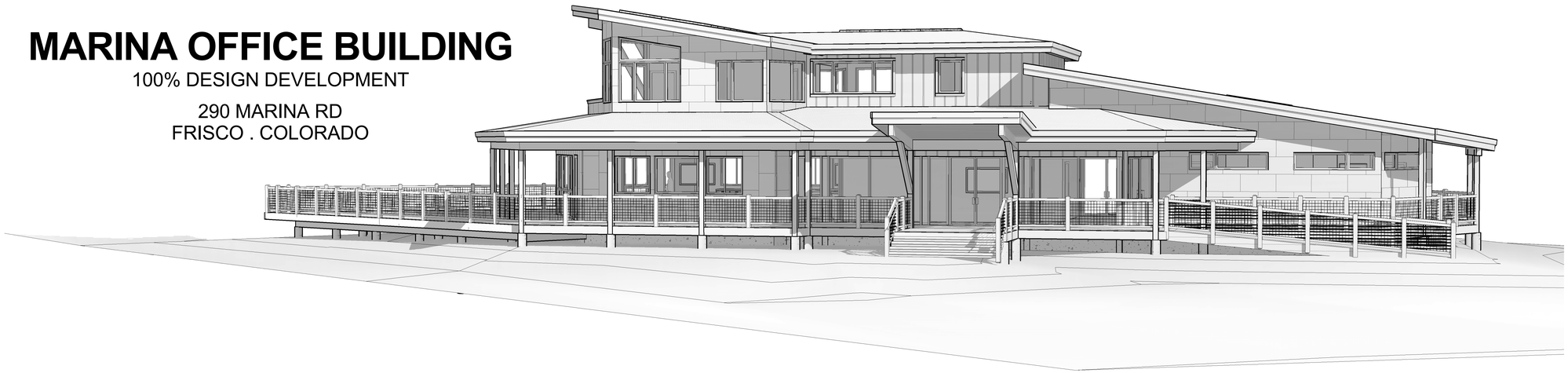
MARINA OFFICE BUILDING

100% DESIGN DEVELOPMENT

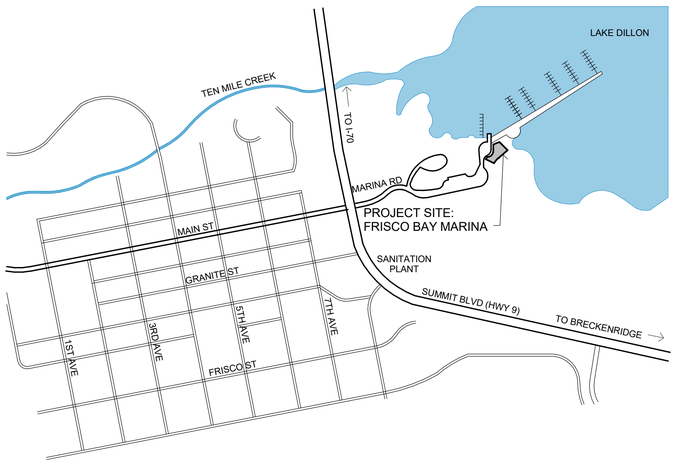
290 MARINA RD
FRISCO . COLORADO



matthew stais architects
108 north ridge street
p o box 135
breckenridge
colorado 80424
970 453 0444

www.staisarchitects.com

VICINITY MAP



SHEET INDEX

PROJECT TEAM

OWNER:

TOWN OF FRISCO
1 EAST MAIN ST
P.O. BOX 4100
FRISCO . CO . 80443
970.668.2559

SURVEYOR:

SCHMIDT LAND SURVEYING, INC.
P.O BOX 5761
FRISCO . CO . 80443
970-409-9963

MASTER PLAN:

LOGAN SIMPSON
123 N COLLEGE AVE. SUITE 206
FORT COLLINS . CO . 80524
970.449.4100

BUILDER:

JHL CONSTRUCTORS
7076 SOUTH ALTON WAY . BUILDING H
CENTENNIAL . CO 80112
303.741.6116

ARCHITECT:

MATTHEW STAIS ARCHITECTS
108 N RIDGE ST
P.O. BOX 135
BRECKENRIDGE . CO . 80424
970.453.0444

CIVIL ENGINEER:

MARTIN/MARTIN
0101 FAWCETT RD. SUITE 260
P.O. BOX 8896
AVON . CO . 81620
970.926.6007

LANDSCAPE ARCHITECT:

NORRIS DESIGN
409 E MAIN ST. SUITE 207
P.O. BOX 2320
FRISCO . CO . 80443
970.368.7068

STRUCTURAL ENGINEER:

ENGINEERING DESIGN WORKS, INC
PO BOX 775729
1855 SKI TIMES SQUARE, UNIT E2C
STEAMBOAT SPRINGS, CO 80477
970.879.4890

MECH/ELEC ENGINEER:

BIGHORN CONSULTING ENGINEERS
569 WESTGATE DR, SUITE 1
GRAND JUNCTION, CO 81506
970.241.8709

MARINA OFFICE BUILDING

290 marina rd
frisco . colorado

PROJECT # 1737

ISSUE:

review	26 april 2018
review	20 june 2018
dev app	27 june 2018
50% des dev't	9 july 2018
100% des dev't	30 july 2018

COVER SHEET

draft

CS

8/31/2018 3:18:11 PM C:\Users\daniel\Documents\1737 3D MODEL_daniel.rvt

MITIGATE DISTURBED WETLANDS AT THIS AREA; EXACT LOCATION TBD (SEPARATE PERMIT)

BOAT DOCK

BOAT HOUSE

DENVER WATER DEPT. (UNPLATTED)

FRISCO CEMETERY

REST ROOMS

LUND HOUSE

ISLAND GRILL

PROJECT AREA

HIGH WATER LINE (9017')

LOTS 13-18 BLOCK 1 FRISCO TOWNSITE

ALLEY R-O-W (40')

LOTS 7-12 BLOCK 1 FRISCO TOWNSITE

FRISCO CEMETERY

SUMMIT BOULEVARD COLORADO HIGHWAY NO. 9

ONE STORY BUILDING (FERRELLGAS)

EXISTING SEWER SERVICE TO REMAIN

EXISTING OVERHEAD UTILITY LINES

MARINA ROAD

PARCEL 'A' WATERFRONT SUBDIVISION (REC. 595142)

EXISTING TRASH & RECYCLING TO REMAIN

DENVER WATER DEPT. (UNPLATTED)

MAIN STREET

10' FISCO UNDERGROUND UTILITY EASEMENT

LOT 2

MENTOR 1

BUILDING SETBACK LINE

MARINA SQUARE LOT B-2

PROJECT SIGN EASEMENT

10' FISCO UNDERGROUND UTILITY EASEMENT

ACCESS & UTILITY EASEMENT

EASEMENT PUBLIC SERVICE COMPANY (TO BE VACATED)

DENVER WATER DEPT. (UNPLATTED)

MOUNT ROYAL PLAZA BLOCK 13 FRISCO TOWNSITE

SUMMIT BOULEVARD

LOT B-1

ACCESS & UTILITY EASEMENT

BUILDING SETBACK LINE

BOUNDARY MARINA LEASE AREA

MOUNT ROYAL PLAZA BLOCK 13 FRISCO TOWNSITE

ACCESS & UTILITY EASEMENT

UTILITY EASEMENT

10' BUILDING SETBACK LINE

FRISCO SANITATION DISTRICT (UNPLATTED)

10' DRAINAGE EASEMENT & SLOPE SETBACK LINE

PARCEL 'C' WATERFRONT SUB.

1 A101 EXISTING NEIGHBORHOOD MAP

SCALE: 1" = 80'-0"

0 40 80 160 240

NORTH

matthew stais architects
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frisco bay marina
frisco . colorado

PROJECT # 1737

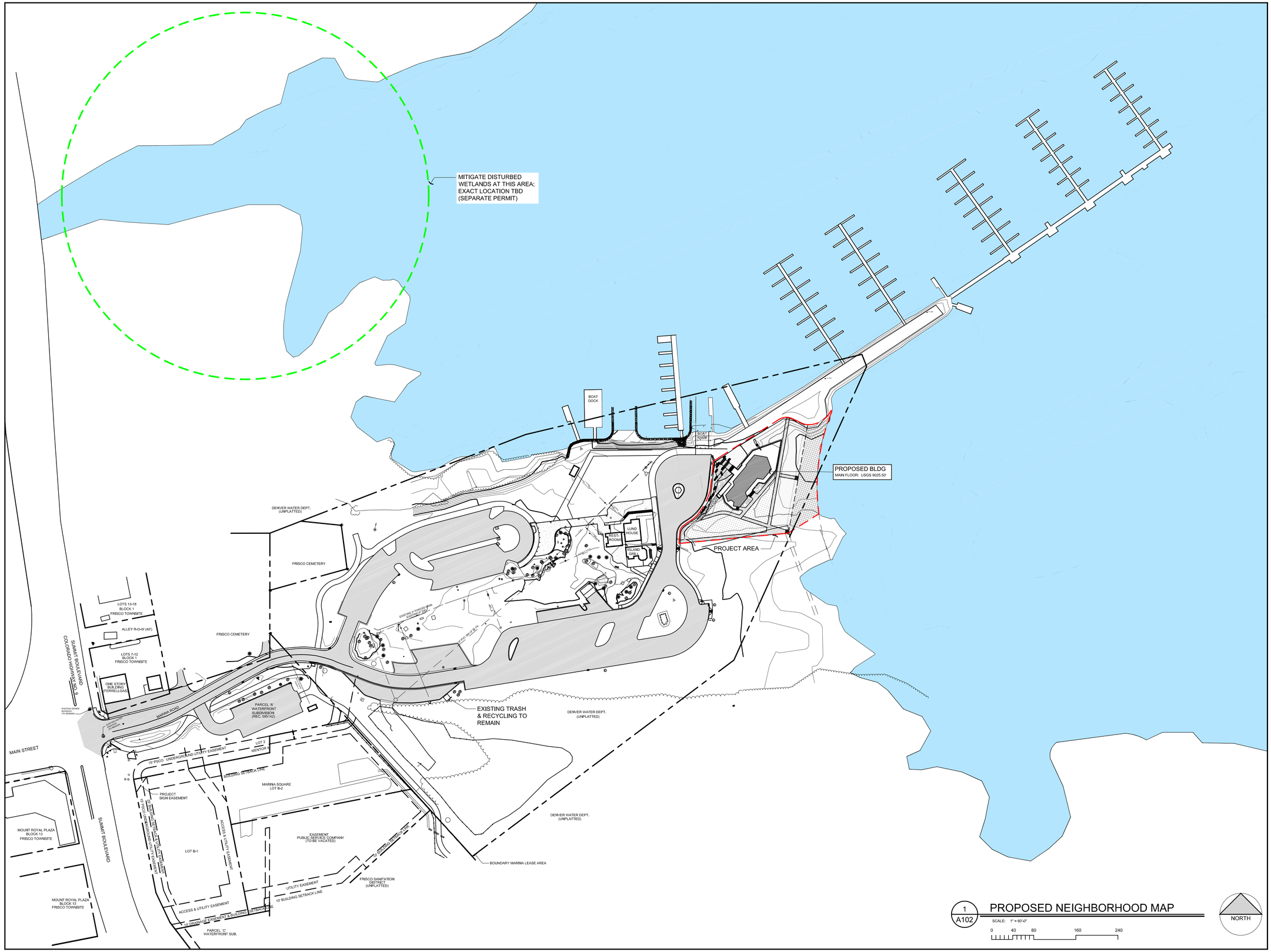
ISSUE:

review	26 apr 2018
review	3 may 2018
dev app	27 june 2018
100% des dev't	30 july 2018

EXISTING NEIGHBORHOOD MAP

draft

A101



1 A102 PROPOSED NEIGHBORHOOD MAP

SCALE: 1" = 80'-0"

0 40 80 160 240

NORTH

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review	5 june 2018
dev app	27 june 2018
100% des dev't	30 july 2018

PROPOSED NEIGHBORHOOD MAP

draft

A102

NOTE: THIS MASTER PLAN GRAPHIC HAS BEEN DEVELOPED BY LOGAN SIMPSON IN CONJUNCTION WITH THEIR WORK ON FRISCO BAY MARINA MASTER PLAN. IT IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE OVER TIME.

1 / A103 FUTURE NEIGHBORHOOD MAP

SCALE: 1" = 80'-0"

0 40 80 160 240

NORTH

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frisco bay marina
frisco , colorado

PROJECT # 1737

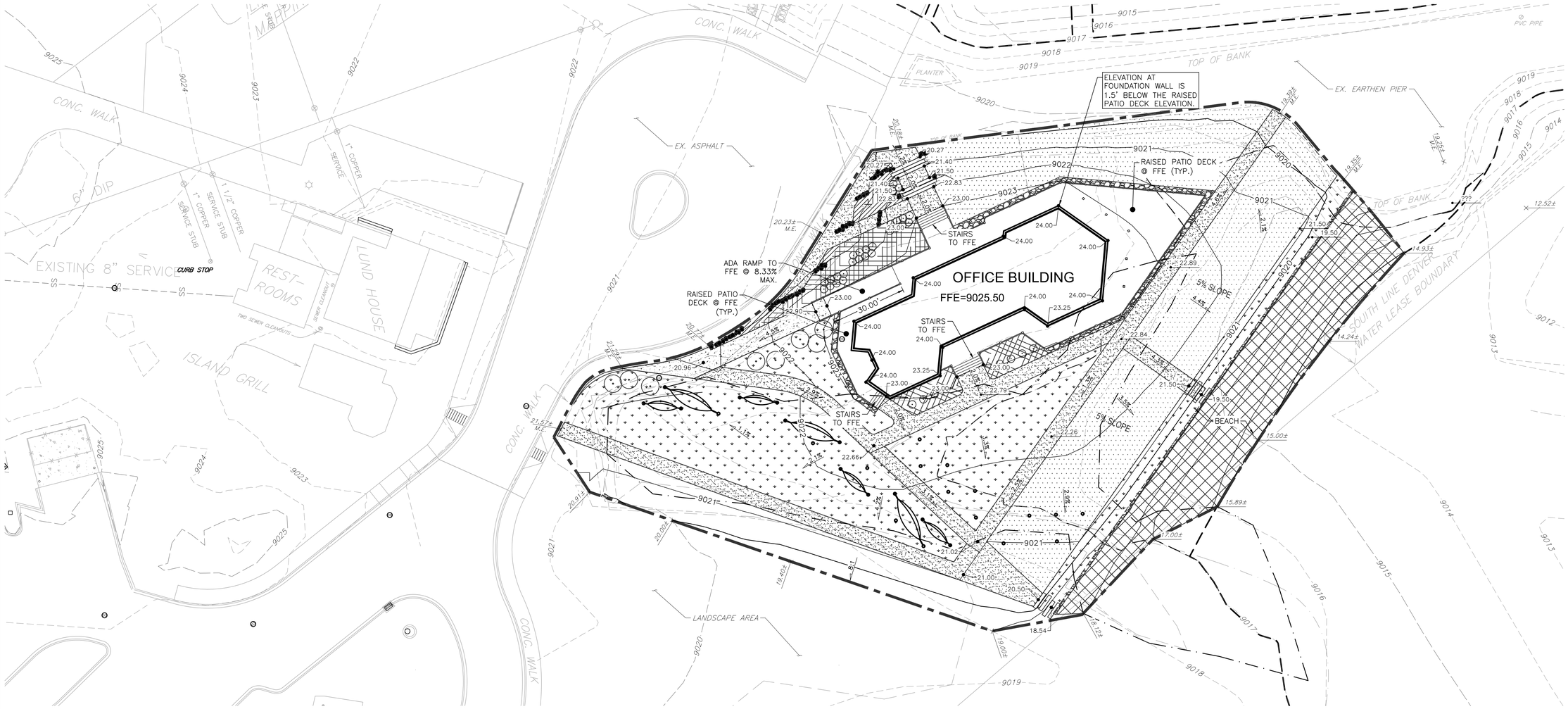
ISSUE:

review	25 apr 2018
review	3 may 2018
dev app	27 june 2018
100% des dev't	30 july 2018

FUTURE NEIGHBORHOOD MAP

draft

A103



GRADING NOTES:

1. ALL SITE GRADING [EXCAVATION, EMBANKMENT, AND COMPACTION] SHALL CONFORM TO THE RECOMMENDATIONS OF THE LATEST GEOTECHNICAL INVESTIGATION FOR THIS PROPERTY AND SHALL FURTHER BE IN CONFORMANCE WITH THE [LOCAL JURISDICTION]'S "STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS," LATEST EDITION.

2. ALL NEWLY CONSTRUCTED OR ALTERATIONS OF ACCESSIBILITY ROUTES (WALKS, RAMPS, ENTRANCES, ETC.) SHALL COMPLY WITH THE RULES AND REGULATIONS SET FORTH BY ADA, ADAAG, CITY, STATE, FEDERAL OR JURISDICTION HAVING AUTHORITY, INCLUDING BUT NOT LIMITED TO: 5% MAXIMUM GRADE ON WALKS WITHOUT HANDRAILS, 8.33% MAXIMUM GRADE ON WALKS WITH HANDRAILS AND LEVEL LANDINGS (MAXIMUM 2% COMPOSITE SLOPE), 2% MAXIMUM CROSS SLOPE ON WALKS AND 2% MAXIMUM COMPOSITE SLOPE IN HANDICAP PARKING/LOADING AREAS. NO TOLERANCE REGARDING MAXIMUM SLOPES WILL BE ALLOWED. DURING CONSTRUCTION, CONTRACTOR SHALL COORDINATE AS NECESSARY WITH OWNER, DEVELOPER, ENGINEER, ARCHITECT, OR DESIGNATED OFFICIAL IF RULES AND REGULATIONS OF ACCESSIBILITY ROUTES CAN NOT BE MET. IN ADDITION, OWNER IS ADVISED THAT REGULAR MAINTENANCE PROGRAMS SHOULD BE IMPLEMENTED AFTER CONSTRUCTION TO KEEP EXISTING ROUTES SAFE, USABLE, AND ADA COMPLIANT.

3. IT IS THE INTENTION OF THE PROJECT GRADING PLANS TO BE IN STRICT COMPLIANCE WITH, AND OR EXCEED, THE PROJECT'S GEOTECHNICAL ENGINEER'S GRADING RECOMMENDATIONS. IF THE CONTRACTOR BELIEVES A DEVIATION EXISTS BETWEEN THE PLANS AND THE GEOTECHNICAL RECOMMENDATION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY AND REQUEST WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH WORK. THE GENERAL CONSTRUCTION SPECIFICATION IS THAT THE MOST RESTRICTIVE REQUIREMENT/RECOMMENDATION GOVERNS THE CONSTRUCTION OF THE PROJECT.

4. GRADING SHOWN HEREON IS DESIGNED TO ADDRESS PROPER DRAINAGE CONSIDERATIONS FOR THE PROTECTION OF THE STRUCTURES AND IMPROVEMENTS WITHIN THE PROJECT. THE COORDINATION OF THIS DESIGN AND COMPLIANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATION WITH THE LANDSCAPE ARCHITECT'S DESIGN, IS THE RESPONSIBILITY OF THE OWNER AND/OR DEVELOPER. MARTIN/MARTIN HIGHLY RECOMMENDS THAT THE LANDSCAPE IMPROVEMENTS BE REVIEWED AND APPROVED FOR COMPLIANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

5. EXISTING ELEVATIONS SHOWN ON THIS DRAWING HAVE BEEN DEPICTED FROM BEST AVAILABLE INFORMATION AND ARE SHOWN TO THE EXTENT KNOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY EXISTING GRADE CONDITIONS AT THE LIMITS OF CONSTRUCTION AND AT LOCATIONS THAT INTERFACE WITH EXISTING OR PROPOSED STRUCTURES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT CONTRADICT THE ENGINEERS INTENT FOR DRAINAGE PATTERNS, MAXIMUM AND MINIMUM SLOPES, AND PROPOSED ELEVATIONS AS SHOWN ON THE PLAN. THE ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.

6. PROPOSED CONTOURS AND SPOT ELEVATIONS AS SHOWN HEREIN ARE DEFINED AS FINISHED ELEVATION AFTER PAVING, LANDSCAPING, ETC. CONTRACTOR SHALL COORDINATE WITH GEOTECH FOR PAVEMENT THICKNESS AND LANDSCAPE FOR THICKNESS OF TOPSOIL, SOD AND LANDSCAPE MATERIALS.

7. ALL SPOTS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. FF = FINISH FLOOR, HP = HIGH POINT, LP = LOW POINT, TOW = TOP OF WALL [FINISHED GRADE AT BACK OF WALL], BOW = BOTTOM OF WALL [FINISHED GRADE AT FACE OF WALL], GB = GRADE BREAK, FL = FLOWLINE, TOC = TOP OF CURB.

8. COMMERCIAL BUILDING FINISHED FLOOR [OR TOP OF FOUNDATION] ELEVATIONS MUST BE A MINIMUM 1.0 FEET ABOVE THE 100-YEAR WATER SURFACE ELEVATION AND RESIDENTIAL MUST BE A MINIMUM 2.0 FEET ABOVE THE 100-YR WATER SURFACE.

9. TEMPORARY CUT/FILL SLOPES SHALL NOT EXCEED A STEEPNESS OF [1:1] (H:V). PERMANENT SLOPES SHALL NOT EXCEED [2:1] (H:V) [UNLESS NOTED OTHERWISE] IN AREAS TO BE SEEDED OR SODDED.

10. CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED MANHOLE RIMS, VALVE BOXES, ETC. TO MATCH FINAL GRADE.

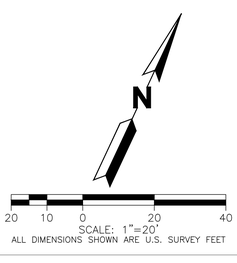
LEGEND

EXISTING		PROPOSED
	PROPERTY LINE	
	RIGHT-OF-WAY LINE	
	SECTION LINE	
	EASEMENT	
	RETAINING WALL	
	CURB & GUTTER	
5750	CONTOURS	5750
ST	STORM SEWER	ST
ST	STORM MANHOLE	
RD	ROOF DRAIN	RD
	INLET	
	FLARED END SECTION	
	SIGN	
	GRADING ARROW	
	DECIDUOUS TREE	
	EVERGREEN TREE	
	BUSH/SHRUB	
DRIVE	DESCRIPTIONS	DRIVE
ELEV.	SPOT ELEVATIONS	ELEV.

ESTIMATED EARTHWORK	
EXCAVATION/ EMBANKMENT	VOLUME (CY)
CUT	0
FILL	6,500
NET	6,500 (FILL)

*ASSUMED SLAB ON GRADE CONSTRUCTION, WITHOUT CRAWLSPACE.

EARTHWORK DISCLAIMER:
EARTHWORK QUANTITIES ARE RAW NUMBERS AND HAVE NOT BEEN ADJUSTED TO ACCOUNT FOR SHRINK, SWELL, COMPACTION, PAVING, UTILITY SPOILS, BEACH SAND ETC. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL EARTHWORK



COLORADO 811 KNOW WHAT'S BELOW. CALL BEFORE YOU DIG.
CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

MARTIN/MARTIN ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM (PROVIDED) ASCE (38) UTILITY QUALITY LEVEL D (Q_D) AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES (DEPICTED OR NOT DEPICTED) PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

MARTIN/MARTIN
CONSULTING ENGINEERS
0101 FAWCETT ROAD, SUITE 260, AVON, COLORADO 81620
970.926.6007 MARTINMARTIN.COM

FRISCO MARINA OFFICES

GRADING PLAN

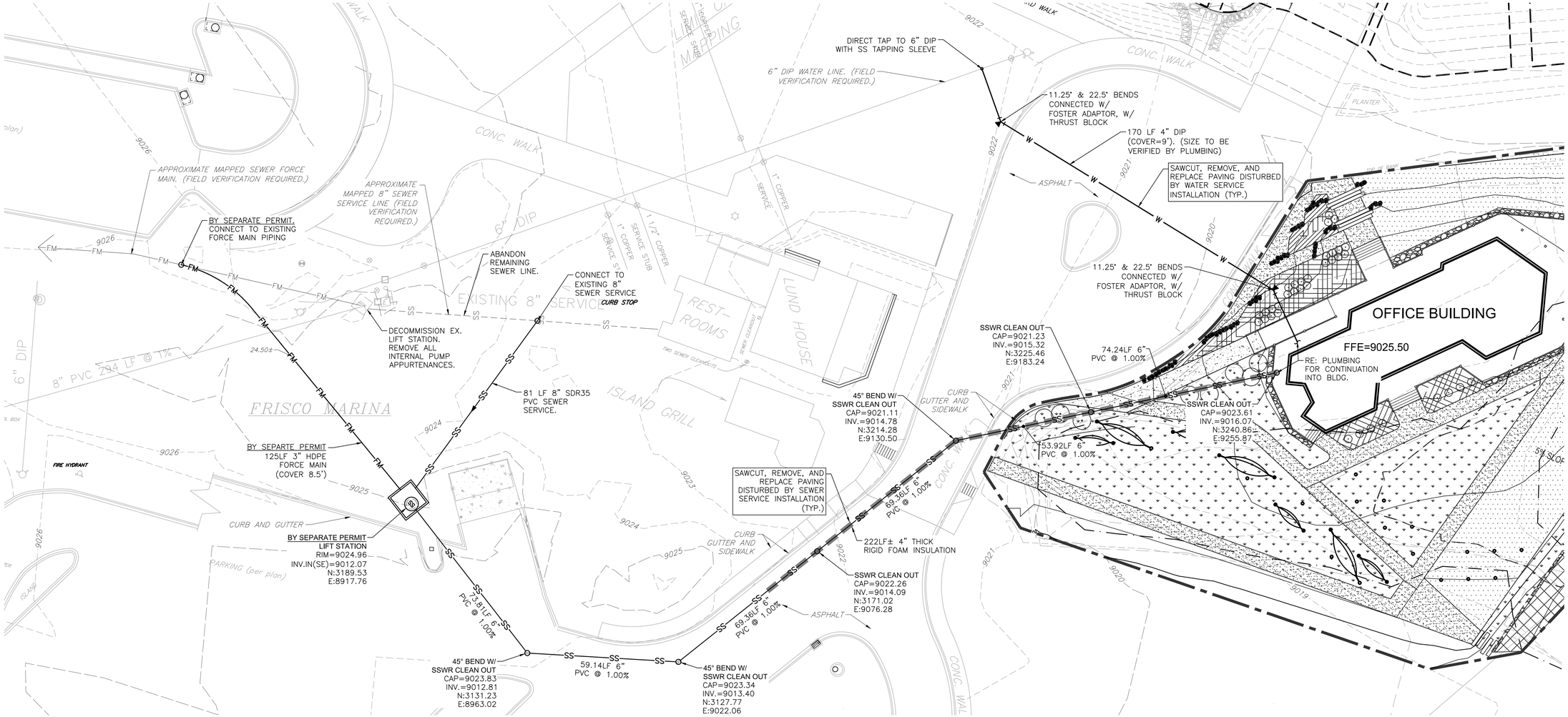
No.	Issue / Revision	Date	Name
1	REVIEW	06/20/18	M/M
2	DEV APP	06/27/18	M/M
3	DEV APP REVISIONS	08/02/18	M/M
4	100% DESIGN DEVELOPMENT	07/30/18	M/M

Job Number MC17.1089
Project Manager LML
Design By REJ
Drawn By REJ
Principal In Charge LML

Sheet Number:

C1

PLOT DATE: Wednesday, August 29, 2018 10:42 AM LAST SAVED BY: RJOHNSON
DRAWING LOCATION: H:\MC17.1089-Frisco Marina Offices\PLANS\OFFICE BUILDING\GRADING PLAN.dwg



LEGEND

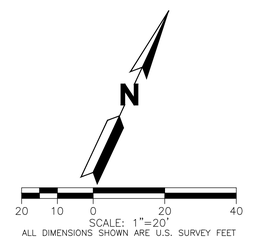
EXISTING		PROPOSED
	PROPERTY LINE	
	RIGHT-OF-WAY LINE	
	SECTION LINE	
	EASEMENT	
	RETAINING WALL	
	CURB & GUTTER	
	HANDICAP RAMPS	
	UTILITY CROSSING	
ST	STORM SEWER	ST
ST	STORM MANHOLE	
RD	ROOF DRAIN	RD
	STORM INLET	
	FLARED END SECTION	
SS	SANITARY SEWER	SS
SS	SANITARY MANHOLE	
	CLEAN OUT	
W	WATER LINE	W
	WATER VALVE	
	FIRE HYDRANT	
WM	WATER METER	

LEGEND

EXISTING		PROPOSED
IR	IRRIGATION LINE	IR
IRR	IRRIGATION CONTROL	IRR
OHE	OVERHEAD ELECTRIC	
E	ELECTRIC LINE	E
	LIGHT POLE	
	POWER POLE	
ELEC	ELECTRIC METER	
T	TELEPHONE LINE	T
TEL	TELEPHONE PEDESTAL	T
CT	CABLE TV	CT
G	GAS LINE	G
	SIGN	
D.W.	MONITOR WELL	
DRIVE	DESCRIPTIONS	DRIVE

UTILITY NOTES:

1. ALL SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FRISCO SANITATION DISTRICT ENGINEERING STANDARDS, MATERIALS SPECIFICATIONS AND DRAWINGS. ALL MAIN INSTALLATIONS/SYSTEM MODIFICATIONS SHALL BE APPROVED AND INSPECTED BY THE FRISCO SANITATION DISTRICT.
2. ALL WATER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH FRISCO WATER (FRISCO PUBLIC WORKS) ENGINEERING STANDARDS, MATERIALS SPECIFICATIONS AND DRAWINGS. ALL MAIN INSTALLATIONS/SYSTEM MODIFICATIONS SHALL BE APPROVED AND INSPECTED BY THE FRISCO WATER (FRISCO PUBLIC WORKS) DISTRICT.
3. ALL SEWER AND WATER CONSTRUCTION SHALL BE PERFORMED BY A CONTRACTOR LICENSED IN THE TOWN OF FRISCO. THE ENGINEER, OWNER AND THE TOWN OF FRISCO SHALL BE NOTIFIED [48] HOURS IN ADVANCE OF ANY PLANNED CONSTRUCTION.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST ALL WATER VALVE BOXES TO THE REQUIRED FINAL GRADE. IN ADDITION, VALVE EXTENSIONS SHALL BE INSTALLED SUCH THAT A SIX FOOT VALVE KEY CAN OPERATE THE VALVE.
5. NO PIPE SHALL BE BACKFILLED UNTIL IT HAS BEEN INSPECTED BY THE RESPECTIVE JUSISDICTION.
6. MAINTAIN A MINIMUM OF TEN FEET [10'] HORIZONTAL SEPARATION BETWEEN ALL SANITARY SEWER AND WATER MAINS AND SERVICES.
7. INSTALL THRUST BLOCKS AT ALL BENDS, STUBS AND TEES IN WATER LINES. ALL BLOW-OFFS, VALVES AND BENDS SHALL BE RODDED OR MECHANICALLY RESTRAINED PER [LOCAL JURISDICTION] DETAILS AS NOTED OR IF SOIL CONDITIONS ARE UNSTABLE OR AS DIRECTED BY THE FRISCO WATER (FRISCO PUBLIC WORKS).
8. CHLORINATION AND FLUSHING: ALL WATER MAINS SHALL BE INSTALLED AND CHLORINATED PER FRISCO WATER (FRISCO PUBLIC WORKS) ENGINEERING STANDARDS. THE LINES SHALL BE CHLORINATED IN ACCORDANCE WITH AWWA C-651, "DISINFECTING WATER MAINS." THE PREFERRED METHOD IS TO USE SUFFICIENT CHLORINE TABLETS TO PRODUCE A 25 MG/L SOLUTION. THESE TABLETS SHOULD BE ADHERED TO THE TOP OF THE PIPE WITH PERMATEX CLEAR R.T.V. CHLORINATION OF 16 INCH AND LARGER PIPE REQUIRES A CHLORINE SLURRY. THE CHLORINATION OF ANY FINISHED PIPELINE SHALL BE COMPLETED PRIOR TO HYDROSTATIC TESTING.
9. BEFORE ANY TAPS ARE MADE FROM MAINS, APPLICATION[S] FOR THE TAPS MUST BE RECEIVED AND APPROVED BY FRISCO WATER (FRISCO PUBLIC WORKS).
10. ALL COMBINATION FIRE LINE AND DOMESTIC TAPS MUST BE INSPECTED AND APPROVED BY FRISCO WATER (FRISCO PUBLIC WORKS) PRIOR TO THE RELEASE OF THE WATER MAINS.
11. THE WATER QUALITY CONTROL DIVISION OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT [CDPHE] REQUIRES ALL WATER LINE CONTRACTORS TO POSSESS A CURRENT DISCHARGE PERMIT FOR DISCHARGES OF CHLORINATED AND PROCESS WATERS ASSOCIATED WITH THE INSTALLATION OF NEW MAINS OR CONDUITS. CONTACT CDPHE WATER QUALITY CONTROL DIVISION AT 303-692-3517 FOR INFORMATION ON OBTAINING THE REQUIRED PERMIT.
12. CONTRACTOR TO COORDINATE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITY SERVICE CONNECTIONS TO BUILDING WITH MECHANICAL/PLUMBING PLANS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
13. CONTRACTOR IS RESPONSIBLE FOR VERIFYING WATERLINE MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION AND CONFORMANCE WITH DEFLECTIONS TO ACCOMMODATE DESIGN SHOWN HEREON.



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FRISCO MARINA OFFICES

UTILITY PLAN

No.	Issue / Revision	Date	Name
1	REVIEW	06/20/18	N/M
2	DEV APP	06/27/18	N/M
3	DEV APP REVISIONS	08/02/18	N/M
4	100% DESIGN DEVELOPMENT	07/30/18	N/M

Job Number MC17.1089
Project Manager LML
Design By REJ
Drawn By REJ
Principal In Charge LML

Sheet Number:

C2

PLOT DATE: Wednesday, August 29, 2018 10:42 AM LAST SAVED BY: RJOHNSON
DRAWING LOCATION: H:\MC17.1089-Frisco Marina Offices\PLANS\OFFICE BUILDING\UTILITY PLAN.dwg

GENERAL NOTES

1. THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
2. DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
3. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
5. SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
6. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
7. IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
8. CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
9. CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
12. UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
13. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
15. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
16. SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
17. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
18. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
20. THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
21. MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
22. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
23. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
24. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
25. THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
26. THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
27. OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
28. DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS, DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
29. LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
3. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
4. THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
5. THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF TWO YEARS AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
6. REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
7. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
9. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
10. ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION TO TOWN OF FRISCO RECOMMENDATION OR AS NOTED IN THE TECHNICAL SPECIFICATIONS 3 CU. YDS PER 1,000 SF.
11. TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
12. THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
13. ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
14. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 3 YEARS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 3 YEARS FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
15. ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
16. ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
17. SHRUB, GROUNDCOVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY BEND-A-BOARD. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
18. ALL SHRUB BEDS ARE TO BE MULCHED LANDSCAPE SHREDDED ARK MULCH OVER GEOTEXTILE WEED CONTROL FABRIC AS SPECIFIED IN THE DETAILS AND TECHNICAL SPECIFICATIONS OR MATERIALS SCHEDULE. ALL GROUND COVER AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH LANDSCAPE MULCH AS SPECIFIED IN THE DETAILS AND TECHNICAL SPECIFICATIONS OR MATERIALS SCHEDULE. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS.
19. AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
20. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
21. CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS.
22. ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
23. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
24. SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH 3" x 14 GAUGE GREEN ROLL TOP EDGER, RYERSON OR EQUAL.
25. PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.
26. THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY AND COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.
27. THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL IMPROVEMENTS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT.

LAYOUT NOTES

1. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
2. SHOULD SITE CONDITIONS BE DIFFERENT THAN WHAT IS INDICATED ON THE DRAWINGS CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
3. CURVED WALKS AND CURB EDGES ARE INTENDED TO BE CONSTRUCTED WITH SMOOTH FLOWING CURVES. ANYTHING OTHER THAN SMOOTH FLOWING CURVES WILL BE REJECTED.
4. THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
5. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
6. THE CONTRACTOR SHALL INSTALL SLEEVING FOR IRRIGATION IMPROVEMENTS PRIOR TO INSTALLING CONCRETE FLATWORK. REFER TO IRRIGATION PLANS.
7. LAYOUT WALKS, SCORE JOINTS AND PAVING PATTERNS AS CLOSELY AS POSSIBLE TO PLANS, DETAILS, AND SPECIFICATIONS. DO NOT DEVIATE FROM PLANS UNLESS SPECIFIC APPROVAL IS OBTAINED FROM THE OWNER'S REPRESENTATIVE.
8. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK. SEE TECHNICAL SPECIFICATIONS.
10. CONTRACTOR IS RESPONSIBLE FOR SUPERVISING ALL SAFETY SURFACING AND PAVEMENT DURING THE CURING PROCESS.

SHEET LIST

SUMMIT HILLS GRASS SEED MIXTURE

COMMON NAME	BOTANICAL NAME	%	LBS./1000 S.F.
SLENDER WHEAT GRASS	ELYMUS TRACHYCAULUS	30%	0.6 LBS.
HARD FESCUE, VNS	FESTUCA TRACHYPHYLLA	30%	0.6 LBS.
SHEEP FESCUE	FESTUCA OVINA	25%	0.5 LBS.
TALL FESCUE	FESTUCA ARUNDINACEA	10%	0.2 LBS.
BIG BLUEGRASS	POA AMPLA	5%	0.1 LBS.
	TOTAL	100%	2.0 LBS.

SHORT GRASS MIXTURE

COMMON NAME	BOTANICAL NAME	%	LBS./1000 S.F.
PERENNIAL RYEGRASS	LOLIUM PERENNE	30%	0.6 LBS.
CHEWINGS FESCUE	FESTUCA RUBRA	30%	0.6 LBS.
KENTUCKY BLUEGRASS, LIMOUSINE	POA PRATENSIS	25%	0.5 LBS.
KENTUCKY BLUEGRASS, MARQUIS	POA PRATENSIS	15%	0.2 LBS.
	TOTAL	100%	2.0 LBS.

NOTES
1. SEED APPLICATION RATES
   1.1. BROADCAST: 20-25 LBS/ACRE
   1.2. DRILLED: 15-20 LBS/ACRE
2. APPLY EROSION CONTROL NETTING TO ANY AREA WHICH IS VULNERABLE TO SOIL EROSION SUCH AS SWALES OR STEEP SLOPES (3:1 OR STEEPER)
3. UTILIZE HYDROMULCH AND TACKIFIER OF 2,000 POUNDS PER ACRE WITH 3% TACKIFIER.
4. UNLESS NOTED OTHERWISE IN TECHNICAL SPECIFICATIONS, AMEND ALL TOPSOIL IN RESEED AREAS TO 2" DEPTH WITH COMPOST.

PLANTING SCHEDULE

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.	EXPOSURE	WATER
DECIDUOUS TREES						
4	NAR	NARROWLEAF COTTONWOOD	POPULOUS ANGUSTIFOLIA	3" CAL, B&B	SUN	LOW-MED
5	CRB	RIVER BIRCH	BETULA NIGRA	2" CAL, B&B	PART SUN	MED
DECIDUOUS SHRUBS						
35	ART	DWARF ARCTIC BLUE WILLOW	SALIX PURPUREA 'NANA'	#5 CONT.	SUN/PART	WET
8	SHC	SHUBERT CHOKECHERRY	PRUNUS VIRGINIANA	#5 CONT.	SUN/PART	MED
20	IDO	ISANTI DOGWOOD	CORNUS SERICEA 'ISANTI'	#5 CONT.	SUN/PART	MED
ORNAMENTAL GRASSES						
73	IRG	INDIAN RICEGRASS	ACHNATHERUM HYMENOIDES	4" POTS	SUN	XERIC
PERENNIAL PLANTS						
35	SMN	MAY NIGHT SALVIA	S. SYLVESTRIS x 'MAINACHT'	4" POTS	SUN	XERIC

LANDSCAPE REQUIREMENTS

NO REQUIREMENT ARE IN THE TOWN CODE FOR PUBLIC PROJECTS. PROVIDED PLANTING TO BE APPROVED BY PLANNING DEPARTMENT.

CHECKED BY: KK, ES
DRAWN BY: AR

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FRISCO, CO 80443
970-668-5276

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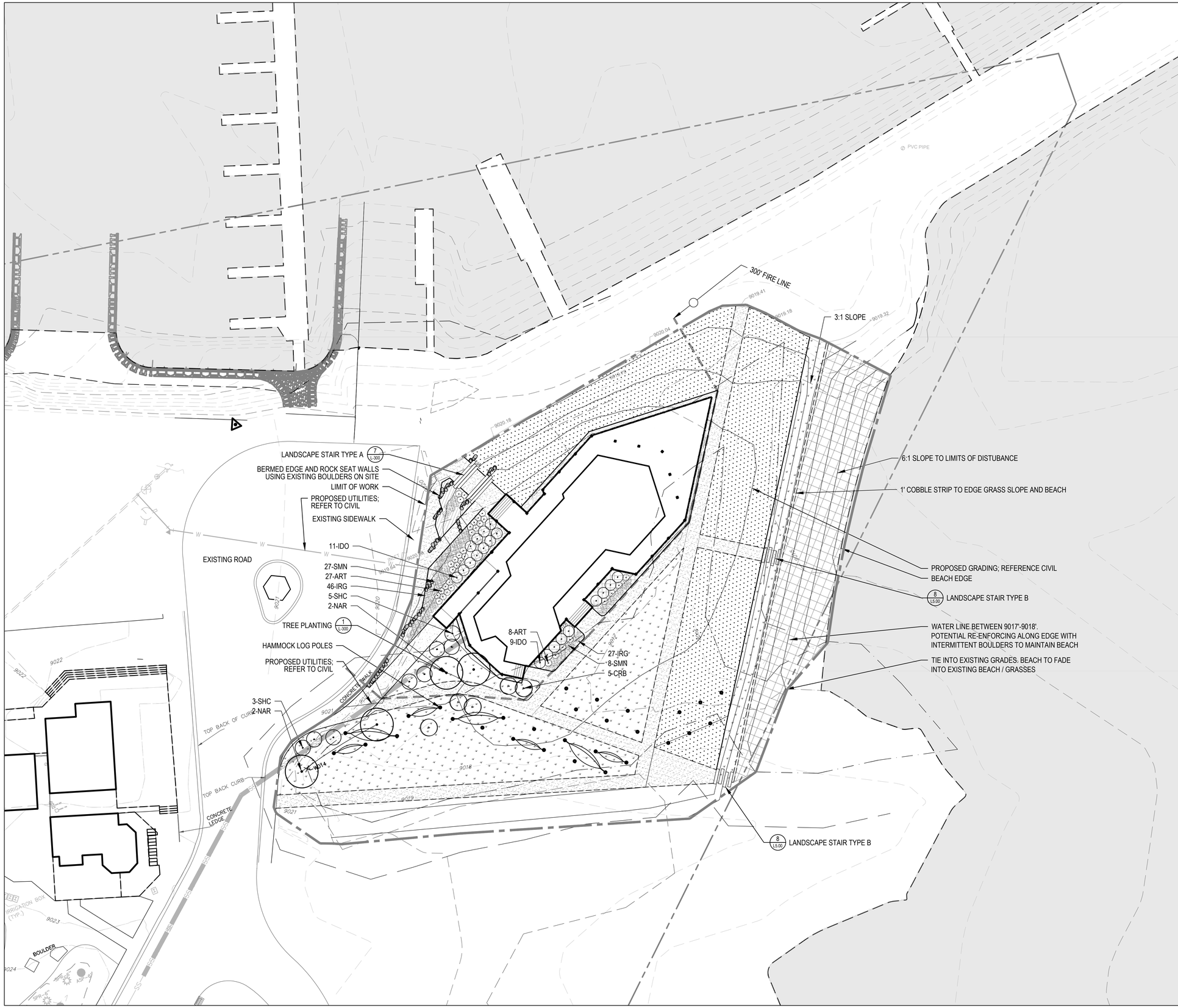
NOTES & SCHEDULE

L - 100



LEGEND

- DECIDUOUS TREES; DTL 1 / L-300
- SHRUBS ; DTL 2 / L-300
- PERENNIALS; DTL 3 / L-300
- TIMBER LANDSCAPE STEPS
- LANDSCAPE BOULDERS FROM ONSITE
- SUMMIT HILLS SEED MIX
- SHORT GRASS SEED MIX
- LANDSCAPE BED, SHREDDED BARK MULCH
- SAND BEACH
- PERENNIAL PLANTING; DTL 3 / L-300
- COBBLE DRIP LINE
- CRUSHER FINES PATH; DTL 6 / L-300
- BENDA BOARD EDGER; DTL 5 / L-300
- SPADE CUT EDGER; DTL 4 / L-300
- BUILDING ROOF LINE; REFER TO ARCHITECT
- LIMIT OF WORK
- LOT LINE

NOTES

1. PLANT SYMBOLS ARE SHOWN AT APPROXIMATELY MATURE SIZE.
2. ALL PLANTINGS SHALL BE PLANTED TO AVOID CONFLICTS WITH SIGHT TRIANGLES AND EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
3. FINAL PLANT LOCATION SHALL BE FIELD VERIFIED.

IRRIGATION NOTES

1. ALL TREES, SHRUBS, AND PERENNIALS SHALL BE IRRIGATED.
   1.1. ALL TREES AND SHRUBS TO BE DRIP IRRIGATED.
   1.2. ALL TURF AND PERENNIALS TO BE SPRAY IRRIGATED.
   1.3. REFER TO AND FOLLOW RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.

NORTH

0 10' 20' 40'

SCALE: 1" = 20'

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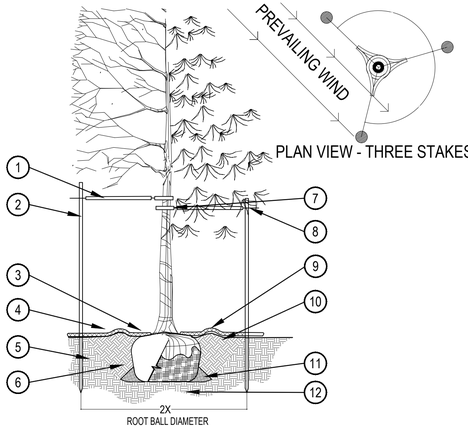
LANDSCAPE PLAN

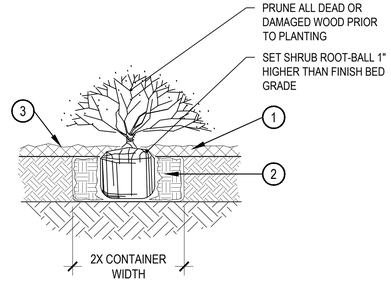
L - 200



PRUNING NOTES:
1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:
1. STAKE TREES PER DIAGRAM. AFTER A MINIMUM OF (3) THREE YEARS CONFIRM TREE IS ESTABLISHED. CHECK FOR ROOTBALL STABILITY. APPLY HAND PRESSURE TO TRUCK OF TREE, WHEN ROOTBALL DOES NOT MOVE, REMOVE STAKING.
2. WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-½" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.
3. ADJUST STAKING, STRAPS AND GUY WIRES ANNUALLY.

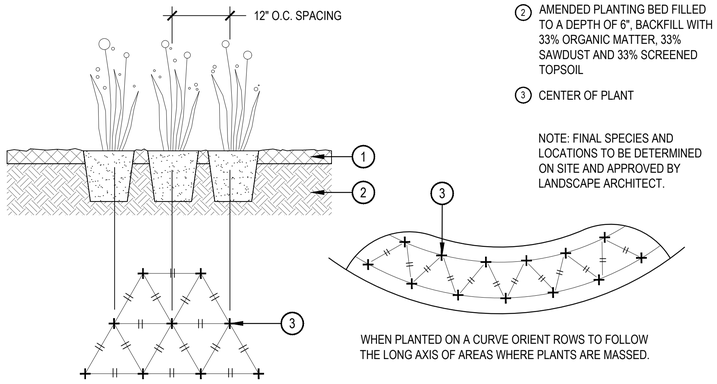
1. PLACE MIN. 1" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
2. INSTALL STAKING PER SPECIFICATIONS
3. PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE.
4. 3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER ON TOP OF WEED FABRIC. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
5. 1:1 SLOPE ON SIDES OF PLANTING HOLE.
6. REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
7. GROMMETED NYLON STRAPS
8. GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.
9. 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
10. BACKFILL WITH PLANT MIX. PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST, AND EXCAVATED SOIL. WATER THOROUGHLY WHEN BACKFILLING
11. PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
12. PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.



1. SPECIFIED MULCH
2. AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS. TILL SOIL TO A DEPTH OF EIGHT INCHES.
3. FINISH GRADE (TOP OF MULCH)

NOTE:
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED
2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER
3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER
4. DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER

1 TREE PLANTING



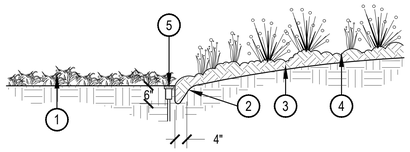
1. SPECIFIED MULCH
2. AMENDED PLANTING BED FILLED TO A DEPTH OF 6", BACKFILL WITH 33% ORGANIC MATTER, 33% SAWDUST AND 33% SCREENED TOPSOIL
3. CENTER OF PLANT

NOTE: FINAL SPECIES AND LOCATIONS TO BE DETERMINED ON SITE AND APPROVED BY LANDSCAPE ARCHITECT.

WHEN PLANTED ON A CURVE ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSED.

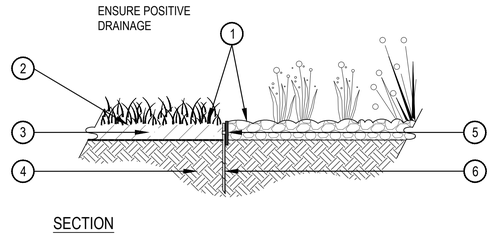
SCALE: 3/16" = 1'-0"

2 SHRUB PLANTING



1. ADJOINING LANDSCAPE - TYPICALLY IRRIGATED DRY LAND SEED
2. VERTICAL SPADE CUT EDGE FILLED WITH SPECIFIED MULCH, TAPER EDGE OF BED SO MULCH IS DEEPER AGAINST SPADED EDGE.
3. SPECIFIED DEPTH OF MULCH (TYPICALLY WOOD MULCH 3"-4" DEEP)
4. PLANTING BED
5. IRRIGATION HEADS SHOULD BE LOCATED ADJACENT TO MULCH BEDS, OFFSET HEAD INTO GRASS AREA TO ENSURE STABLE SUPPORT.

NOTE:
1. SPADE CUT EDGE TO UTILIZED FOR TRANSITION BETWEEN PLANTING BEDS AND PLANTING POCKETS AND ADJACENT LANDSCAPE (EXCEPT TURF), RE: LANDSCAPE PLANS.
2. IF IRRIGATION HEAD IS LOCATED ADJACENT TO MULCH BEDS, OFFSET HEAD INTO GRASS AREA TO ENSURE STABLE SUPPORT.



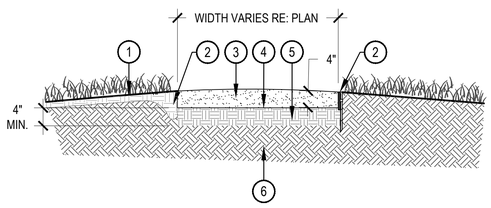
SECTION

SCALE: 1-1/2" = 1'-0"

1. FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
2. TURF THATCH
3. AMENDED SOIL PER SPECIFICATIONS
4. SUBGRADE
5. BEND-A-BOARD EDGER
6. EDGER STAKE

NOTES:
1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

3 PERENNIAL PLANTING



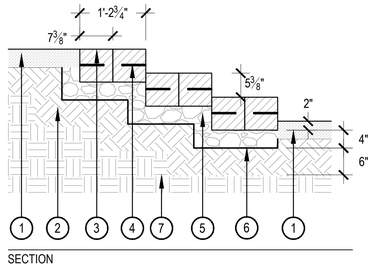
1. SLOPE ADJACENT GRADE AWAY FROM TRAIL, SWALE IF NECESSARY
2. EDGE TYPE, SEE PLAN. SPADE CUT EDGER (RE. DETAIL 4/L-300) OR BENDA BOARD EDGER (RE: DETAIL 5/L-300)
3. 4" DEPTH CRUSHER FINES; COMPACTED IN 2 - 2" LIFTS
4. WEED FABRIC
5. 4" MINIMUM DEPTH COMPACTED SUBGRADE
6. UNDISTURBED SOIL

COMPACTION NOTES:
1. 1% SURFACE DRAINAGE ACROSS SOD; REFERENCE ENGINEERS
2. 2% SUBGRADE DRAINAGE IN DIRECTION OF SURFACE DRAINAGE; REFERENCE ENGINEERS
3. COMPACT WET FOR BEST RESULTS.
4. USE A SMALL (4') RIDING ROLLER TO COMPACT TRAIL.
5. CROWN TRAIL IN FLAT AREAS (AS SHOWN).
6. CROSS-SLOPE TRAIL AT 1-2% WITH GRADE WHERE TOPOGRAPHY DICTATES.

REVEGETATION NOTES:
1. RE-SEED DISTURBED EDGES OF TRAIL UPON COMPLETION OF TRAIL CONSTRUCTION.
2. FOLLOW SEEDING SPECIFICATIONS AS PROVIDED BY LANDSCAPE ARCHITECT.

4 SPADE CUT EDGE

SCALE: 1/2" = 1'-0"



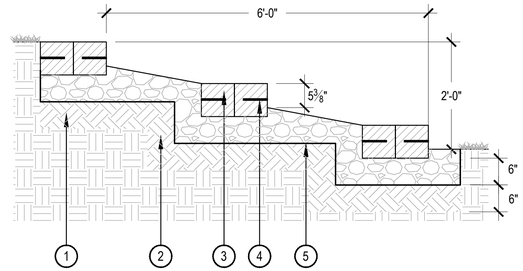
SECTION

NOTES:
1. XXXX

1. ADJACENT PATH; DTL 6 / L-300
2. COMPACTED SUBGRADE; 95% STANDARD PROCTOR DENSITY
3. 8X8 PRESSURE TREADED WOOD TIMBER
4. COUNTER SINK ⅞" CARRIAGE BOLT TO CONNECT WOOD TIMBERS
5. ROAD BASE AGGREGATE
6. FILTER FABRIC; "MARAFI" OR APPROVED EQUAL
7. UNDISTURBED SOIL

5 BEND-A-BOARD EDGER

SCALE: 1" = 1'-0"



1. ADJACENT PATH; DTL 6 / L-300
2. COMPACTED SUBGRADE 95% STANDARD PROCTOR DENSITY
3. 8X8 PRESSURE TREADED WOOD TIMBER
4. COUNTER SINK ⅞" CARRIAGE BOLT TO CONNECT WOOD TIMBER
5. ROAD BASE AGGREGATE
6. FILTER FABRIC; "MARAFI" OR APPROVED EQUAL
7. UNDISTURBED SOIL

6 CRUSHER FINES PATH

SCALE: 3/4" = 1'-0"

7 TIMBER LANDSCAPE STEP A

SCALE: 3/4" = 1'-0"

8 TIMBER LANDSCAPE STEP B

SCALE: 3/4" = 1'-0"

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DRAWN BY: AR

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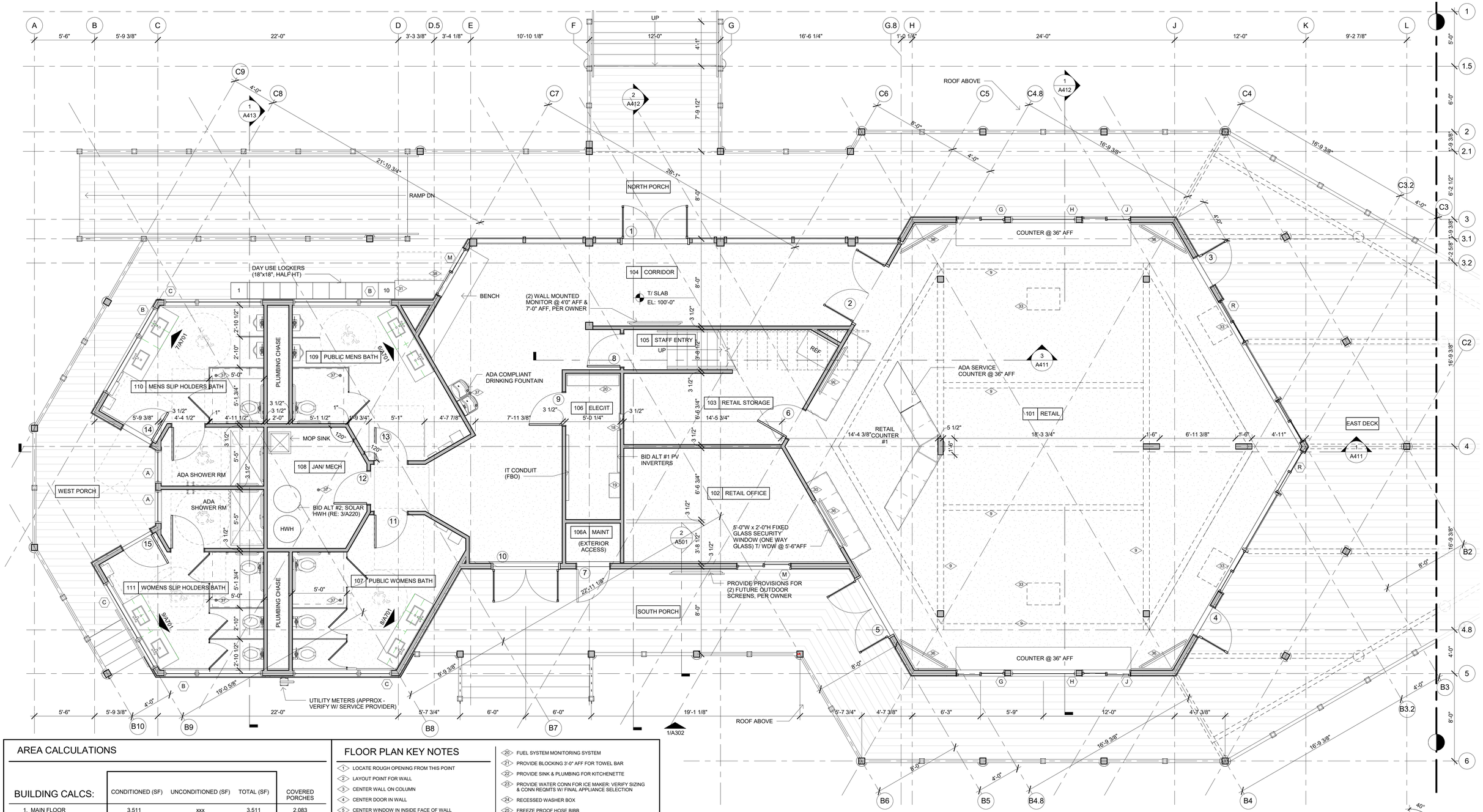
811 Know what's below. Call before you dig.

DATE:
06/27/18: DEV. AP
07/30/18: 100% DD SET

NOT FOR CONSTRUCTION

SHEET TITLE:
LANDSCAPE DETAILS

L - 300



AREA CALCULATIONS

BUILDING CALCS:	CONDITIONED (SF)	UNCONDITIONED (SF)	TOTAL (SF)	COVERED PORCHES
1. MAIN FLOOR	3,511	xxx	3,511	2,083
2. UPPER FLOOR	1,335	xxx	1,335	xxx
TOTAL	4,846		4,846	

NOTES: 1. BUILDING AREAS CALC'D IN ACCORDANCE W/ BUILDING CODE REQ'MENTS.

2. UNCONDITIONED AREA INCLUDES GARAGE, MECHANICAL & STORAGE (WITH OVER 5'-0" HEADROOM).

3. STAIRS & LANDINGS NOT COUNTED WITH UPPERMOST FLOOR SQUARE FOOTAGES.

FLOOR PLAN KEY NOTES

1. LOCATE ROUGH OPENING FROM THIS POINT
2. LAYOUT POINT FOR WALL
3. CENTER WALL ON COLUMN
4. CENTER DOOR IN WALL
5. CENTER WINDOW IN INSIDE FACE OF WALL
6. CANTILEVER ABOVE
7. PROVIDE 2x4 FURRED WALL @ FACE OF FDN
8. HALF WALL @ FDN (RE: DTL)
9. DROPPED BEAM ABOVE (Re: STRUCTURAL)
10. TIMBER BRACKET ABOVE (Re: ELEVATIONS)
11. FLOORING MATERIAL TRANSITION
12. FLOOR DRAIN
13. ONE HOUR RATED FLUE
14. PULL DOWN STAIR FOR ATTIC ACCESS (MIN RO 22"x30")
15. TYP ROD & SHELF - SEE INTERIOR FINISH NOTES
16. TYPICAL CLOSET: 2'-0 1/2" INSIDE STUD DIM W/ ROD & SHELF PER INTERIOR FINISH NOTES
17. 8"x8" TIMBER POST; ALIGN W/ BM ABV IF PRESENT (VIF)
18. ELECTRICAL METER
19. IT EQUIPMENT RACK (FBO; GC TO PROVIDE ROUGH-IN)
20. FUEL SYSTEM MONITORING SYSTEM
21. PROVIDE BLOCKING 3'-0" AFF FOR TOWEL BAR
22. PROVIDE SINK & PLUMBING FOR KITCHENETTE
23. PROVIDE WATER CONN FOR ICE MAKER; VERIFY SIZING & CONN REQMTS W/ FINAL APPLIANCE SELECTION
24. RECESSED WASHER BOX
25. FREEZE PROOF HOSE BIBB
26. PROVISION FOR REF / FREEZER (FBO)
27. TYPICAL FIXED SHELVES - SEE INTERIOR FINISH NOTES
28. BASE CABINET PER OWNER
29. UPPER CABINET PER OWNER
30. PROVISION FOR TIME CLOCK (FBO) 44" AFF
31. ADA BENCH (42"W x 20"D MIN" x 18"H") - FBO
32. STORAGE CABINET / CLOSET BUILT-INS PER OWNER
33. FLOOR MOUNTED PROVISION FOR FUTURE SALES KIOSK
34. FINISH FLOORING TRANSITION
35. RECYCLING AREA - 4 SF MIN
36. PROVISION FOR TELEVISION @ 84" AFF (FBO) - PROVIDE ELEC CONN AT WALL
37. FLOOR DRAIN (RE: MEP)
38. ADA CLEAR FLOOR SPACE (30"Wx48"D)

1 A211 **MAIN FLOOR PLAN (3,511 SF)**

SCALE: 1/4" = 1'-0"

0 4 8 12 16

PLAN NORTH 40° NORTH

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PROJECT # 1737

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MAIN FLOOR PLAN & AREA CALCS

draft

A211

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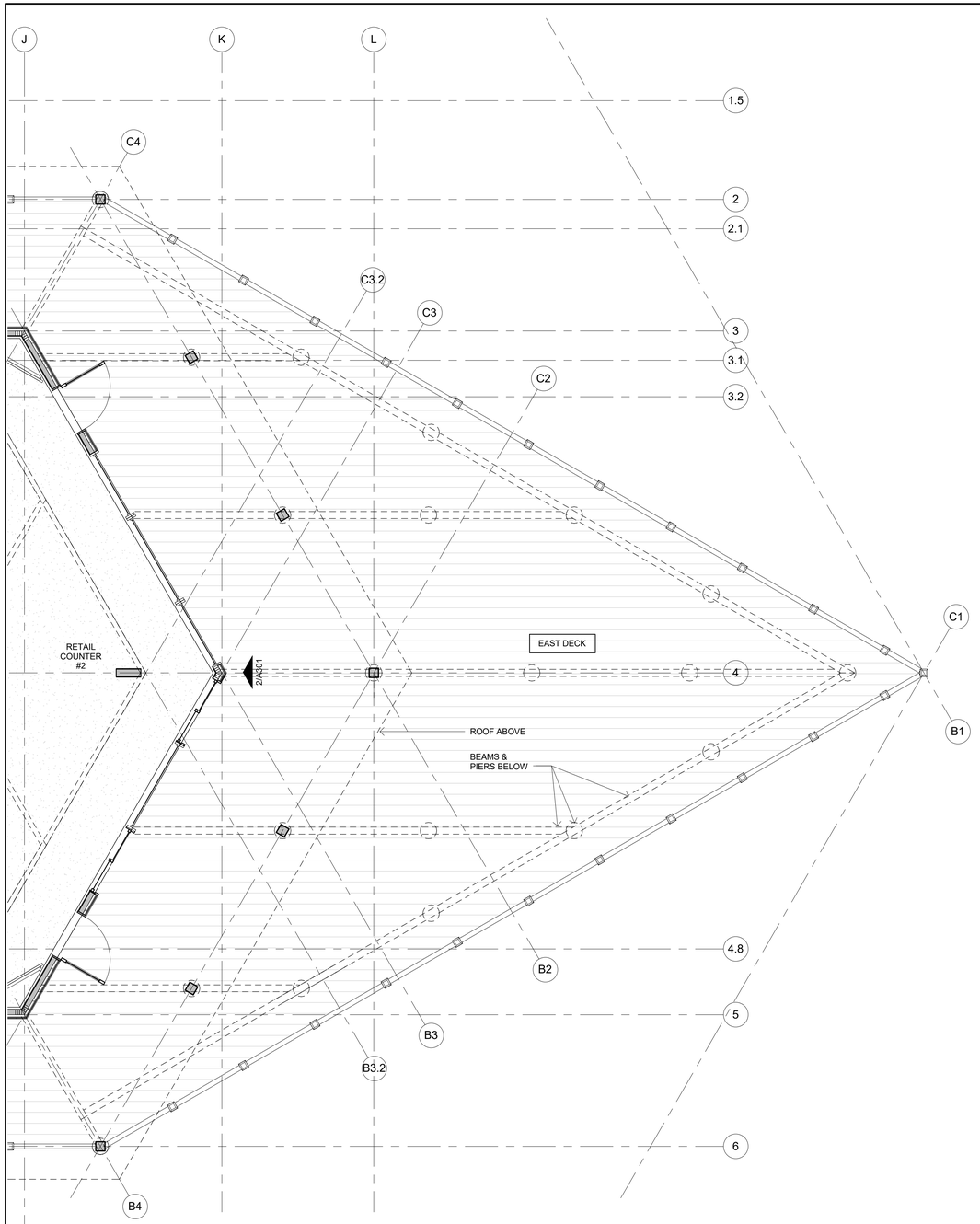

1 / A212 MAIN FLOOR DECK PLAN

SCALE: 1/4" = 1'-0"

0 4 8 12 16

PLAN NORTH

40°

NORTH

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INTERIOR FINISH NOTES

1) FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS PER GENERAL NOTES.

2) COMMENCEMENT OF FINISH WORK INDICATES ACCEPTANCE OF PRIOR WORKMANSHIP BY INSTALLER.

3) ALL "TYPICAL" ASSEMBLIES AS INDICATED BELOW SHALL BE PRICED AND INSTALLED UNLESS OTHERWISE NOTED IN CONTRACT DOCUMENTS. VERIFY ALL DEPARTURES FROM "TYPICAL" ASSEMBLIES WITH GC & ARCHITECT.

4) ALL WALLS AND CEILINGS SHALL RECEIVE 1/2" GYPSUM BOARD, TAPE, (2) COATS MUD, TEXTURE AS NOTED BELOW, AND (2) COATS LATEX PAINT UNLESS NOTED HEREIN OR IN OTHER CONTRACT DOCUMENTS.

5) TEXTURE AT GYPSUM BOARD WALLS & CEILINGS TO BE LIGHT HAND TROWEL #3.

6) OUTSIDE WALL CORNERS AT GYPSUM BOARD SHALL HAVE SQUARE CORNERS, UNLESS NOTED.

7) PROVIDE 1/2" CEMENT BOARD UNDERLAYMENT AT ALL CERAMIC TILE (NOT APPLICABLE AT CONCRETE FLOOR).

8) PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT WET AREAS PER CODE AND CUSTOMARY PRACTICES.

9) PROVIDE SOUND BATT INSULATION @ ALL INTERIOR WALLS PER A200.

10) ALL BATHROOMS & KITCHENS TO HAVE A MINIMUM OF (1) GFI RECEPTACLE.

11) ANY INTERIOR FINISH ITEMS NOT NOTED HEREIN OR ELSEWHERE IN CONTRACT DOCUMENTS SHALL BE COORDINATED WITH GC / ARCHITECT BY MEANS OF ALLOWANCES FOR PURCHASES AND/OR INSTALLATION.

FLOOR PLAN KEY NOTES

1. LOCATE ROUGH OPENING FROM THIS POINT
2. LAYOUT POINT FOR WALL
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4. CENTER DOOR IN WALL
5. CENTER WINDOW IN INSIDE FACE OF WALL
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37. FLOOR DRAIN (RE: MEP)
38. ADA CLEAR FLOOR SPACE (30"Wx48"D)

INTERIOR FINISH SCHEDULE

ROOM #	ROOM NAME	FLOORING	BASE	WALLS	CLG	NOTES
101	RETAIL	CONC-1	MW-1	PT-3	PT-2	CLG-1 ABOVE RETAIL CTR
102	RETAIL OFFICE	CONC-1	MW-1	PT-3	PT-2	
103	RETAIL STORAGE	CONC-1	MW-1	PT-3	PT-2	
104	CORRIDOR	CONC-1	MW-1	PT-3	PT-2	
105	STAFF ENTRY	CONC-1	V-1	PT-4	PT-2	
106	ELEC/IT	CONC-1	V-1	PT-4	PT-2	
106A	MAINT	CONC-1	V-1	PT-4	PT-2	
107	PUBLIC WOMENS BATH	TILE-1	TILE-2	PT-5	PT-1	TILE- 2 TO 4'0" AFF
108	JAN/ MECH	CONC-1	V-1	PT-4	PT-2	TILE- 2 TO 4'0" AFF
109	PUBLIC MENS BATH	TILE-1	TILE-2	PT-5	PT-1	TILE- 2 TO 4'0" AFF
110	MENS SLIP HOLDERS BATH	TILE-1	TILE-2	PT-5	PT-1	TILE- 2 TO 4'0" AFF
111	WOMENS SLIP HOLDERS BATH	TILE-1	TILE-2	PT-5	PT-1	TILE- 2 TO 4'0" AFF
201	STAFF	CPT-1	MW-1	PT-4	PT-1	
202	OFFICE 1	CPT-1	MW-1	PT-4	PT-1	
203	OFFICE 2	CPT-1	MW-1	PT-4	PT-1	
204	OFFICE 3	CPT-1	MW-1	PT-4	PT-1	
205	STORAGE	CPT-1	MW-1	PT-4	PT-1	
206	STAFF BATHROOM #2	TILE-1	TILE-2	PT-5	PT-1	TILE- 2 TO 4'0" AFF
207	STAFF BATHROOM #1	TILE-1	TILE-2	PT-5	PT-1	TILE- 2 TO 4'0" AFF

FINISH MATERIAL KEY

KEY	MANUFACTURER/DESCRIPTION		
CONC-1	STAINED CONCRETE MANUFACTURER: COLOR: TBD	DESIGN: TBD	
CPT-1	CARPET MANUFACTURER: SHAW COLOR: TBD	DESIGN: 59584 SPECTRUM TILE WIDTH: 24"x24"	
TILE-1	CERAMIC FLOOR TILE MANUFACTURER: TBD COLOR: TBD	STYLE: TBD SIZE: 1/4" THICK	INSTALLATION:
TILE-2	CERAMIC WALL TILE MANUFACTURER: TBD COLOR: TBD	STYLE: TBD SIZE: 1/4" THICK	INSTALLATION:
MW-1	BASE 5/8" x 6" DOUGLAS FIR BASE TRIM COLOR: TBD		
MW-2	CASING 3/4" x 2 1/4" DOUGLAS FIR COLOR: TBD		
V-1	BASE 4" VINYL COVE BASE COLOR: BLACK		
CLG-1	CEILING PANEL SYSTEM MANUFACTURER: ARMSTRONG SIZE: 24" x 48" x 5/8"	COLOR: WHITE; ITEM #672 INSTALLATION: PRELUDE x 15/16" GRID SYSTEM	
CLG-2	EXPOSED WOOD STRUCTURE SIZE: 3"x6" STRUCTURAL DECKING		
PT-1	CEILING PAINT MANUFACTURER: SHERWIN WILLIAMS OR EQUAL		COLOR: FLAT WHITE
PT-2	CEILING PAINT MANUFACTURER: SHERWIN WILLIAMS OR EQUAL		COLOR: GRAY
PT-3	WALL PAINT (PUBLIC SPACES) MANUFACTURER: SHERWIN WILLIAMS OR EQUAL		COLOR: TBD
PT-4	WALL PAINT (STAFF & SERVICE AREAS) MANUFACTURER: SHERWIN WILLIAMS OR EQUAL		COLOR: TBD
PT-5	WALL PAINT BATHROOMS) MANUFACTURER: SHERWIN WILLIAMS OR EQUAL		COLOR: TBD

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MAIN FLOOR DECK PLAN, NOTES & SCHEDULES

draft

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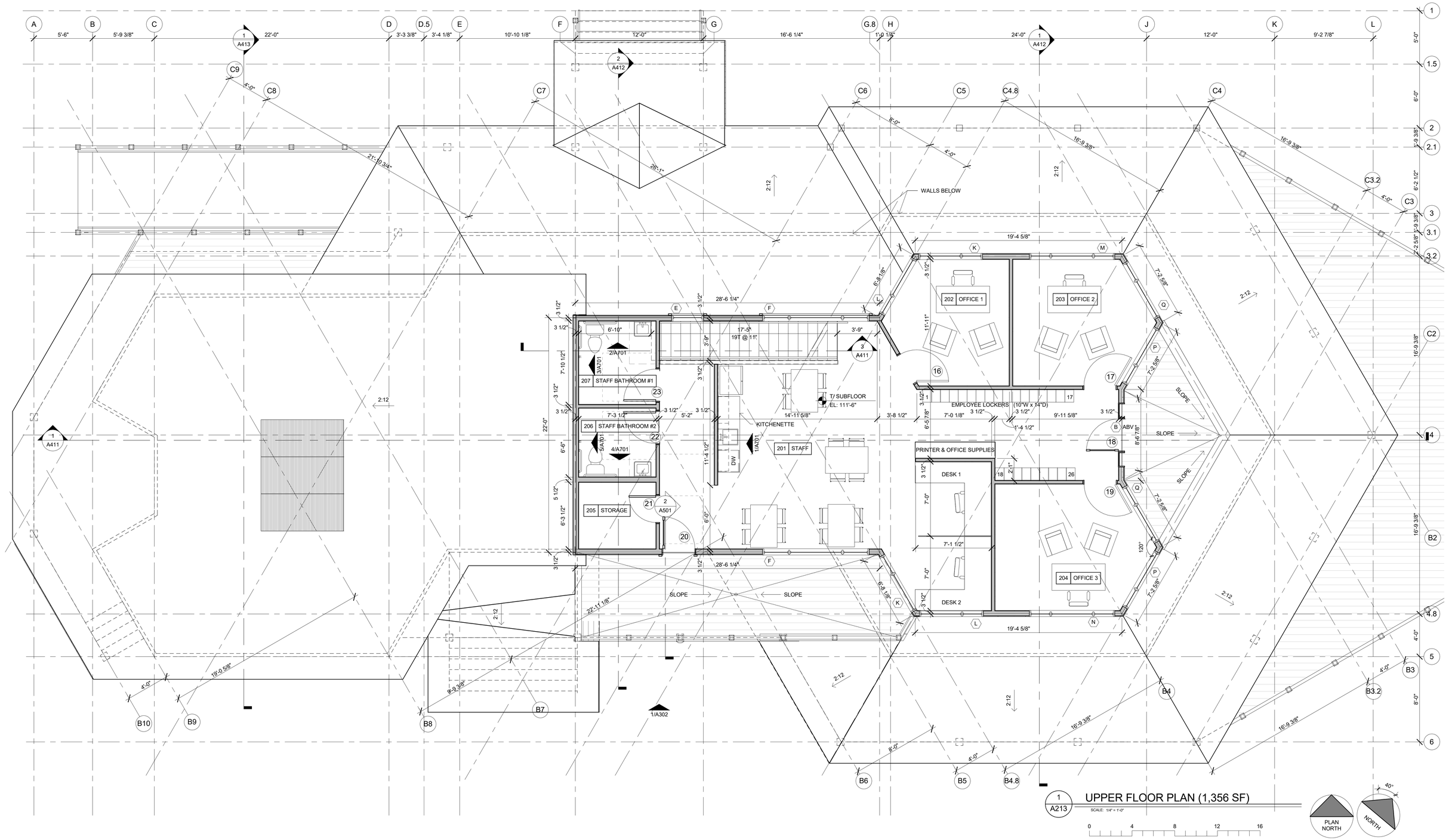

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UPPER FLOOR PLAN

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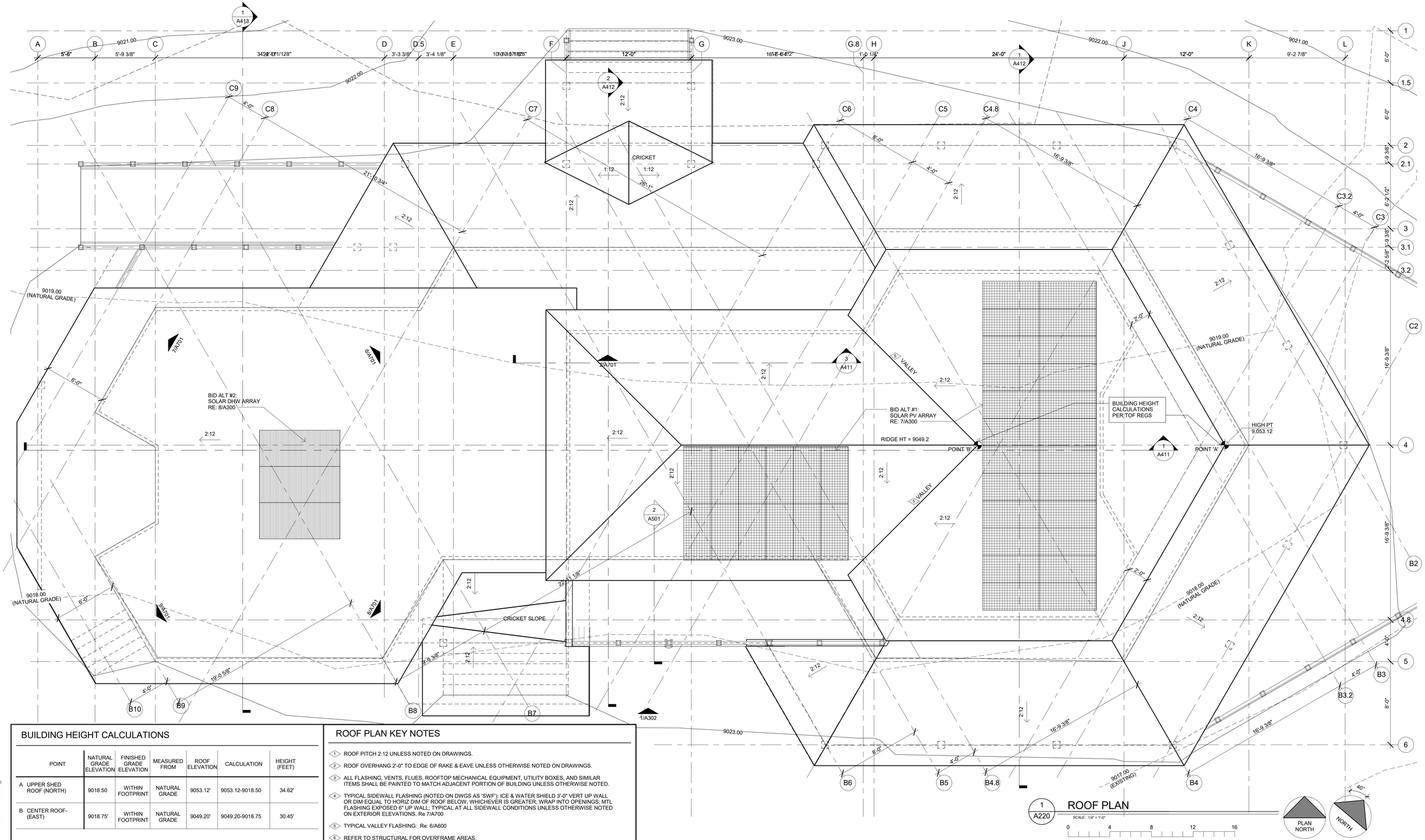

BUILDING HEIGHT CALCULATIONS

POINT	NATURAL GRADE ELEVATION	FINISHED GRADE ELEVATION	MEASURED FROM	ROOF ELEVATION	CALCULATION	HEIGHT (FEET)
A UPPER SHED ROOF (NORTH)	9018.50	WITHIN FOOTPRINT	NATURAL GRADE	9053.12'	9053.12-9018.50	34.62'
B CENTER ROOF-(EAST)	9018.75'	WITHIN FOOTPRINT	NATURAL GRADE	9049.20'	9049.20-9018.75	30.45'

NOTES: 1. BUILDING HEIGHTS CALC'D IN ACCORDANCE W/ TOWN OF FRISCO PLANNING DEPARTMENT REQUIREMENTS

ROOF PLAN KEY NOTES

1. ROOF PITCH 2:12 UNLESS NOTED ON DRAWINGS.
2. ROOF OVERHANG 2'-0" TO EDGE OF RAKE & EAVE UNLESS OTHERWISE NOTED ON DRAWINGS.
3. ALL FLASHING, VENTS, FLUES, ROOFTOP MECHANICAL EQUIPMENT, UTILITY BOXES, AND SIMILAR ITEMS SHALL BE PAINTED TO MATCH ADJACENT PORTION OF BUILDING UNLESS OTHERWISE NOTED.
4. TYPICAL SIDEWALL FLASHING (NOTED ON DWGS AS 'SWF'): ICE & WATER SHIELD 3'-0" VERT UP WALL OR DIM EQUAL TO HORIZ DIM OF ROOF BELOW, WHICHEVER IS GREATER; WRAP INTO OPENINGS; MTL FLASHING EXPOSED 6" UP WALL; TYPICAL AT ALL SIDEWALL CONDITIONS UNLESS OTHERWISE NOTED ON EXTERIOR ELEVATIONS. Re 7/A700
5. TYPICAL VALLEY FLASHING: Re: 6/A600
6. REFER TO STRUCTURAL FOR OVERFRAME AREAS.
7. PROVIDE CONVENIENCE WP DUPLEX RECEPTACLE AT SOFFIT.
8. PROVIDE ELECTRICAL PROVISION FOR HEAT TAPE.
9. PROVIDE ELECTRICAL PROVISION, HEATED GUTTER & DOWNSPOUT TO GRADE FROM THIS EAVE LOCATION - Re: 3/A204.
10. PROVIDE CRICKET @ CHIMNEY.
11. TYPICAL EXTERIOR WALL AT GABLE END WALL, OVERFRAME AREA, OR CLOSURE WALL BETWEEN ROOF PITCHES.
12. CHIMNEY CAP - SLOPE 1/4" PER FT SOUTHWARDS, UNLESS OTHERWISE NOTED ON PLANS OR DETAILS.
13. REFER TO FLOOR PLAN SHEETS FOR LOWER ROOFS.

1 A220 ROOF PLAN
SCALE: 1/4" = 1'-0"
0 4 8 12 16

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ROOF PLAN

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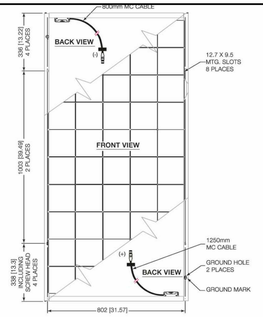
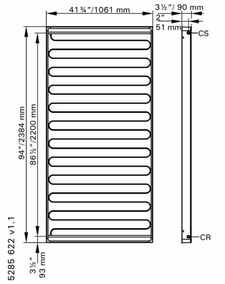
A220



7 / A300 PV PANEL (BID ALT #1)

SCALE: NTS

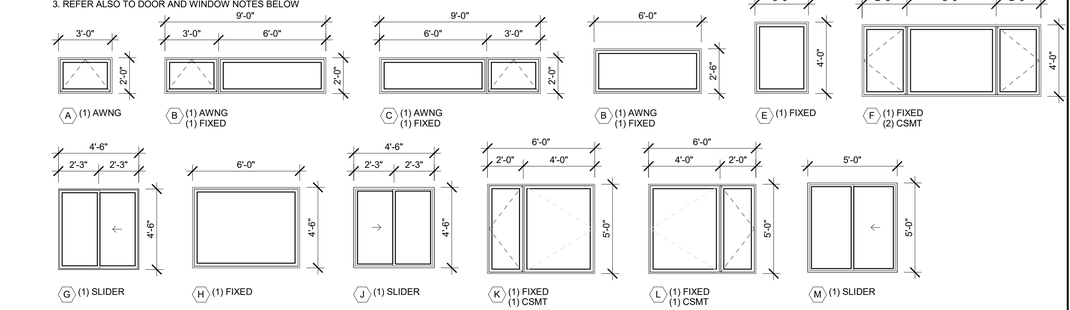


8 / A300 SOLAR HOT WATER PANELS (BID ALT #2)

SCALE: NTS

WINDOW TYPES

NOTES: 1. VERIFY ALL SWINGS WITH EXTERIOR ELEVATIONS
2. PROVIDE SHOP DRAWINGS FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO ORDERING UNITS
3. REFER ALSO TO DOOR AND WINDOW NOTES BELOW



EXTERIOR MATERIALS SCHEDULE

TAG	ITEM	MATERIAL	COLOR
E1	PRIMARY ROOF:	TAMKO HERITAGE COMPOSITION ASPHALT SHINGLES	"BLACK WALNUT"
E2	DRIP EDGE:	ALUMINUM (PREFINISHED)	MATCH ADJACENT ROOF
E3	FASCIA:	2X ROUGH SAWN CEDAR (RE: DTL)	SW 3513 "SPICE CHEST" SEMI-TRANSPARENT STAIN
E4	SOFFIT:	1X6 T&G ROUGH SAWN CEDAR (RUN PARALLEL TO EAVE)	SW 3513 "SPICE CHEST" SEMI-TRANSPARENT STAIN
E5	PRIMARY SIDING:	HARDIE CEMENT FIBER BOARD PANELS SMOOTH	"AGED PEWTER"
E6	SECONDARY SIDING:	WESTERN RED CEDAR VERTICAL CLADDING	SW 3513 "SPICE CHEST" SEMI-TRANSPARENT STAIN
E7	STOREFRONT:	SIERRA PACIFIC ARCHITECTURAL WALL SYSTEM	023 "BLACK"
E8	DOORS / WINDOWS:	SIERRA PACIFIC; ALUMINUM CLAD WOOD	023 "BLACK"
E9	DOOR / WINDOW TRIM:	2X ROUGH SAWN CEDAR @ E6 ONLY (RE: DTL)	SW 3513 "SPICE CHEST" SEMI-TRANSPARENT STAIN
E10	OUTSIDE CORNER TRIM:	2X6 CEDAR (@ SECONDARY SIDING ONLY)	MATCH ADJACENT SIDING
E11	INSIDE CORNER TRIM:	2X2 CEDAR (@ SECONDARY SIDING ONLY)	MATCH ADJACENT SIDING
E12	FRIEZE BOARD:	2X6 CEDAR (@ SECONDARY SIDING ONLY)	MATCH FASCIA
E13	EXPOSED BEAMS & POSTS:	2X ROUGH SAWN CEDAR	SW 3513 "SPICE CHEST" SEMI-TRANSPARENT STAIN
E14	PATIOS / DECKS:	TAMKO ENVISION EVERGRAIN COMPOSITE DECKING	"CAPE COD GRAY"
E15	PORCH CEILINGS:	1X6 T&G ROUGH SAWN CEDAR (RUN PARALLEL TO EAVE)	MATCH SOFFIT
E16	FOUNDATION:	EXPOSED CONCRETE	NATURAL

NOTES:

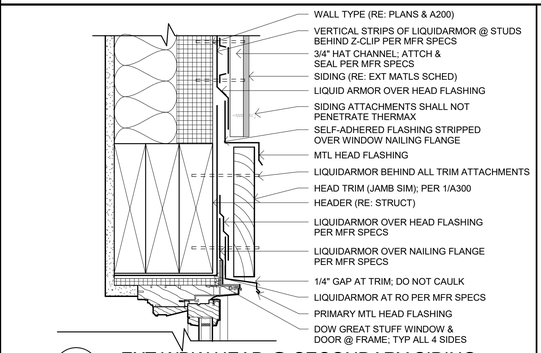
1) IN THE CASE OF ANY DISCREPANCIES BETWEEN THIS SCHEDULE AND OTHER CONTRACT DOCUMENTS, THE INFORMATION ON THIS SCHEDULE SHALL TAKE PRECEDENCE.
2) ALL FLASHING, VENTS, FLUES, ROOFTOP MECHANICAL EQUIPMENT, UTILITY BOXES, AND SIMILAR ITEMS SHALL BE PAINTED TO MATCH ADJACENT PORTION OF BUILDING UNLESS OTHERWISE NOTED.
3) TYPICAL SIDEWALL FLASHING: ICE & WATER SHIELD 2'-6" VERT UP WALL; WRAP INTO OPENINGS; MTL FLASHING EXPOSED 6" UP WALL; TYPICAL AT ALL SIDEWALL CONDITIONS.
4) EXTERIOR PAINT & STAIN AREAS TO RECEIVE (2) COATS MINIMUM, PLUS PRIMER COAT.
5) SIDING MATERIAL CHANGES TO OCCUR AT INTERIOR CORNERS.

DOOR & WINDOW NOTES

1) UNIT SIZES (NOT ROUGH OPENINGS) HAVE BEEN SHOWN ON DOOR & WINDOW TYPES AND MAY HAVE BEEN ROUNDED FOR COMPARISON WITH OTHER MANUFACTURERS. VERIFY ALL DOOR, FRAME, WINDOW, AND ROUGH OPENING SIZES WITH MANUFACTURER PRIOR TO START OF CONSTRUCTION. SUBSTITUTION OF MANUFACTURERS WILL BE ALLOWED ONLY WITH OWNER / ARCHITECT APPROVAL.
2) REFER TO FLOOR PLANS FOR DOOR AND FRAME HANDING. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ORDERING.
3) SEE WINDOW TYPES FOR WINDOW HANDING AND OPERATION. CROSS CHECK OPERATION WITH EXTERIOR ELEVATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ORDERING WINDOWS.
4) ALL WINDOWS & EXTERIOR DOORS TO HAVE 'LOW E' INSULATED GLAZING UNLESS NOTED ON SCHEDULE; AND SHALL BE RATED FOR USE AT HIGH ALTITUDES, PER MANUFACTURERS' REQUIREMENTS.
5) FIELD MEASURE FOR ALL CUSTOM UNIT SIZES PRIOR TO ORDERING.
6) PROVIDE WEATHERSTRIPPING AND ALUMINUM THRESHOLDS AT ALL EXTERIOR DOORS PER SCHEDULES.
7) WRAP TYVEK INTO ALL WINDOW AND DOOR OPENINGS (PER TYVEK MFR SPEC) PRIOR TO SETTING UNITS.
8) PROVIDE 1/2" CLR FOR INSULATION AT ALL EXTERIOR SHIM SPACES OF DOORS AND WINDOWS.
9) VERIFY WINDOW AND DOOR HARDWARE FINISHES WITH OWNER PRIOR TO ORDERING.
10) PROVIDE ALL COMBINATION UNITS WITH EXTERIOR MULLION COVERS.
11) WINDOWS AND DOORS TO HAVE FIELD APPLIED EXTERIOR TRIM (Re: A300); JAMB EXTENSION AND CASED OPENING AT INTERIOR.
12) ALL GLAZED AREAS IN HAZARDOUS LOCATIONS MUST BE GLAZED WITH SAFETY MATERIAL PER IRC.
13) ALL RATED ASSEMBLIES AS NOTED ON DOOR SCHEDULE SHALL INCLUDE RATED DOOR, FRAME AND HARDWARE.
14) U-VALUE OF WINDOW AND DOOR ASSEMBLIES TO COMPLY WITH CURRENT IECC REQMTS.
15) PROVIDE FRAME PROFILE AT ALL FIXED WINDOWS TO MATCH CASEMENT PROFILE (NO DIRECT SET).
16) TYPICAL DOOR FRAMING TO BE 4" FROM ADJACENT WALL ON HINGED SIDE UNLESS OTHERWISE DIMENSIONED ON PLANS.
17) EACH SLEEPING ROOM TO HAVE AN EGRESS DOOR OR WINDOW TO MEET BUILDING CODE REQUIREMENTS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ORDERING UNITS.

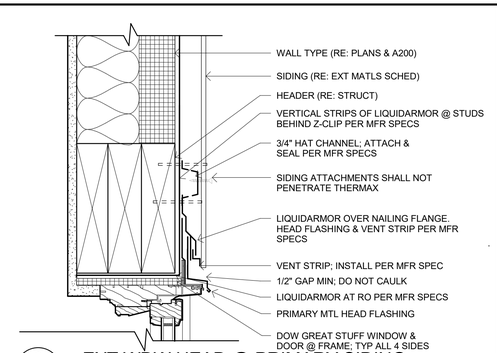
DOOR & FRAME SCHEDULE

#	MATL	TYPE	OPERATION	WIDTH	HEIGHT	THKNSS	NOTES
1	WD CLAD	FLUSH	SWING	6'-0"	8'-0"	1 3/4"	
2	WD CLAD	FLUSH	SWING	6'-0"	8'-0"	1 3/4"	
3	WD CLAD	FLUSH	SWING	3'-0"	8'-0"	1 3/4"	
4	WD CLAD	FLUSH	SWING	3'-0"	8'-0"	1 3/4"	
5	WD CLAD	FLUSH	SWING	6'-0"	8'-0"	1 3/4"	
6	WD	FLUSH	SWING	3'-0"	7'-0"	1 3/4"	
7	WD	FLUSH	SWING	3'-0"	8'-0"	1 3/4"	
8	WD	FLUSH	SWING	3'-0"	7'-0"	1 3/4"	
9	WD	FLUSH	SWING	3'-0"	7'-0"	1 3/4"	
10	WD CLAD	FLUSH	SWING	6'-0"	8'-0"	1 3/4"	
11	WD	FLUSH	SWING	3'-0"	7'-0"	1 3/4"	
12	WD	FLUSH	SWING	3'-0"	7'-0"	1 3/4"	
13	WD	FLUSH	SWING	3'-0"	7'-0"	1 3/4"	
14	WD	FLUSH	SWING	3'-0"	7'-0"	1 3/4"	
15	WD	FLUSH	SWING	3'-0"	7'-0"	1 3/4"	
16	WD	FLUSH	SWING	3'-0"	7'-0"	1 3/4"	
17	WD	FLUSH	SWING	3'-0"	7'-0"	1 3/4"	
18	WD CLAD	FLUSH	SWING	3'-0"	8'-0"	1 3/4"	W/ 2 FULL 18" SIDELITES
19	WD	FLUSH	SWING	3'-0"	7'-0"	1 3/4"	
20	WD CLAD	FLUSH	SWING	3'-0"	8'-0"	1 3/4"	
21	WD	FLUSH	SWING	2'-6"	7'-0"	1 3/4"	
22	WD	FLUSH	SWING	3'-0"	7'-0"	1 3/4"	
23	WD	FLUSH	SWING	3'-0"	7'-0"	1 3/4"	
27	WD	FLUSH	SWING	3'-0"	7'-0"	1 3/4"	



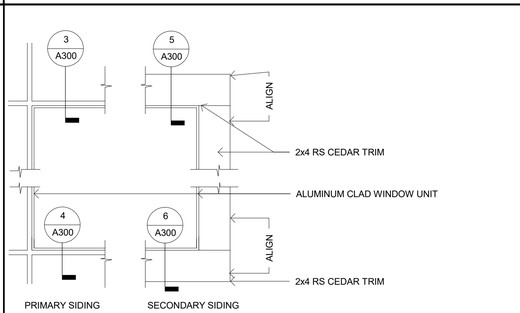
5 / A300 EXT WDW HEAD @ SECONDARY SIDING

SCALE: 3" = 1'-0"



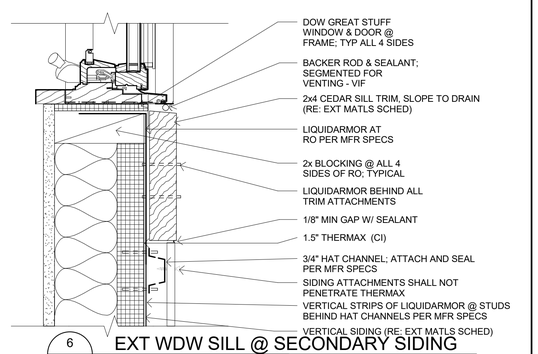
3 / A300 EXT WDW HEAD @ PRIMARY SIDING

SCALE: 3" = 1'-0"



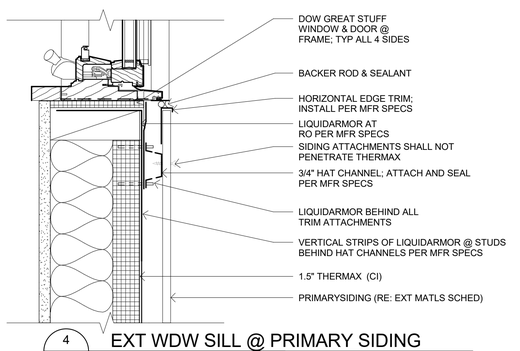
1 / A300 TYP EXT WDW TRIM (DOOR SIM)

SCALE: 1 1/2" = 1'-0"



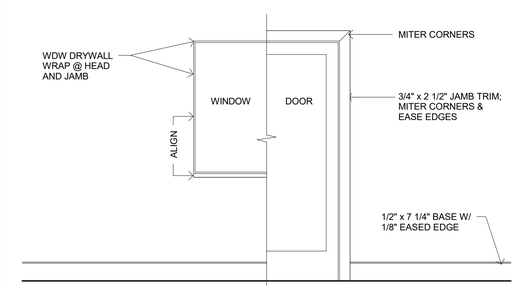
6 / A300 EXT WDW SILL @ SECONDARY SIDING

SCALE: 3" = 1'-0"



4 / A300 EXT WDW SILL @ PRIMARY SIDING

SCALE: 3" = 1'-0"



2 / A300 TYPICAL INTERIOR TRIM

SCALE: 1/2" = 1'-0"

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EXT MATLS SCHEDULE, DOOR & FRAME SCHED, WINDOW TYPES, NOTES

draft

A300

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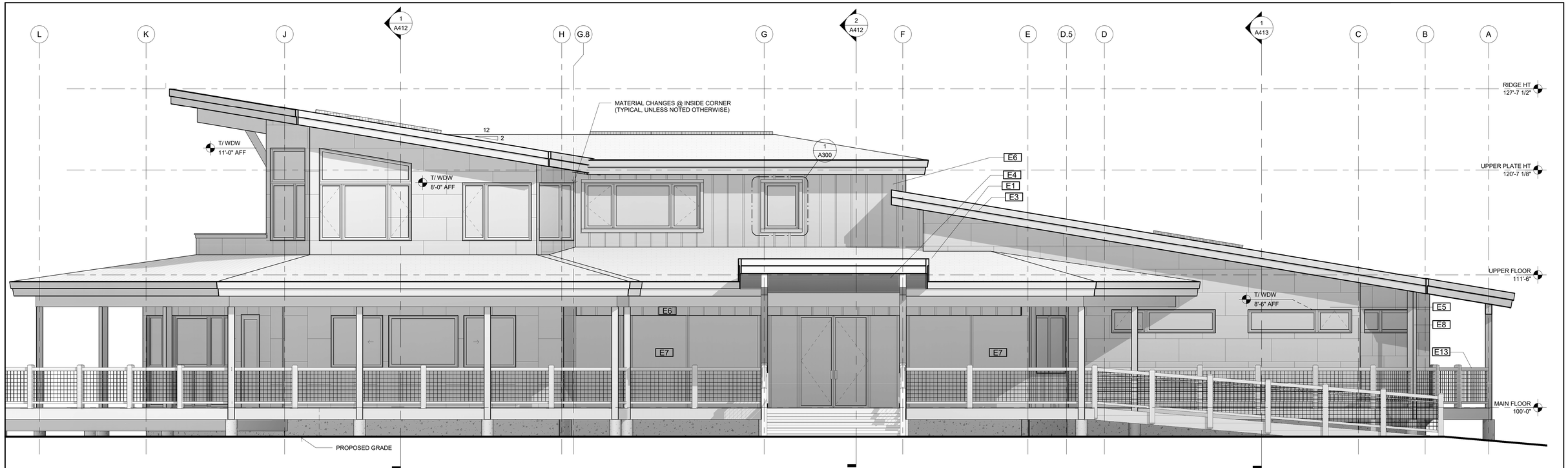
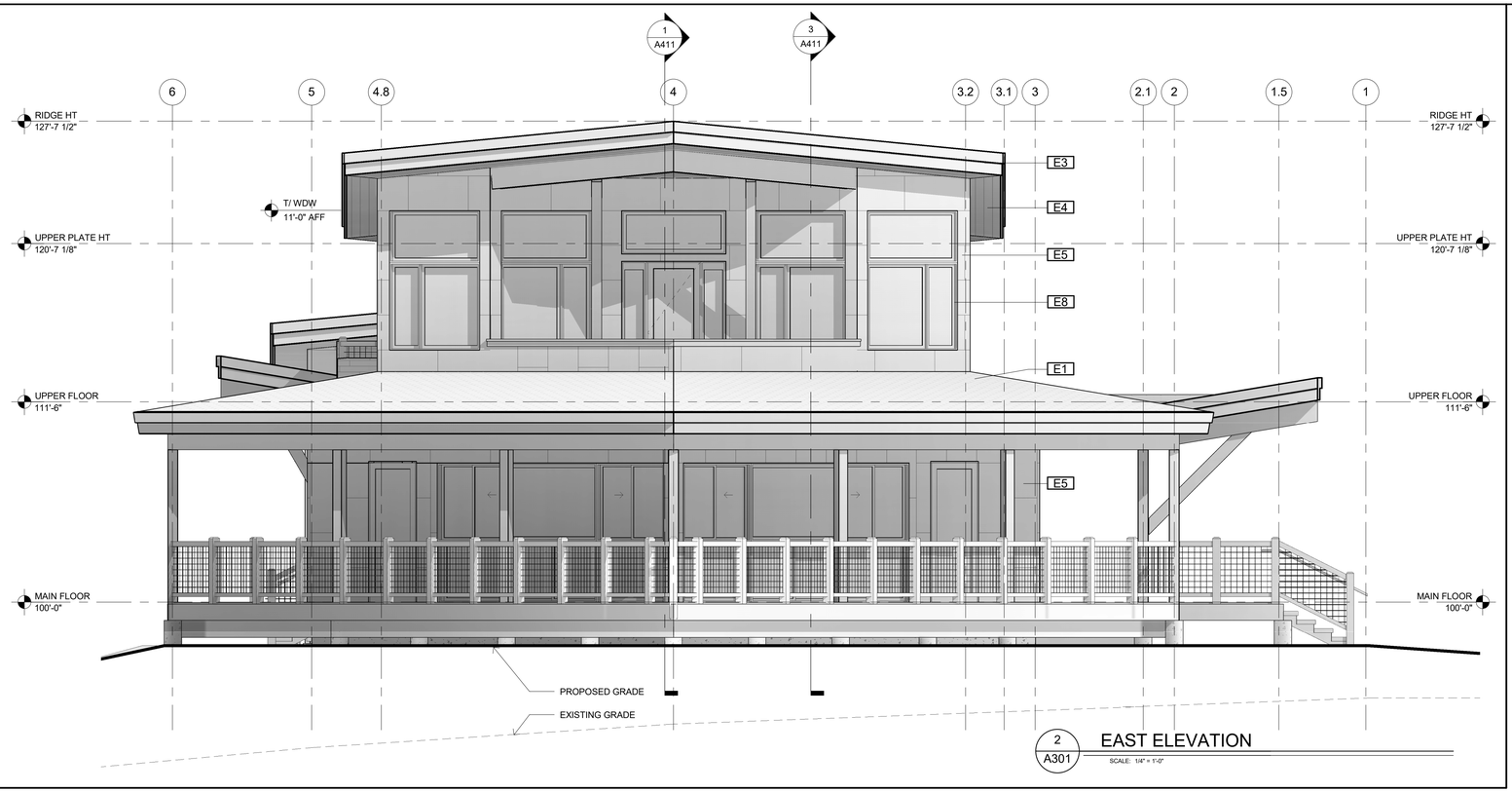


1 A301 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



2 A301 EAST ELEVATION

SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS

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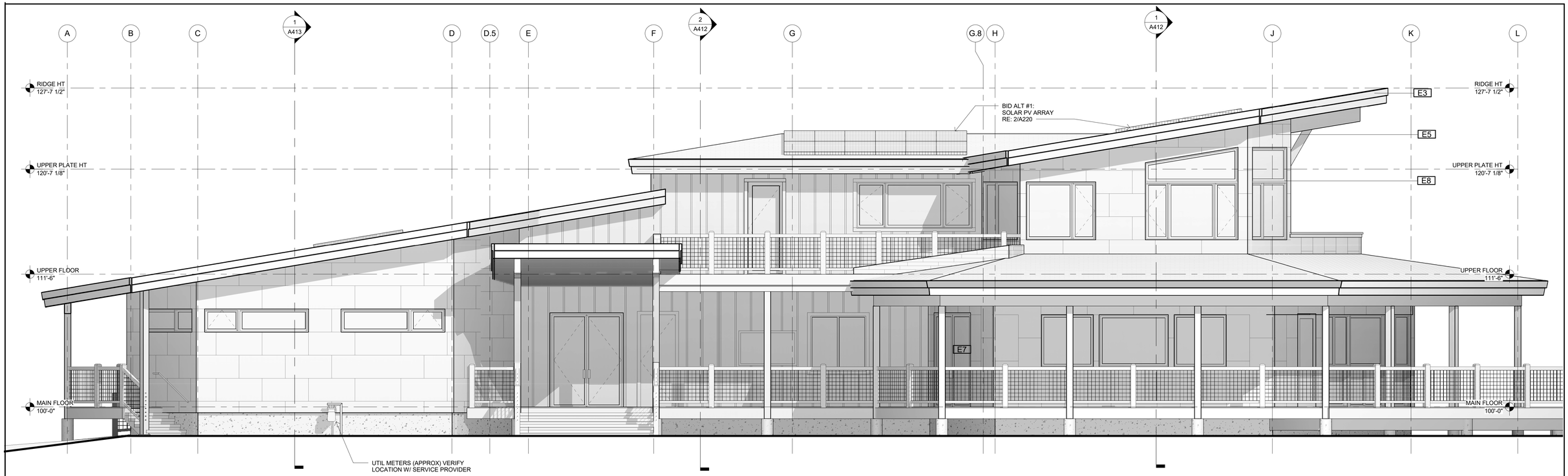
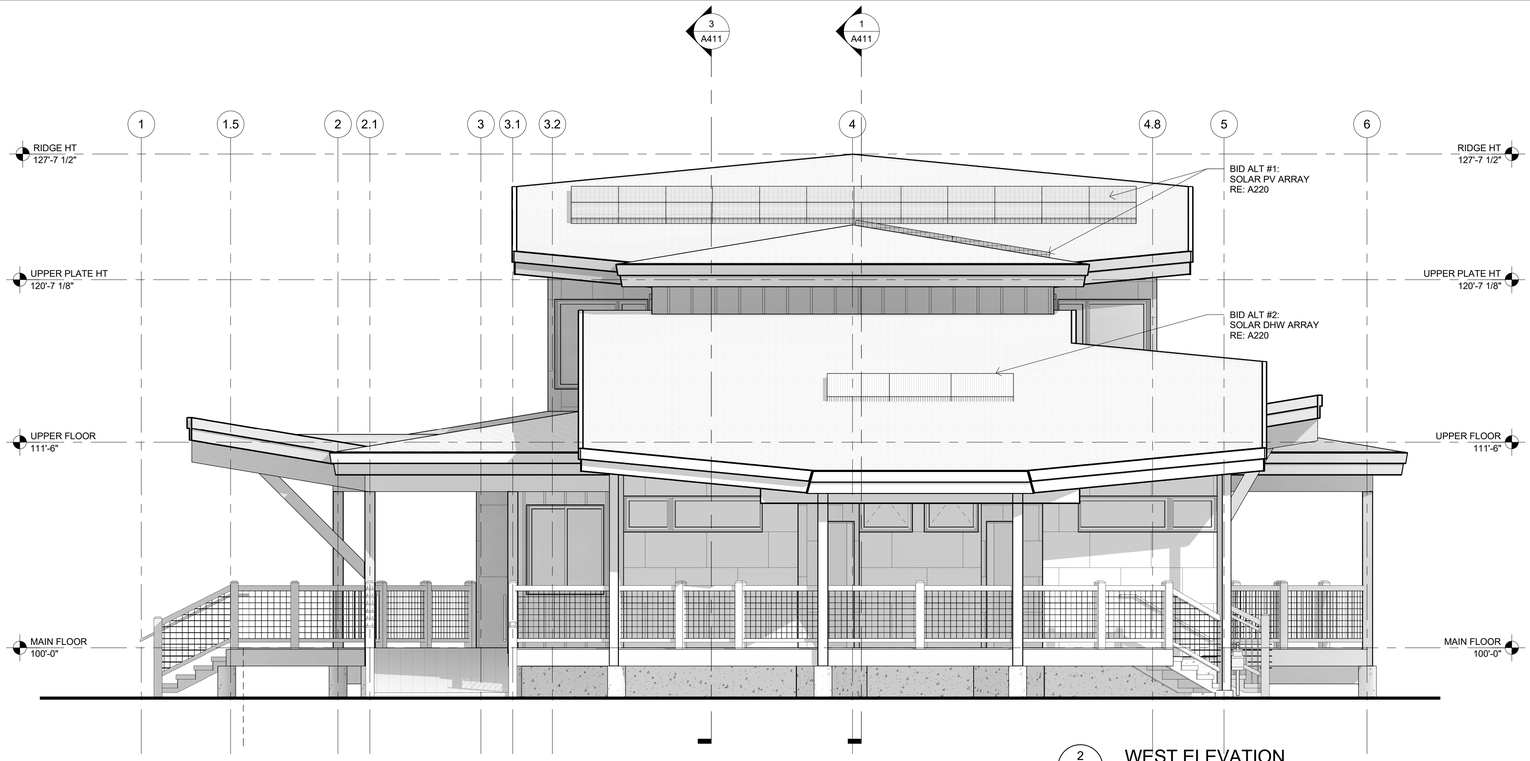


1 A302 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



2 A302 WEST ELEVATION

SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS

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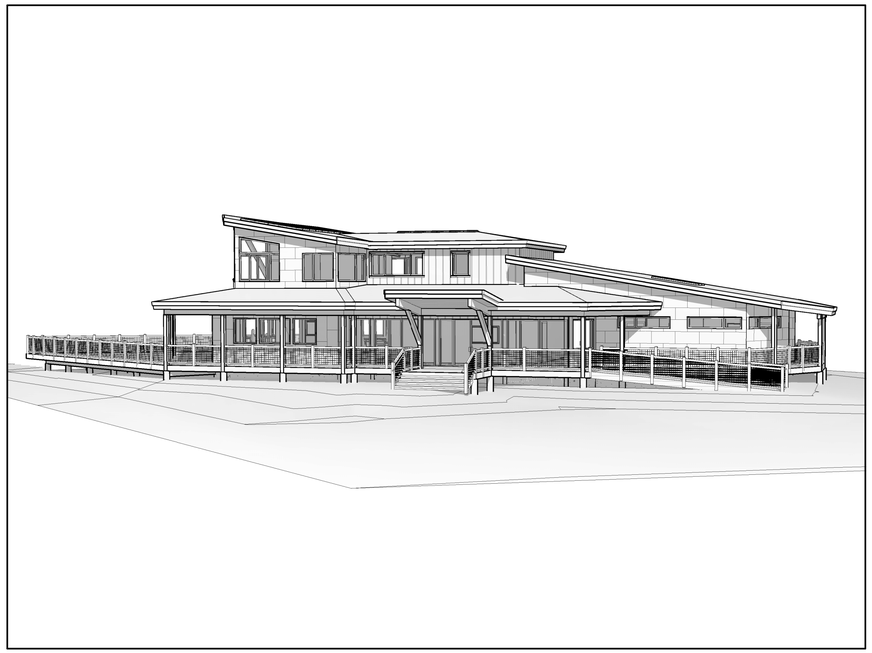
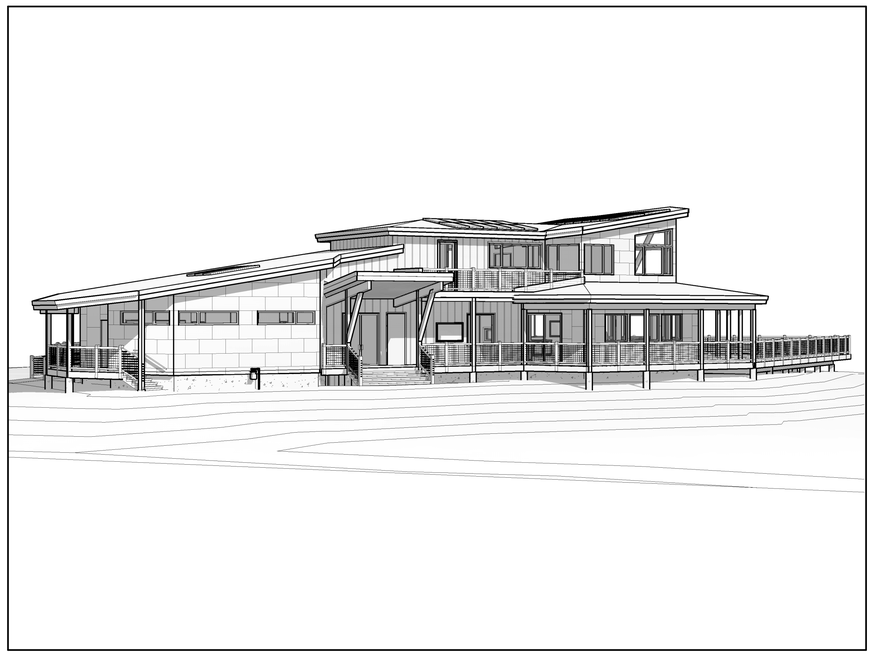
3 A311 3D VIEW FROM EAST

SCALE:



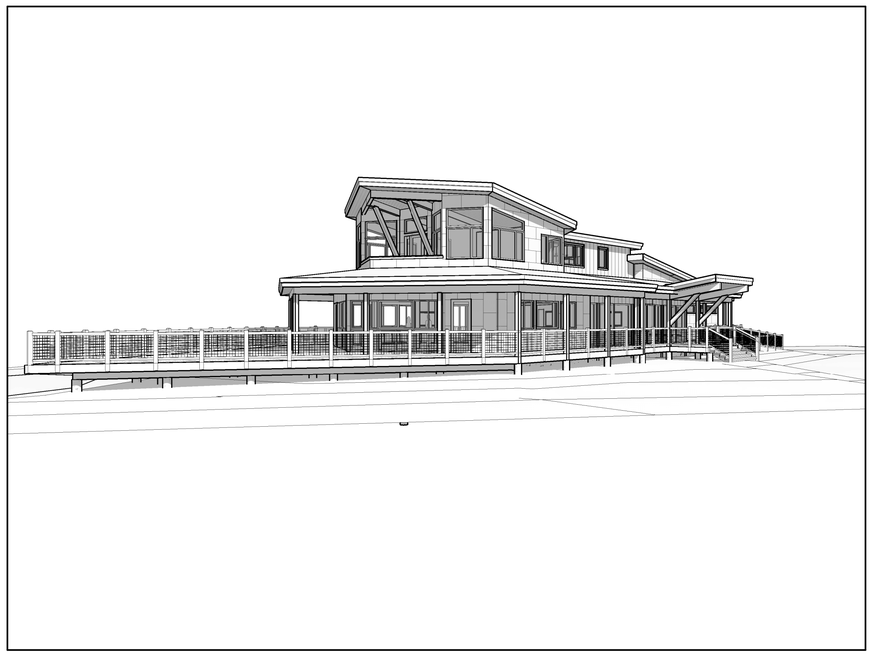
1 A311 3D VIEW FROM WEST

SCALE:



4 A311 3D VIEW FROM SOUTH

SCALE:



2 A311 3D VIEW FROM NORTH

SCALE:

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EXTERIOR PERSPECTIVES

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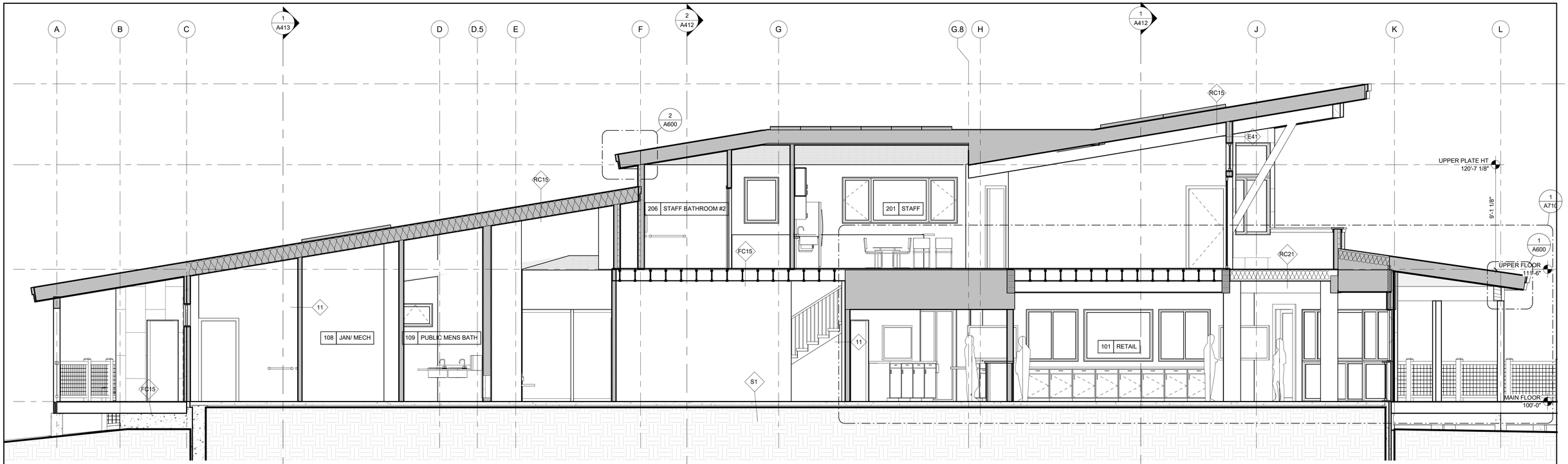
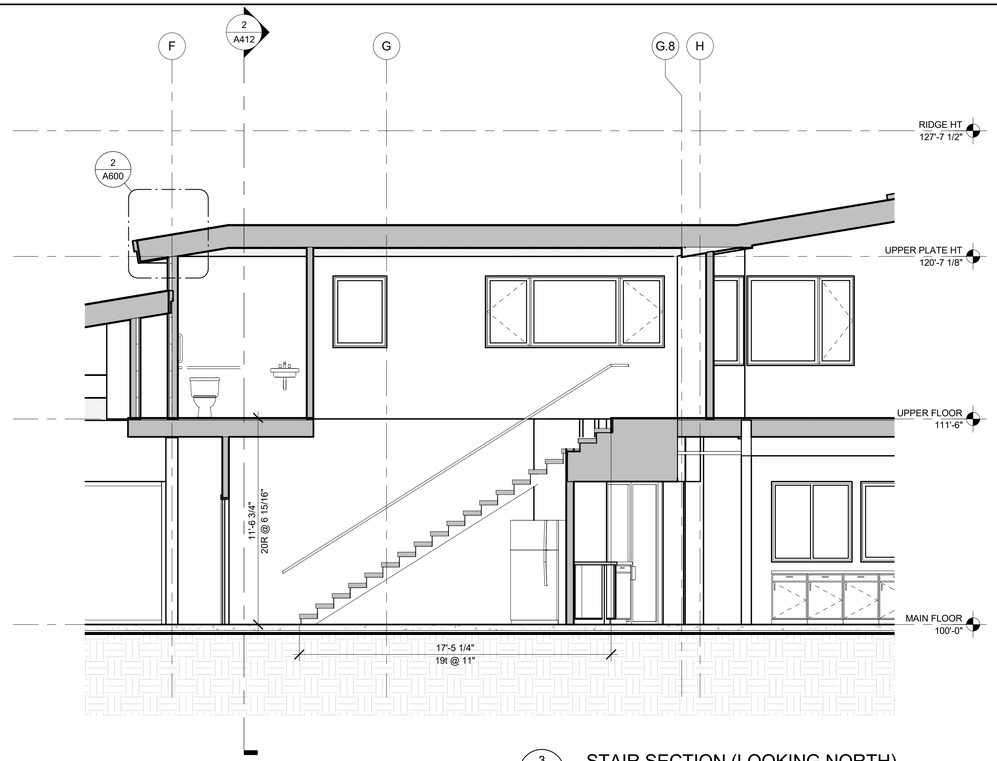


1 A411 SECTION @ GRID D (LOOKING NORTH)

SCALE: 1/4" = 1'-0"



3 A411 STAIR SECTION (LOOKING NORTH)

SCALE: 1/4" = 1'-0"

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BUILDING SECTIONS

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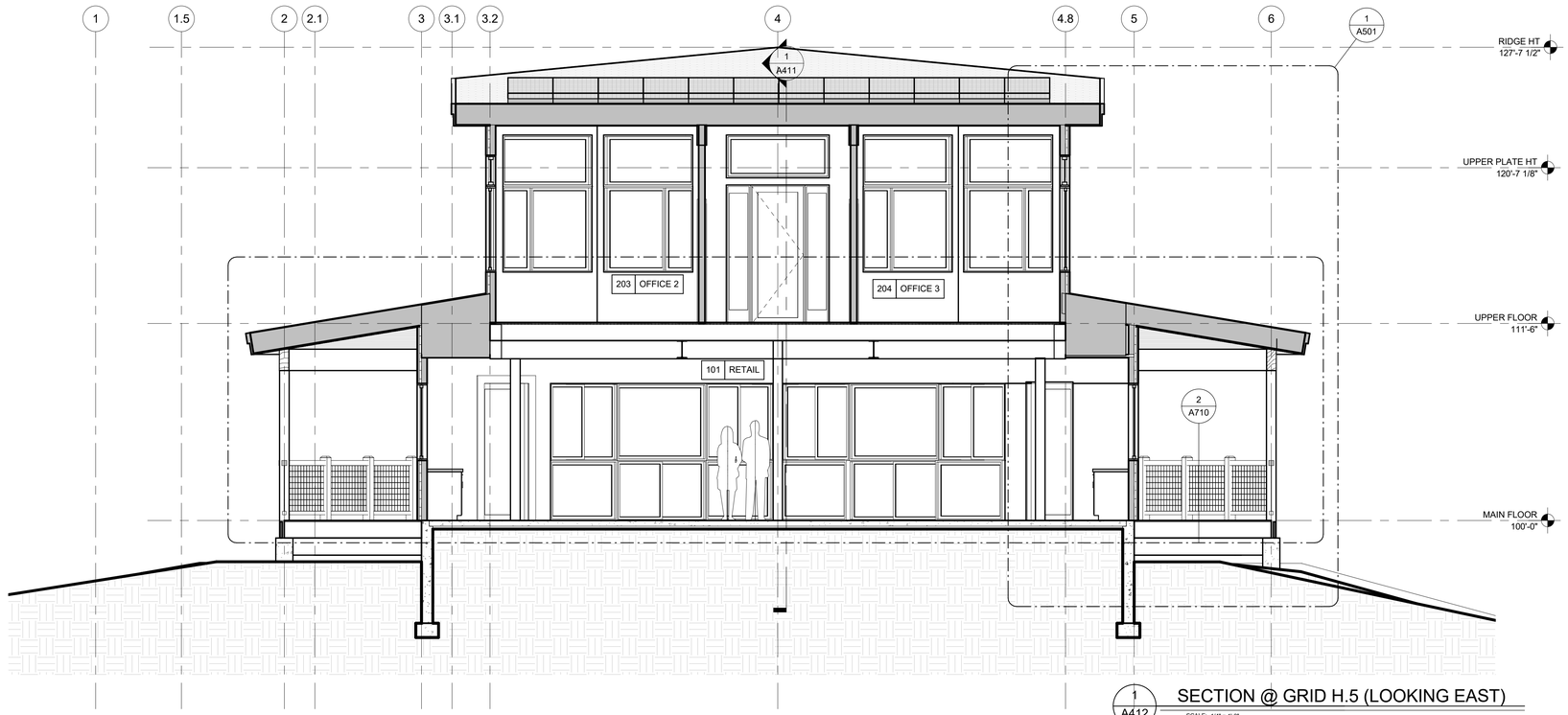

1 A412 SECTION @ GRID H.5 (LOOKING EAST)

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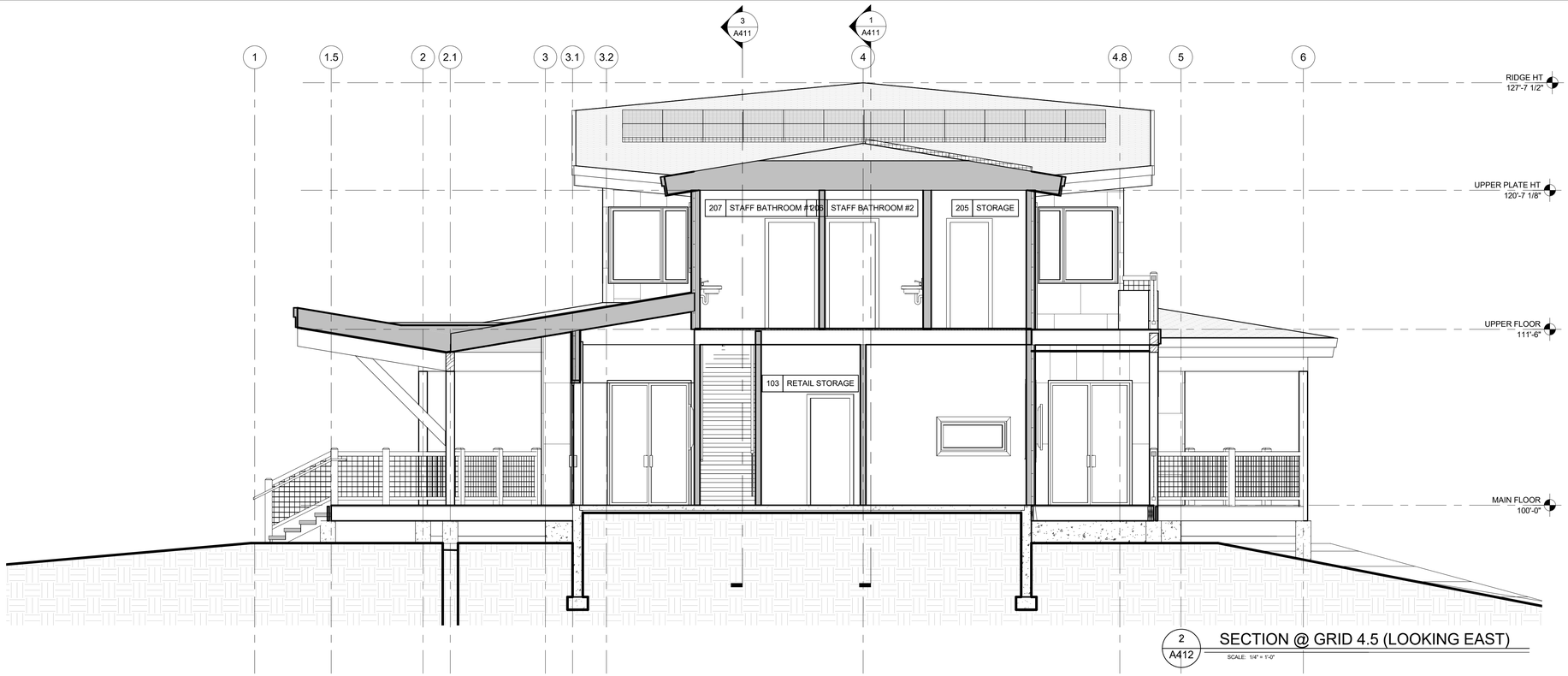

2 A412 SECTION @ GRID 4.5 (LOOKING EAST)

SCALE: 1/4" = 1'-0"

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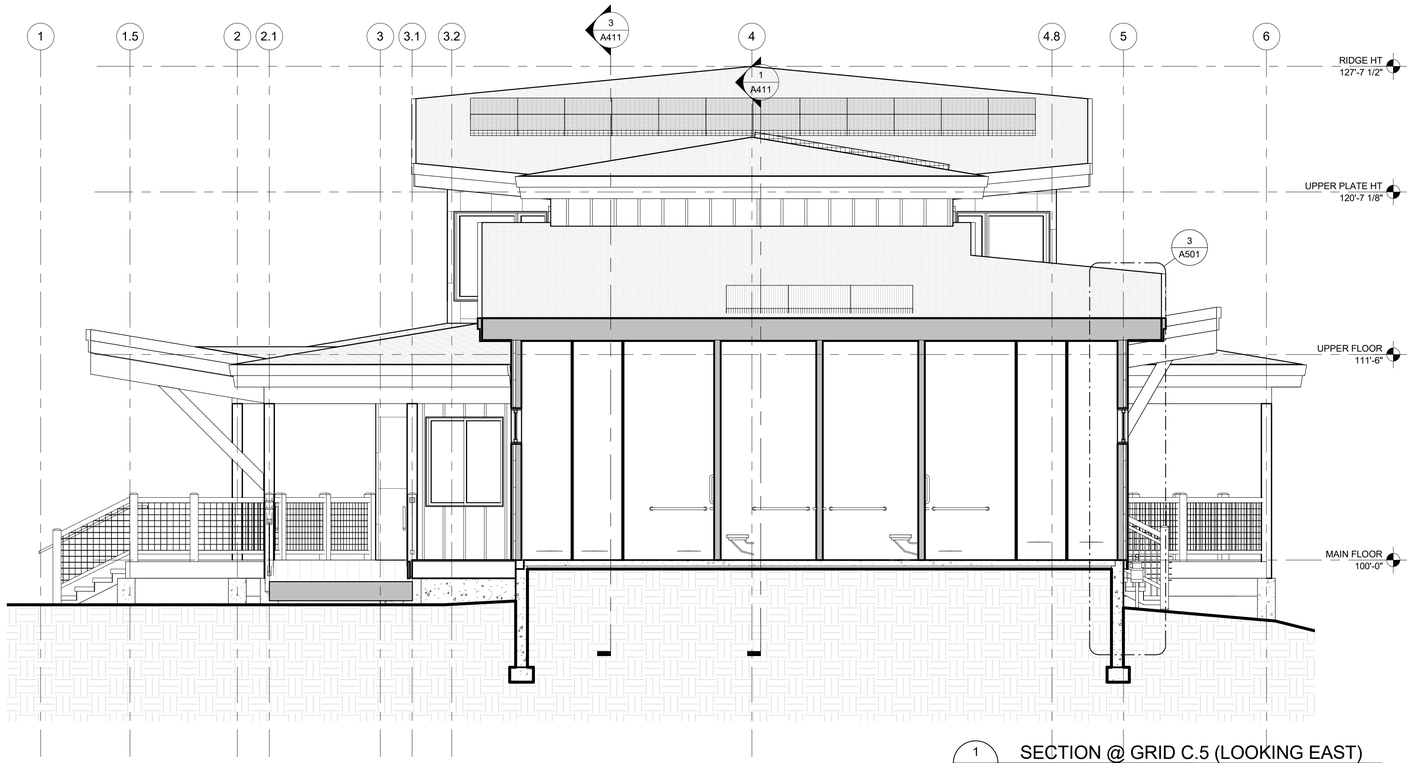

1 A413 SECTION @ GRID C.5 (LOOKING EAST)

SCALE: 1/4" = 1'-0"

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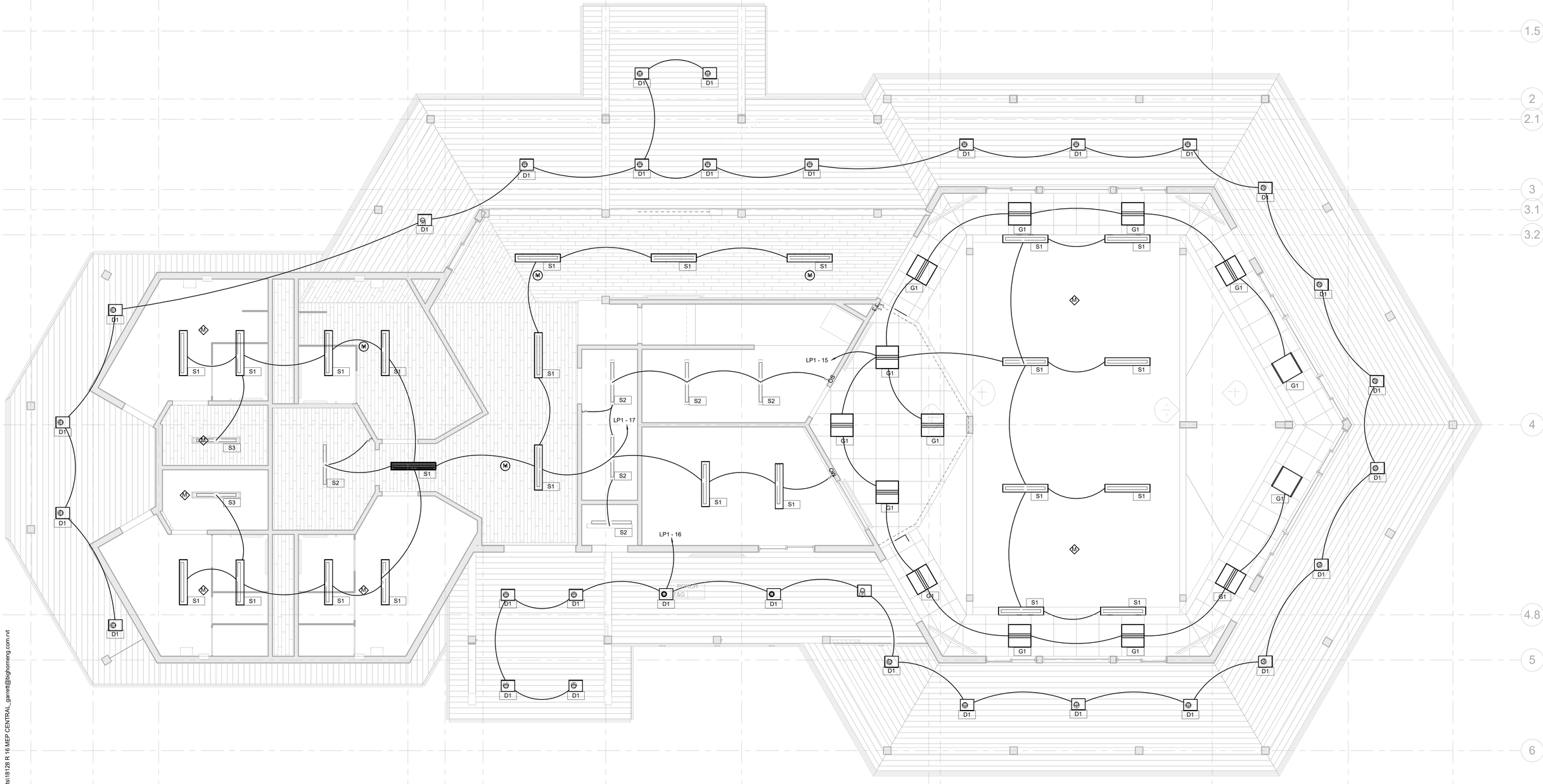

LIGHTING - KEYNOTE LEGEND	
Key Value	Keynote Text

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FRISCO MARINA PROJECT

FRISCO . COLORADO

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GRAND JUNCTION, CO. 81501

PROJECT # 18-128

ISSUE:

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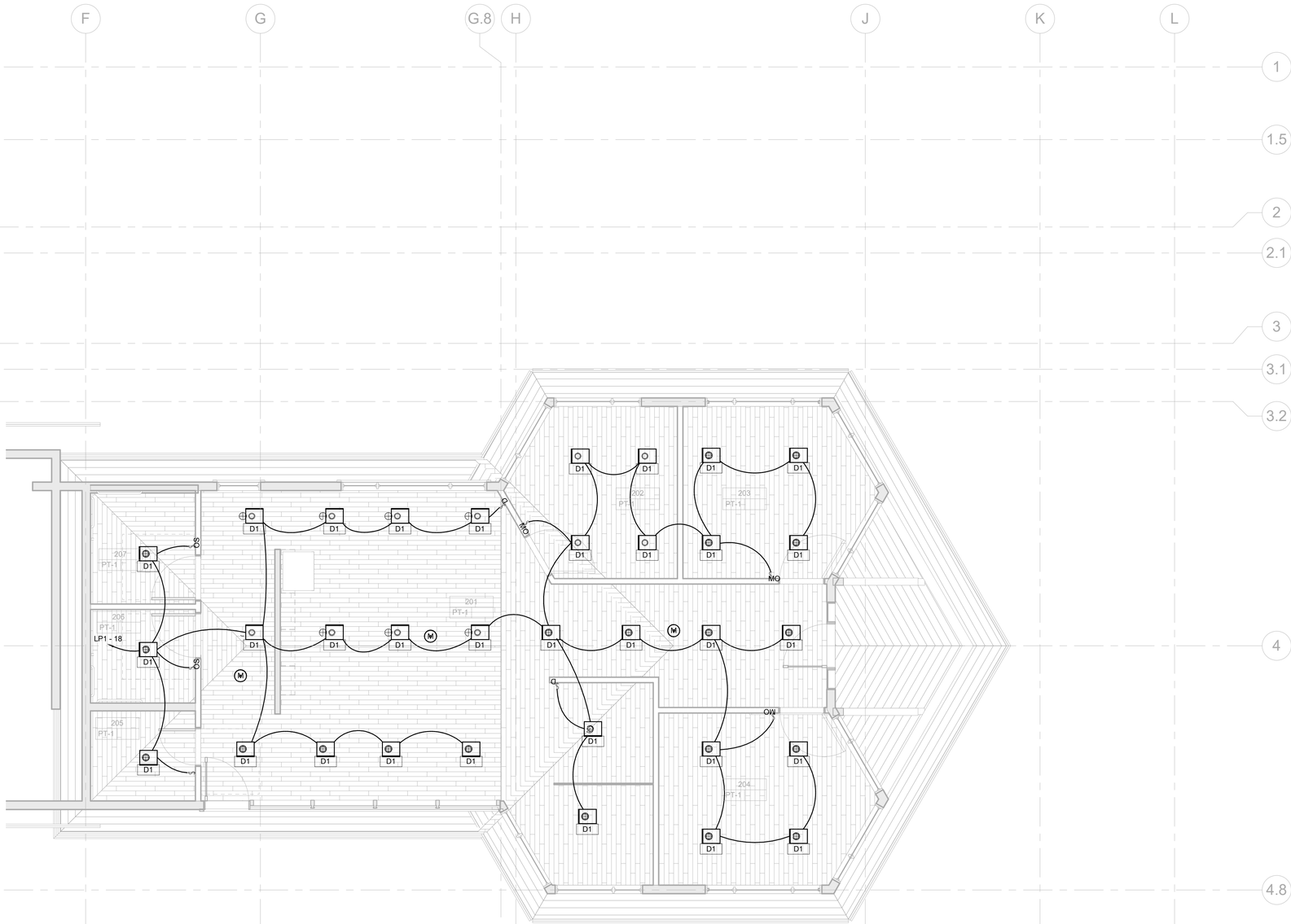
LIGHTING MAIN FLOOR PLAN

draft

E1-1



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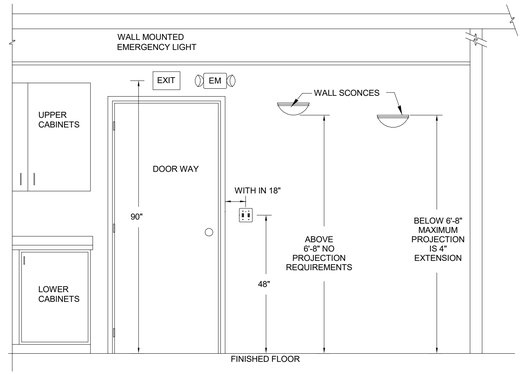
LIGHTING UPPER FLOOR PLAN

draft

E1-2

LIGHTING FIXTURE SCHEDULE

TYPE MARK	MANUFACTURER	MODEL	VOLTAGE/DRIVER	LAMP	DESCRIPTION
D1	PRESCOLITE	LC4SL-4LCSL10L-35K-8-WT	120-277V, DIMMING DRIVER	13W, 80CRI, 3500K, 1062LM	4" DIA DOWNLIGHT, COLD ROLLED STEEL HOUSING, SUITABLE FOR WET LOCATIONS, FIVE YEAR WARRANTY
G1	COLUMBIA LIGHTING	RLA22-35MLG-EDU	120-277V, DIMMING DRIVER	37W, 80CRI, 3500K, 3202LM	24"Wx24"Lx5"H RECESSED GRID FIXTURE, HEAVY GAUGE STEEL HOUSING, POWDER COAT FINISH, FIVE YEAR WARRANTY
S1	COLUMBIA LIGHTING	LAW4-40LW-EDU	120-277V, DIMMING DRIVER	37W, 80CRI, 4000K, 4477LM	48"Lx8"Wx3"H SURFACE MOUNTED LENSED LIGHT, LOW PROFILE, DAMP LISTED, CODE GRADE STEEL HOUSING, 100% ACRYLIC LENS, FIVE YEAR WARRANTY
S2	COLUMBIA LIGHTING	LCL4-40ML-EU	120-277V, LED DRIVER	48W, 80CRI, 4000K, 5411LM	48"Lx4"Wx4"H SURFACE MOUNTED STRIP LIGHT, DAMP LISTED, BAKED ENAMEL FINISH, FIVE YEAR WARRANTY
S3	COLUMBIA LIGHTING	LXEN4-40LW-RFA-EU-SWH	120-277V, LED DRIVER	37W, 80CRI, 4000K, 4085LM	51"Lx4.5"Wx4"H SURFACE MOUNTED GASKETED LIGHT, IP66 RATED FIXTURE, FIBERGLASS HOUSING, FIVE YEAR WARRANTY



LIGHTING DEVICE MOUNTING HEIGHT DETAIL

NOT TO SCALE

DETAIL NOTES:
1. ALL DEVICES SHOWN ON THIS DETAIL ARE FOR REFERENCES OF MOUNTING HEIGHTS ONLY. THE ELECTRICAL CONTRACTOR SHALL FIELD ADJUST THE HEIGHTS AND LOCATIONS OF THE DEVICES AS REQUIRED FOR PROPER MOUNTING.
2. ALL DEVICES REQUIRED FOR THIS PROJECT MAY NOT APPEAR ON THIS DETAIL. ALL ITEMS SHOWN ON THIS DETAIL MAY NOT BE REQUIRED FOR THIS PROJECT.
3. THE AMERICANS WITH DISABILITIES ACT, KNOWN AS ADA, AFFECTS LIGHT FIXTURES USED IN CIRCULATION OR EGRESS SPACES. IN PRACTICE THIS MEANS THAT WALL MOUNTED FIXTURES LOCATED BELOW 6'-8" AFF IN HALLS, CORRIDORS, PASSAGEWAYS OR AISLES, MUST BE NO GREATER THAN 4" DEEP. THE ADA AFFECTS CONSTRUCTION FOR BOTH NEW AND EXISTING BUILDINGS.

GENERAL LIGHTING NOTES:

1. GENERAL NOTES:
 1.1. FIELD COORDINATION DURING CONSTRUCTION IS IMPERATIVE. CONTRACTORS BIDDING THIS WORK MUST MAKE REASONABLE ALLOWANCES FOR UNFORESEEN CONTINGENCIES.
 1.2. ALL ELECTRICAL WORK TO COMPLY WITH LATEST EDITION OF NEC AND ALL APPLICABLE LOCAL CODES.

2. LUMINAIRES:
 2.1. LIGHTING FIXTURES SHALL BE SUPPORTED FROM THE STRUCTURE ABOVE AND SHALL NOT BE SUPPORTED FROM THE T-BAR CEILING GRID.
 2.2. THE ELECTRICAL CONTRACTOR IS TO CONFIRM THE LIGHT FIXTURES ORDERED WILL BE COMPATIBLE WITH THE CEILING TYPES AS SHOWN ON THE ARCHITECTURAL REFLECTED CEILING PLANS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING THE FIXTURES.
 2.3. COORDINATE THE LOCATION OF LIGHTING EQUIPMENT INCLUDING BUT NOT LIMITED TO THE LUMINAIRES, SWITCHES AND CONTROL COMPONENTS WITH THE ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS AND ALL OTHER TRADES AS REQUIRED.
 2.4. ALL LIGHT FIXTURES NEED TO BE COMPATIBLE WITH THE SWITCHES AND CONTROLS BEING PROVIDED .
 2.5. THE LIGHTING PACKAGE SHALL BE APPROVED BY BOTH ARCHITECTS AND ENGINEERS AS APPROVED EQUAL BEFORE BID. NO LIGHT FIXTURE SHALL BE ORDERED UNTIL THE LIGHT FIXTURE SUBMITTAL PACKAGE HAS BEEN APPROVED IN WRITING BY THE ARCHITECT, GENERAL CONTRACTOR AND ELECTRICAL ENGINEER.
 2.6. COORDINATE LUMINAIRE MOUNTING REQUIREMENTS PRIOR TO PLACING ORDER.

3. EMERGENCY AND EXIT LIGHTS:
 3.1. PROVIDE EMERGENCY AND EXIT SIGNS AS PER ALL LOCAL CODES.
 3.2. EXIT SIGNS CONNECTED TO A REMOTE EMERGENCY HEAD REQUIRES EXTRA BATTERY CAPACITY TO OPERATE THE REMOTELY LOCATED EMERGENCY HEAD FOR EGRESS AWAY FROM THE BUILDING.
 3.3. REFER TO THE PLANS FOR THE NUMBER OF FACES REQUIRED AT EACH EXIT. FIELD ADJUST THE LOCATION OF THE EXIT SIGNS FOR THE BEST VISIBILITY POSSIBLE.
 3.4. ALL LIGHTING FIXTURES DENOTED WITH "EM" SHALL BE PROVIDED WITH AN ENGINEER APPROVED EMERGENCY LED DRIVER OR BALLAST TO OPERATION THE FIXTURE IN AN EMERGENCY MODE TO MEET ALL CURRENT LOCAL CODES AND WILL BE CIRCUITED TO THE UNSWITCHED SIDE OF THE LIGHTING CIRCUIT. ALL EM FIXTURES SHALL BE PROVIDE WITH ONE OF THE FOLLOWING:
  3.4.1. INTEGRAL TEST SWITCH;
  3.4.2. REMOTE INFRARED HAND HELD DEVICE;
  3.4.3. INTEGRAL ELECTRONIC DEVICE THAT AUTOMATICALLY PERFORMS CODE REQUIRED TESTS.
 3.5. ALL STAIRWELLS AND PATHS OF EGRESS TO THE EXTERIOR DOORS, AND THE EXTERIOR PATH OF EGRESS AWAY FROM THE BUILDING SHALL RECEIVE EMERGENCY LIGHTING PER CODE.

4. LIGHTING CONTROLS:
 4.1. ALL LIGHTS IN; RESTROOMS, STORAGE CLOSETS, JANITORS CLOSETS, RECEPTION AREAS, CORRIDORS AND STAIRWELLS ARE TO BE SWITCHED VIA A MOTION SENSOR FOR FULL AUTO ON AND OFF AFTER A TIME DELAY. COORDINATE DELAY TIME WITH OWNER.
  4.1.1. EXCEPTION: IN AREAS WHERE THE SWITCH IS LOCATED OUTSIDE THE AREA THE LIGHT IS LOCATED IN.
 4.2. LIGHTING IN OFFICES, MEETING ROOMS, AND BREAK ROOMS ARE TO BE CONTROLLED BY A DIMMER SWITCH WITH MANUAL ON, AUTOMATIC OFF AFTER A DELAY. COORDINATE DELAY TIME WITH OWNER.
 4.3. LIGHTING IN MECHANICAL AND ELECTRICAL ROOMS TO BE CONTROLLED BY A STANDARD SNAP SWITCH.
 4.4. SEE LIGHTING SHEETS FOR SPECIFIC ROOM REQUIREMENTS.

5. WIRING:
6. ALL WIRING IS SHOWN DIAGRAMMATICALLY ON DRAWING, FIELD VERIFY ALL CONDITIONS PRIOR TO ROUGH-IN.
 6.1. ALL WIRE IS TO BE #12 UNLESS NOTED OTHERWISE.
 6.2. ALL BRANCH CIRCUITS WITH HOME RUNS OVER 50 FEET, WILL BE SIZED ONE SIZE LARGER.
 6.3. ALL ELECTRICAL WORK TO COMPLY WITH LATEST EDITION OF NEC AND ALL APPLICABLE LOCAL CODES.
 6.4. ALL WIRING IS SHOWN DIAGRAMMATICALLY ON DRAWING, FIELD VERIFY ALL CONDITIONS PRIOR TO ROUGH-IN.

LIGHTING LEGEND

NOTES:
SYMBOLS SHOWN ARE STANDARD. VARIATION AND/OR COMBINATIONS MAY BE USED ON THE PLANS. THIS LIST SHOWS STANDARD SYMBOLS AND ALL MAY NOT APPEAR ON THE PROJECT DRAWINGS; HOWEVER, WHEREVER THE SYMBOL ON THE PROJECT DRAWINGS OCCUR; THE ITEM SHALL BE PROVIDED AND INSTALLED.

A LOWER CASE LETTER NEXT TO LIGHT FIXTURE OR SWITCH INDICATES A SWITCH DESIGNATION.

AN UPPER CASE LETTER NEXT TO A SWITCH INDICATES THE TYPE OF SWITCH. REFER TO THE SWITCH LEGEND BELOW.

AN UPPER CASE LETTER NEXT TO A LIGHT FIXTURE INDICATES THE TYPE OF FIXTURE. REFER TO THE LUMINAIRE SCHEDULE FOR FIXTURE SPECIFICATIONS.

ELECTRICAL EQUIPMENT LEGEND

- BRANCH CIRCUIT PANELBOARD
- LA-7 — CIRCUITRY HOMERUN: PANEL LA - CIR. #7
- CONDUIT OR WIRE CONCEALED IN WALL/CLG.
- CONDUIT OR WIRE UNDERFLOOR/UNDERGND.
- J — CEILING JUNCTION BOX - SURFACE/FLUSH
- J-1 — WALL JUNCTION BOX - SURFACE/FLUSH

SWITCH LEGEND

- S — SINGLE POLE SWITCH
- S2 — TWO POLE SWITCH
- S3 — THREE-WAY SWITCH
- S4 — FOUR-WAY SWITCH
- SD — DIMMER SWITCH
- S3D — 3 WAY DIMMER SWITCH - (4D INDICATES A 4WAY DIMMER)
- SDR — DOOR ACTIVATED SWITCH
- SOS — WALL MOUNTED DUAL TECHNOLOGY MANUAL ON / AUTO OFF VACUITY SENSOR SWITCH
- SLV — LOW VOLTAGE LIGHT SWITCH
- STO — MANUAL MOTOR STARTER
- SP — PILOT LIGHT SWITCH
- SMA — MANUAL ON / AUTO OFF LIGHT SWITCH
- SMAD — MANUAL ON / AUTO OFF DIMMING LIGHT SWITCH
- SK — KEY OPERATED LIGHT SWITCH
- ST — TIMER SWITCH
- M / M — CEILING MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR SWITCH
- D / D — DAYLIGHT HARVESTING SENSOR

LIGHT FIXTURE LEGEND

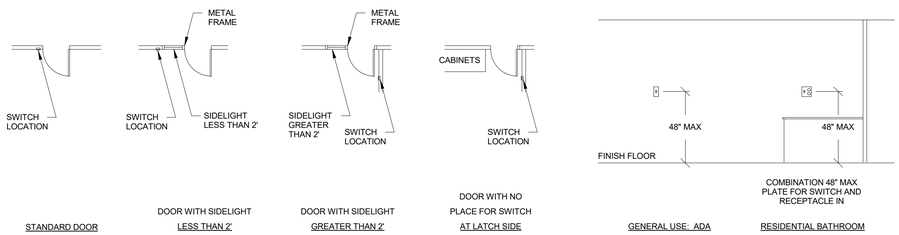
ALL FIXTURES: THE UPPER CASE LETTER INDICATES FIXTURE TYPE, SEE THE LUMINAIRE SCHEDULE FOR SPECIFICATIONS, THE LOWER CASE LETTER INDICATES WHICH SWITCH CONTROLS THE LIGHT.

ACTUAL FIXTURE ON PLANS MAY VARY FROM THE SYMBOL SHOWN HERE

- A — 1'x4' LED TROFFER OR DIRECT/INDIREC TYPE FIXTURE GRID, FLANGE OR SURFACE MOUNTED
- A — 2'x4' LED TROFFER OR DIRECT/INDIREC TYPE FIXTURE GRID, FLANGE OR SURFACE MOUNTED
- A — 2'x2' LED TROFFER OR DIRECT/INDIREC TYPE FIXTURE GRID, FLANGE OR SURFACE MOUNTED
- A — WALL BRACKET LIGHT FIXTURE
- A — RECESSED DOWNLIGHT CAN FIXTURE
- A — SURFACE CEILING OR PENDANT MOUNTED FIXTURE
- EX2 — DOUBLE FACE EXIT SIGN, WALL AND CEILING MOUNTED
- EX1 — SINGLE FACE EXIT SIGN, WALL AND CEILING MOUNTED
- EM — WALL MOUNTED EMERGENCY LIGHT
- EMR — EMERGENCY EXTERIOR EGRESS FIXTURE

ABBREVIATIONS

E1	DRAWING KEYED NOTE
ROOM NAME / 100	ROOM DESIGNATION, NAME AND NUMBER
NL	NIGHT/SECURITY LIGHT - DO NOT SWITCH
WP	WEATHERPROOF
A.F.F.	ABOVE FINISHED FLOOR
A.F.G.	ABOVE FINISHED GRADE
GFCI OR GF	GROUND FAULT CIRCUIT INTERRUPTER
EM	EMERGENCY FUNCTION
44"	MOUNTING HEIGHT - A.F.F. OR A.F.G. TO CENTERLINE
AC	ITEM TO BE MOUNTED ABOVE COUNTER HEIGHT



STANDARD DOOR | DOOR WITH SIDELIGHT LESS THAN 2' | DOOR WITH SIDELIGHT GREATER THAN 2' | DOOR WITH NO PLACE FOR SWITCH AT LATCH SIDE | GENERAL USE: ADA | COMBINATION 48" MAX PLATE FOR SWITCH AND RECEPTACLE IN RESIDENTIAL BATHROOM

SWITCH MOUNTING DETAILS

SCALE: NOT TO SCALE

matthew stais architects
108 north ridge street
p o box 135
breckenridge
colorado 80424
970 453 0444

FRISCO MARINA PROJECT

FRISCO . COLORADO

PROJECT # 18-128

386 INDIAN ROAD
GRAND JUNCTION, CO. 81501

ISSUE:
100% DESIGN DEVT 8/31/18

LIGHTING DETAILS

draft

E1-3

KIM LIGHTING

PA7R
Pavilion™ Bollard kl_pa7r_spec.pdf

JOB 18128 FRISCO MARINA

TYPE PA7R-CT-NU-5-12L-020-3K7-42A-BL-UNV

NOTES TYPE B1

APPROVALS

FEATURES

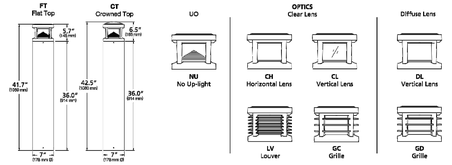
- Traditional or Performance Optics
- Bluetooth enabled RGBW accent
- Integral NEMA 3R Enclosure
- Dual receptacle power panel
- PA System capability
- IP66 optical system

CERTIFICATIONS

cULus LISTED · IDA IK10

NU configurations in 3000K and warmer CCTs only

SPECIFICATIONS



ORDERING CODE

PA7R	CT	NU	5	12L-020-3K7
Model	Top	Optics	Distribution	Light Engine
PA7R Pavilion 7" Ø Round	FT Flat Top CT[1] Crowned Top	NU No Up-light CH Clear Horizontal Lens CL[2] Clear Vertical Lens DL[2] Diffuse Vertical Lens LV Louvers GC Grille with clear vertical lens GD[3] Grille with diffuse vertical lens	1 Type I 2 Type II 3 Type III 3H5 Type III + House side shield 4 Type IV 5 Type V	12L-010-5K7 14W (1000 nominal lm), 5000K, 70 CRI 12L-010-4K7 14W (1000 nominal lm), 4000K, 70 CRI 12L-010-3K7 14W (1000 nominal lm), 3000K, 70 CRI 12L-010-AMB 14W, Amber 560 nm Monochromatic 12L-020-5K7 22W (2000 nominal lm), 5000K, 70 CRI 12L-020-4K7 22W (2000 nominal lm), 4000K, 70 CRI 12L-020-3K7 22W (2000 nominal lm), 3000K, 70 CRI 12L-020-AMB 22W, Amber 560 nm Monochromatic

42A	BL		UNV	
Body	Fixture Finish	Controls	Voltage	Options
24A 24" OAH, Aluminum 42A 42" OAH, Aluminum 42BE-C 42" OAH, Brown Concrete 42NG-C 42" OAH, Natural Gray Concrete 42A-ROP 42" OAH, Aluminum + Oval Receptacle Outlet Panel and Cover 42A-ROP-L 42" OAH, Aluminum + Oval Receptacle Outlet Panel and Locking Cover 42A-2GEB 42" OAH, Aluminum + Integral Recessed 2 Gang Electrical Box 42A-SG3 42" OAH, Aluminum + Speaker Grille Enclosure for 3" Ø speaker	BL Black DB Dark Bronze LG Light Gray GT Graphite PS Platinum Silver TT Titanium WH White RAL RAL Color CC Custom Color* *Consult factory	SWP[4,5] SiteSync pre-commission MW[6] Motion sensing (50% dim, 100% output upon detection) SiteSync Accessories[7] SWUSB SiteSync Software on USB SWTAB SiteSync Windows® Tablet SWBRG SiteSync Wireless Bridge Mode	UNV 120-277V 120[8] 120V 277[9] 208-277V 347[9] 347V 480[9] 480V	EM[7] Battery Backup LR[5] Luminous Accent SF[5] Single Fuse DF[5] Double Fuse

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Kim Lighting reserves the right to change specifications without notice.

1 Adds .6 / 15mm to OAH (over all height).
2 CL and DL configurations shall be MGM.
3 Only Available with 1 Type I or 5 Type V distributions only.
4 24 Ø typical coverage area, not Available with CH.
5 Specify group and zone at time of order. See www.hubbelllighting.com/sitesync for more details. Order at least one SiteSync Interface accessory SWUSB or SWTAB. Each option contains SiteSync License, GUI, and Bridge Node.
6 Dedicated input voltage, required for MW Motions sensing.
7 -20°C min starting temperature, 90+ minute run time, output equivalent to 12L-010-4K7
8 Adds +5 watts and 1" / 254mm to overall height.
9 SF for 120, 277 and 347 Input voltage, DF for 208, 240 and 480 input voltage.

*PRECOMMISSIONED SITESYNC ORDERING INFORMATION: When ordering a Bid.ez with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project location, Group information, and Operating schedules. For more detailed information please visit www.HubbellLighting.com/products/sitesync or contact Hubbell Lighting tech support at (800) 345-4928.

Examples:
PA7R/FT/A/LS/12L-020-3K7/42A/ITT/SWP/UNV/LR

HUBBELL Lighting

| 1 |

4" LED Downlight
LC4SL
1000/1400/1800 Lumens
120V-277V, 347V
0-10V Dimming

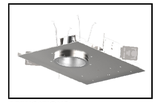
DATE: 20180727 TYPE: D1

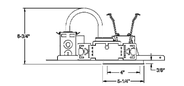
FIRM NAME: BCE

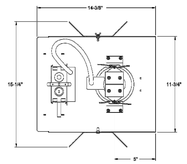
PROJECT: 18128-FRISCO MARINA

LiteFrame

Ceiling Cutout: 5"
Maximum Ceiling Thickness 3/4"
For conversion to millimeters, multiply inches by 25.4
Not to Scale







LC4SL 10L, 14L, & 18L

See page 4 for LC4SL CP linear
See page 4 for LC4SL EM/EMR linear

APPLICATIONS:
LiteFrame Commercial LC4SL is a 4" commercial grade LED downlight with available outputs between 1000-1800 Lumens. This is suitable to replace most CFL downlighting applications, while realizing substantial energy and maintenance savings. Rated for a minimum of 50,000 hours life (70% lumen maintenance) with ambient plenum temperatures up to 35°C. Free Air Flow around the fixture is required for optimal life performance. This product is not recommended for use with 3rd party "FIRE-HAT" or insulation barriers.

HOUSING:
One-piece 22 gauge non-corrosive steel platform. Pre-wired J-box with snap-on cover for easy access. Snap-in connection from driver compartment allows easy installation of light engine/trim assembly and can be upgraded to accommodate technology improvements. Approved for 8 (4 in/4 out) No. 12 AWG conductors rated for 90°C through wiring.

REFLECTOR:
High purity aluminum, Alzak, iridescence suppressed, semi-diffuse reflector. Self-trim standard. Painted white self-trim (WT) available as option.

LED LIGHT ENGINE:
The LC4SL uses mid power LEDs, specifically mixed to provide a minimum of 80 CRI with 3 SDCM color consistency. The use of multiple mid power LEDs allows for optimal thermal management by effectively spreading the heat over a larger area and eliminating hot spots on the LEDs. A diffuse, yet highly transmissive lens obscures the view of the LEDs and creates a smooth, even look from below. The light engine is available in multiple Kelvin temperatures and the system is designed to provide optimal life and lumen maintenance (50,000 hours at 70% lumen maintenance). The reflector/light engine assembly is mechanically retained to the housing.

LED DRIVER:
The LC4SL utilizes a constant current LED driver. This same driver is capable of running all three different lumen outputs, resulting in a reduction of housing skus and simplified specification. The driver is UL8750, Class II compliant and universal 120V-277V.

DIMMING:
Comes standard with flicker-free 0-10V dimming to 10%. 0-10V to 1% dimming option is also available.See list of compatible dimmers on page (4). For the sizing of the control circuit, the dimming circuit may require up to 2mA of sink current.

INSTALLATION:
Light commercial bar hangers included. Universal adjustable mounting brackets also accept ½" EMT conduit or ½" or ¾" lathing channel (by others) or Prescolite 24" bar hangers (B24 or B6). Wall wash orientation may be field adjusted in 90° increments to housing.

CERTIFICATIONS:
CSA certified to US and Canadian safety standards. Suitable for wet locations (EM, EMR and WW damp location). Standard model is ENERGY STAR qualified.

WARRANTY:
5 year warranty. See www.prescolite.com for details.

Order housing, reflector, and accessories separately

CATALOG NUMBER: LC4SL-4LCSL14L35K9WT

EXAMPLE: LC4SL-4LCSL14L35K9WT

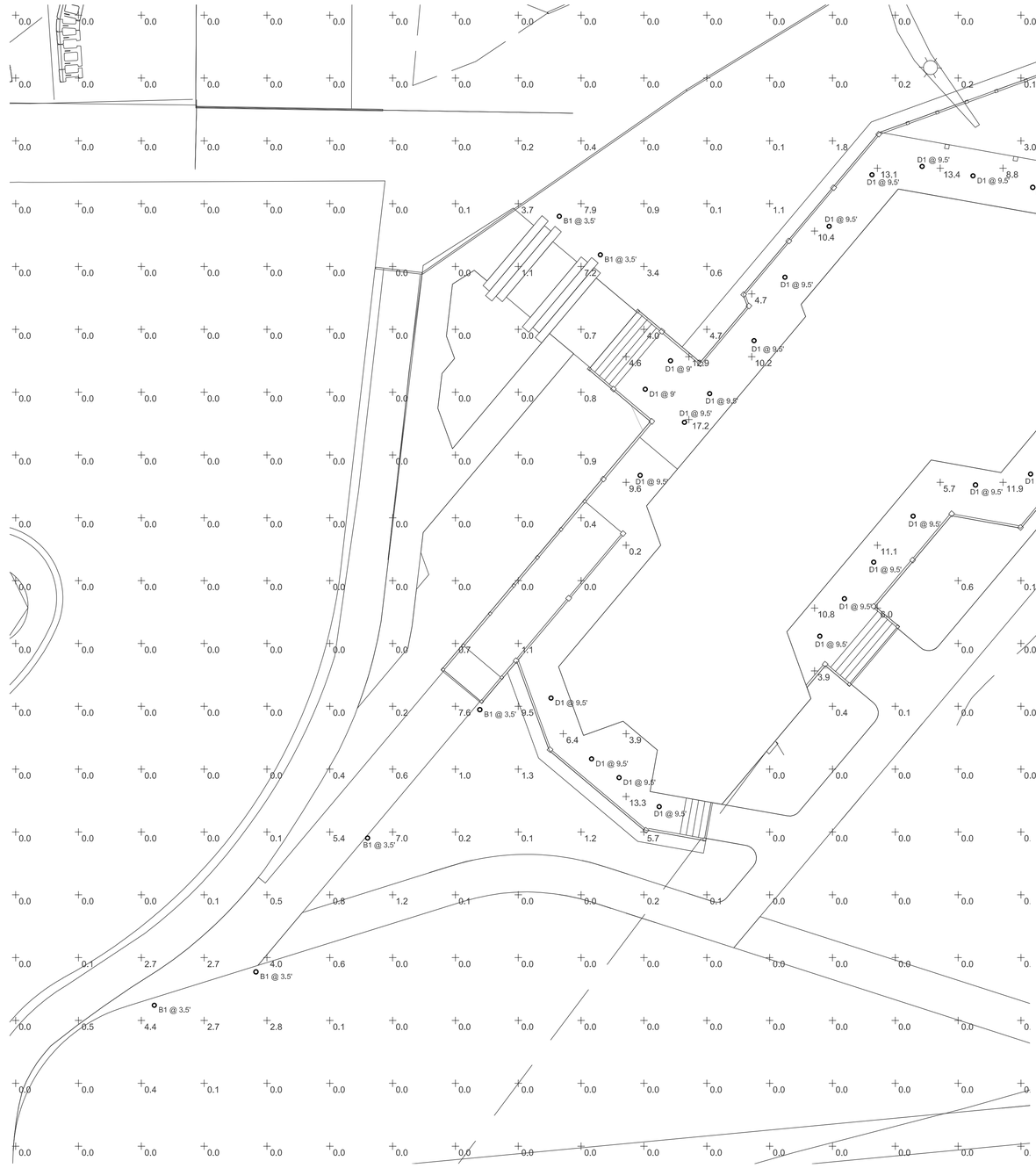
HOUSING	DRIVER OPTIONS	VOLTAGE	HOUSING OPTIONS	+	TRIM APERTURE	OUTPUT	KELVIN	CRI	REFLECTOR/ COLOR OPTION	TRIM OPTIONS	+	ACCESSORIES
☐ **LC4SL** Standard Lumen 0-10V 10% dimming 120V/277V	Standard 0-10V 10% Dimming ☐ **DM1** 0-10V 1% Dimming	Standard 120V/277V ☐ **347[1]** 347V	☐ **EM[1,4,5]** Integral Battery Pack ☐ **EMR[1,4]** Remote Battery Pack ☐ **CP[2]** Chicago Plenum	+	☐ **4LCSL** Standard Lumen Clear Alzak Reflector	☐ **10L** 1000 Lumen ☐ **14L** 1400 Lumen ☐ **18L** 1800 Lumen	☐ **27K** 2700 Kelvin ☐ **30K** 3000 Kelvin ☐ **35K** 3500 Kelvin ☐ **40K** 4000 Kelvin ☐ **50K** 5000 Kelvin	☐ **8** 80+ CRI ☐ **9** 90+ CRI	Standard Semi Diffuse Clear Alzak ☐ **WH** Painted Matte White Reflector and Flange	☐ **WT** Painted White Flange Only ☐ **WF** Wide Flange ☐ **WW[3]** Wall Wash ☐ **EM[1,3]** Pre-punched reflector to accept integral test switch	+	☐ **B24** Set of two(2) 24" bar hangers for T-Bar ceilings ☐ **B6** Set of two (2) bar hangers for ceiling joist up to 24" centers ☐ **LineGear[1]** Inverter, single phase central lighting, 125VA-250VA ☐ **LPS Series[1]** LitePower micro-inverter, 20VA-55VA

[1] See Control Inverter compatibility note and web links on page 4.
[2] Not compatible with DM or EMR
[3] Damp location only
[4] Not compatible with CP
[5] EM must be selected on both the housing and the trim, not compatible with WW trim

prescolite
A Division of Hubbell Lighting, Inc.

In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product.
Web: **www.prescolite.com** • Tech Support: **(888) 777-4832**

LFR-LED-057



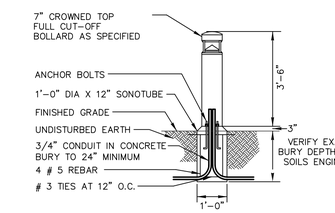
LIGHTING - SITE ISO PLAN

SCALE: 1"=10'-0"

NORTH

SITE LIGHTING LUMINAIRE SCHEDULE

TYPE	MANUFACTURER CATALOG NO.	MANUFACTURER CATALOG NO.	VOLTAGE MOUNTING	BALLAST/DRIVER LAMP SPECIFICATION	DESCRIPTION
B1	KIM LIGHTING PA7R-CT-NU-5-12L-020-3K7-42A-BL-UNV	APPROVED EQUIVALENT	SITE BOLLARD 120-277V	LED DRIVER 2000LM, 3000K, 22W, 80CRI	42.5"Hx7"DIA BOLLARD, IDA DARK SKY APPROVED, IP66 RATING DRIVER RATED TO -40'C
D1	PRESCOLITE LC4SL-4LCSL10L-35K-8-WT	APPROVED EQUIVALENT	RECESSED DOWN LIGHT 120-277V	DIMMING LED DRIVER 1000LM, 3500K 10W, 80CRI	4"DIA RECESSED DOWNLIGHT CAN SUITABLE FOR WET LOCATIONS, COLD ROLLED STEEL HOUSING



BOLLARD BASE DETAIL

NOT TO SCALE

PHOTOMETRIC CALCULATION DISCLAIMER:

LIGHTING PATTERN USED FOR LUMINAIRES REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY LUMINAIRE MAY VARY DUE TO VARIATION IN VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD AND EQUIPMENT CONDITIONS.

EXTERIOR LIGHTING DESIGN CONCEPTS:

1. CALCULATIONS ARE USING POINT-TO-POINT METHOD WITH TEN FEET DISTANCE BETWEEN CALCULATION GRID POINTS, USING VISUAL LIGHTING CALCULATIONS SOFTWARE.
2. THE IESNA STANDARDS REPRESENT THE LOWEST ACCEPTABLE LEVELS FOR PROPER VISIBILITY AND RECOMMEND MINIMUM MAINTAINED LIGHT LEVELS FOR OPEN PARKING LOTS AT 0.2-0.5 FOOT CANDLE LEVELS FOR ENHANCED SECURITY CONDITIONS.
3. PROPOSED LIGHT FIXTURES AND LIGHT LEVELS ARE TO BE IN ACCORDANCE WITH ALL LOCAL REQUIREMENTS.

EXTERIOR LIGHTING NOTES:

1. LIGHT FIXTURES SHALL BE INSTALLED AND MAINTAINED IN A MANNER CONSISTENT WITH THE LIGHTING PLAN APPROVED BY THE CITY PLANNING DEPARTMENT. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE LIGHTING FIXTURES ON THEIR PROPERTY.
2. REFER TO LANDSCAPE PLANS FOR MATURE HEIGHT OF EXISTING AND PROPOSED TREES.
3. REFER TO ARCHITECTURAL ELEVATIONS FOR BUILDING HEIGHT INFORMATION.
4. ALL EXTERIOR LIGHT FIXTURES SHALL BE OPERATED BY ASTRONOMICAL TIME CLOCK OR PHOTOCELL.
5. POST-CURFEW LIGHT LEVELS FOR PARKING LOTS SHALL BE REDUCED BY AT LEAST 50%. ENTRY LIGHTS MAY BE LEFT ON.
6. FACILITIES & SITE DEVELOPMENT OF THIS SITE ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CITY OF FRISCO CONSTRUCTION SPECIFICATIONS AND STANDARDS USING CITY OF FRISCO CONSTRUCTION DETAILS.
7. ALL OUTSIDE LIGHT SOURCES SHALL CONFORM TO ARTICLE 6.16 OF THE FRISCO UNIFIED DEVELOPMENT CODE.
8. PARKING LOT LIGHTS SHALL OPERATE DUSK TO PRE-SET OFF, SO THAT THEY EXTINGUISH ONE HOUR AFTER CLOSE OF BUSINESS OR NO LATER THAN 10 P.M. BUILDING SECURITY LIGHTS WILL OPERATE FROM DUSK TO DAWN.

ACCEPTANCE BLOCK

THE CITY OF FRISCO REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.
CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER DATE

CITY PLANNER DATE

Bighorn Consulting Engineers, Inc.
Mechanical & Electrical Engineers
386 Indian Road
Grand Junction, CO 81501
Phone: 970-241-8709

FRISCO MARINA PROJECT
FRISCO, COLORADO

DATE:	ISSUED FOR:
07/27/18	REVIEW

DATE:	07/27/2018
JOB NO:	18-128
DRAWN BY:	BCE
CHECKED BY:	BCE
SCALE:	AS SHOWN
SHEET NUMBER:	ISO1-1

July 27, 2018 - 6:20:04pm

matthew stais architects
108 north ridge street
p o box 135
breckenridge
colorado 80424
970 453 0444

to: **bill gibson**
senior planner
town of frisco
from: matt stais
date: 30 july 2018
project: **marina office building**
frisco bay marina
frisco, colorado
re: **revised narrative and design review responses**

The Frisco Bay Marina and Waterfront Park is a well-loved community asset and a key piece of Frisco's summer recreational scene. Initial facilities were established in the late 1980s and usage has grown steadily over the years.

Retail, office and support functions currently occupy the historic Lund House, which was moved to the Marina circa 1998. Bathrooms and the Island Grill were added circa 2005. The existing offices are not adequate to serve current demand. The intent of this project is to upgrade the facility to meet current and future needs.

The Marina Master Plan, recently approved by Frisco Town Council, identified that the location of the existing boat ramp impedes pedestrian access to the waterfront, thus suggested moving the boat ramp and locating the new office building closer to the water. Council gave direction in March 2018 to relocate the boat ramp southward as part of a projected future dredging project known as the 'Big Dig'. Along with that direction, Council directed our team to locate a new office building east of the Lund House, deemed the best location for the long-term future of the Marina.

The proposed office building is located east of both the Lund House and existing boat ramp. The new building will likely be completed before the boat ramp is moved, creating an 'interim condition' until the latter occurs. Our design of the site and building have taken existing, interim and final conditions into consideration.

The project design responds directly to principles outlined in the Quality of Life statement in the Frisco Community Plan. The proposed Marina office building is intended to be an iconic cultural structure within a beloved public park space, a place that builds community through healthy, diverse recreational activity and seeks to promote year-round economic vitality. The building design itself is both sustainable and eclectic, celebrating the natural resources and unique cultural heritage of Frisco, all while maintaining the strong view corridors that define this vibrant mountain town.

Final site conditions outlined in the Marina Master Plan include trail connections to the rec path and neighboring areas, strengthening pedestrian connections to connect the site more closely with Main Street, improved vehicular access including a drop off for shuttle services, and more opportunities for the public to interact with the Lake Dillon shoreline while enhancing the natural resources along the water's edge. This building is the first step towards realizing the Master Plan vision.

site design

Site design has concentrated on the creation of new outdoor spaces to give the new building a true sense of place. This has been a challenge, particularly for the interim site condition, since the building site is adjacent to a wetland area created by the filling of the late (that is, there is no water source for this wetland area).

The current plan ties in to existing hardscape on the landward side (directly adjacent to the existing boat ramp) to create pedestrian access to site and building for the interim condition. Stairs, ramps and walkways to building entrances have been located to minimize pedestrian/vehicle conflicts at existing boat ramp.

New softscape areas are proposed adjacent to the water's edge, including new lawn and beach areas to the southeast and a proposed 'hammock village' to the south of the new building.

The landscape plan tries to strike a balance between the 'interim' (short term) and 'final' condition (after master plan completion) by minimizing plantings that will need to be removed at final building, rather concentrating plantings at locations where they can stay long-term. The hope is that these plantings will serve as a head start for the final built condition when the master plan is complete.

Wetlands mitigation is being handled as part of the 'Big Dig' portion of the Marina Master Plan and is outside the scope of this project. Assistant Town Manager Diane McBride, Marina General Manager Tom Hogeman, and the Master Planning team at Logan Simpson will be able to provide further information in coming weeks.

Deep utility design is limited to service lines only. Any required adjustments to the existing sewer lift station are considered part of the Master Plan and outside our project scope. Shallow utilities, communications and information technology are expected to tie back to existing provisions near the Lund House.

Site lighting will be minimal for the interim (short term) condition, consisting of recessed can lights at building porches and a few lit bollards to match existing. Further site lighting is anticipated when the full Master Plan is completed, though considered outside the scope of this project.

Vehicular parking is another item that is addressed in the Master Plan for the long term. Existing facilities are deemed adequate to serve the new facility in the interim condition.

Trash and recycling is currently handled at the existing dumpster enclosure adjacent to the boater services area (repair yard) and is dumped twice weekly by Waste Management, which adequately handles existing office/retail use, as well as 11 outdoor trash cans across the Marina Park. The outdoor trash cans comprise the majority of required capacity. Existing trash and recycling will be adequate to

serve the proposed facility. Please note that the Island Grill has separate dumpsters near that facility which are handled separately from this project.

building design

Program for the proposed building includes expanded retail space, staff offices, bathroom facilities and support spaces. The proposed design is two-story wood-frame construction atop a concrete foundation and slab. Projected building area is 4,867 square feet: 3,511 on main floor and 1,356 on upper floor.

The building will feature decks, porches, stairs and ramps on all sides to welcome public access in both the interim and future site conditions.

We have altered the plan parti and massing of the building based on Planning Commission input from Sketch Plan hearing in May 2018. We heard at that time that the design looked too residential, too 'East Coast', lacked articulation in building form, and was potentially not eclectic enough for Frisco.

We've adjusted the plan footprint to utilize a series of hexagons to provide more of an iconic experience, with a pragmatic function of affording a better view of the water for operations. We added a large triangular deck to the east to suggest the bow of a ship and give another iconic experience to create a specific sense of place. The upper floor is set back and integrated into the generous porch roofs that surround most of the building.

With these changes, the building design is in general compliance with UDC non-residential design standards, in terms of balconies, porches, offsets, insets, variation in roof planes and window sizes. Main entrances to the building are announced by reverse pitch 'butterfly roof' elements. Shed roofs are 2:12 pitch, a bit lower than outlined in the standards. We studied 3:12 or 4:12 pitches, but they resulted in a building height out of proportion with human scale.

Exterior materials have been adjusted in response to Staff and Commission comments from Sketch Plan Submittal. Primary wall treatment is composite siding of a neutral color, with natural wood accents, posts, beams, and trim, and lot of glass at retail and office areas. Roofs will not be a prominent feature and are a dark color asphalt shingle. The base of the building is proposed as exposed concrete for at least the interim condition, to be screened by decks and plantings.

Main floor elevation of USGS 9025.50 has been established as one foot above FEMA floodplain level. This is four to six feet above existing grade. Final grade at completion of master plan is anticipated to be roughly USGS 9023.00, meaning the pier and adjacent areas will be raised two to four feet from existing grade. The proposed design will comply with the floodplain standards outlined in §97-11, utilizing berms and landscaping to soften this transition for the interim site condition.

Building height calculations are included on exterior elevations and Sheet A220 Roof Plan. A maximum height of 34.62' as defined by the UDC is currently proposed for Commission review and approval, with the building meeting both criteria outlined in §180-3.17.7. Not only does varying the roof design provide substantial architectural relief to alleviate the feeling of mass, but adding a second story with an iconic presence also provides a unique, desired recreational amenity to the Town – a keystone feature supported by the Marina Master Plan.

Overall, the project team will work closely with the Town's floodplain administrator, FEMA, the Army Corps, Denver Water, CO Dept of Public Health & Environment, and all other governing entities to ensure the proposed building is meeting applicable standards, outstanding details are addressed in the Building Permit process, and all necessary permits and approvals are obtained.

sustainability

The Town has prioritized sustainability in project design, construction and operation to the greatest extent practicable for this project. The effective buildable area is small due to existing site constraints, limiting options in terms of building orientation to capture solar energy.

Current plans include three active solar arrays: two for PV (electrical) and one for domestic hot water, sized to offset the majority of building usage on an annual basis. Inclusion of active solar systems will be a budgetary decision for the Owner, but the design will incorporate 'solar ready' options for mechanical and electrical systems at a minimum so the Town can easily add those at a later date if not installed as part of initial construction.

We envision executing an energy model to determine costs and benefits of mechanical and electrical systems with an eye towards life cycle cost analysis over the life of the building. The project will meet or exceed IECC and Green Globes levels as required by Town standards.

conclusion

The proposed building is a key part of the evolution of the Frisco Bay Marina. While the interim site conditions provide a short-term challenge, the Town has directed our team to focus on maximizing the Town's return on investment for the long term.

We look forward to your comments.

Please see responses to each review entity's comments below.

<u>Planning</u> – Bill Gibson, Asst Director Community Development Dept

- *Revise the narrative to include a brief statement describing how the project conforms to the various "Quality of Life statements from the Frisco Community Plan.*
    - Please see narrative revisions demonstrating how the proposed Marina office building will strengthen the unique cultural heritage of Frisco, while promoting healthy, diverse recreational year-round park activity, thus aligning with the Quality of Life statement outlined in the Frisco Community Plan.
- *Revise the narrative to delete the term "variance" in the description of the building height. Instead, use the terminology found in §180-3.17.7 and identify how the project conforms to the review criteria outline in this code section.*
    - Please see revised narrative and Building Height Calculations on Sheet A220 Roof Plan – clarifications have been made on how the overall design and proposed building height

provide architectural interest, massing relief, and a desirable, keystone amenity for the Town of Frisco.

- *Clarify in the narrative that the building will comply with the standards of §97-11 and will be addressed in more detail with the building permit application.*
    - Please see narrative revisions that state building will comply with standards outlined in §97-11.
- *Clarify in the narrative how the proposed building will conform to the water quality setback once the Big Dig has been completed and the Marina Master Plan has been fully implemented.*
    - The proposed building is sited above the floodplain and, with Big Dig completion and Master Plan implementation, will maintain a 25' setback to high water line. For further info outside the scope of this project, please contact Diane McBride, Tom Hogeman, and the Master Planning team at Logan Simpson.
- *Clarify in the narrative how the landscape plan complies with §180-6.14.3.E and how it conforms to the recommendations of the Marina Master Plan.*
    - The landscape plan of this public project serves a public purpose and benefit, conforms to the recommendations of the Marina Master Plan, and meets appropriate landscaping requirements as follows:
        - The existing conditions consists of gravel, native grasses, and wetland areas. The marina office development creates landscape buffer areas between existing pavement and building, with community spaces between existing docks, access to water and social "hammock village" in close proximity to Island Grill and the marina office.
        - Landscape layout provides a 25' setback to water's edge at high water and greater setback in low water conditions.
        - Trees are utilized to appropriately screen and enhance building appearance, and quantities are minimized to coordinate with future development.
        - Shrub count exceeds mixed-use requirement of 1 shrub per 1,500 square feet, based on a disturbance lot area of approximately 42,000 square feet.
        - Lawn areas are placed in a high traffic area, like similar uses in existing marina layout.
        - Landscape plan achieves plant sizes, selected materials and irrigation requirements per code (§180-6.14.3).
- *Clarify in the narrative that the applicant will obtain property owner approval from the Denver Water Board and obtain all necessary state and federal permits and approvals (USACE, FEMA, CO Dept of Public Health & Environment, etc).*
    - Please see revised narrative – all necessary permits and approvals will be obtained, accordingly.
- *Provide a narrative describing how the project complies with the various development standards outlined in §180-6.21.3.*
    - With Sketch Plan input from the Planning Commission and in consideration of scale, proportion, site planning, landscaping, and materials/colors, the proposed Marina office building is both compatible with existing nearby structures and bolsters Frisco's "small mountain town" neighborhood character. Not only does the proposed structure act specifically as an architectural point of interest and extension of Main Street, but it allows for the historic Lund House to remain in place. Materials are predominantly

natural and design variation was incorporated into the highly public views of every side of the building.

- All parking areas are existing and no new parking is proposed with the Marina office building design. No landscaped buffers are needed for existing parking lots. Please see newly adopted Marina Master Plan for further info outside the scope of the marina office building design.
- The site and landscape plan provide 5'-10' landscape buffer between pavement of current boat drop off and building entrance and is 50% length of building. (§180-6.21.3.I)
- Bicycle parking is providing at existing (2) locations by Island Grill and Lund House by 4 racks with minimum capacity of 12 bikes per rack (48 total) exceeding 20% of existing paved 208 parking spaces (§180-6.21.3.J)
- The development does not exceed the gross square footage, but still provides various community spaces (1) a lawn adjacent to loading dock, (2) accessible beach access to water and (3) hammock village connecting to existing F&B building Island Grill. (§180-6.21.3.J)

- *Submit a building height analysis drawing with the roof plan overlaid onto the existing and proposed topography with the USGS elevations of the roof ridges and eaves labeled (refer to definition of building height).*
  - Please refer to Building Height Calculations, natural grades, high point, and maximum building height of 34.62' as specified on Sheet A220 Roof Plan.
- *Submit a traffic study in accordance with §180-6.12.*
  - Please refer to traffic evaluation CDOT conducted of SH9 in August 2017. As described by the Logan Simpson team on page 8 of the Marina Master Plan:

    "CDOT conducted an evaluation of SH9 from mile post (MP) 94.36 (south of Peak One Drive) to MP 96.25 (north of Main Street) to provide geometric, access and traffic control recommendations to improve operations along SH9. The study included the following recommendations for the SH9 and Marina Road/Main Street intersection:

    - Replace the southbound right-turn by-pass lane with a non-channelized right-turn deceleration lane to better accommodate bicycle and pedestrian activity on the north side of Main Street
    - Add a pedestrian phase across Main Street

    The Town of Frisco's 2017 Trails Master Plan identified SH9 as a barrier between most of Frisco and the waterfront. The primary issue identified at SH9 and Marina Road/Main Street is getting bicycles and pedestrians safely across SH9. The intersection currently provides crosswalks on the south and east legs of the intersection. Bicycles using the Rec Path are currently directed to the south side of the intersection to cross.

    During the summer, traffic counts indicate approximately 45 vehicles travel to/from the Marina during the AM peak hour and approximately 50 vehicles during the PM peak hour. The heaviest movements at the intersection are the southbound right turn and

the eastbound left turn; these movements highlight the heavy pattern of traffic traveling between downtown Frisco to/from the north on SH9."

- *Quantify the number of proposed parking spaces and bicycle parking stalls demonstrating compliance with §180-6.13.4 & §180-6.21.3.J.2.*
    - Vehicle and bicycle parking that supports the Marina is existing and considered outside the scope of the Marina Office Building design – there is currently paved parking spaces for 187 vehicles and 25 additional spaces for vehicles with trailers. Identified by the community as a future concern, parking and amenities are further analyzed in recently adopted Marina Master Plan – please see section on Site Context and Existing Conditions for detailed info.
- *Submit an exterior lighting plan and light fixture cut sheets demonstrating compliance with §180-6.16.*
    - Please see attached exterior lighting plans on sheets E1-1 to E3-1 and photometric study on final sheet ISO1-1 of full architectural set. All exterior lighting fixtures will be full-cut off luminaires that are fully shielded from shoreline viewing and meet the outdoor lighting requirements of §180-6.16, thus enhancing the small mountain town atmosphere of Frisco.
- *Submit a letter from the waste disposal company demonstrating compliance with §180-6.17.*
    - A letter demonstrating compliance with the refuse management criteria outlined in §180-6.17 will be submitted in conjunction with obtaining a Building Permit. Please contact Jenn Shimp for further info.

<u>Town Engineer</u> – Bill Linfield, Civil Consultant

- *Will any sort of sign off be necessary from the USACE due to wetlands impacts?*
    - Wetland delineation, disturbance, mitigation, and necessary permitting is being coordinated by the wetland ecologists of Alpine Eco and the Army Corps in Grand Junction. Per recommendation, the site plan has been revised to reduce area of disturbance to less than 0.5 acres.
- *Will any sort of sign off be necessary from Denver Water, owner of the property?*
    - The project team is working with Denver Water to ensure all necessary sign-offs are obtained. Please refer to Tom Hogeman as the prime contact for further info.
- *If you compare the building footprint for the new office building to the building footprint on the Marina Master Plan, it is shifted further east into the overall building footprint, which could impact the future restaurant building area. Has this impact been considered?*
    - The proposed building footprint is sited with comprehensive consideration of many factors, including utilizing existing infrastructure, fostering functional interim conditions, and planning effectively for future grading in relation to the Big Dig. The location of the future restaurant building as shown on the Marina Master Plan is conceptual, only, and future design features outside the scope of this application will be evaluated separately by necessary channels at time of development.
- *There are two crusher fine paths shown between the new building and the new beach area – are they both necessary?*
    - Both paths are 5% grade or less and provide beach access to all ages and abilities.
- *There is ongoing analysis and design work being done for sewer service to the new building. Likely a new lift station will be needed, either a replacement of the existing one, or an additional one. A new site approval permit will be required from the State following a three to four month process to receive.*

- Martin/Martin civil engineers are working to ensure adequate utility infrastructure and lift stations are in place for the proposed development. Information will be provided under separate cover.

Public Works – Addison Canino, Asst Public Works Director

- *The only comment that I have, would be to stick with the san sewer to stay with its intended alignment, and use the alternate path only if it is absolutely necessary. This would make repair in the future easier, as well as allowing growth of the restaurant/surrounding areas. I know that Luna had thought that one out already, so I am sure that is what he is going to stick with. Other than that, everything looks pretty good.*
  - Noted. See comment above.

Summit Fire & EMS – Kim McDonald, Fire Marshal

- *The fire department is requesting a final buildout site plan for the marina area at this time. The purpose is to more effectively plan for future fire protection needs in the area. That would include fire department access, fire hydrants, approved fire department turn-arounds and dry standpipe connections for marina piers and float systems.*
  - Outside of scope of this project – Town staff will contact Summit Fire to address this request.
- *A construction permit through the fire department is required for this project. Please advise the developer/contractor to contact the fire department for details.*
  - Contractor will be notified.
- *Using the proposed fire department access roads shown, not all portions of the exterior of the building are within 150 feet of the fire access road via an approved route around the building. Provide more approved fire department access.*
  - Martin/Martin will provide more detail with next revisions.
- *Based on the size and type of construction, the fire flow for this building is 2,000 gal/min. This fire flow requires one additional on-site fire hydrant. The existing fire hydrant spacing in the area exceeds fire code spacing requirements for fire flow.*
  - Martin/Martin has asked if this is required for this building or future buildout. What is flow at existing hydrant? Will that not suffice for this building? It may be more efficient to provide this hydrant with next phase of master plan buildout.
- *Bollard protection may be required for the new fire hydrant.*
  - Noted – this will be provided when hydrant is installed.
- *A fire lane, with approved signs, will be established along the entire perimeter of the cul-de-sac serving this building. A field inspection will be required to place signs.*
  - Noted – this will be added to Martin/Martin civil site plan drawings.
- *Comparing the "Future Neighborhood Map," Sheet A103, with the Utility Plan, Sheet C2, it appears a future building may be located over the 4" waterline being proposed for the Marina Office Building.*
  - Where? New water line is NW of proposed building. Future F&B building will be located SE of proposed building. Please provide clarification.
- *The fire department would like to meet with the Town to discuss future development at the Marina and answer any fire code questions.*
  - Outside of scope of this project - Town staff will contact Summit Fire to address this request.

<u>Summit County GIS</u> – Sally Bickel, GIS Analyst

- *A new address has been assigned for this structure '290 Marina Rd.'*
    - Newly assigned address has been noted and included on revised drawings.

<u>Frisco Sanitation District</u> – Matt Smith, District Manager

- *Tap fees are due prior to the issuance of the Building Permit.*
    - It is understood that tap fees must be paid prior to Building Permit issuance.
- *All service lines and sewer mains must be constructed in accordance with the Frisco Sanitation's Design Standards and Specifications for Sewer Construction.*
    - All service lines and sewer mains will be constructed in accordance with applicable design standards and specifications.
- *Sewer line installation must be inspected by a representative of the Frisco Sanitation District.*
    - The project team will work with Frisco Sanitation District to ensure all inspections are conducted as necessary.
- *Sanitation District Standards are available upon request.*
    - The project team has the Sanitation District Standards in hand.
- *CDPHE approval of lift station design will be required.*
    - Understood – the project team will seek CDPHE approval of lift station design after Building Permit is issued.
- *Abandonment of existing Lift Station may also need CDPHE approval or follow abandonment guidelines set forth by Summit County Environmental Health.*
    - Any potential abandonment of existing lift station will be part of the approval process with CDPHE.

marina office building
frisco bay marina
frisco, colorado

exterior material samples and colors
27 june 2018

primary roof:
asphalt shingles
tamko heritage shingles
“black walnut”

primary siding:
cement fiber board
hardie panel smooth
“aged pewter”

secondary siding:
western red cedar vertical cladding
sherwin williams semi-transparent stain
SW 3513 “spice chest”

fascia / soffit / trim / beams, posts, & rails:
2x rough sawn cedar
sherwin williams semi-transparent stain
SW 3513 “spice chest”

storefront, window, & door cladding:
sierra pacific heritage collection
023 “black”

decks:
tamko envision evergrain composite decking
“cape cod gray”

foundation:
exposed concrete