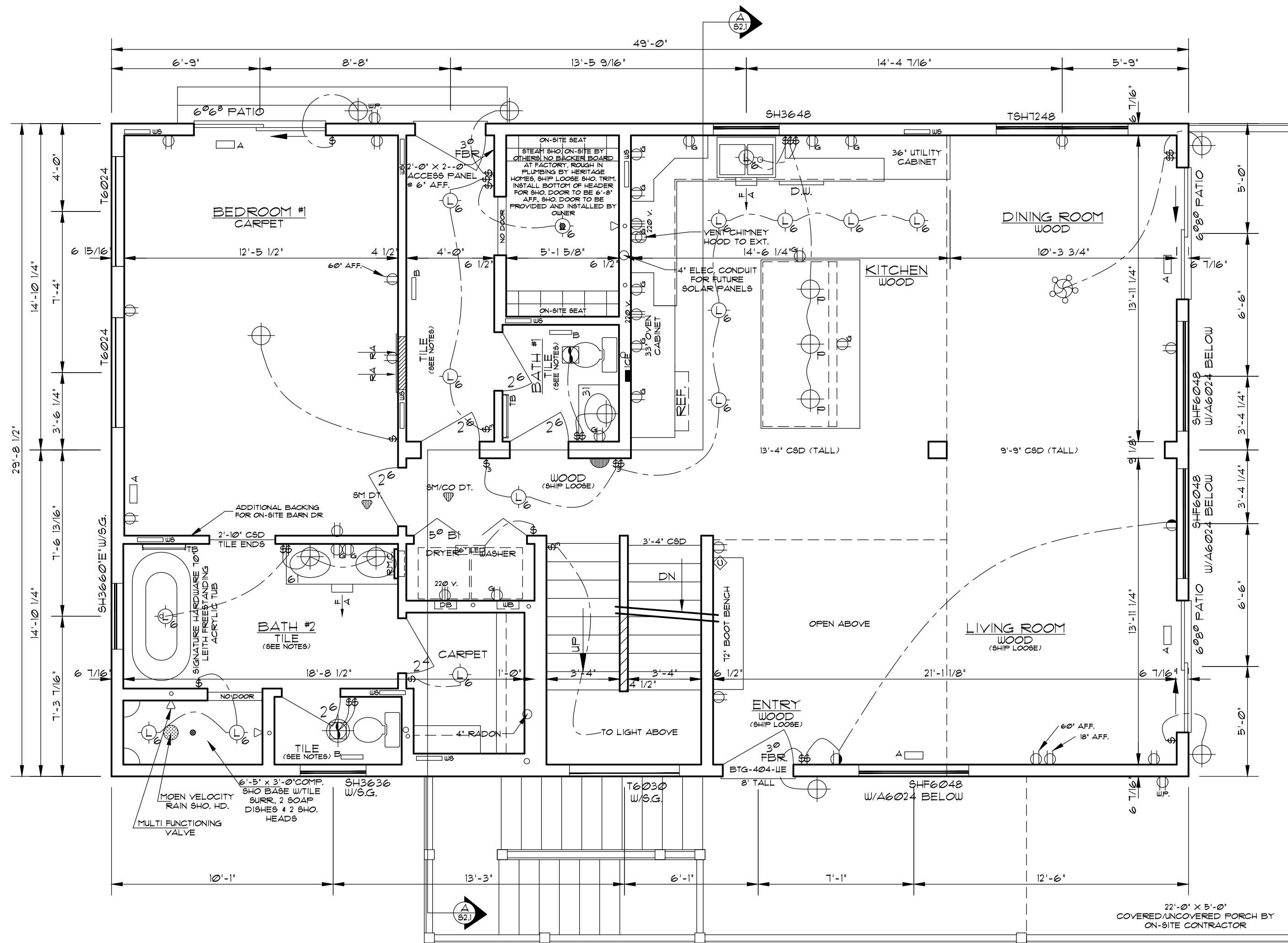
**RIGHT ELEVATION**  
SCALE: 1/8" = 1'-0"

**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

DELETE SHINGLES FOR ONSITE METAL ROOF  
19/32" SHEATHING  
R-50 ATTIC INSULATION  
HIGH TEMP MEMBRANE ROOFING UNDERLAYMENT (ENTIRE ROOF)

PRE-FINISHED RUSTIC LP SMARTSIDE SIDING  
3/4" FOAM INSULATION  
VINYL WINDOWS W/1X4 WINDOW TRIM

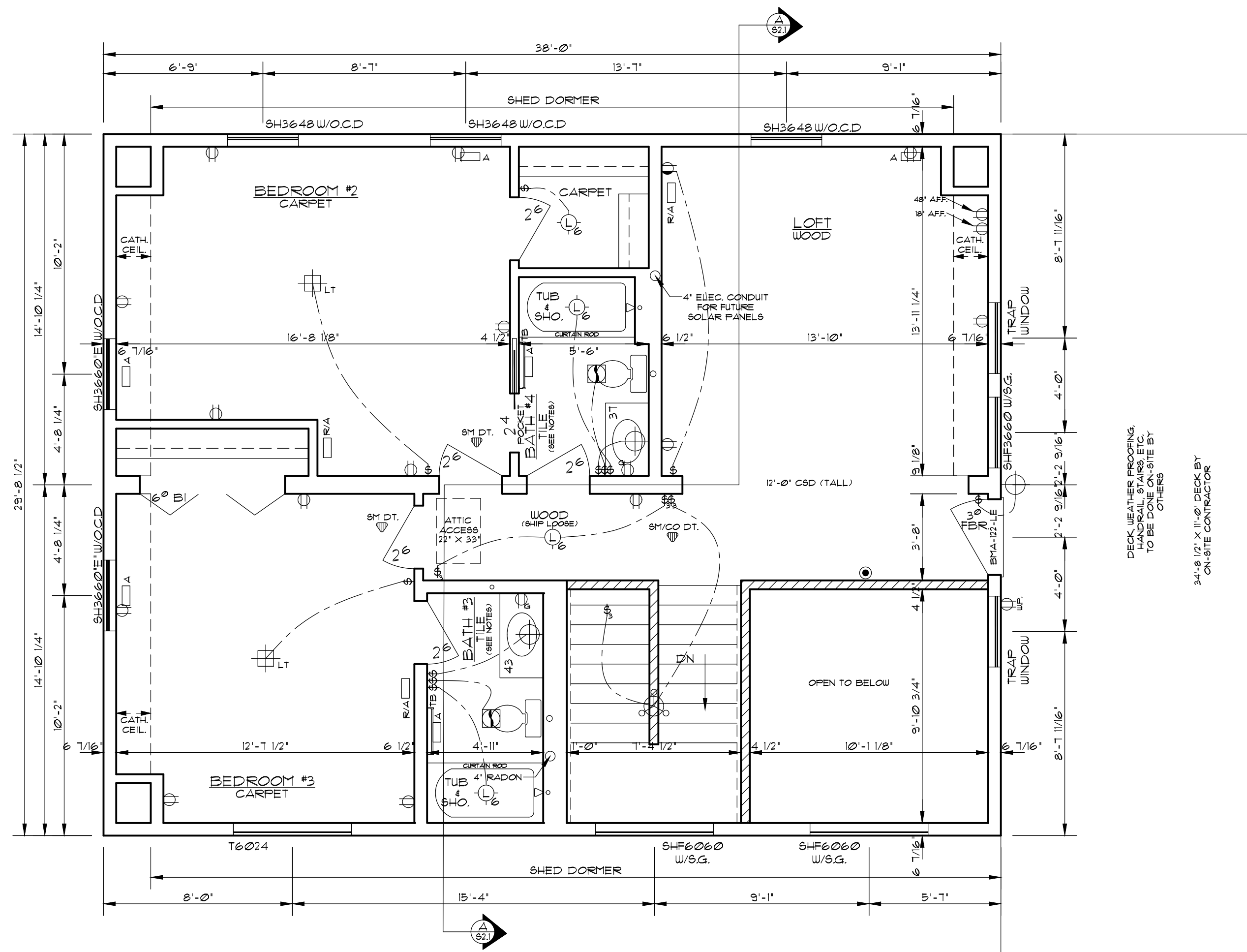
<p><b>HERITAGE HOMES</b> OF COLORADO, INC.</p>	<p><b>PLAN RETURN NOTICE &amp; SIGNATURES</b> (CHECK ONE BOX ONLY)</p> <p><input type="checkbox"/> REVISE &amp; RESEND TO BUILDER</p> <p><input type="checkbox"/> APPROVED AS FINAL BUILD PLAN</p>		<p>WE THE UNDERSIGNED RETURN THIS PLAN TO HERITAGEHOMES FOR THE EXPRESSED PURPOSE INDICATED AT THE IMMEDIATE LEFT. NOTE: INVALID IF MORE THAN ONE BOX IS CHECKED.</p> <p>BUILDER SIGNATURE _____ DATE _____</p> <p>CUSTOMER SIGNATURE _____ DATE _____</p>		<p>DATE DRAWN/REVISED</p> <p>7-16-18</p>	<p>HERITAGE HOMES BUILDER</p> <p><b>COLORADO MODULAR HOMES</b></p> <p>BUILDER LOCATION</p> <p><b>EVERGREEN, CO</b></p>	<p>DESIGNED FOR</p> <p><b>SHANE WAGNER</b></p> <p>NEW HOME LOCATION</p> <p><b>FRISCO, CO</b></p>	<p>JOB NO.</p> <p><b>7201</b></p> <p>SHEET NO.</p> <p><b>A1.1</b></p>
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NOTES:  
 -BAYER BUILT PPKF2 PINE INTERIOR DOORS - THRU OUT  
 -1X4 PINE CASING W/1X6 BASE TRIM  
 -SKIP TROWEL DRYWALL TEXTURE @ WALLS & CEILINGS  
 -GROUT FOR FLOOR TILE SUPPLIED BY HERITAGE HOMES BUT APPLIED BY ON-SITE CONTRACTOR


1ST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

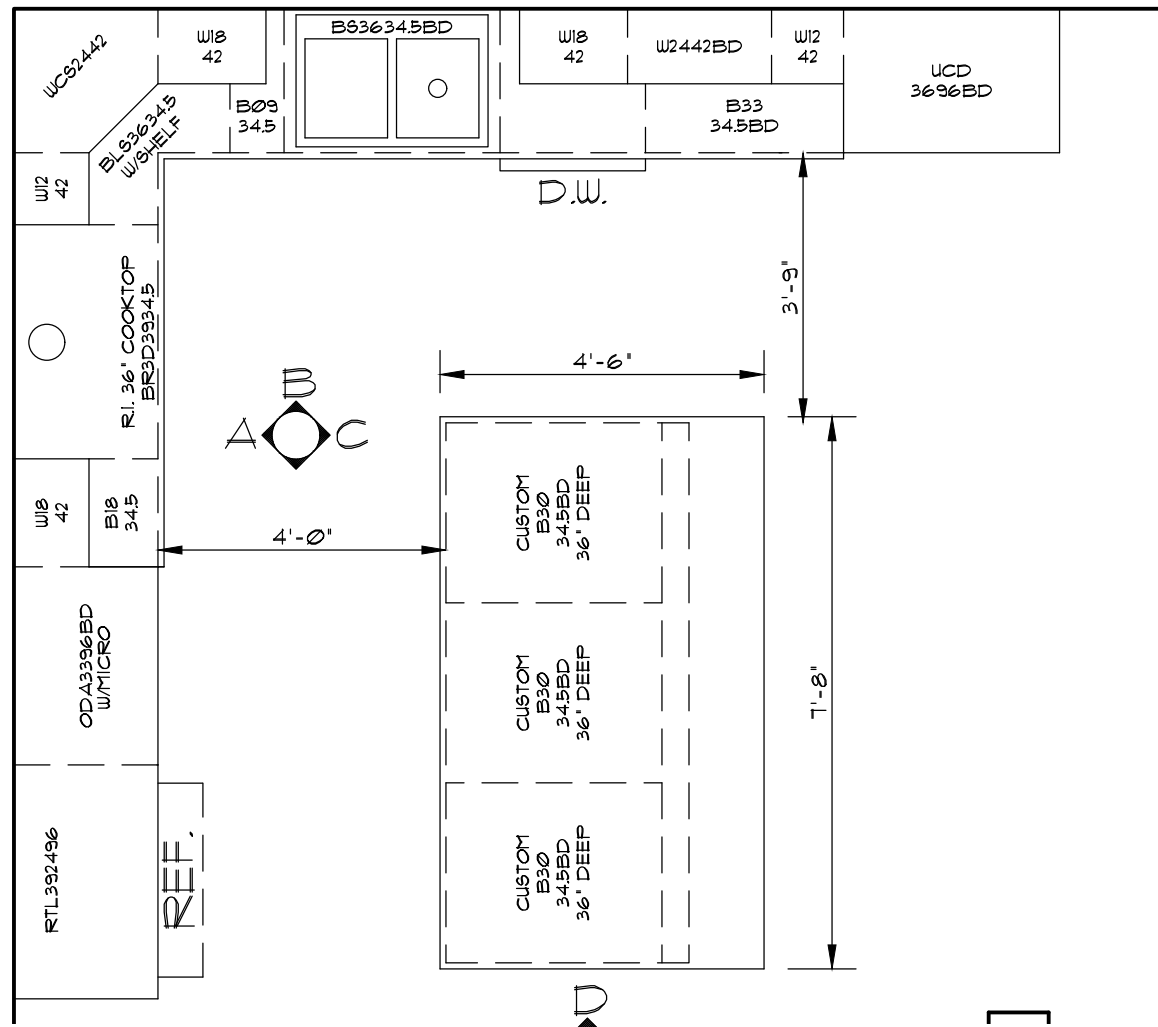
	<b>PLAN RETURN NOTICE &amp; SIGNATURES</b> (CHECK ONE BOX ONLY)	WE THE UNDERSIGNED RETURN THIS PLAN TO HERITAGEHOMES FOR THE EXPRESSED PURPOSE INDICATED AT THE IMMEDIATE LEFT. NOTE: INVALID IF MORE THAN ONE BOX IS CHECKED.	<b>DATE DRAWN/REVISED</b> 7-16-18	<b>HERITAGE HOMES BUILDER</b> <b>COLORADO MODULAR HOMES</b> BUILDER LOCATION <b>EVERGREEN, CO</b>	<b>DESIGNED FOR</b> <b>SHANE WAGNER</b> NEW HOME LOCATION <b>FRISCO, CO</b>	<b>JOB NO.</b> <b>7201</b> <b>SHEET NO.</b> <b>A2.1</b>
	<input type="checkbox"/> REVISE & RESEND TO BUILDER <input type="checkbox"/> APPROVED AS FINAL BUILD PLAN	BUILDER SIGNATURE _____ DATE _____ CUSTOMER SIGNATURE _____ DATE _____				



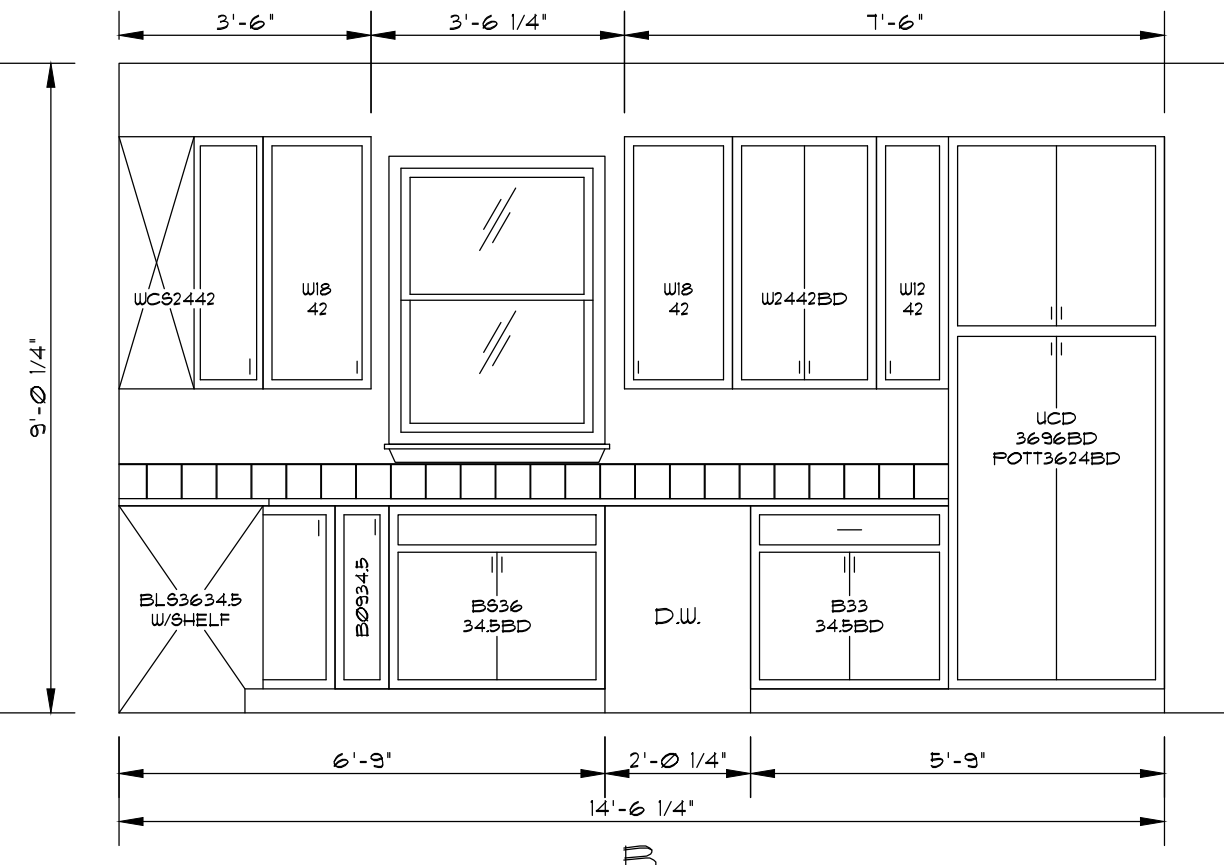
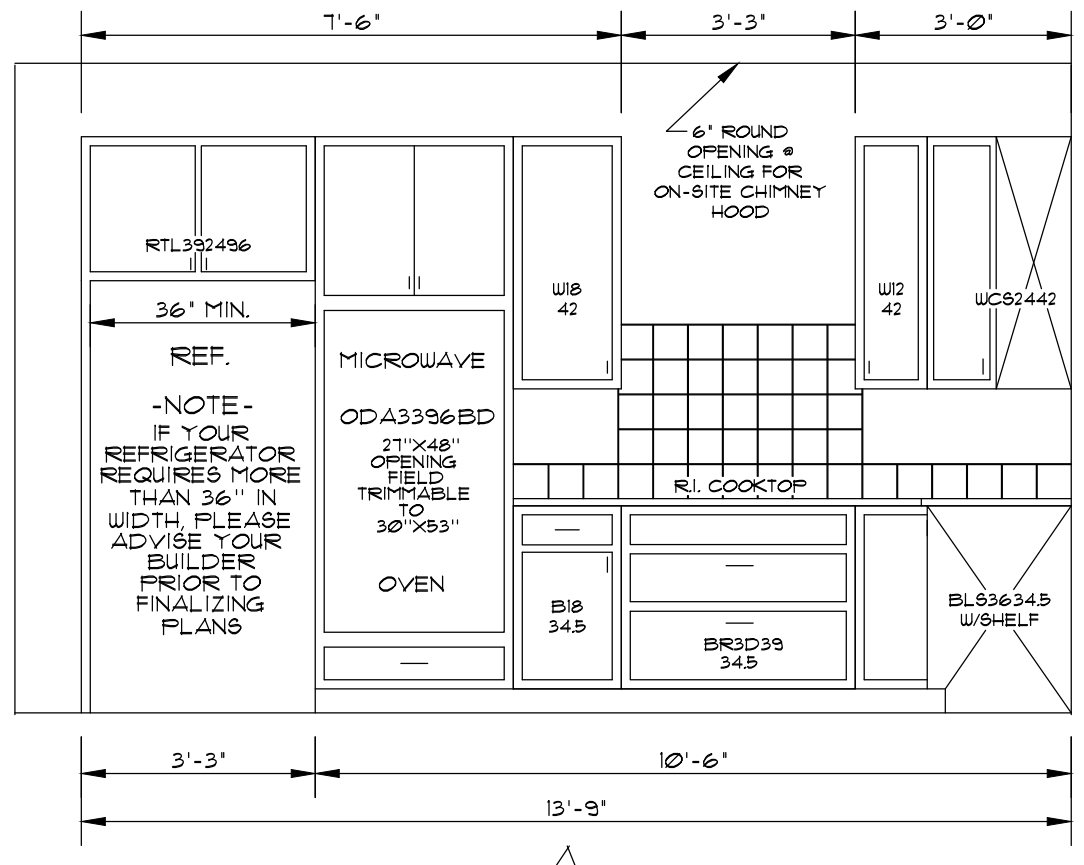
- NOTES:
- BAYER BUILT PPKF2 PINE INTERIOR DOORS - THRU OUT
  - 1X4 FINE CASING W/1X6 BASE TRIM
  - SKIP TROWEL DRYWALL TEXTURE @ WALLS & CEILINGS
  - GROUT FOR FLOOR TILE SUPPLIED BY HERITAGE HOMES BUT APPLIED BY ON-SITE CONTRACTOR

2ND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

 <b>HERITAGE HOMES</b> OF COLORADO, INC.	<b>PLAN RETURN NOTICE &amp; SIGNATURES</b> (CHECK ONE BOX ONLY)		WE THE UNDERSIGNED RETURN THIS PLAN TO HERITAGEHOMES FOR THE EXPRESSED PURPOSE INDICATED AT THE IMMEDIATE LEFT. NOTE: INVALID IF MORE THAN ONE BOX IS CHECKED.	<b>DATE DRAWN/REVISED</b>  7-16-18	<b>HERITAGE HOMES BUILDER</b> <b>COLORADO MODULAR HOMES</b> BUILDER LOCATION <b>EVERGREEN, CO</b>	<b>DESIGNED FOR</b> <b>SHANE WAGNER</b> NEW HOME LOCATION <b>FRISCO, CO</b>	<b>JOB NO.</b> <b>7201</b> <b>SHEET NO.</b> <b>A2.2</b>
	<input type="checkbox"/> REVISE & RESEND TO BUILDER	<input type="checkbox"/> APPROVED AS FINAL BUILD PLAN					

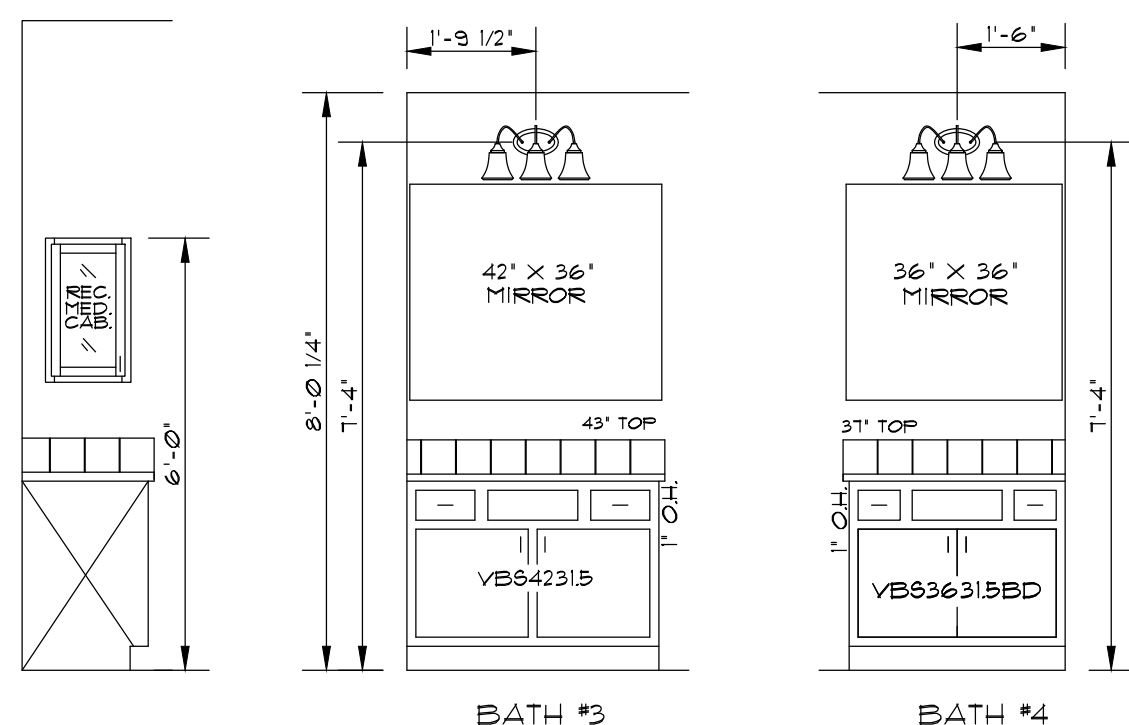
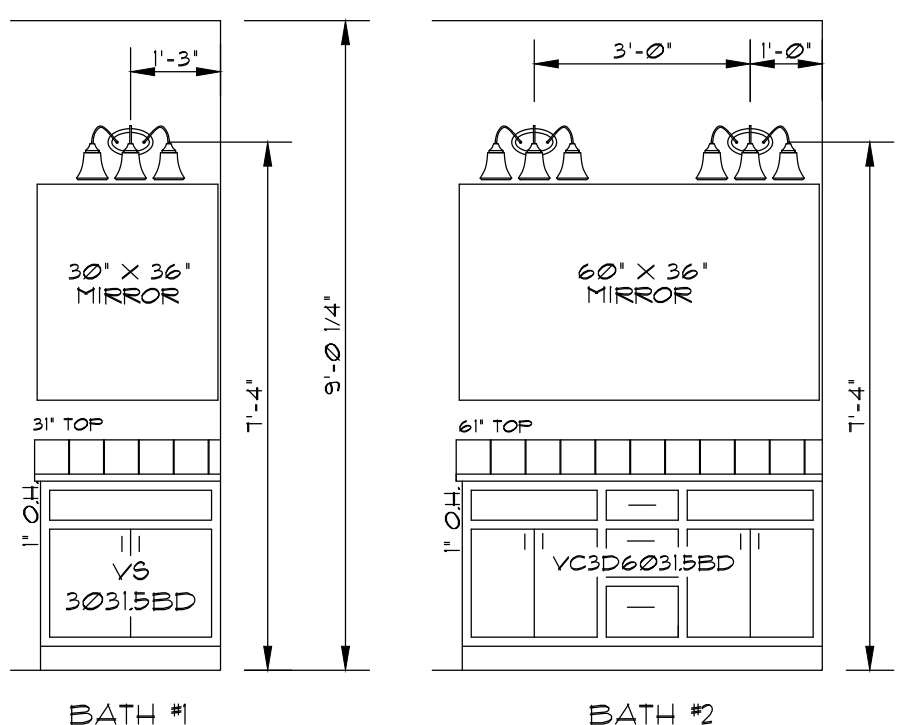
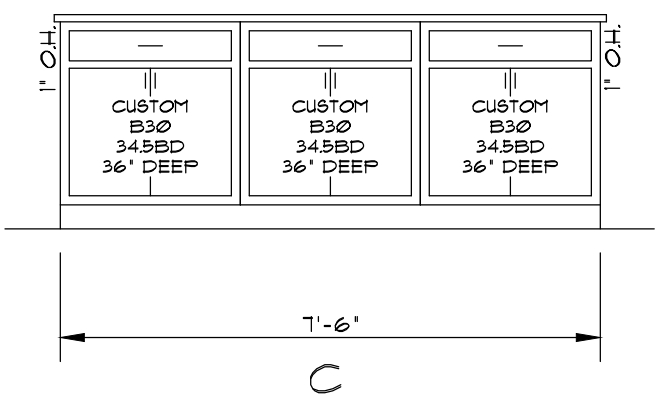


**OVERVIEW CABINET DETAILS**  
SCALE: 3/8" = 1'-0"



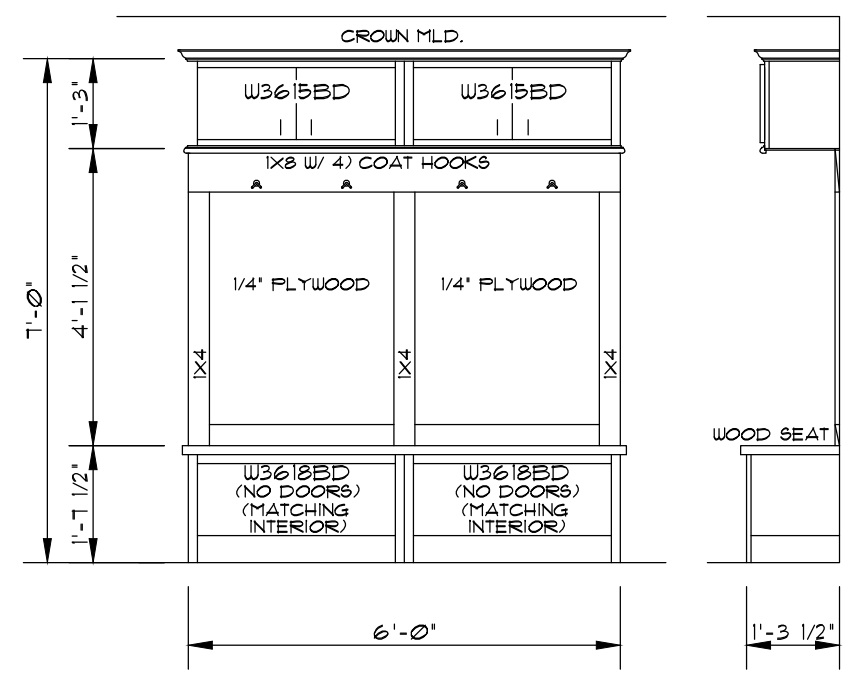
**KITCHEN CABINET DETAILS**  
SCALE: 3/8" = 1'-0"

NOTES:  
-SLAB CABINET DRAWER FRONTS  
-PORTRAIT STYLE CABINET DOORS  
-RED OAK KITCHEN CABINETS  
-QUARTZ COUNTERTOP  
-CERAMIC TILE BACKSPLASH



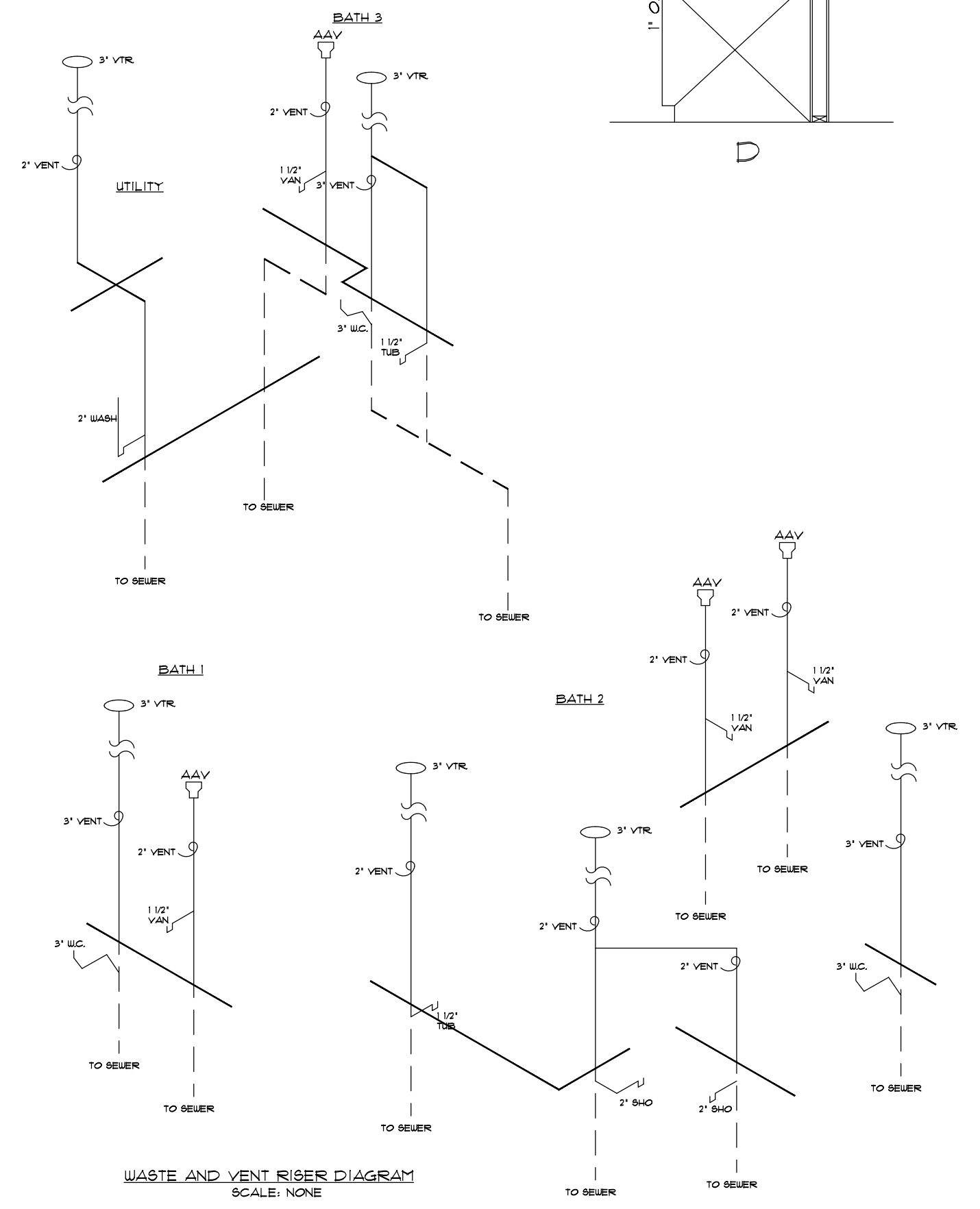
**BATH VANITY DETAILS**  
SCALE: 3/8" = 1'-0"

NOTES:  
-CERAMIC TILE BACKSPLASH  
-GRANITE VANITY TOPS W/UNDERMOUNT SINKS  
-PORTRAIT STYLE CABINET DOORS  
-SLAB CABINET DRAWER FRONTS  
-RED OAK VANITIES



**72" BOOT BENCH LOCKER DETAIL**  
SCALE: 3/8" = 1'-0"

NOTES:  
-RED OAK CABINETS  
-PORTRAIT STYLE CABINET DOORS



**WASTE AND VENT RISER DIAGRAM**  
SCALE: NONE



**PLAN RETURN NOTICE & SIGNATURES**  
(CHECK ONE BOX ONLY)

REVISE & RESEND TO BUILDER

APPROVED AS FINAL BUILD PLAN

WE THE UNDERSIGNED RETURN THIS PLAN TO HERITAGEHOMES FOR THE EXPRESSED PURPOSE INDICATED AT THE IMMEDIATE LEFT.  
NOTE: INVALID IF MORE THAN ONE BOX IS CHECKED.

BUILDER SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

CUSTOMER SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

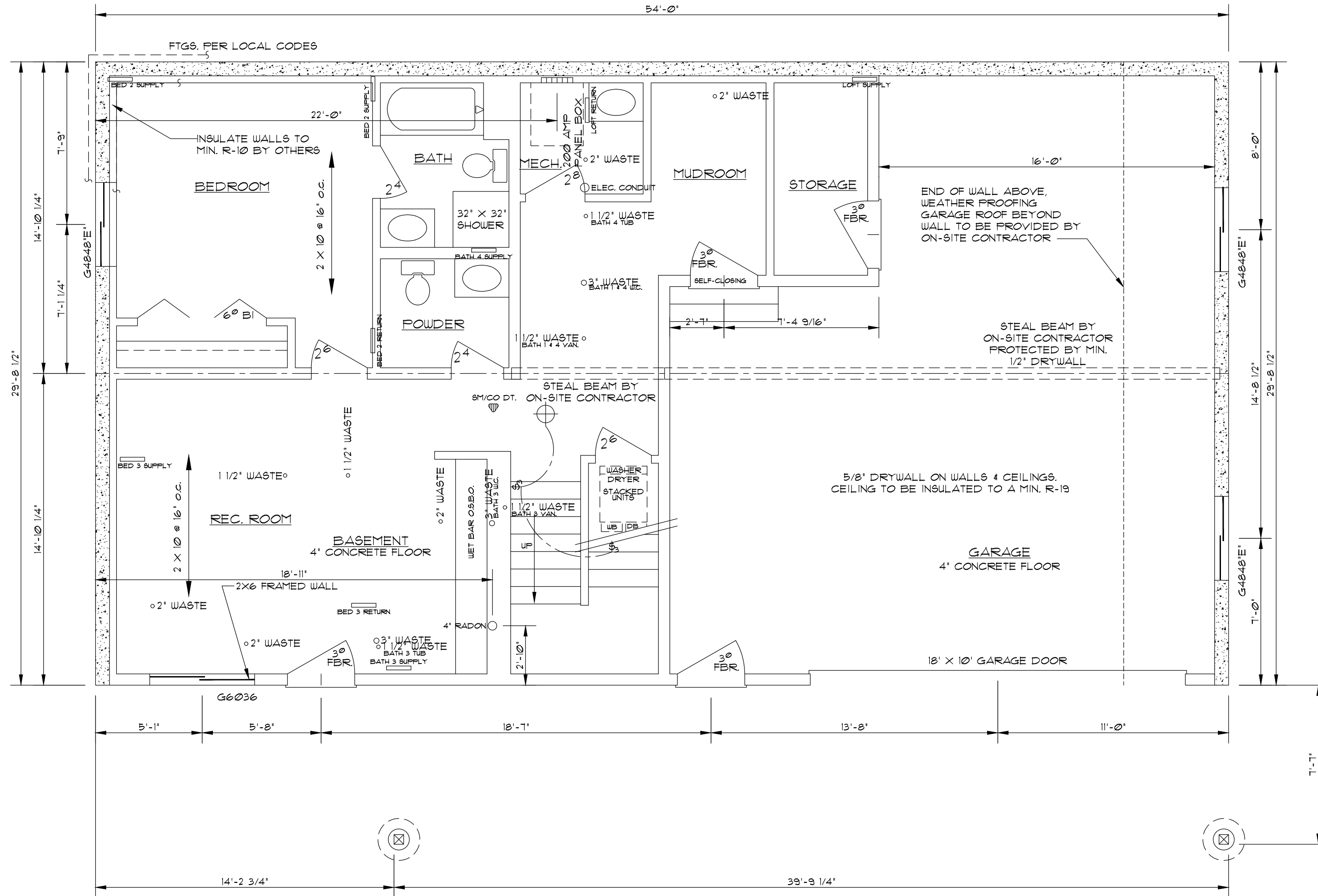
**DATE DRAWN/REVISED**  
7-16-18

**HERITAGE HOMES BUILDER**  
**COLORADO MODULAR HOMES**  
BUILDER LOCATION  
**EVERGREEN, CO**

**DESIGNED FOR**  
**SHANE WAGNER**  
NEW HOME LOCATION  
**FRISCO, CO**

**JOB NO.**  
7201

**SHEET NO.**  
A3.1



FOUNDATION NOTES:

- I. THESE DRAWINGS ARE INTENDED TO PROVIDE OVERALL PLAN-VIEW DIMENSIONS ONLY. PIERS, FOOTINGS, FOUNDATION SIZES, AND DESIGNS ARE TO BE BASED ON SITE SOIL CONDITIONS. ALL PIERS, FOOTINGS, FOUNDATIONS, AND OTHER ON-SITE CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES.
- II. ALL WORK BELOW FLOOR SYSTEM TO BE DESIGNED AND COMPLETED BY AN ON-SITE CONTRACTOR.
- III. VERIFY DIMENSIONS PRIOR TO CONSTRUCTION.
- IV. THE BUILDER AGREES, AT THE OWNER'S REQUEST, TO LEAVE TWO BUCKETFULLS OF DIRT/BACKFILL MATERIAL ON PROPERTY FOR THE OWNER'S USE IN MAINTAINING PROPER SLOPE AWAY FROM THE FOUNDATION ON THE BACKFILL AREA AROUND THE HOME.

- V. PROPER SLOPE OF THE PERIMETER GRADE AROUND THE HOME FOUNDATION SHALL BE A MINIMUM OF ONE IN SIX ± ONE FOOT HIGHER AT THE FOUNDATION THAN THE GRADE IS 6 FEET FROM THE FOUNDATION, FOR POSITIVE DRAINAGE.
- VI. SETTLING WILL OCCUR DURING THE NEXT 5 TO 7 YEARS AS MOISTURE PENETRATES THE BACKFILL MATERIAL. MAINTENANCE IS NOT THE RESPONSIBILITY OF THE BUILDER.
- VII. PERIMETER PLANTINGS SHOULD BE A MINIMUM OF 4 FEET AWAY FROM THE FOUNDATION. AN ALTERNATE TO GRASS IS A 4 FOOT WIDE PLASTIC WATER BARRIER ON THE SOIL AND LAPPED UP ONTO THE FOUNDATION WALL AND COVERED WITH LANDSCAPE ROCKS. LAWN SPRINKLER HEADS SHOULD NOT BE PLACED CLOSER THAN 6 FEET FROM THE FOUNDATION, AND SPRAY AWAY FROM THE FOUNDATION.

PROPOSED FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



HERITAGE HOMES OF MISSOURI, INC.

PLAN RETURN NOTICE & SIGNATURES (CHECK ONE BOX ONLY)	
<input type="checkbox"/>	REVISE & RESEND TO BUILDER
<input type="checkbox"/>	APPROVED AS FINAL BUILD PLAN

WE THE UNDERSIGNED RETURN THIS PLAN TO HERITAGEHOMES FOR THE EXPRESSED PURPOSE INDICATED AT THE IMMEDIATE LEFT. NOTE: INVALID IF MORE THAN ONE BOX IS CHECKED.

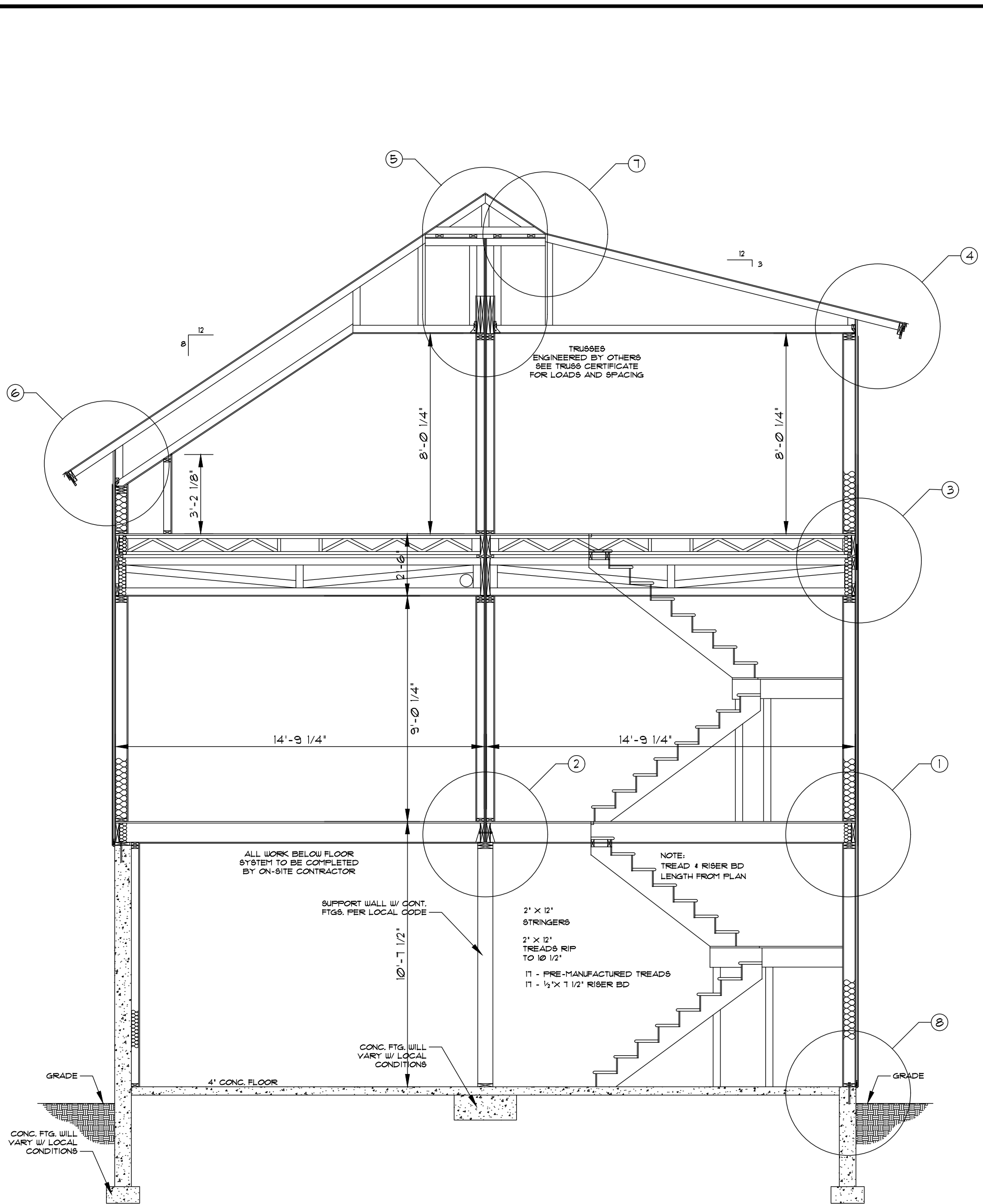
BUILDER SIGNATURE _____	DATE _____
CUSTOMER SIGNATURE _____	DATE _____

DATE DRAWN/REVISED  
7-16-18

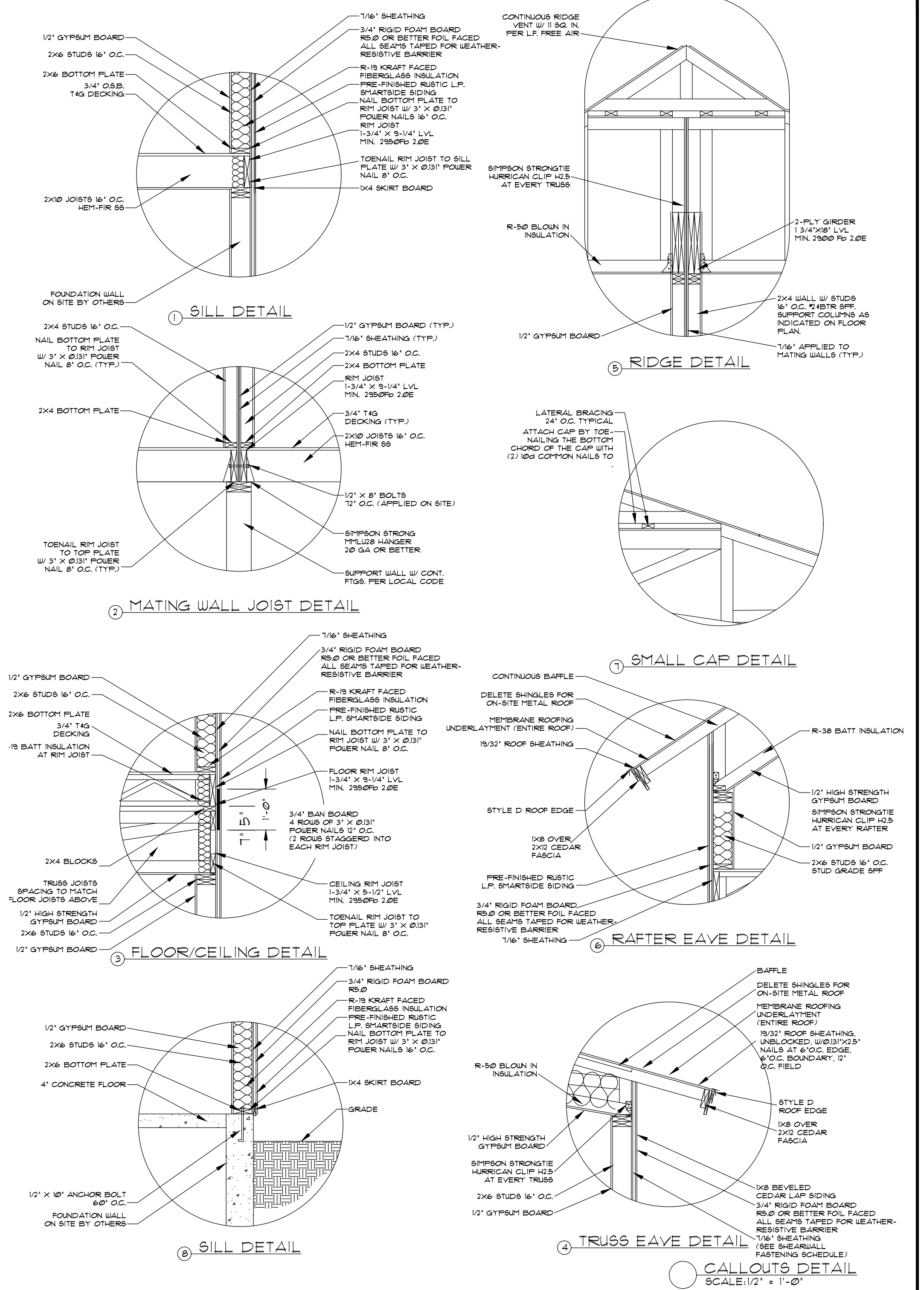
HERITAGE HOMES BUILDER  
**COLORADO MODULAR HOMES**  
BUILDER LOCATION  
**EVERGREEN, CO**

DESIGNED FOR  
**SHANE WAGNER**  
NEW HOME LOCATION  
**FRISCO, CO**

JOB NO.  
**7201**  
SHEET NO.  
**S1.1**

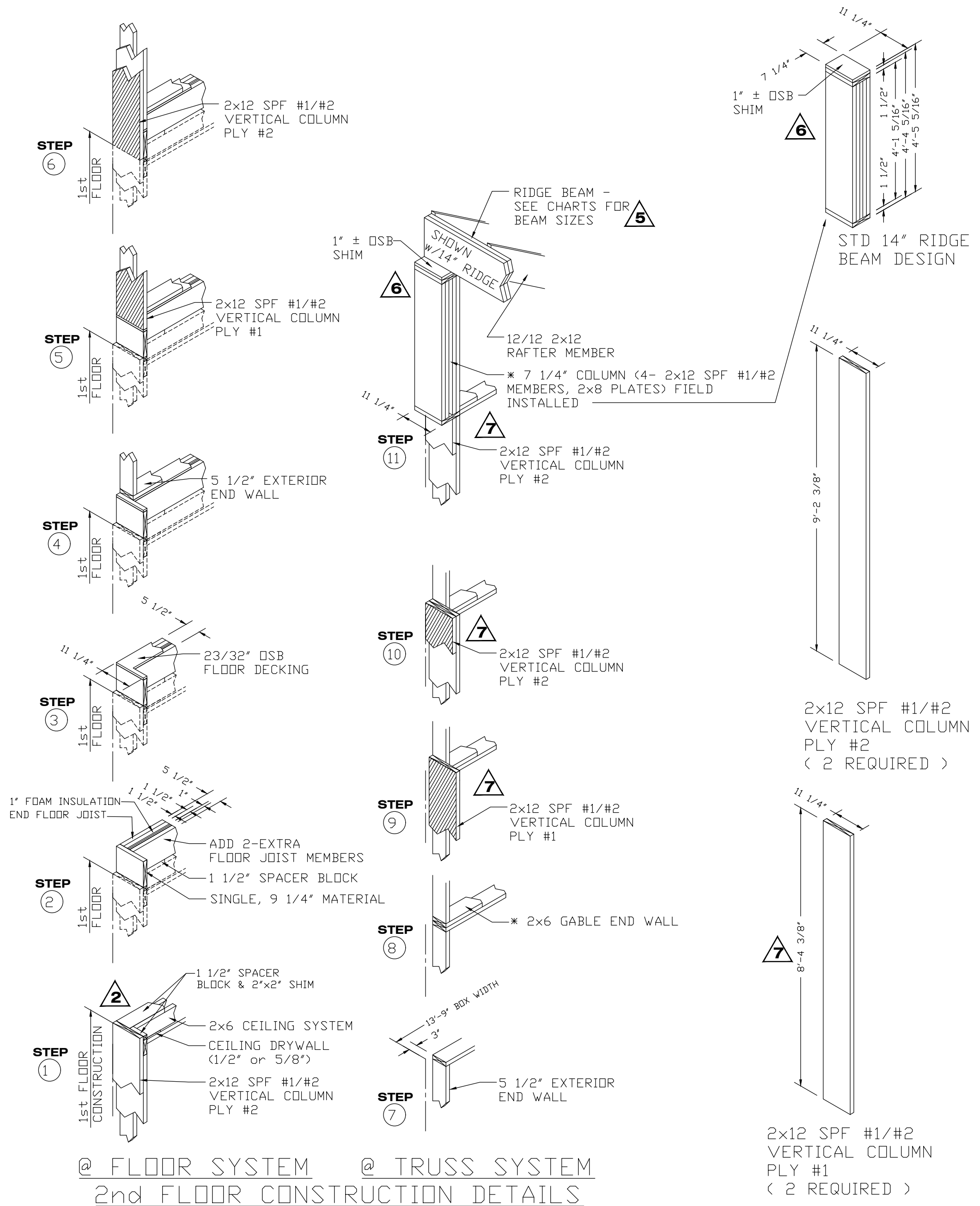
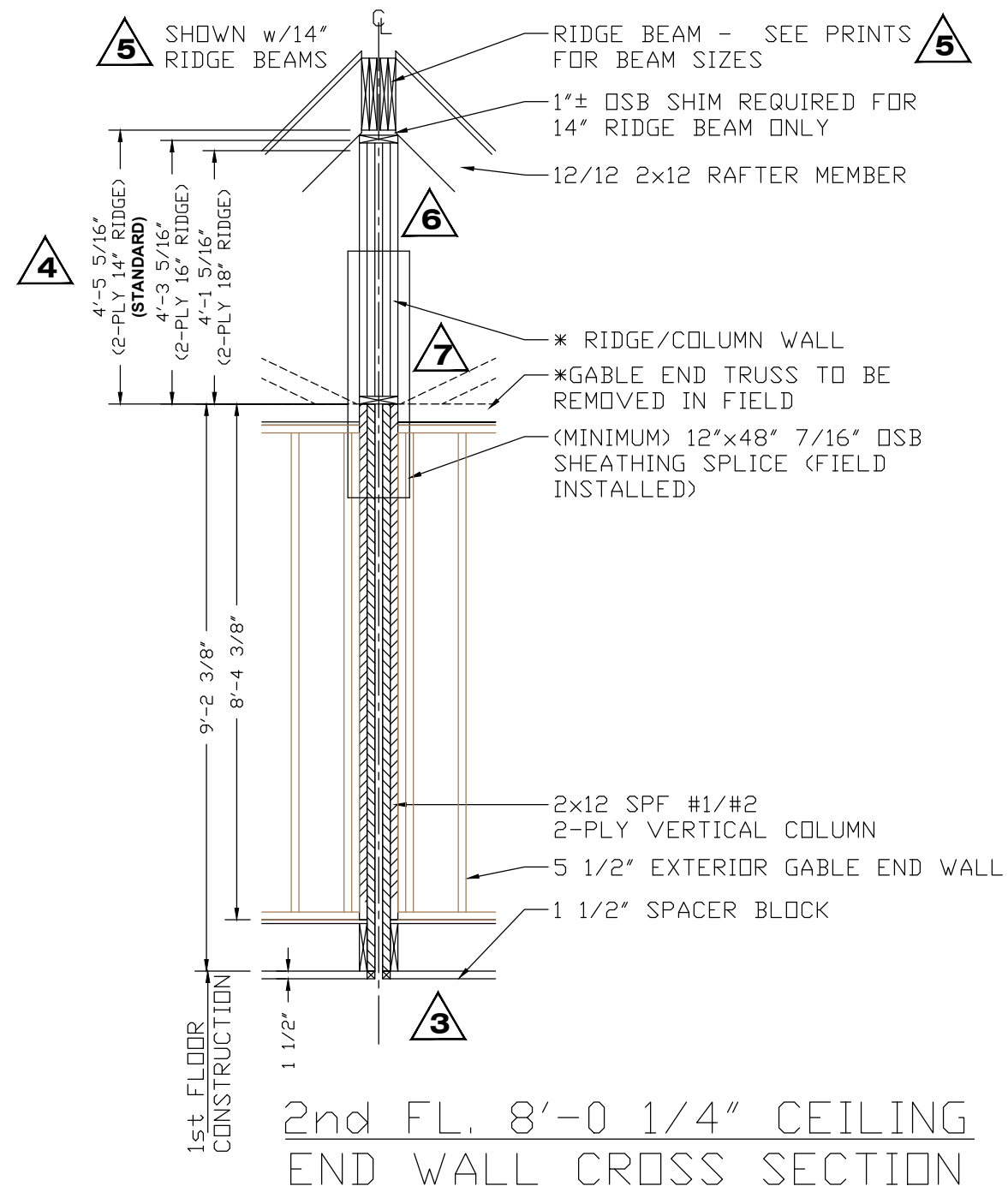
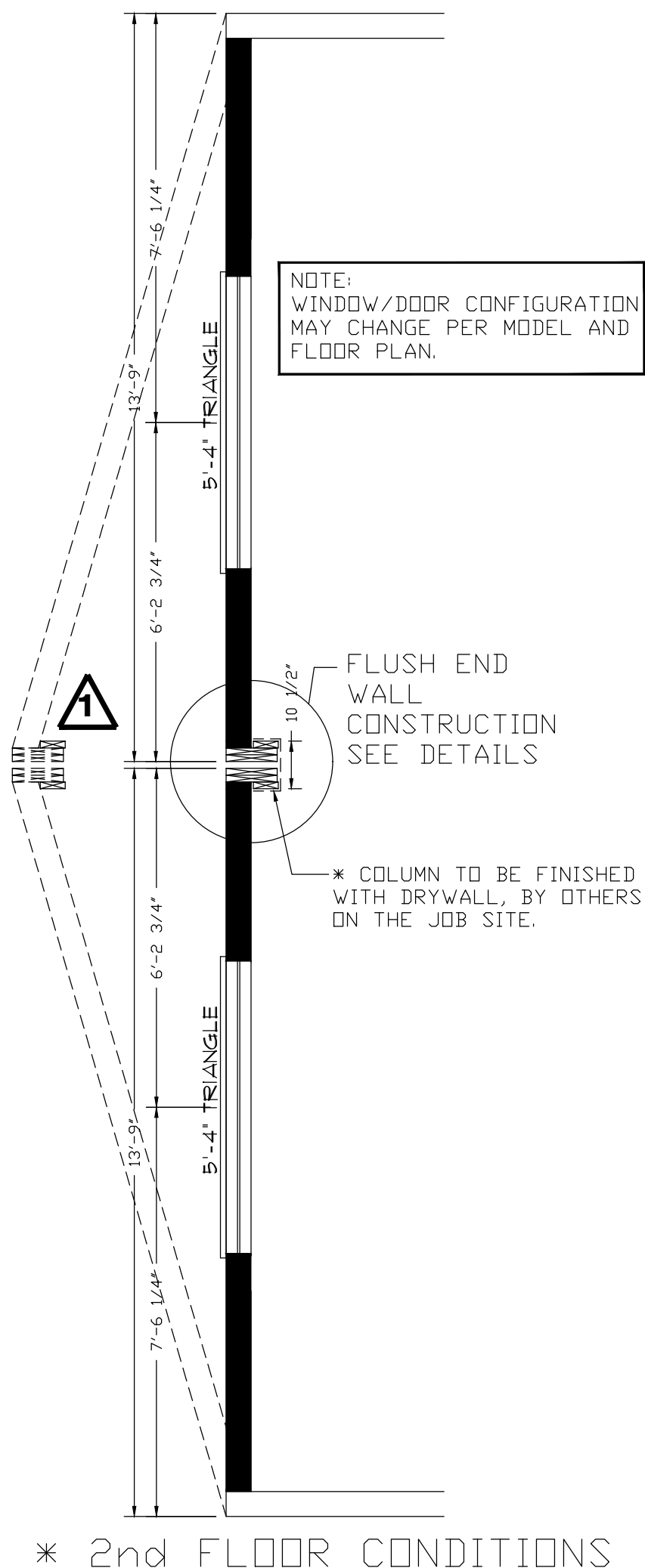


**A** CROSS SECTION  
SCALE: 1/4" = 1'-0"



	<b>PLAN RETURN NOTICE &amp; SIGNATURES</b> (CHECK ONE BOX ONLY) <input type="checkbox"/> REVISE & RESEND TO BUILDER <input type="checkbox"/> APPROVED AS FINAL BUILD PLAN	WE THE UNDERSIGNED RETURN THIS PLAN TO HERITAGEHOMES FOR THE EXPRESSED PURPOSE INDICATED AT THE IMMEDIATE LEFT. NOTE: INVALID IF MORE THAN ONE BOX IS CHECKED. BUILDER SIGNATURE _____ DATE _____ CUSTOMER SIGNATURE _____ DATE _____	DATE DRAWN/REVISED <b>7-16-18</b>	HERITAGE HOMES BUILDER <b>COLORADO MODULAR HOMES</b> BUILDER LOCATION <b>EVERGREEN, CO</b>	DESIGNED FOR <b>SHANE WAGNER</b> NEW HOME LOCATION <b>FRISCO, CO</b>	JOB NO. <b>7201</b> SHEET NO. <b>S2.1</b>
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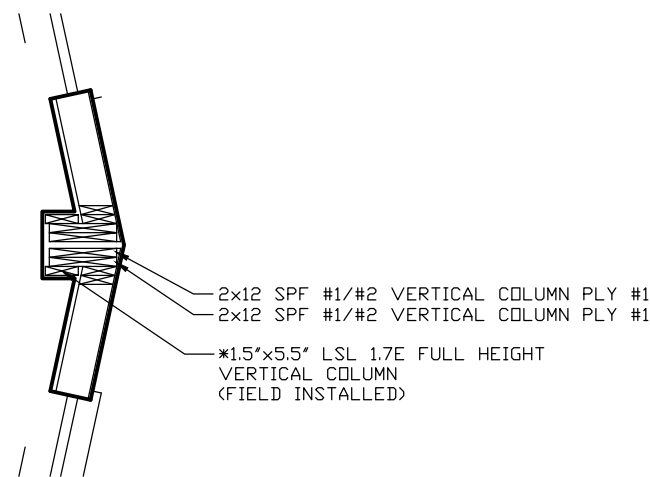




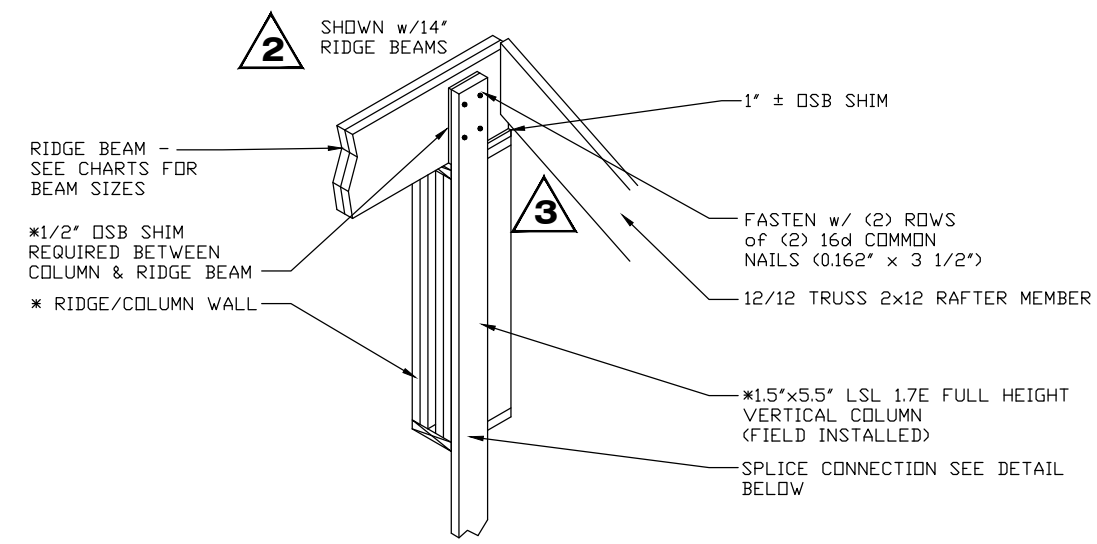
8/12 ROOF  
4 BOX MODELS  
8/9' 1st FL. CEILING

FLUSH ENDWALL DETAILS  
STRUCTURAL FRAMING DETAIL

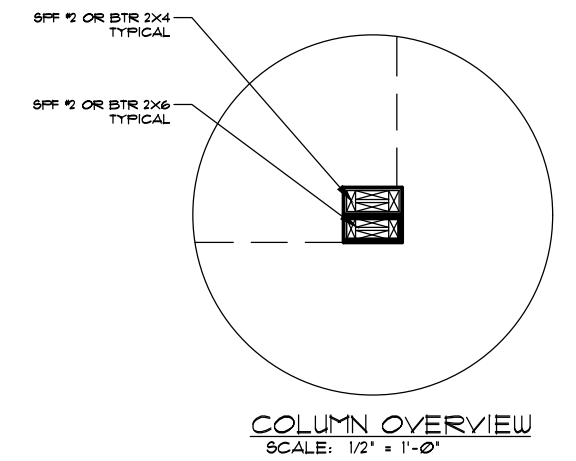
<p>HERITAGE HOMES</p>	<p>PLAN RETURN NOTICE &amp; SIGNATURES (CHECK ONE BOX ONLY)</p> <p><input type="checkbox"/> REVISE &amp; RESEND TO BUILDER</p> <p><input type="checkbox"/> APPROVED AS FINAL BUILD PLAN</p>	<p>WE THE UNDERSIGNED RETURN THIS PLAN TO HERITAGEHOMES FOR THE EXPRESSED PURPOSE INDICATED AT THE IMMEDIATE LEFT. NOTE: INVALID IF MORE THAN ONE BOX IS CHECKED.</p> <p>BUILDER SIGNATURE _____ DATE _____</p> <p>CUSTOMER SIGNATURE _____ DATE _____</p>	<p>DATE DRAWN/REVISED</p> <p>7-16-18</p>	<p>HERITAGE HOMES BUILDER</p> <p><b>COLORADO MODULAR HOMES</b></p> <p>BUILDER LOCATION</p> <p><b>EVERGREEN, CO</b></p>	<p>DESIGNED FOR</p> <p><b>SHANE WAGNER</b></p> <p>NEW HOME LOCATION</p> <p><b>FRISCO, CO</b></p>	<p>JOB NO.</p> <p><b>7201</b></p> <p>SHEET NO.</p> <p><b>S2.2</b></p>



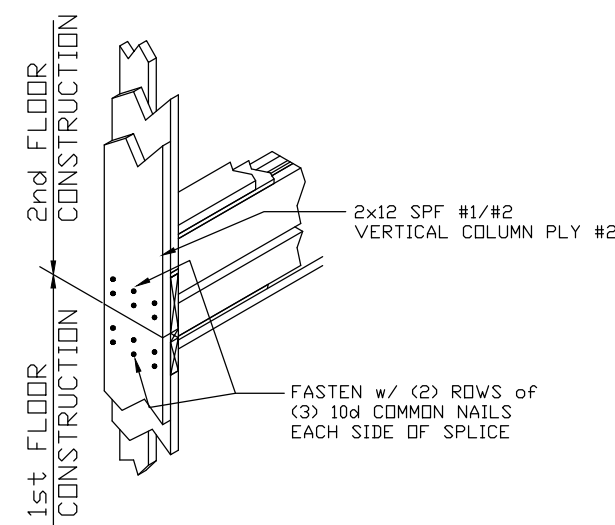
VERTICAL COLUMN OVERVIEW



VERTICAL COLUMN (5.5' LSL) TO RIDGE BEAM CONNECTION

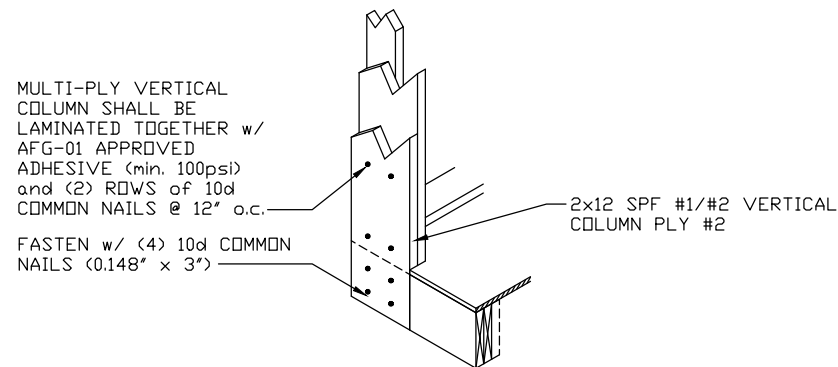


COLUMN OVERVIEW SCALE: 1/2" = 1'-0"

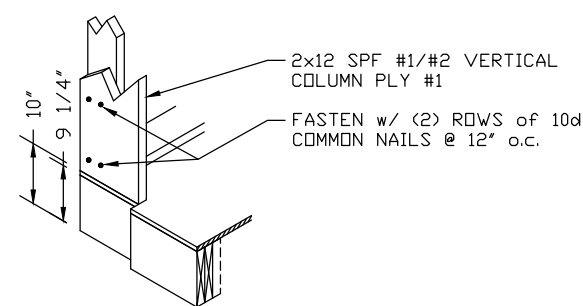


VERTICAL COLUMN CONNECTION @ 1st/2nd FLOOR SPLICE

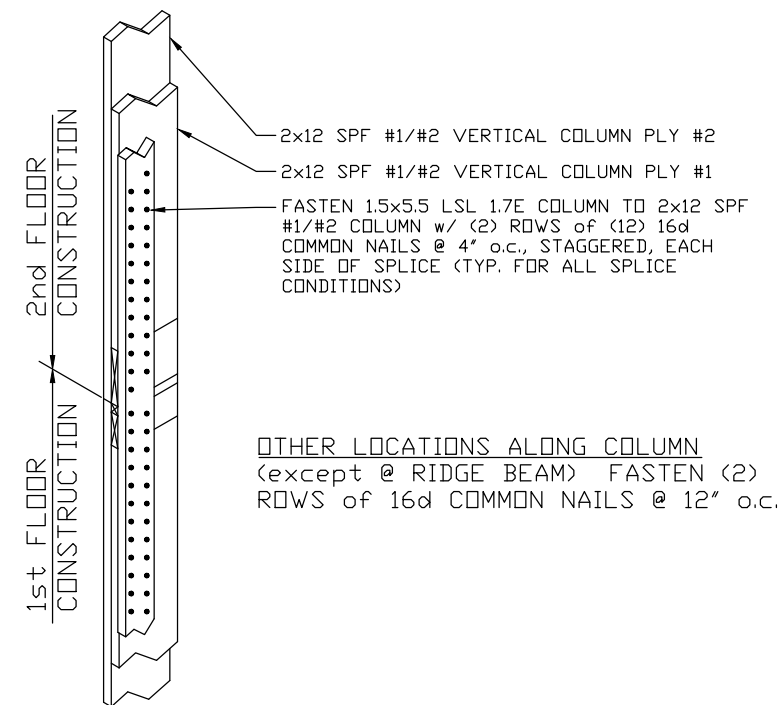
VERTICAL COLUMN MULTI-PLY FASTENING



VERTICAL COLUMN TO FLOOR BEAM CONNECTION

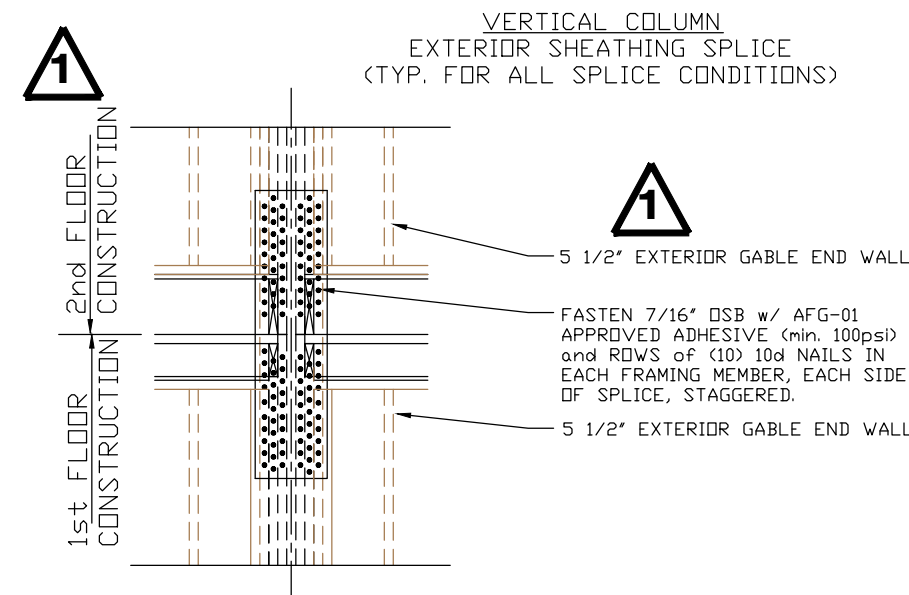
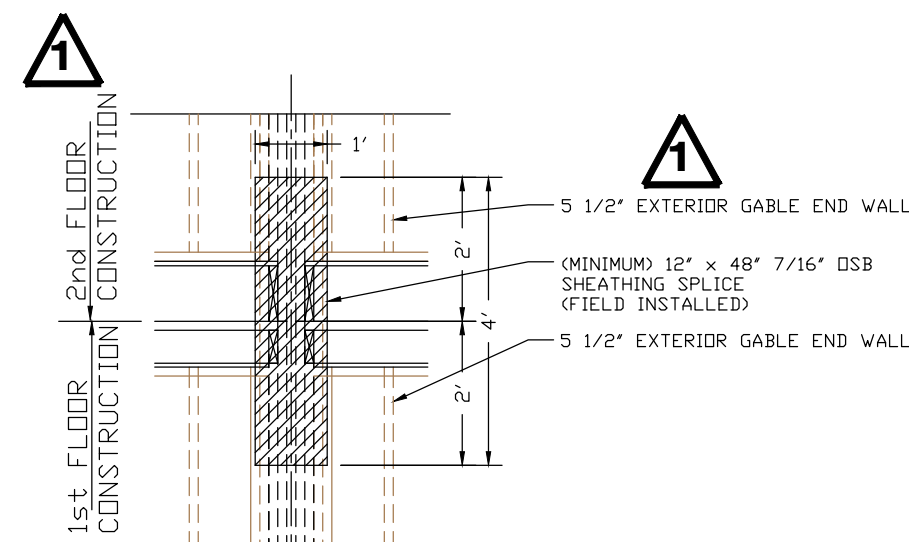


VERTICAL COLUMN (PLY#1) TO 2x6 WALL STUD

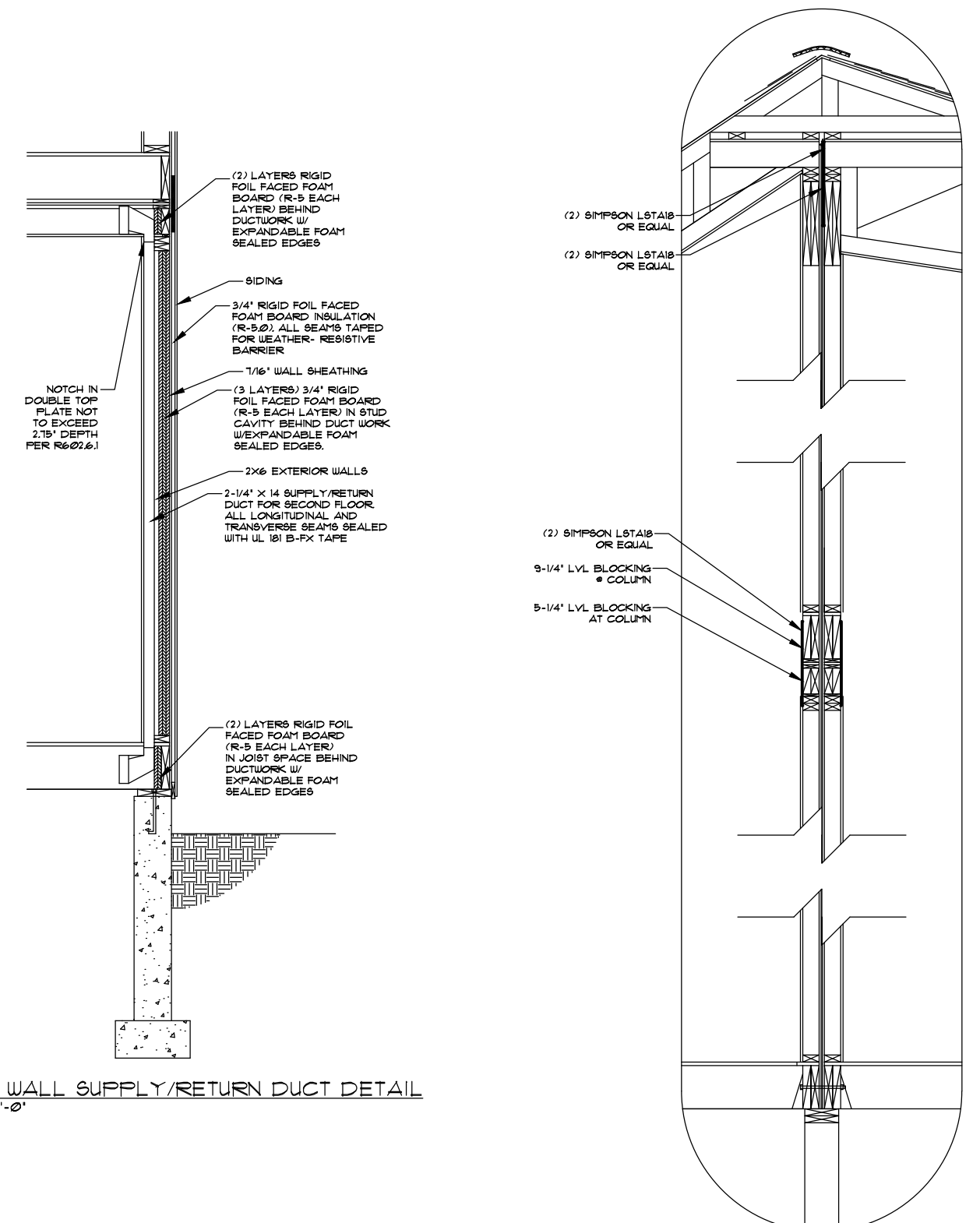


VERTICAL COLUMN (5.5' LSL) @ SPLICE CONNECTION

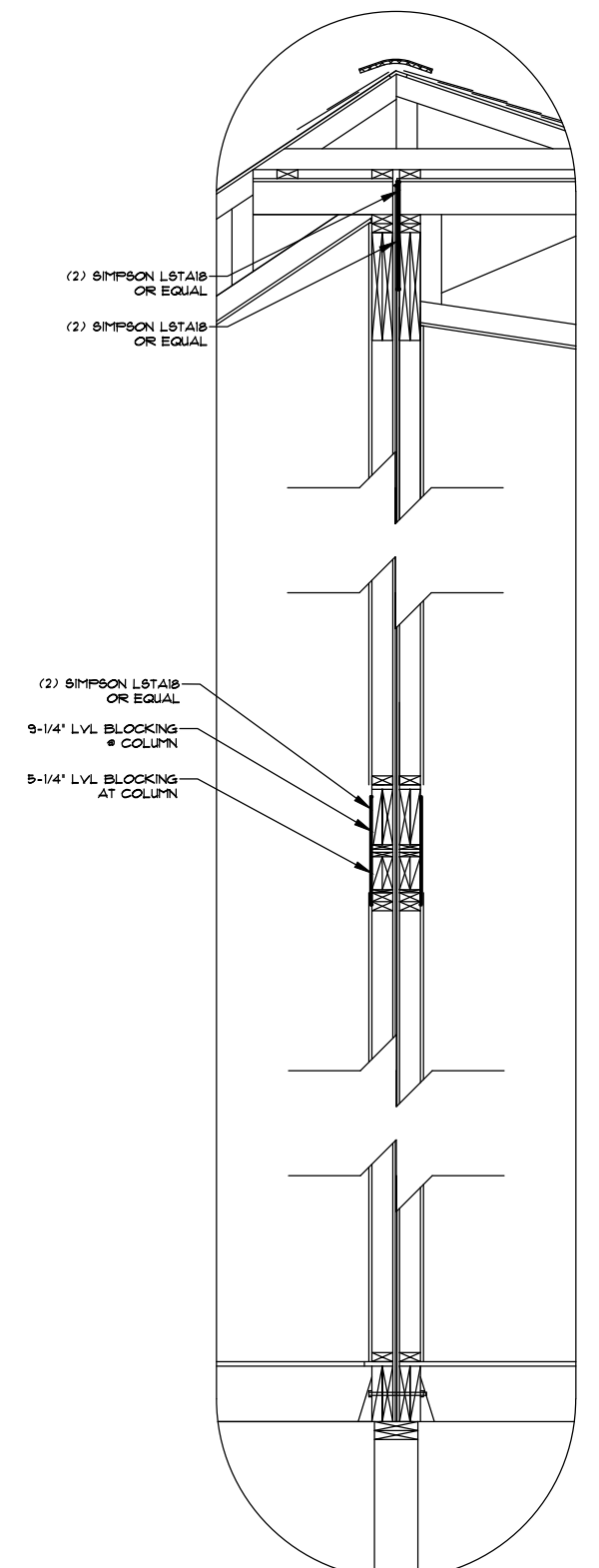
8/12 ROOF CAPE 4 BOX MODELS  
8/9' 1st FL. CEILING



\* FIELD WORK  
FLUSH ENDWALL DETAILS  
STRUCTURAL FRAMING DETAIL



EXTERIOR WALL SUPPLY/RETURN DUCT DETAIL SCALE: 1/2" = 1'-0"



COLUMN DETAIL SCALE: 1/2" = 1'-0"

	<b>PLAN RETURN NOTICE &amp; SIGNATURES</b> (CHECK ONE BOX ONLY) <input type="checkbox"/> REVISE & RESEND TO BUILDER <input type="checkbox"/> APPROVED AS FINAL BUILD PLAN	WE THE UNDERSIGNED RETURN THIS PLAN TO HERITAGEHOMES FOR THE EXPRESSED PURPOSE INDICATED AT THE IMMEDIATE LEFT. NOTE: INVALID IF MORE THAN ONE BOX IS CHECKED.  BUILDER SIGNATURE _____ DATE _____ CUSTOMER SIGNATURE _____ DATE _____	DATE DRAWN/REVISED 7-16-18	HERITAGE HOMES BUILDER <b>COLORADO MODULAR HOMES</b> BUILDER LOCATION <b>EVERGREEN, CO</b>	DESIGNED FOR <b>SHANE WAGNER</b> NEW HOME LOCATION <b>FRISCO, CO</b>	<b>7201</b> SHEET NO. <b>S2.3</b>
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