

MATTOX 3-Plex

a Resubdivision of Lots 10-12 Frisco Townsite

PROJECT AND LOT DATA

ADDRESS: 1st and Granite St. Frisco, Co.
 OWNER: XXXXX
 ZONING: R-HD
 CONSTRUCTION TYPE: Type V-B
 OCCUPANCY: R3
 REFERENCE CODE: IRC 2012, 2012 IECC as amended by the Town of Frisco
 Snow Load 80psf
 LOT SIZE (SUBDIVISION SIZE) 10,500 SF = 0.2468 ACRES
 0.2468 Acres X 16 DPA = 3.856

BUILDING AREA
 FOOTPRINT= 4453 SF
 UNHEATED UNCOVERED DRIVEWAY AREA = 1397 SF
 SNOW STORAGE AREA = Driveway 1: 454/350x100 = 130 SF
 Driveway 2: 943/350x100 = 270 SF
 Required: 130 SF + 270 SF = 400 SF
 SNOW STORAGE PROVIDED = 416 SF

ALLOWABLE LOT COVERAGE = 55%

LANDSCAPED AREA = 1,158 SF
 Balance of Lot to be Reseeded with indigenous ground cover, Structure, Driveways, Walks

BUILDING TO BE A MAXIMUM HEIGHT OF 35' BASED ON EXISTING USGS GRADE ELEVATIONS AND FRISCO TOWN ZONING CODE.

AVERAGE FOUR CORNER BUILDING EXISTING GRADE USGS ELEV. =9070.45'

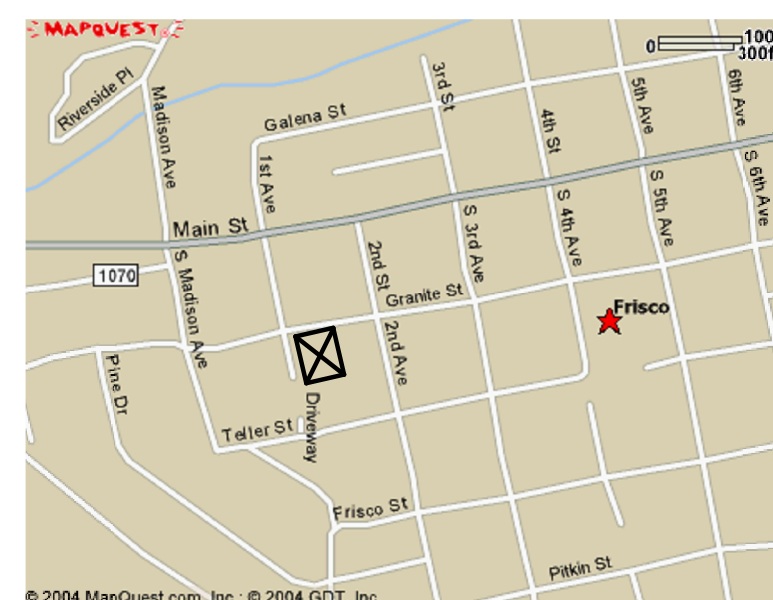
BUILDING MAX. HT. USGS ELEV. 9105.45'

INSULATION IECC REQUIREMENTS: (PERSCRIPTIVE)

FRAMED WALLS R23
 CEILINGS R49
 OVERHANGS R23
 FOUNDATIONS R10 UNDER SLAB R10 (R20 TOTAL)
 FRAMED WALLS BELOW GRADER15



1 Copy (2) of {3D}



Vicinity Map

Subdivider

Westbrowm Huntley and Thompson
 P.O.Box 588
 100 South Ridge Street
 Breckenridge, Colorado 80424

Surveyor and Engineers

Range West
 P.O.Box 588
 Frisco, Co. 80424
 8/13/07

OWNER:

PRO PROPERTIES LLC.
 P.O. BOX 4272
 FRISCO, COLORADO 80443
 PH. 970-389-7246

GENERAL CONTRACTOR:

CAMPBELL CONSTRUCTION & ENGINEERING
 P.O. BOX 4272
 FRISCO, COLORADO 80443
 PH. 970-389-7246

DESIGNER:

S-arch
 970 YUMA STREET
 DENVER, COLORADO 80204
 PH. 303-455-4117
 mharris@s-arch.com

STRUCTURAL ENGINEER:

S-arch
 E.D.ENCK, P.E.
 970 YUMA STREET
 DENVER, COLORADO 80204
 PH. 303-455-4117

MATTOX 3-PLEX SHEET INDEX	
Sheet Number	Sheet Name
A0.3	ENERGY COMPLIANCE DETAILS
A2.4	AREA PLANS
A0.0	COVER PAGE
A0.2	CODE ANALYSIS & WALL TYPES
A0.4	ENERGY COMPLIANCE DETAILS
C100	CIVIL EXISTING CONDITIONS
C110	CIVIL DEMOLITION PLAN
C200	CIVIL SITE PLAN
C300	CIVIL GRADING PLAN
C400	CIVIL UTILITY PLAN
C500	CIVIL EROSION CONTROL PLAN
C501	CIVIL EROSION CONTROL DETAILS
A1.0	SITE SURVEY
A1.1	SITE PLAN
A2.0	GARDEN LEVEL PLAN
A2.1	MAIN LEVEL PLAN
A2.2	SECOND LEVEL PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	PERSPECTIVES
A4.0	BUILDING SECTIONS
A4.1	BUILDING SECTIONS
A5.0	EXTERIOR FINISH MATERIAL
A6.00	ARCHITECTURAL DETAILS
A6.01	ARCHITECTURAL DETAILS
A6.02	ARCHITECTURAL DETAILS
A7.00	WINDOW AND DOOR SECHEDULES
S0.00	GENERAL STRUCTURAL NOTES
S1.00	STRUCTURAL CONCRETE DETAILS
S1.01	STRUCTURAL CONCRETE DETAILS
S1.02	STRUCTURAL FRAMING DETAILS
S1.03	STRUCTURAL FRAMING DETAILS
S2.0	FOUNDATION PLAN
S2.1	MAIN LEVEL FRAMING PLAN
S2.2	SECOND LEVEL FRAMING PLAN
S2.3	ROOF LEVEL FRAMING PLAN



970 Yuma street
 Suite. 150
 Denver, Colorado
 80204
 303-455-4117

MATTOX 3 PLEX
 100 Granite Street
 Frisco, Colorado

Legal Description

LOTS 10-12 , BLOCK 4, KING SOLOMON 2ND ADDITION TO FRISCO TOWNSITE LOCATED IN SECTIONS 34 AND 35, T.5S., R.78W. OF THE 6TH P.M. TOWN OF FRISCO, SUMMIT COUNTY, COLORADO

PROJECT OVERVIEW

BUILDING USE: 3 PLEX - RESIDENTIAL

NO. OF RESIDENTIAL UNITS = 3
 NUMBER OF WOOD BURNING FIREPLACES = 0

PARKING REQUIREMENTS

Number of parking spaces required: 3-3 Brm Units (6 Spaces)
 Number of parking space provided = 6 Spaces

Copyright © 2017 S-arch. All rights reserved. No part of these documents may be reproduced in any form or by any means without written permission from S-arch.

ISSUE

NO. DESCRIPTION DATE

DRAWING TITLE:
COVER PAGE

DRAWING NO:

A0.0

SCALE:

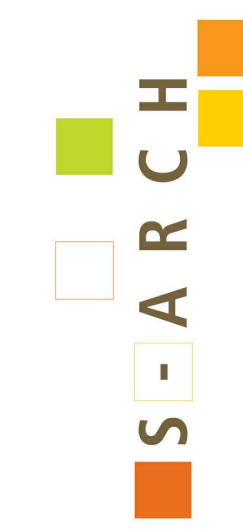
DATE: 1/26/2018 10:16:59 AM

PROJECT NO: 2505-2017

DES. DRWN. CHK'D.

MAH MAH MAH

A TOPOGRAPHIC MAP OF
LOTS 10-12, BLOCK 4, KING SOLOMON 2ND ADDITION TO FRISCO
 TOWNSITE
 LOCATED IN SECTIONS 34 AND 35, T.5S., R.78W. OF THE 6TH P.M.
 TOWN OF FRISCO, SUMMIT COUNTY, COLORADO



970 Yuma Street
 Suite, 150
 Denver, Colorado
 80204
 303-455-4117

MATTOX 3 PLEX
 100 Granite Street
 Frisco, Colorado

Copyright © 2017 Search All rights reserved.
 No Part of these documents may be
 reproduced in any form or by any means
 without written permission from Search

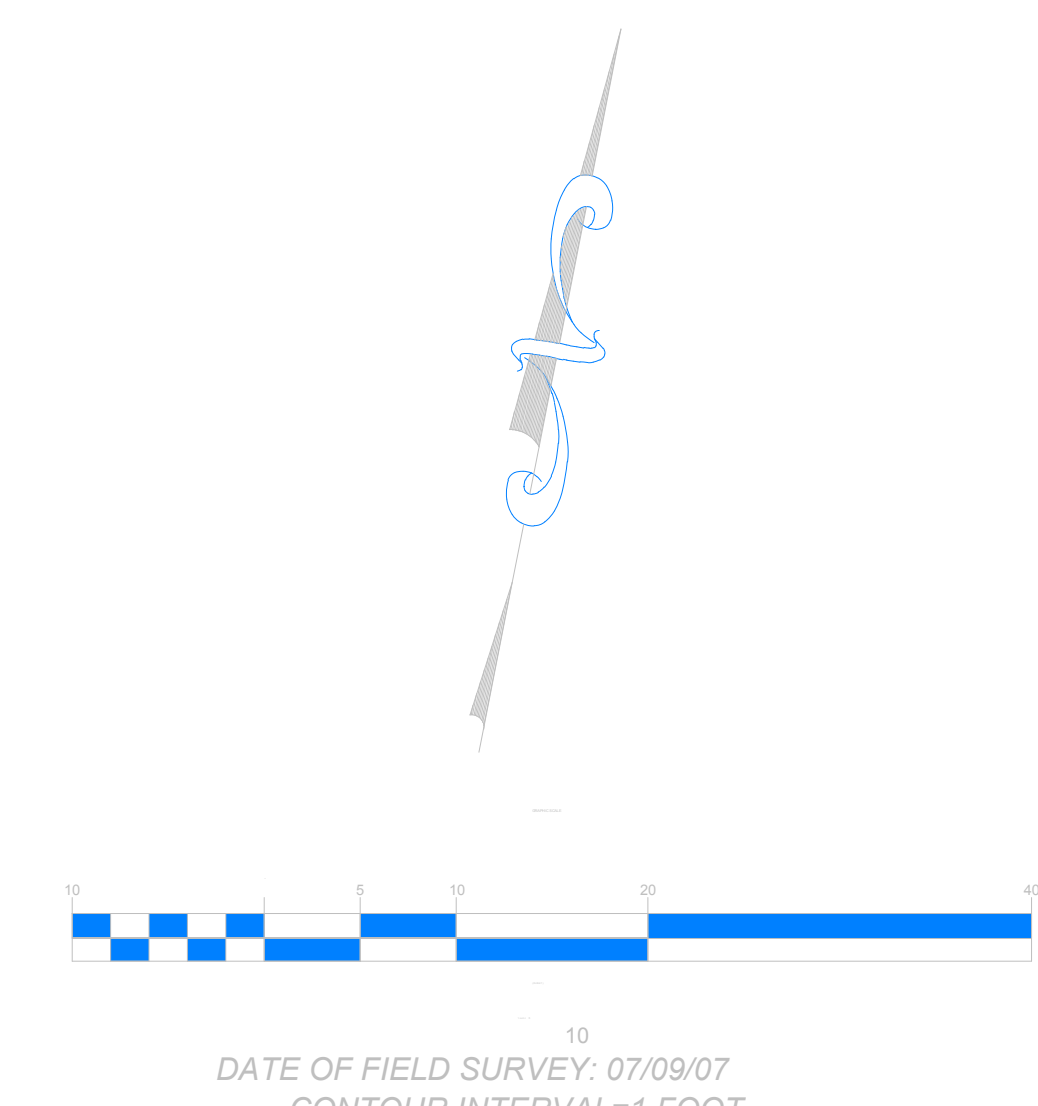
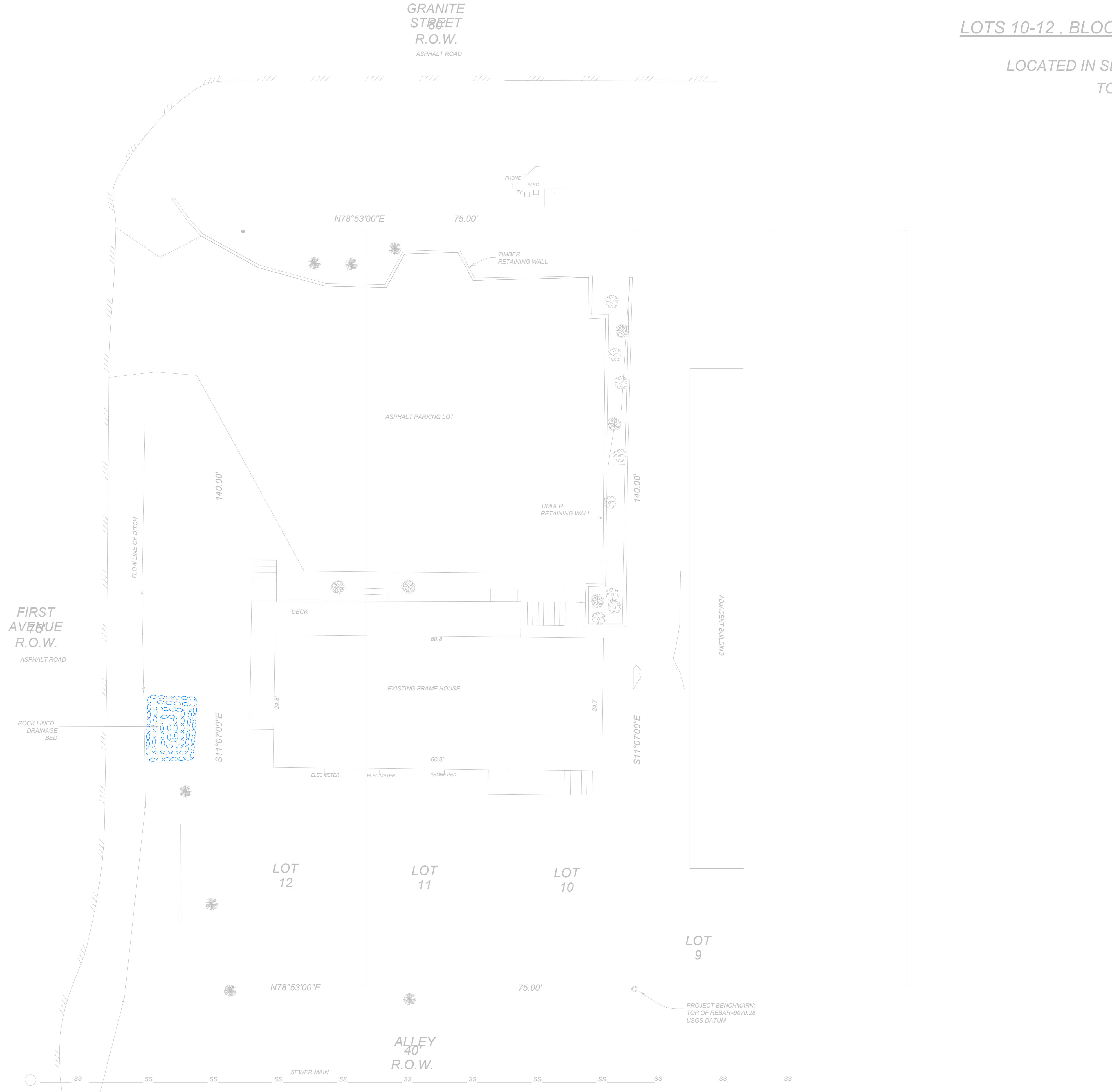
NO.	DESCRIPTION	DATE

DRAWING TITLE:
SITE SURVEY

DRAWING NO:

A1.0

SCALE:
 DATE: 1/26/2018 10:16:59 AM



LEGEND

	FOUND REBAR & PLASTIC CAP (PLS 26292)
	FOUND #5 REBAR
	FOUND #4 REBAR
	SEWER MANHOLE
	WATER VALVE
	FIRE HYDRANT
	UTILITY PEDESTAL
	TRANSFORMER
	PINE TREE WITH TRUNK DIAMETER
	SPRUCE TREE WITH TRUNK DIAMETER
	ASPEN TREE WITH TRUNK DIAMETER



Drawn RRJ	Dwg 19916TP	Project 19916
Checked RRJ	Date 07/21/07	Sheet 1 of 1

RANGE WEST
 ENGINEERS & SURVEYORS INC.

I:\Projects\2017\1st Granitic 1st and Granite S-Plex 12-14-17 (PERMIT SET)\1

MATTOX 3 Plex

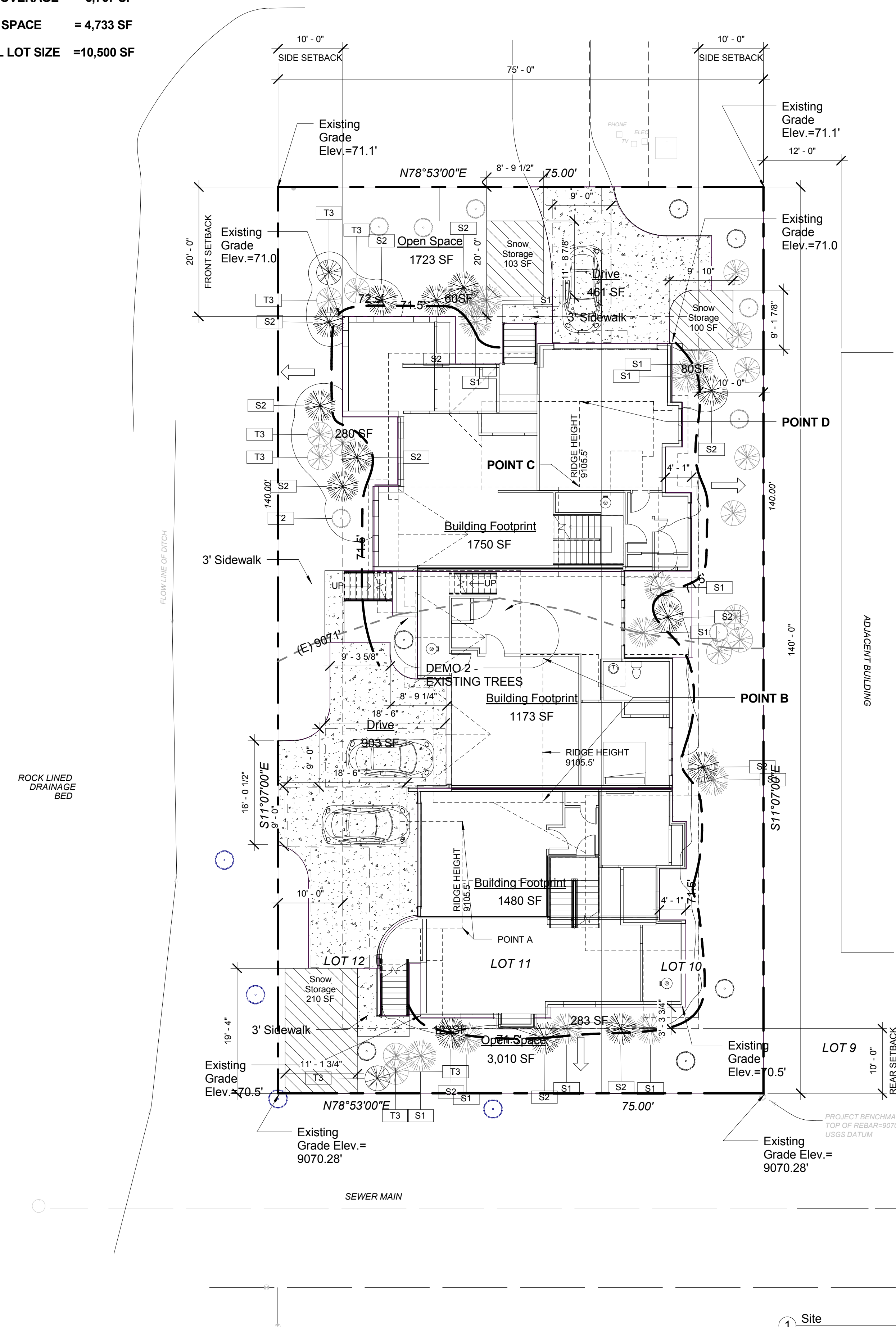
LOT COVERAGE MAX 55% OF 10,500 SF = 5,775 SF

UNIT 1 FOOTPRINT = 1,750 SF
 UNIT 2 FOOTPRINT = 1,173 SF
 UNIT 3 FOOTPRINT = 1,480 SF
 DRIVE = 461 SF
 DRIVE = 903 SF

LOT COVERAGE = 5,767 SF

OPEN SPACE = 4,733 SF

TOTAL LOT SIZE = 10,500 SF



PROJECT OVERVIEW

BUILDING USE: 3 PLEX - RESIDENTIAL

NO. OF RESIDENTIAL UNITS = 3
 NUMBER OF WOOD BURNING FIREPLACES = 0

PROJECT AND LOT DATA

ADDRESS: 1st and Granite St. Frisco, Co.
 OWNER: Mr. and Mrs. Mattox
 ZONING: R-HD
 CONSTRUCTION TYPE: Type V-B
 OCCUPANCY: R3
 REFERENCE CODE: IRC 2012

LOT SIZE (SUBDIVISION SIZE) 10,500 SF = 0.2468 ACRES 0.2468
 Acres X 16 DPA = 3.856

BUILDING AREA FOOTPRINT= 4403 SF

UNHEATED UNCOVERED DRIVEWAY AREA = 1364 SF
 SNOW STORAGE AREA = 1364/350x100 = 389 SF REQUIRED

SNOW STORAGE PROVIDED = 413 SF

LANDSCAPED AREA = 1,158 SF
 Balance of Lot to be Reseeded with indigenous ground cover,
 Structure, Driveways, Walks

BUILDING TO BE A MAXIMUM HEIGHT OF 35' BASED
 ON EXISTING USGS GRADE ELEVATIONS AND
 FRISCO TOWN ZONING CODE.

AVERAGE FOUR CORNER BUILDING
 EXISTING GRADE USGS ELEV. = 9070.45'

BUILDING MAX. HT. USGS ELEV. 9105.45'

PARKING REQUIREMENTS

Number of parking spaces required: 1 Per Brm - 2-3 Brm Units (6 Spaces)
 (1)-4Brm Unit (4 spaces)

Number of parking spaces provided: 10 Spaces

Legal Description

LOTS 10-12, BLOCK 4, KING SOLOMON 2ND ADDITION
 TO FRISCO TOWNSITE LOCATED IN SECTIONS 34
 AND 35, T.5S., R.78W. OF THE 6TH P.M. TOWN OF
 FRISCO, SUMMIT COUNTY, COLORADO

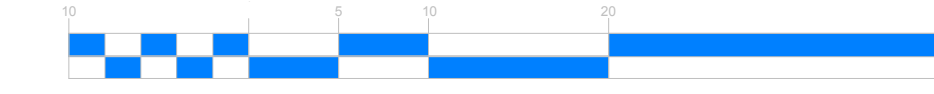
Planting Schedule					
Type Mark	Family and Type	Botanical Name	Common Name	Comments	Count
S1	Shrub1: Potentilla			New	12
S2	Shrub1: Squaw Current			New	13
T2	Tree - Conifer2: Colo Blue Spruce			New	13
T3	Tree - Deciduous1: Tree - Aspen			New	19
Grand total: 57					

- Pine Tree
- Aspen Tree

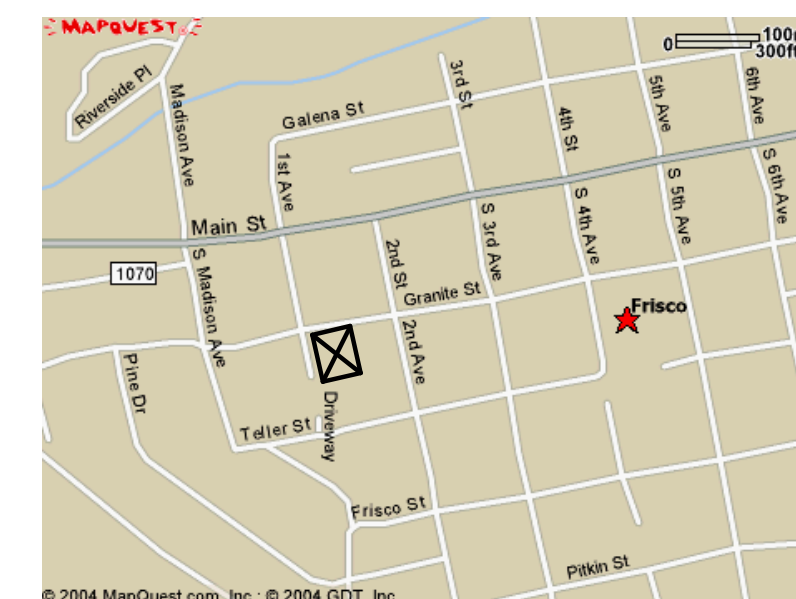
POINT	NATURAL GRADE ELEVATION	FINISHED GRADE ELEVATION	MEASURED FROM	ROOF ELEVATION	CALCULATION	HEIGHT
A	9070.5	9071.5	NATURAL GRADE	9105.5	9105.5 - 9070.5 =	35'-0"
B	9070.5	9071.5	NATURAL GRADE	9105.5	9105.5 - 9070.5 =	35'-0"
C	9070.5	9071.5	NATURAL GRADE	9105.5	9105.5 - 9070.5 =	35'-0"
D	9070.5	9071.5	NATURAL GRADE	9105.5	9105.5 - 9070.5 =	35'-0"

1 Site
 3/32" = 1'-0"

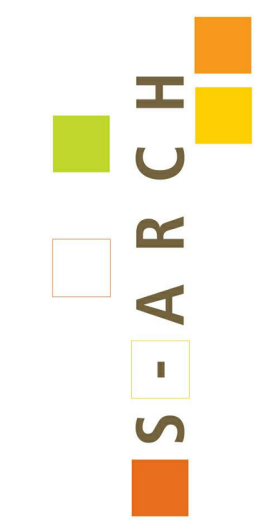
2 HEIGHT CALCULATIONS
 1 1/2" = 1'-0"



DATE OF FIELD SURVEY: 07/09/07
 CONTOUR INTERVAL=1 FOOT



Vicinity Map



970 Yuma street
 Suite. 150
 Denver, Colorado
 80204
 303-455-4117

MATTOX 3 PLEX
 100 Granite Street
 Frisco, Colorado

Copyright © 2017 Search. All rights reserved.
 No part of these documents may be reproduced in any form or by any means without written permission from Search.

ISSUE

NO.	DESCRIPTION	DATE

DRAWING TITLE:
SITE PLAN

DRAWING NO:

A1.1

SCALE: As indicated

DATE: 1/26/2018 10:16:59 AM

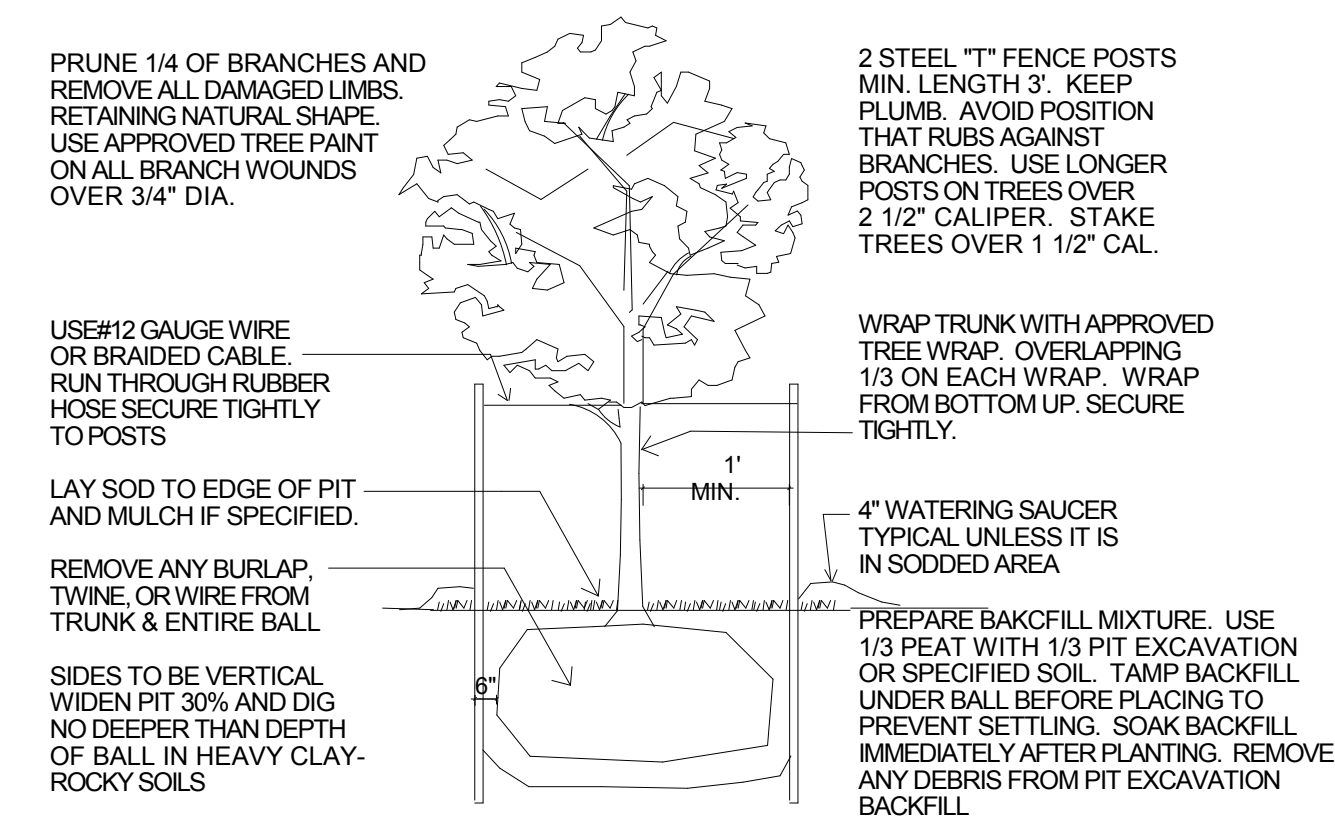
PROJECT NO: 2505-2017

DES. MAH DRWN. MAH CHKD. MAH

GENERAL NOTES

- Fences, walls, signs, and accessory structures are subject to separate reviews and permits.
- Angles not shown are either 90 degrees or a supplement of the angle indicated.
- Private roadways will be posted with "Fire Lane" signs if required by the Fire Department.
- This Plan is subject to a landscape plan as part of and approved in this document.
- Approval of this plan does not constitute or imply compliance with ADA requirements.
- This site shall be landscaped prior to issuance of a final certificate of occupancy during the growing season of April 1 to October 1, all other times this site shall be landscaped within 45 days of the start of the following growing season.
- 8 existing trees on site to be saved (see plan). All trees in R.O.W. to be saved and protected
- Owner to provide automatic sprinkler and/or trickle irrigation system for R.O.W. plantings

Provide temporary above ground irrigation system to all landscaped areas. System must be maintained until plantings are established.
Provide drip irrigations to flower planters.



LANDSCAPING REQUIREMENTS

No. Trees required = 10,500 SF/875 sf per tree = 12 Trees REQUIRED

No. Shrubs required = 10,500 / 1500 = 7 Shrubs

ALL DISTURBED LAND TO HAVE REVEGETATION WITH HYDRO SEED WITH WILDFLOWER MIX CONSISTING OF SILVER BUFFALOBERRY, LUPINE, COLUMBINE, BLUE FLAX

Provide all existing trees with a protective tree fence to keep trees from being damaged during construction

1. Plant Sizes. Plant materials used to satisfy the requirements of this chapter must comply with the following minimum size requirements at the time of installation:

- Deciduous Trees:**
 - Fifty percent (50%) three (3) inch minimum diameter measured twelve (12) inches above the ground. If only one tree is required, then it must be at least three (3) inches in diameter.
 - Fifty percent (50%) two (2) inch minimum diameter measured twelve (12) inches above the ground.
 - When there are an odd number of trees required, then the larger specimen is required.
 - Deciduous trees shall be planted in groups of three or more to achieve a clustered effect, or as a single specimen tree.
- Coniferous (evergreen) trees:**
 - Twenty-five percent (25%) ten (10) foot minimum height. When only one tree is required, then it a minimum of ten (10) feet in height.
 - Twenty-five percent (25%) eight (8) foot minimum height.
 - Fifty percent (50%) six (6) foot minimum height.
 - When there are an odd number of trees required, then the largest specimen required by this required.
- Shrubs (deciduous and evergreen):**
 - Five (5) gallon container, with minimum height or spread of two (2) feet.

3. Species Diversity. To prevent uniformity and insect or disease susceptibility, species diversity is required and extensive monocultures of trees are prohibited. The following minimum requirements shall apply to any development plan:

Maximum percentage of any one species (for both evergreen and deciduous requirements)

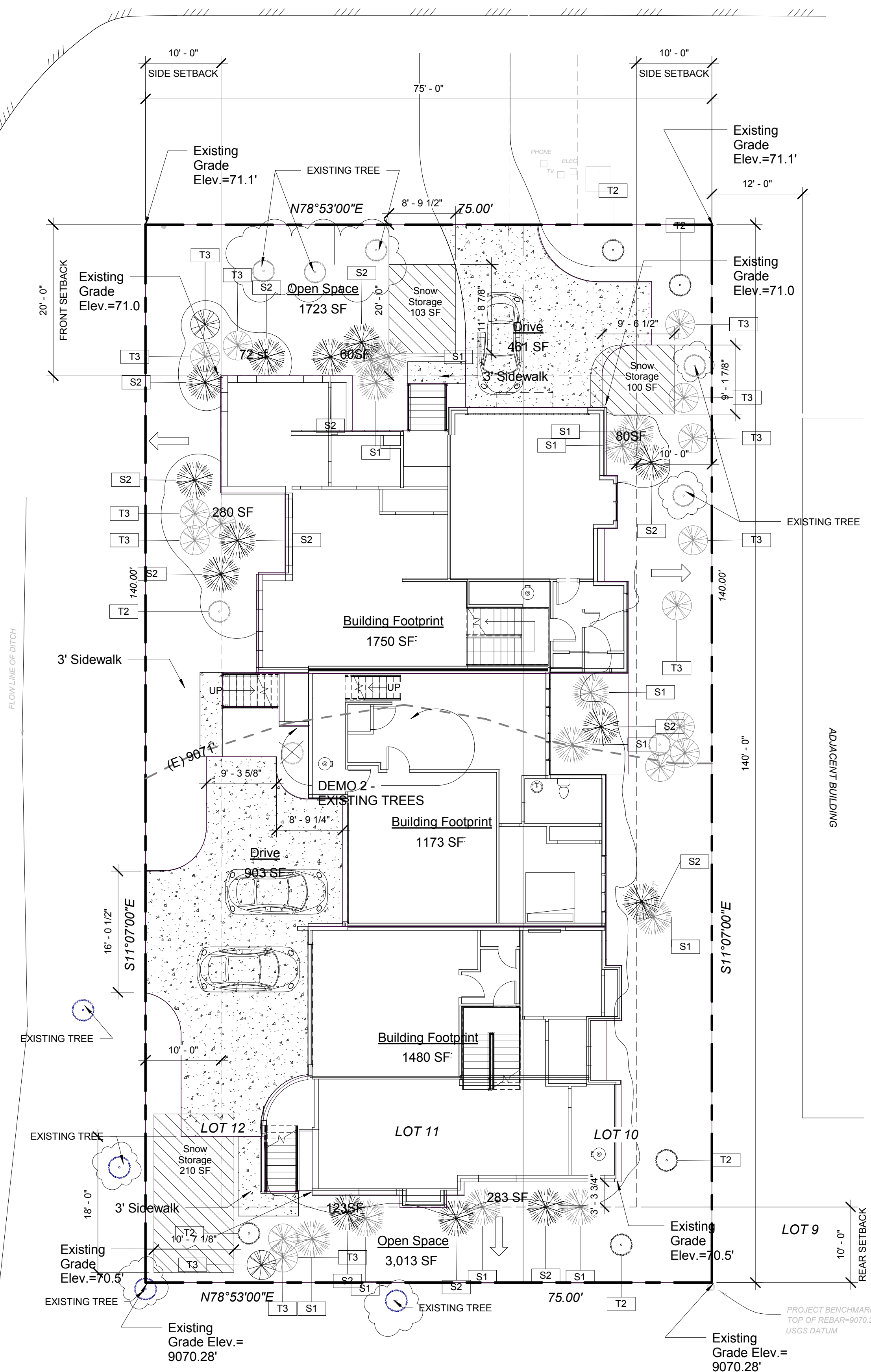
Number of required trees on site	No diversity required
1-9	45%
10-19	33%
20-39	25%
40 or more	

Planter beds mulched with shredded wood 3" deep
Sod areas to be amended with 3 yds per 1000 sf w. Bio-Comp by A-1 Organic
3-6 ft steel posts on trees over 3"

GROUND COVER TYPE - AREA

REST OF AREA	Native High Country Grass Seed Mix per Town of Frisco Landscaping and Revegetation Requirements w/ wildflower mix consisting of Silver BuffaloBerry, Lupine, Columbine, Blue Flax...
IN BED AREAS	Mulched
	14 Ga. Ryerson steel edging "painted green"
	Plain Concrete
	Snow Storage Areas

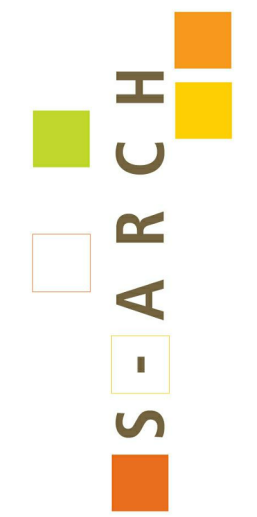
GROUND COVER KEY
1 1/2" = 1'-0"



Planting Schedule					
Type Mark	Family and Type	Botanical Name	Common Name	Comments	Count
S1	Shrub1: Potentia			New	12
S2	Shrub1: Squaw Current			New	13
T2	Tree - Conifer2: Colo Blue Spruce			New	13
T3	Tree - Deciduous1: Tree - Aspen			New	19
Grand total:					57

Pine Tree
Aspen Tree

LANDSCAPE PLAN
1" = 10'-0"



970 Yuma street
Suite 150
Denver, Colorado
80204
303-455-4117

MATTOX 3 PLEX
100 Granite Street
Frisco, Colorado

Copyright © 2017 Sarch. All rights reserved.
No part of these documents may be reproduced in any form or by any means without written permission from Sarch.

ISSUE

1	Revision 1	Date 1

NO. DESCRIPTION DATE

DRAWING TITLE:
LANDSCAPE PLAN

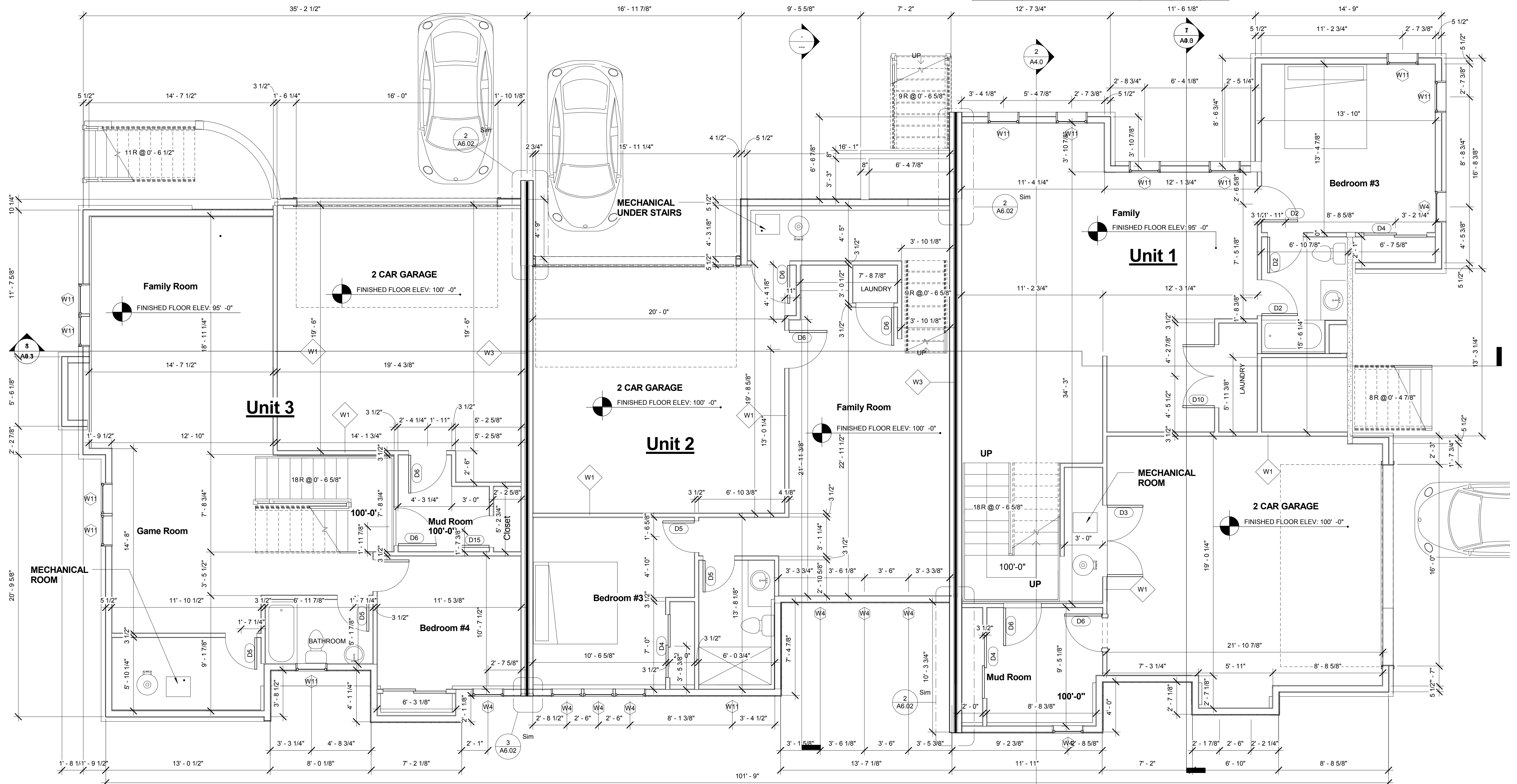
DRAWING NO:
A1.2

SCALE: As indicated
DATE: 1/26/2018 10:16:59 AM
PROJECT NO: 2505-2017

DES. DRWN. CHKD.
Designer Author Checker

Door Schedule				
Mark	Family and Type	Width	Height	Count
D1	Single-Raised Panel with ONE Sidelight: 36" x 96"	3' - 0"	8' - 0"	1
D2			6' - 8"	6
D3	Double-Flush: 68" x 80"	5' - 8"	6' - 8"	1
D4	Sliding-Closet: 60" x 80"	5' - 0"	6' - 8"	6
D5	Single-Flush: 30" x 80"	2' - 6"	6' - 8"	20
D6			6' - 8"	9
D7	Single-Glass 1: 30" x 80"	2' - 6"	6' - 8"	2
D8	Single-Flush: 24" x 80"	2' - 0"	6' - 8"	7
D9	Single-Glass 1: 36" x 96"	3' - 0"	8' - 0"	6
D10	Double-Flush: 60" x 80"	5' - 0"	6' - 8"	1
D11	Single-Glass 1: 36" x 80"	3' - 0"	6' - 8"	1
D12	Single-Flush: 36" x 96"	3' - 0"	8' - 0"	1
D13	Single-Raised Panel with Sidelights: 36" x 96"	3' - 0"	8' - 0"	1
D14	Sliding-2 panel: 72" x 78"	6' - 0"	6' - 6"	1
D15	Single-Glass 2: 30" x 80"	2' - 6"	6' - 8"	1
D16	Single-Glass 1: 30" x 80"	2' - 6"	6' - 8"	1
D17	Single-Flush: 30" x 80"	2' - 6"	6' - 8"	1
D18	Sliding-Closet: 60" x 80"	5' - 0"	6' - 8"	1

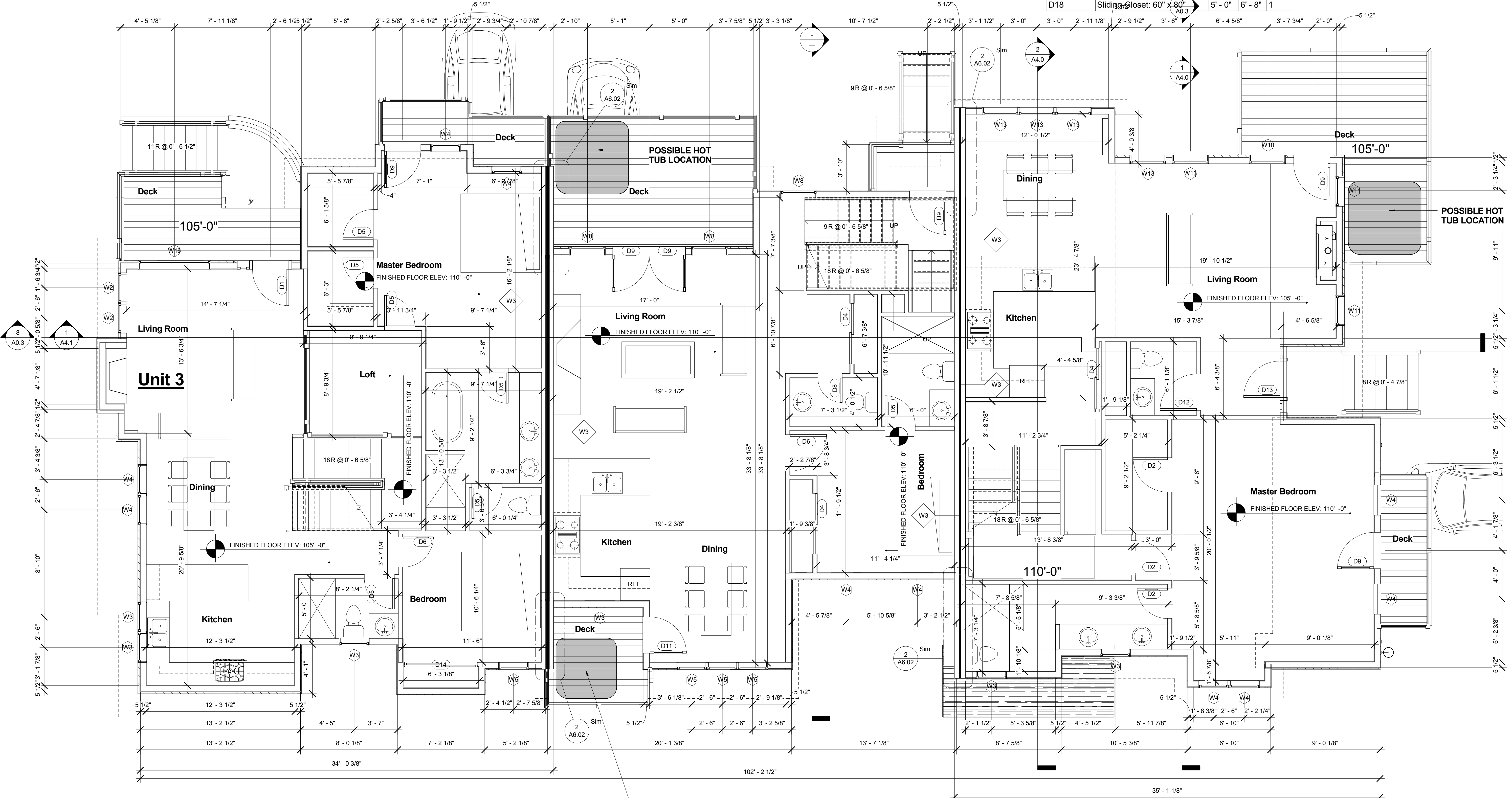
Window Schedule				
Type Mark	Family	Width	Height	Count
W1	Casement with Trim	2' - 0"	2' - 0"	1
W2	Casement with Trim	2' - 6"	3' - 0"	3
W3	Casement with Trim	2' - 6"	4' - 0"	13
W4	Casement with Trim	2' - 6"	5' - 0"	23
W5	Casement with Trim	2' - 6"	6' - 0"	4
W6	Casement with Trim	3' - 0"	3' - 0"	1
W7	Casement with Trim	3' - 0"	4' - 0"	1
W8	Casement with Trim	3' - 0"	5' - 0"	3
W9	Casement with Trim	3' - 0"	6' - 0"	2
W10	Casement with Trim	3' - 0"	2' - 6"	2
W11	Casement with Trim	2' - 6"	2' - 6"	15
W13	Casement with Trim	3' - 0"	5' - 6"	6
W14	Casement with Trim	5' - 0"	4' - 0"	1
W15	Casement with Trim	5' - 0"	5' - 0"	1
W16	Casement with Trim	6' - 0"	3' - 0"	1
W17	Casement with Trim	2' - 6"	5' - 6"	2



① LEVEL 0 - GARDEN LEVEL
1/4" = 1'-0"

Door Schedule				
Mark	Family and Type	Width	Height	Count
D1	Single-Raised Panel with ONE Sidelight: 36" x 96"	3'-0"	8'-0"	1
D2			6'-8"	6
D3	Double-Flush: 68" x 80"	5'-8"	6'-8"	1
D4	Sliding-Closet: 60" x 80"	5'-0"	6'-8"	6
D5	Single-Flush: 30" x 80"	2'-6"	6'-8"	20
D6			6'-8"	9
D7	Single-Glass 1: 30" x 80"	2'-6"	6'-8"	2
D8	Single-Flush: 24" x 80"	2'-0"	6'-8"	7
D9	Single-Glass 1: 36" x 96"	3'-0"	8'-0"	6
D10	Double-Flush: 60" x 80"	5'-0"	6'-8"	1
D11	Single-Glass 1: 36" x 80"	3'-0"	6'-8"	1
D12	Single-Flush: 36" x 96"	3'-0"	8'-0"	1
D13	Single-Raised Panel with Sidelights: 36" x 96"	3'-0"	8'-0"	1
D14	Sliding-2 panel: 72" x 78"	6'-0"	6'-6"	1
D15	Single-Glass 2: 30" x 80"	2'-6"	6'-8"	1
D16	Single-Glass 1: 30" x 80"	2'-6"	6'-8"	1
D17	Single-Flush: 30" x 80"	2'-6"	6'-8"	1
D18	Sliding-Closet: 60" x 80"	5'-0"	6'-8"	1

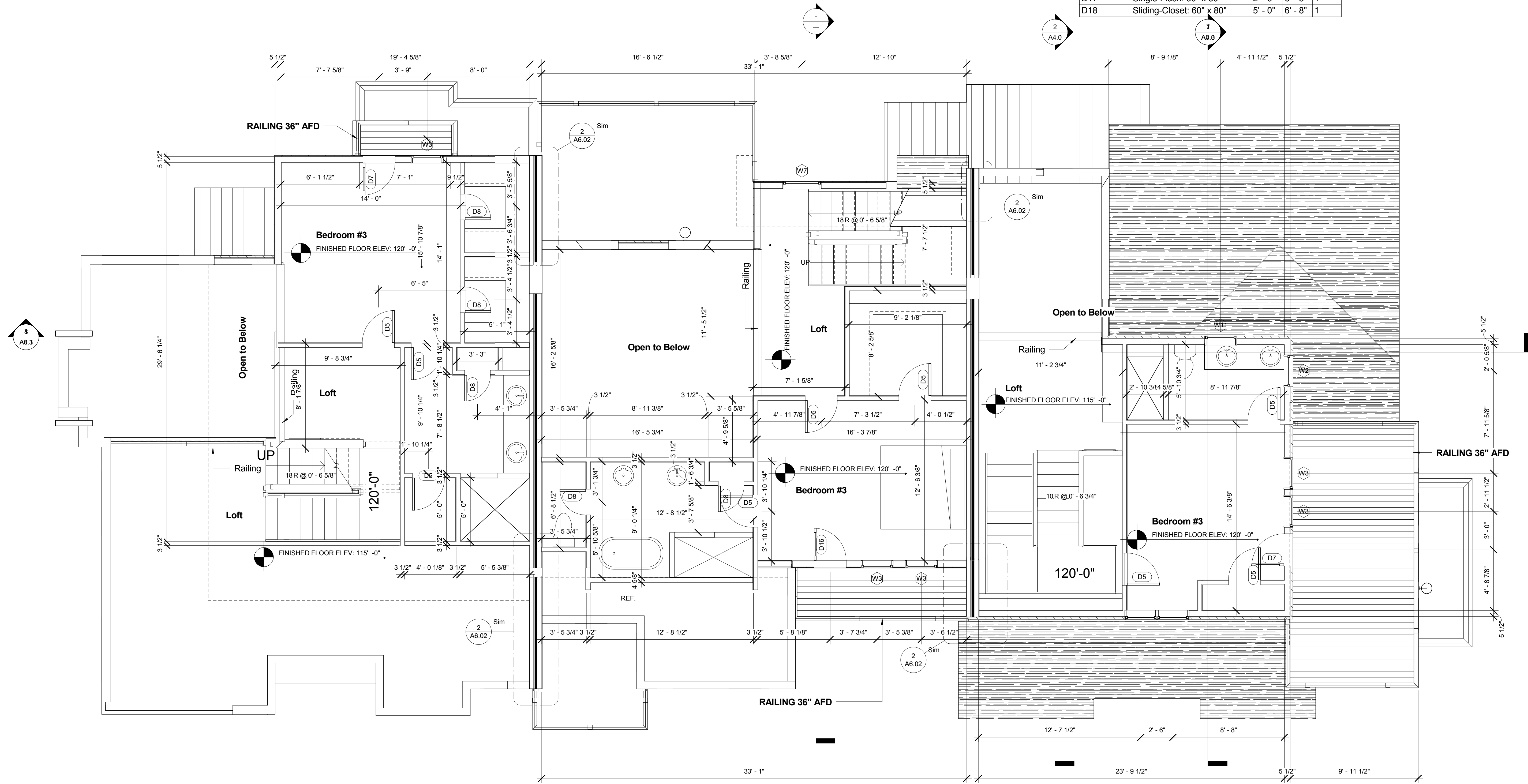
Window Schedule				
Type Mark	Family	Width	Height	Count
W1	Casement with Trim	2'-0"	2'-0"	1
W2	Casement with Trim	2'-6"	3'-0"	3
W3	Casement with Trim	2'-6"	4'-0"	13
W4	Casement with Trim	2'-6"	5'-0"	23
W5	Casement with Trim	2'-6"	6'-0"	4
W6	Casement with Trim	3'-0"	3'-0"	1
W7	Casement with Trim	3'-0"	4'-0"	1
W8	Casement with Trim	3'-0"	5'-0"	3
W9	Casement with Trim	3'-0"	6'-0"	2
W10	Casement with Trim	3'-0"	2'-6"	2
W11	Casement with Trim	2'-6"	2'-6"	15
W13	Casement with Trim	3'-0"	5'-6"	6
W14	Casement with Trim	5'-0"	4'-0"	1
W15	Casement with Trim	5'-0"	5'-0"	1
W16	Casement with Trim	6'-0"	3'-0"	1
W17	Casement with Trim	2'-6"	5'-6"	2



① LEVEL 1 - MAIN LEVEL
1/4" = 1'-0"

Door Schedule				
Mark	Family and Type	Width	Height	Count
D1	Single-Raised Panel with ONE Sidelight: 36" x 96"	3' - 0"	8' - 0"	1
D2			6' - 8"	6
D3	Double-Flush: 68" x 80"	5' - 8"	6' - 8"	1
D4	Sliding-Closet: 60" x 80"	5' - 0"	6' - 8"	6
D5	Single-Flush: 30" x 80"	2' - 6"	6' - 8"	20
D6			6' - 8"	9
D7	Single-Glass 1: 30" x 80"	2' - 6"	6' - 8"	2
D8	Single-Flush: 24" x 80"	2' - 0"	6' - 8"	7
D9	Single-Glass 1: 36" x 96"	3' - 0"	8' - 0"	6
D10	Double-Flush: 60" x 80"	5' - 0"	6' - 8"	1
D11	Single-Glass 1: 36" x 80"	3' - 0"	6' - 8"	1
D12	Single-Flush: 36" x 96"	3' - 0"	8' - 0"	1
D13	Single-Raised Panel with Sidelights: 36" x 96"	3' - 0"	8' - 0"	1
D14	Sliding-2 panel: 72" x 78"	6' - 0"	6' - 6"	1
D15	Single-Glass 2: 30" x 80"	2' - 6"	6' - 8"	1
D16	Single-Glass 1: 30" x 80"	2' - 6"	6' - 8"	1
D17	Single-Flush: 30" x 80"	2' - 6"	6' - 8"	1
D18	Sliding-Closet: 60" x 80"	5' - 0"	6' - 8"	1

Window Schedule				
Type Mark	Family	Width	Height	Count
W1	Casement with Trim	2' - 0"	2' - 0"	1
W2	Casement with Trim	2' - 6"	3' - 0"	3
W3	Casement with Trim	2' - 6"	4' - 0"	13
W4	Casement with Trim	2' - 6"	5' - 0"	23
W5	Casement with Trim	2' - 6"	6' - 0"	4
W6	Casement with Trim	3' - 0"	3' - 0"	1
W7	Casement with Trim	3' - 0"	4' - 0"	1
W8	Casement with Trim	3' - 0"	5' - 0"	3
W9	Casement with Trim	3' - 0"	6' - 0"	2
W10	Casement with Trim	3' - 6"	2' - 6"	2
W11	Casement with Trim	2' - 6"	2' - 6"	15
W13	Casement with Trim	3' - 0"	5' - 6"	6
W14	Casement with Trim	5' - 0"	4' - 0"	1
W15	Casement with Trim	5' - 0"	5' - 0"	1
W16	Casement with Trim	6' - 0"	3' - 0"	1
W17	Casement with Trim	2' - 6"	5' - 6"	2



① LEVEL 2 - SECOND LEVEL
1/4" = 1'-0"

MATTOX 3 PLEX
100 Granite Street
Frisco, Colorado



① LEVEL 3 - ROOF LEVEL PLAN
1/4" = 1'-0"

Copyright © 2017 S-arch. All rights reserved.
No part of these documents may be reproduced in any form or by any means without written permission from S-arch.

ISSUE

NO.	DESCRIPTION	DATE

DRAWING TITLE:
ROOF PLAN

DRAWING NO:
A2.3

SCALE: 1/4" = 1'-0"
DATE: 1/26/2018 10:17:06 AM
PROJECT NO: 2505-2017
DES. DRWN. CHK'D.
Designer Author Checker

MATTOX 3 PLEX
100 Granite Street
Frisco, Colorado

Copyright © 2017 Sarch. All rights reserved.
No part of these documents may be
reproduced in any form or by any means
without written permission from Sarch.

ISSUE

NO. DESCRIPTION DATE

DRAWING TITLE:
**EXTERIOR
ELEVATIONS**

DRAWING NO:

A3.1

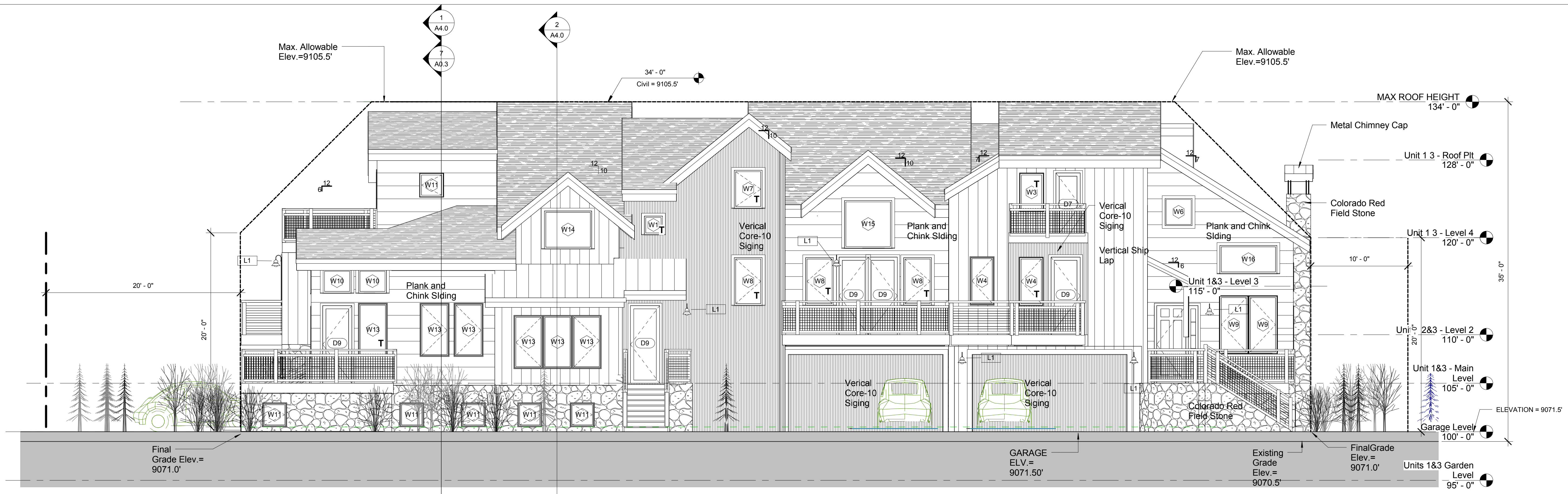
SCALE: As indicated

DATE: 1/26/2018 10:17:10 AM

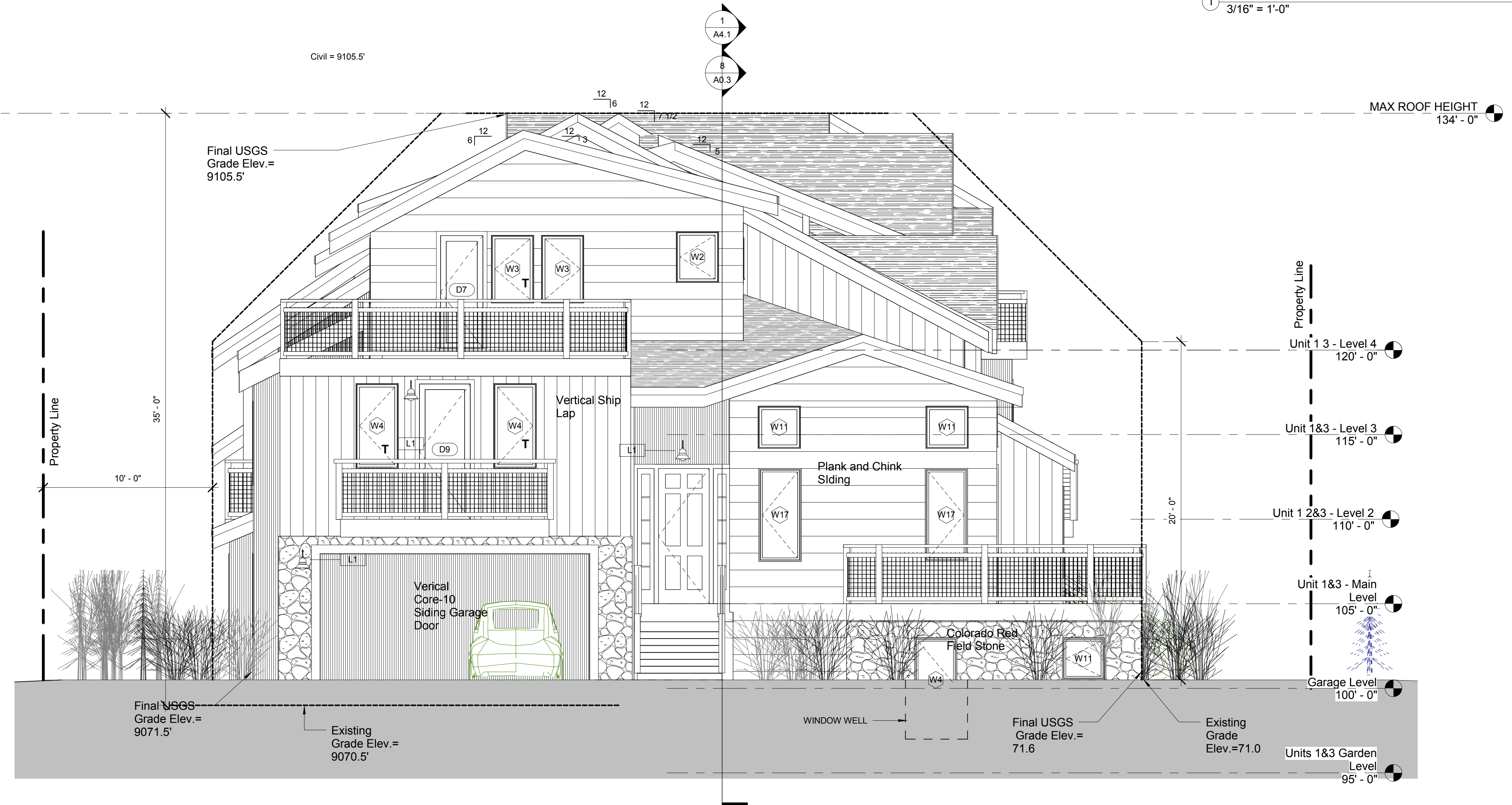
PROJECT NO: 2505-2017

DES. DRWN. CHKD.

MAH MAH MAH



① 1st Street Elevation
3/16" = 1'-0"



② Granite Street
1/4" = 1'-0"

MATTOX 3 PLEX
100 Granite Street
Frisco, Colorado

Copyright © 2017 Sarch All rights reserved.
No part of these documents may be reproduced in any form or by any means without written permission from Sarch.

ISSUE

NO. DESCRIPTION DATE

DRAWING TITLE:
EXTERIOR ELEVATIONS

DRAWING NO:

A3.2

SCALE: As indicated

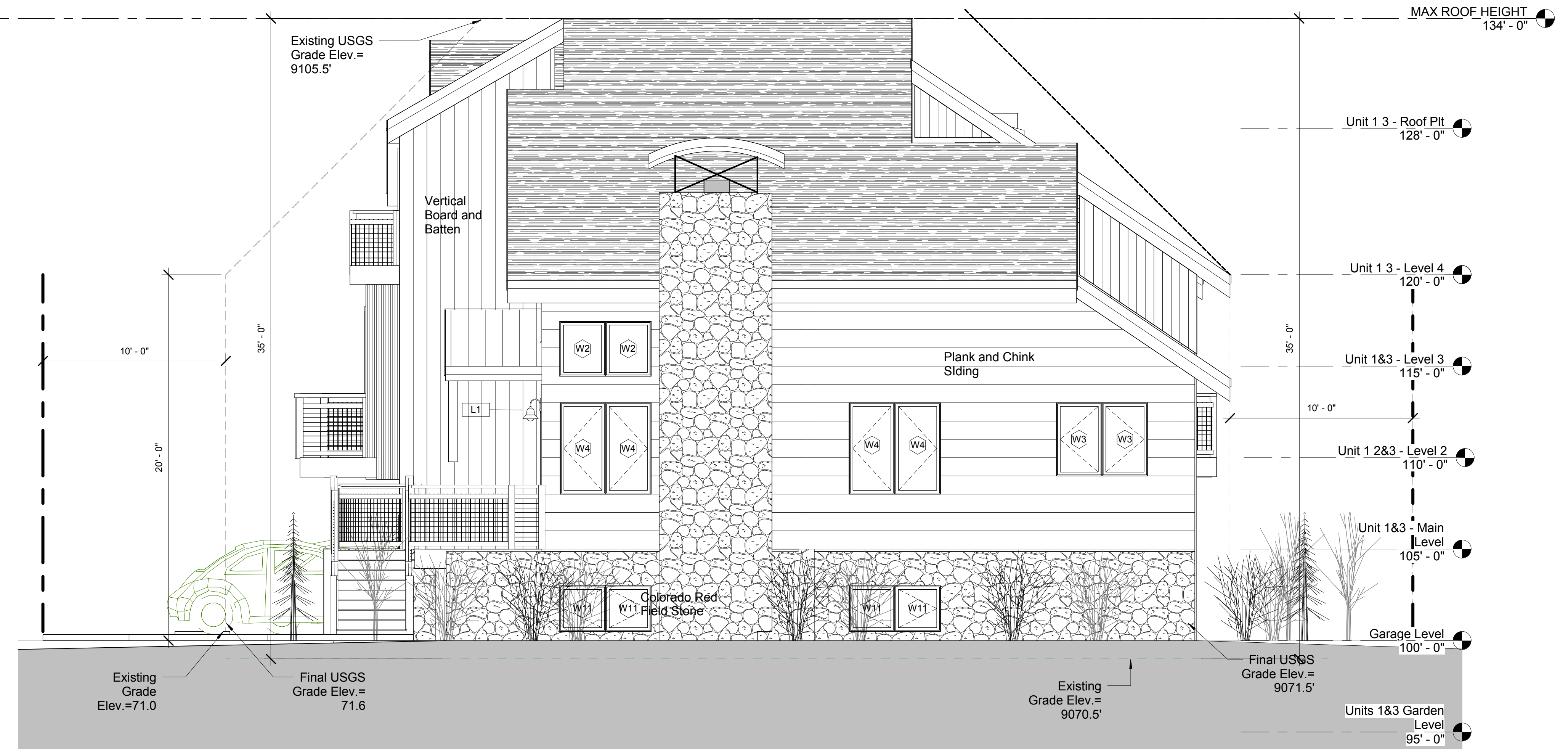
DATE: 1/26/2018 10:17:12 AM

PROJECT NO: 2505-2017

DES. MAH	DRWN. MAH	CHKD. MAH
----------	-----------	-----------

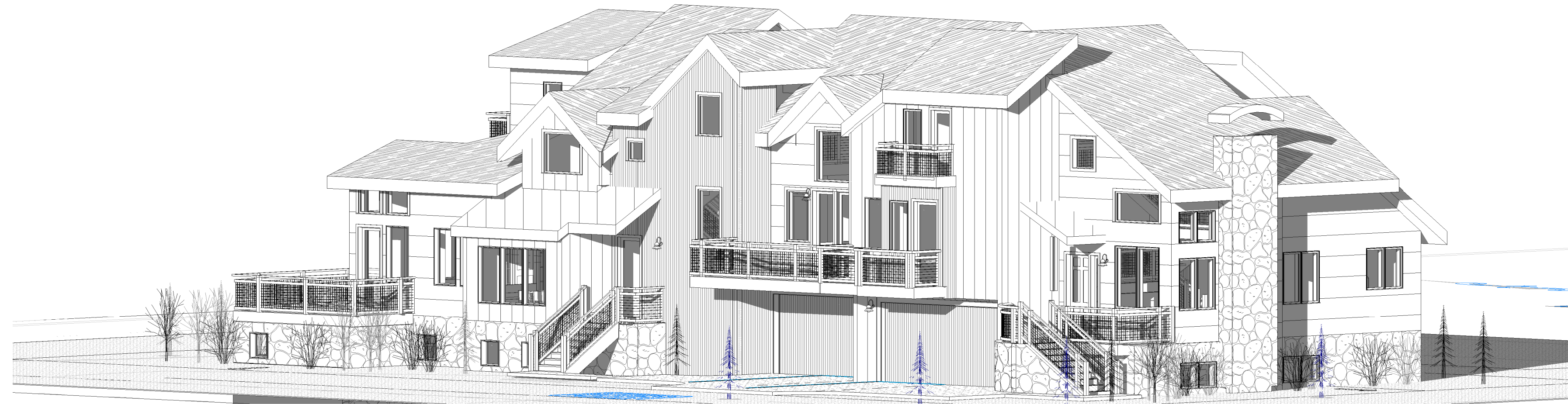


② East - Side Elevation
3/16" = 1'-0"



① South - Rear Elevation
1/4" = 1'-0"

MATTOX 3 PLEX
100 Granite Street
Frisco, Colorado



③ Copy (3) of (3D)



② Copy of (3D)



① 1st Street Scape
3/16" = 1'-0"

Copyright © 2017 S Arch All rights reserved.
No Part of these documents may be
reproduced in any form or by any means
without written permission from S Arch

ISSUE

NO.	DESCRIPTION	DATE

DRAWING TITLE:
PERSPECTIVES

DRAWING NO:
A3.3

SCALE: 3/16" = 1'-0"

DATE: 1/26/2018 10:17:20 AM

PROJECT NO: 2505-2017

DES. MAH	DRWN. MAH	CHK'D. MAH
-------------	--------------	---------------

NO.	DESCRIPTION	DATE



RE-CLAIMED BARN WOOD
VERTICAL SHIP LAP



EXTERIOR WINDOW
COLOR



ASPHALT SHINGLE ROOFING
WEATHERED WOOD



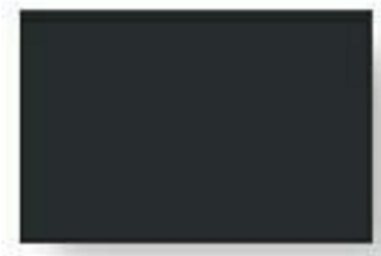
WOOD FASCIA / SOFFIT
COLOR



1 MATERIAL BOARD PERSPECTIVE

WOOD SIDING HORIZONTAL
SHIP LAP W/ NO CHINK
(BROWN COLOR ABOVE)

METAL RAILING COLOR



MATTE BLACK



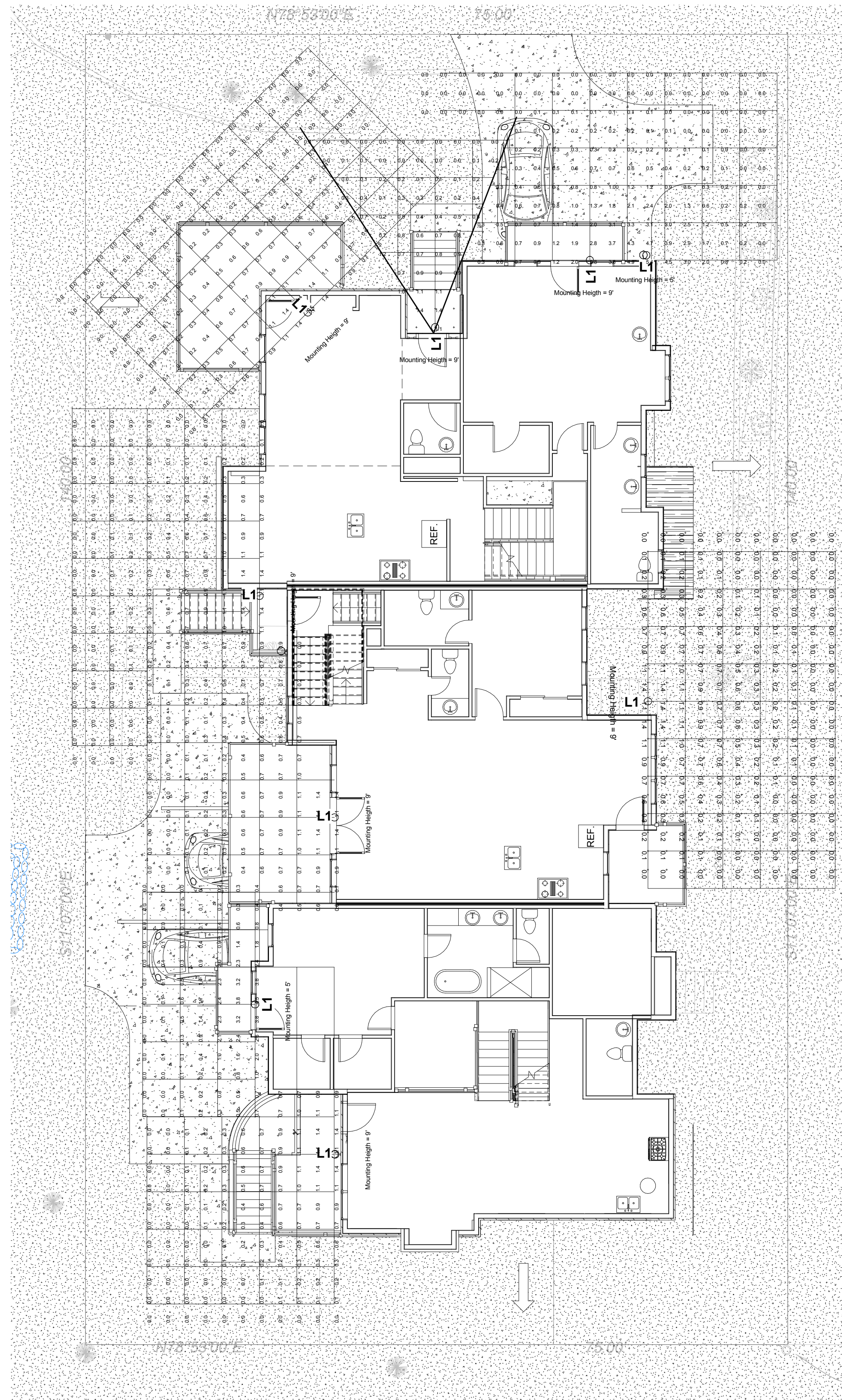
CORE-10 METAL SIDING
MATTE FINISH (RUST)



TYPICAL STONE DETAILING

**EXTERIOR LIGHT FIXTURES (DARK
SKY TYPE)**





1 Lighting Site Plan
1/8" = 1'-0"

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
○	L1	24	SBH16/48/WM14/48	WITH WHITE INTERIOR	ONE 100 WATT INCANDESCENT LAMP	L116-WM15-100MHIES	1750	1.00	100

NOTES

- 1. Grid is 5' x 5'
- Calculation Grid is 2.5' x 2.5'

LIGHTING NOTES

- All light fixtures are provided with Progressive Lighting NightSaver Lamp Shields to provide full IESNA cut-off characteristics.
- All light fixtures to be Oiled Copper Finish.



Model #	Color	Mounting Source	Light Source			Globe	Accessories
			Inc	CF	HID (MH & HPS)		
SBH10	41, 42, 43	Page 39-41 for arm extension	100W	26 or 32W"	35W"	See page 50	See page 49
SBH14	44, 45, 46	Page 42-44 for post mts. & poles	50W	26, 32 or 42W	35, 50 or 70W"		
SBH16	48, 49, 50	Page 48 for stems, cords & canopies	100W	26, 32 or 42W	35, 50, 70 or 100W"	See page 50	See page 49
SBH20	51, 52, 53, 54, 55, 58, 59, 60, 61, 62, 63	Page 48 for cable & chain Page 48 for mounting hubs	300W	26, 32 or 42W *See page 47 for remote ballasts	35, 50, 70, 100, 150 or 175W" *See page 45-46 for remote ballasts		

Recommend compact fluorescent - but no photometric data available. Use 100W (or less) equivalent.

Copyright © 2017 S-arch. All rights reserved. No part of these documents may be reproduced in any form or by any means without written permission from S-arch.

ISSUE

NO.	DESCRIPTION	DATE

NO. DESCRIPTION DATE

DRAWING TITLE:
LIGHTING PHOTOMETRICS PLAN

DRAWING NO:

A5.1

SCALE: 1/8" = 1'-0"

DATE: 1/26/2018 10:17:28 AM

PROJECT NO: 2505-2017

DES. DRWN. CHK'D.

MAH MAH MAH