

WOODHAVEN TOWNHOMES FRISCO, COLORADO DESIGN REVIEW



PROJECT AND LOT DATA

ADDRESS: 205 SOUTH 2ND AVE Frisco, Co.
 OWNER: LITTLE BIG DOG LLC
 ZONING: R-HD
 CONSTRUCTION TYPE: Type V-B
 OCCUPANCY: R3
 REFERENCE CODE: IRC 2012, 2012 IECC as amended
 by the Town of Frisco
 Snow Load 80psf
 LOT SIZE (SUBDIVISION SIZE) 10,500 SF = 0.2468 ACRES 0.2468
 Acres X 16 DPA = 3.856

BUILDING AREA
 FOOTPRINT= 4,756 SF (AT FIRST LEVEL)
 UNHEATED UNCOVERED DRIVEWAY AREA = 1,032 SF
 SNOW STORAGE AREA = Driveway 1: 364/3.5 = 104 SF
 Driveway 2: 364/3.5 = 104 SF
 Driveway 3: 364/3.5 = 104 SF
 Driveway 4: 364/3.5 = 104 SF
 Required: 104 X 4 = 416 SF
 SNOW STORAGE PROVIDED = 441 SF

ALLOWABLE LOT COVERAGE = 55%

LANDSCAPED AREA = 12,580 SF
 Balance of Lot to be Reseeded with indigenous ground cover,
 Structure, Driveways, Walks

BUILDING TO BE A MAXIMUM HEIGHT OF 35' BASED ON EXISTING USGS
 GRADE ELEVATIONS AND FRISCO TOWN ZONING CODE.

BUILDING MAX. HT. USGS ELEV. 9104.35'

(4) GAS BURNING FIRPLACES ONE PER UNIT

UNIT SIZE

UNIT 1: 2,000 FINISHED SQ.FT. GARAGE: 520 SQ.FT.
 UNIT 2: 2,125 FINISHED SQ.FT. GARAGE: 535 SQ.FT.
 UNIT 3: 2,147 FINISHED SQ.FT. GARAGE: 587 SQ.FT.
 UNIT 4: 1,900 FINISHED SQ.FT. GARAGE: 510 SQ.FT.

INSULATION IECC REQUIREMENTS: (PERSCRIPTIVE)

FRAMED WALLS R23
 CEILINGS R49
 OVERHANGS R23
 FOUNDATIONS R10 UNDER SLAB R10 (R20 TOTAL)
 FRAMED WALLS BELOW GRADER15

Legal Description

LOTS 1-6 , BLOCK 22, FRISCO TOWNSITE
 AND LOT 6, BLOCK 4, KING SOLOMON 2ND
 ADDITION TO FRISCO TOWNSITE LOCATED IN THE
 SW 1/4 OF SECTION 35, T.5S., R.78W. OF THE 6TH
 P.M. TOWN OF FRISCO, SUMMIT COUNTY,
 COLORADO

PROJECT OVERVIEW

BUILDING USE: 4 PLEX - RESIDENTIAL

NO. OF RESIDENTIAL UNITS = 4
 NUMBER OF WOOD BURNING FIREPLACES = 0

PARKING REQUIREMENTS

Number of parking spaces required: 4-4 Brm

Units (16 Spaces)
 Number of parking space provided = 16 Spaces

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A1.3	LANDSCAPE PLAN
A1.4	LOT COVERAGE PLAN
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A2.1	2ND LEVEL PLAN
A2.2	3RD LEVEL PLAN
A2.3	ROOF PLAN
A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A3.2	BULK PLANE DEVIATION
A3.3	BULK PLANE DEVIATION
A3.4	PERSPECTIVES
A3.5	EXTERIOR FINISH MATERIAL BOARD

BUILDING, CODE AND LOT DATA

ADDRESS: 205 SOUTH 2ND AVE
FRISCO, COLORADO
 CONSTRUCTION TYPE: V-NR
 REFERENCE CODE: 2015 IRC , 2012 IECC
 ZONING CODE: RESIDENTIAL HIGH DENSITY (RH)

OWNER:

LITTLE BIG DOG LLC
 HOLLY J HILL
 P.O. BOX 3658
 BOULDER, COLORADO 80305
 PH 303-229-6136

DESIGNER:

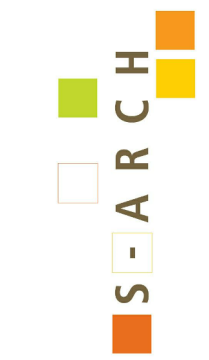
S-arch
 MARK HARRIS
 970 YUMA STREET
 DENVER, COLORADO 80204
 PH. 303-455-4117

STRUCTURAL ENGINEER:

S-arch
 E.D.ENCK, P.E.
 970 YUMA STREET
 DENVER, COLORADO 80204
 PH. 303-455-4117

CONTRACTOR:

CAMPBELL CONSTRUCTION &
 ENGINEERING
 P.O. BOX 4272
 FRISCO, COLORADO 80443
 PH. 970-389-7246



970 Yuma Street
 Suite 150
 Denver, Colorado
 80204
 303-455-4117

WOODHAVEN TOWNHOMES

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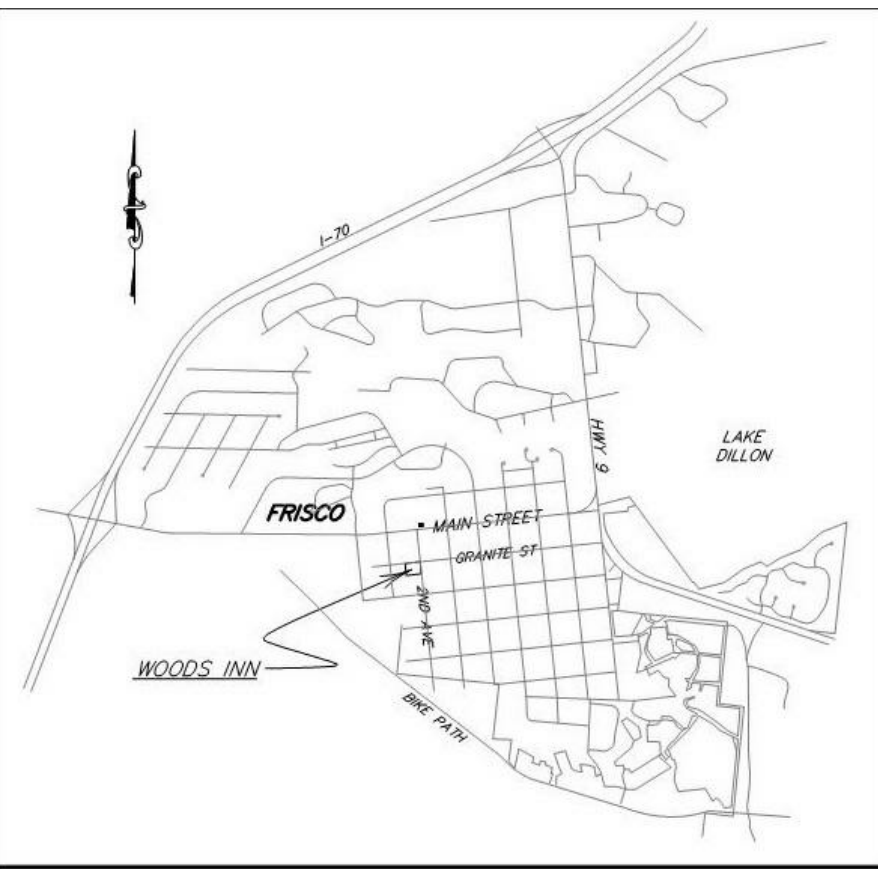
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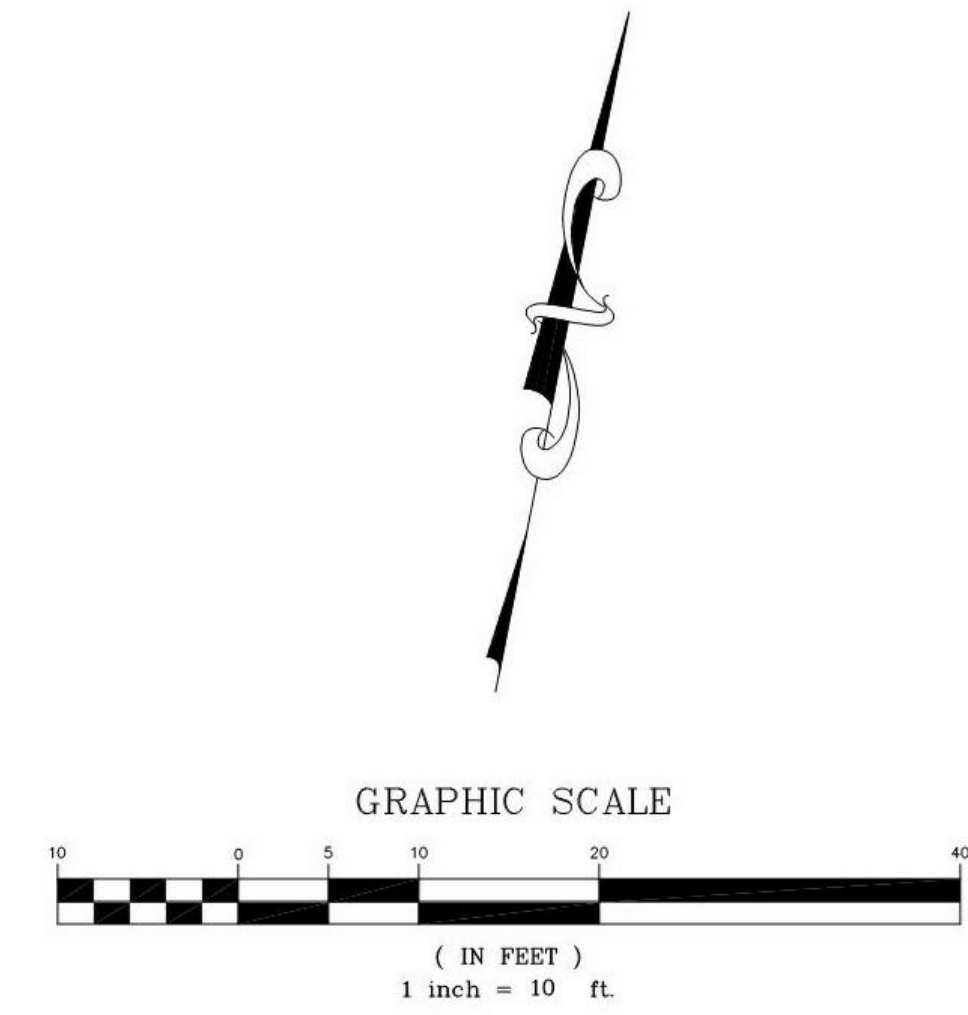
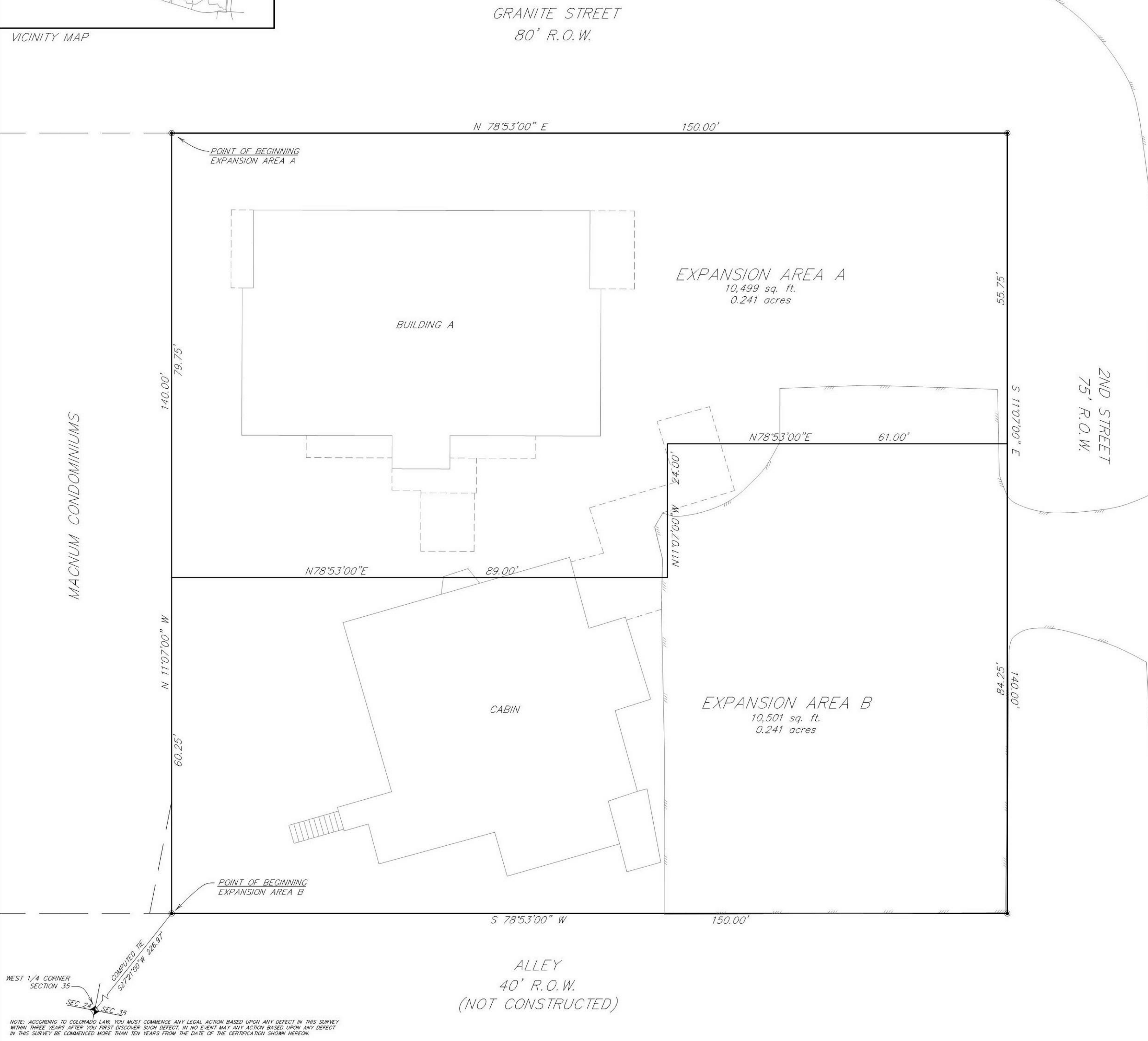
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MAH	MAH	MAH

EXPANSION AREAS
WOODS IN FRISCO CONDOMINIUMS AND THE WOODS INN

LOTS 1-6, BLOCK 22, FRISCO TOWNSITE
 AND LOT 6, BLOCK 4, KING SOLOMON 2ND ADDITION TO FRISCO TOWNSITE
 LOCATED IN THE SW 1/4 OF SECTION 35, T.5S., R.78W. OF THE 6TH P.M.
 TOWN OF FRISCO, SUMMIT COUNTY, COLORADO



VICINITY MAP



- NOTES:**
- 1.) ALL AREAS EXCEPTING BUILDING A AND ASSOCIATED LIMITED COMMON ELEMENTS ARE WOODS INN COMMON AREA AND SUBJECT TO DEVELOPMENT.
 - 2.) CABIN BUILDING IS TEMPORARY AND SUBJECT TO DEVELOPMENT.
 - 3.) BOUNDARY CONTROL IS BASED ON FRISCO MAIN STREET CENTERLINE MONUMENTATION.
 - 4.) THE COMMON AREA SUBJECT TO DEVELOPMENT MAY REQUIRE EXISTING UTILITIES TO BE RELOCATED AT THE OWNER'S EXPENSE IN THE FUTURE, PER EXCEL ENERGY.



Drawn RRU	Dwg EXPANSION-AREAS	Project 16336
Checked RRU	Date 03/22/18	Sheet 1 of 1

RANGE WEST
 ENGINEERS & SURVEYORS INC.
 P.O. Box 589
 Silverthorne, CO 80498 970-468-6281



970 Yuma Street
 Suite 150
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 303-455-4117

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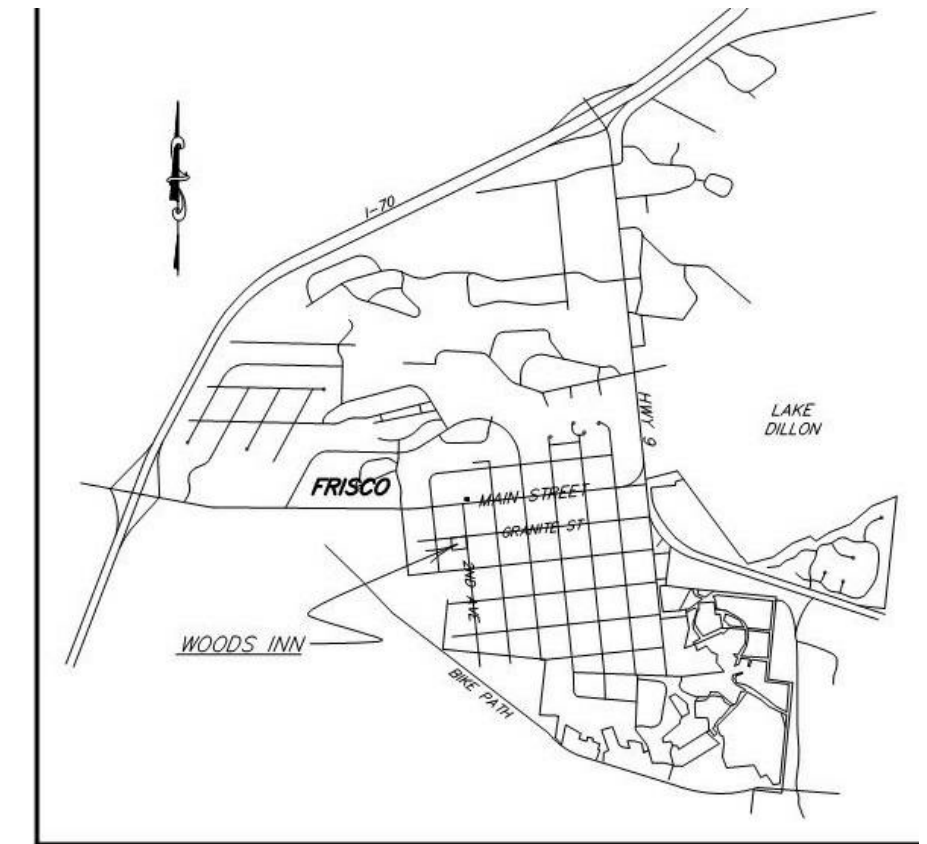
FRISCO ARCHITECT PROJECTS 18 WOODHAVEN TOWNHOMES WOODHAVEN TOWNHOME Permit Set 18-18-CT

NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT, IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

A TOPOGRAPHIC MAP OF
TRACT B
 ACCORDING TO THE SECOND AMENDED CONDOMINIUM MAP OF
WOODS IN FRISCO CONDOMINIUMS

LOTS 1-6, BLOCK 22, FRISCO TOWNSITE
 AND LOT 6, BLOCK 4, KING SOLOMON 2ND ADDITION TO FRISCO TOWNSITE
 TOWN OF FRISCO, SUMMIT COUNTY, COLORADO

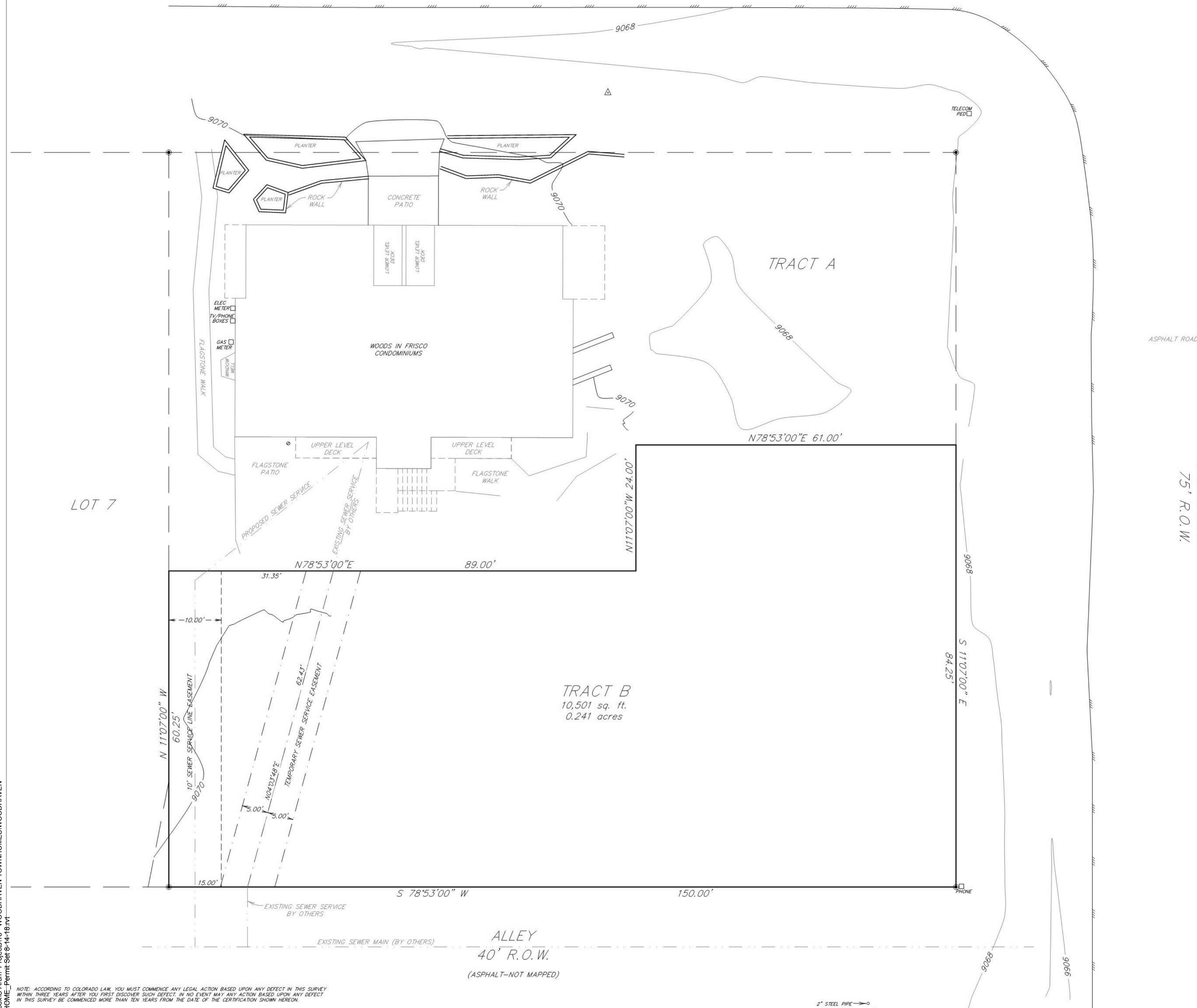
GRANITE STREET
 80' R.O.W.



VICINITY MAP



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LOT 7

2ND STREET
 75' R.O.W.

ALLEY
 40' R.O.W.
 (ASPHALT-NOT MAPPED)

GRAPHIC SCALE
 (IN FEET)
 1 inch = 10 ft.

DATE OF TOPOGRAPHIC FIELD SURVEY: DECEMBER 2012
 CONTOUR INTERVAL=2 FEET

LEGEND

- SET REBAR & YELLOW PLASTIC CAP (PLS 26292)
- ⌘ FIRE HYDRANT
- UTILITY PEDESTAL
- ☆ LIGHT POLE
- E TRANSFORMER

NOTE: BOUNDARY CONTROL IS BASED ON FRISCO MAIN STREET CENTERLINE CONTROL MONUMENTATION.
 NOTE: SEWER MAIN & SERVICES SHOWN BY OTHERS FROM PEARSON ENGINEERING.
 NOTE: NO CURRENT FIELD SURVEY WAS USED IN THE PREPARATION OF THIS MAP.

WOODHAVEN TOWNHOMES
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NO.	DESCRIPTION	DATE

DRAWING TITLE:
SITE SURVEY

Drawn RRJ	Dwg TOPO-2018	Project 16.336
Checked RRJ	Date 08/21/18	Sheet 1 of 1

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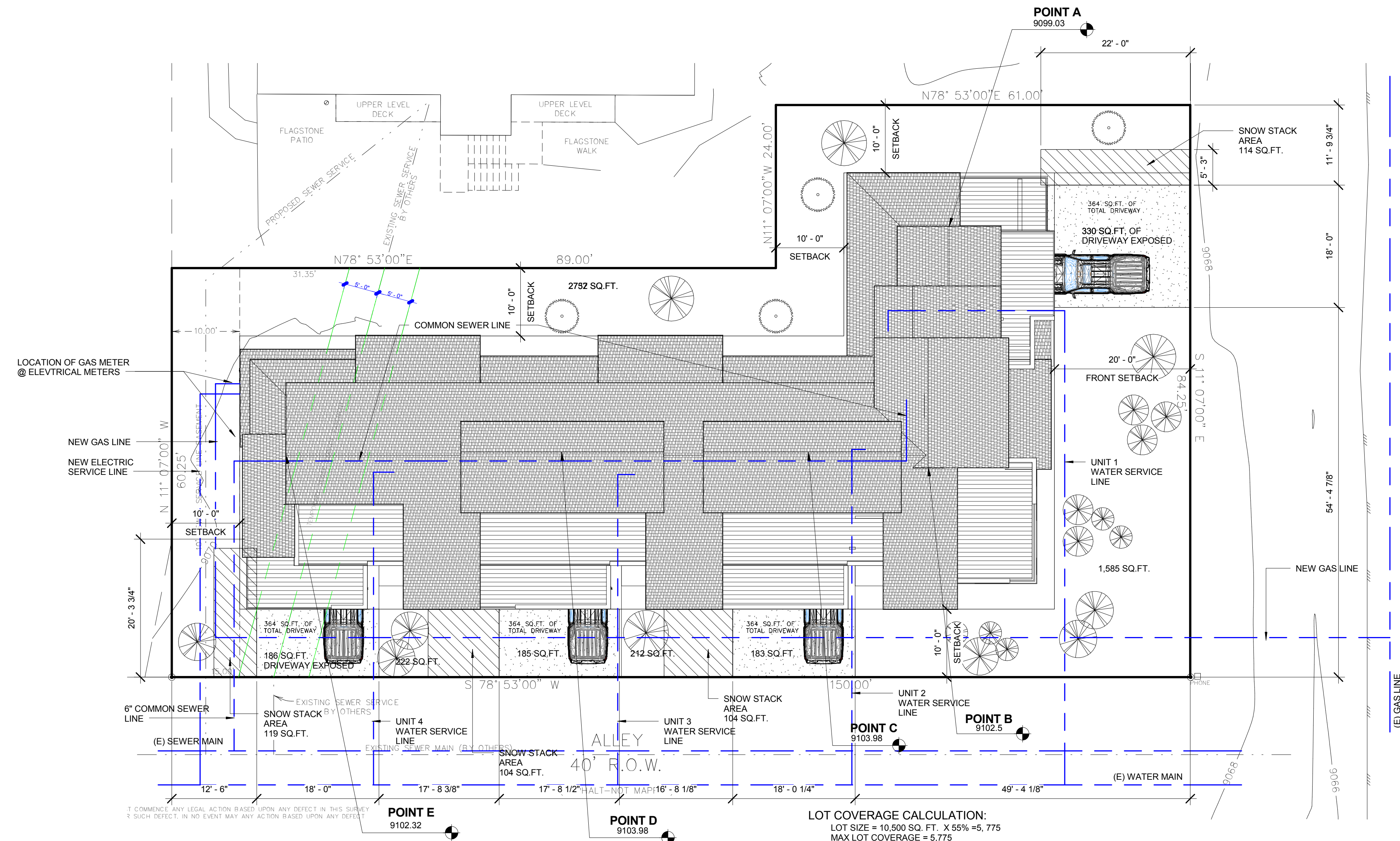
FRISCO ARCH. PROJECTS 18 WOODHAVEN TOWNHOMES WOODHAVEN TOWNHOME PERM SET 04/18/17

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2" STEEL PIPE

POINT	NATURAL GRADE ELEVATION	FINISHED GRADE ELEVATION	MEASURED FROM	ROOF ELEVATION	CALCULATION	HEIGHT
A	9067.5	9067.5	NATURAL GRADE	9099.03	9099.03 - 9067.5 =	31.53'
B	9068.7	9068.7	NATURAL GRADE	9102.5	9102.5 - 9068.7 =	33.8'
C	9069	9069.5	NATURAL GRADE	9103.98	9103.98 - 9069 =	34.98'
D	9069.5	9069.5	NATURAL GRADE	9103.98	9103.98 - 9069.5 =	34.48'
E	9069.75	9069.75	NATURAL GRADE	9102.32	9102.32 - 9069.75 =	32.57'

② HEIGHT CALCULATIONS
1 1/2" = 1'-0"



LOT COVERAGE CALCULATION:
 LOT SIZE = 10,500 SQ. FT. X 55% = 5,775
 MAX LOT COVERAGE = 5,775
 AS PROPOSED = 4,847 SQ. FT. BUILDING FOOTPRINT
 920 SQ. FT. DRIVEWAYS
 = 5,767 SQ. FT. (TOTAL LOT COVERAGE) = 54%
 OPEN SPACE = 4,733 SQ. FT.
 OPEN SPACE CALC:
 1581 + 2717 + 222 + 213 = 4,733 SQ. FT.
 DRIVEWAY UNIT 1 364 S.F. (TOTAL SIZE OF EACH DRIVEWAY)
 DRIVEWAY UNIT 2 364 S.F. (TOTAL SIZE OF EACH DRIVEWAY)
 DRIVEWAY UNIT 3 364 S.F. (TOTAL SIZE OF EACH DRIVEWAY)
 DRIVEWAY UNIT 4 364 S.F. (TOTAL SIZE OF EACH DRIVEWAY)
 TOTAL 1,456 S.F.
 1,456 / 3.5 = 416 S.F. OF SNOW STORAGE REQUIRED
 441 PROVIDED

① SITE PLAN
1" = 10'-0"

1. I DISCLAIM ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY
 2. SUCH DEFECTS, IN NO EVENT MAY ANY ACTION BE TAKEN UPON ANY DEFECT

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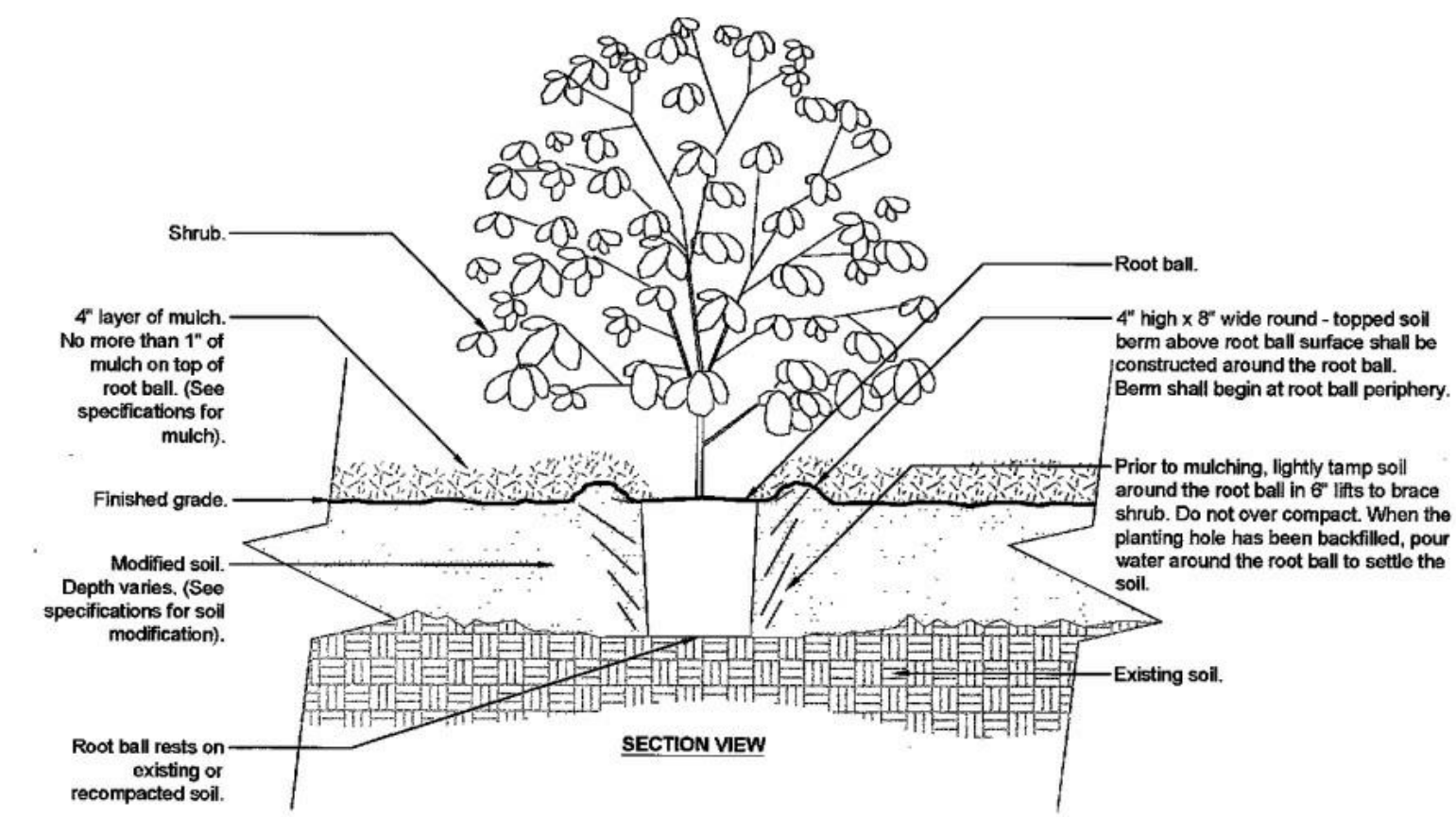
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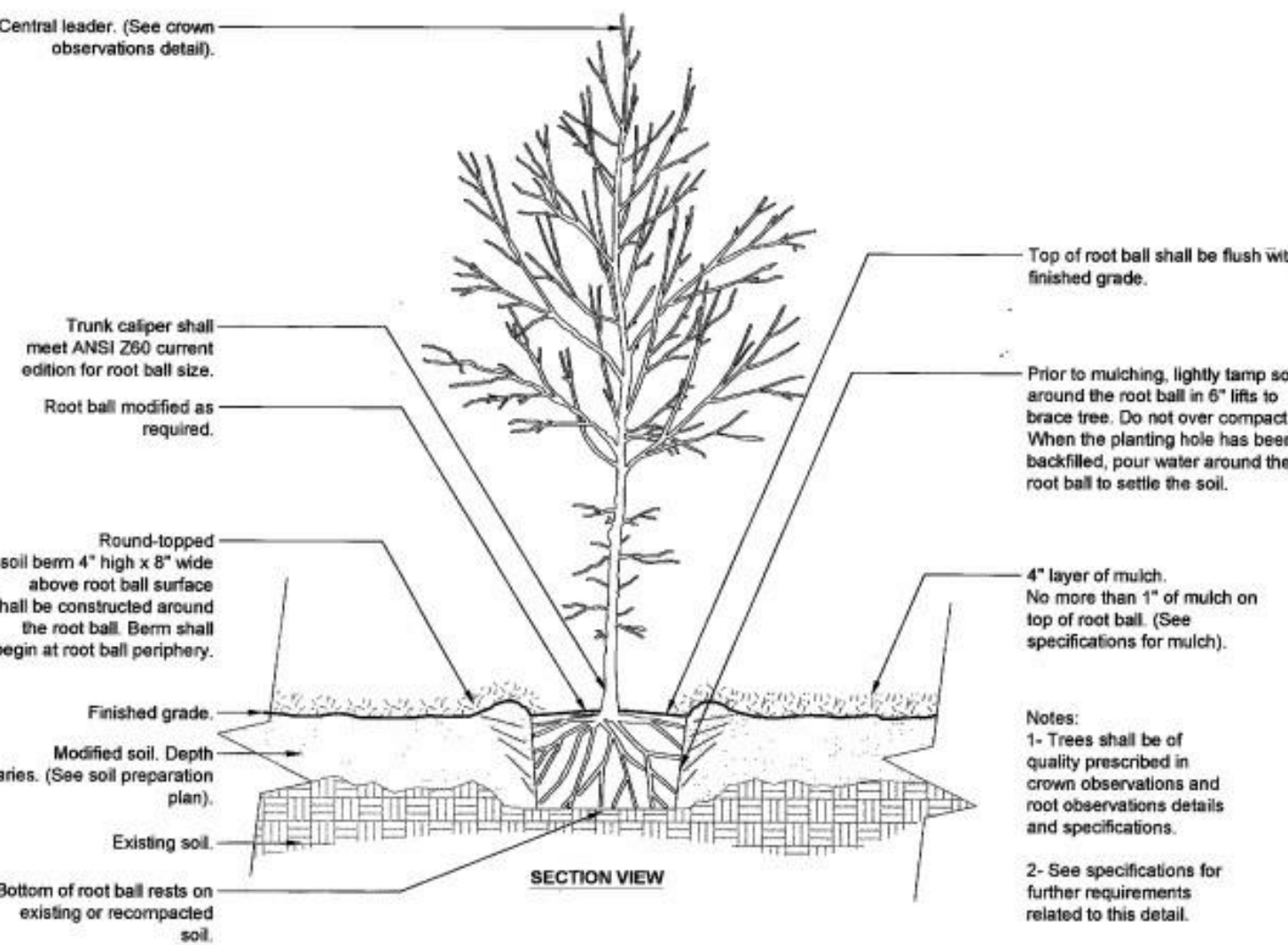
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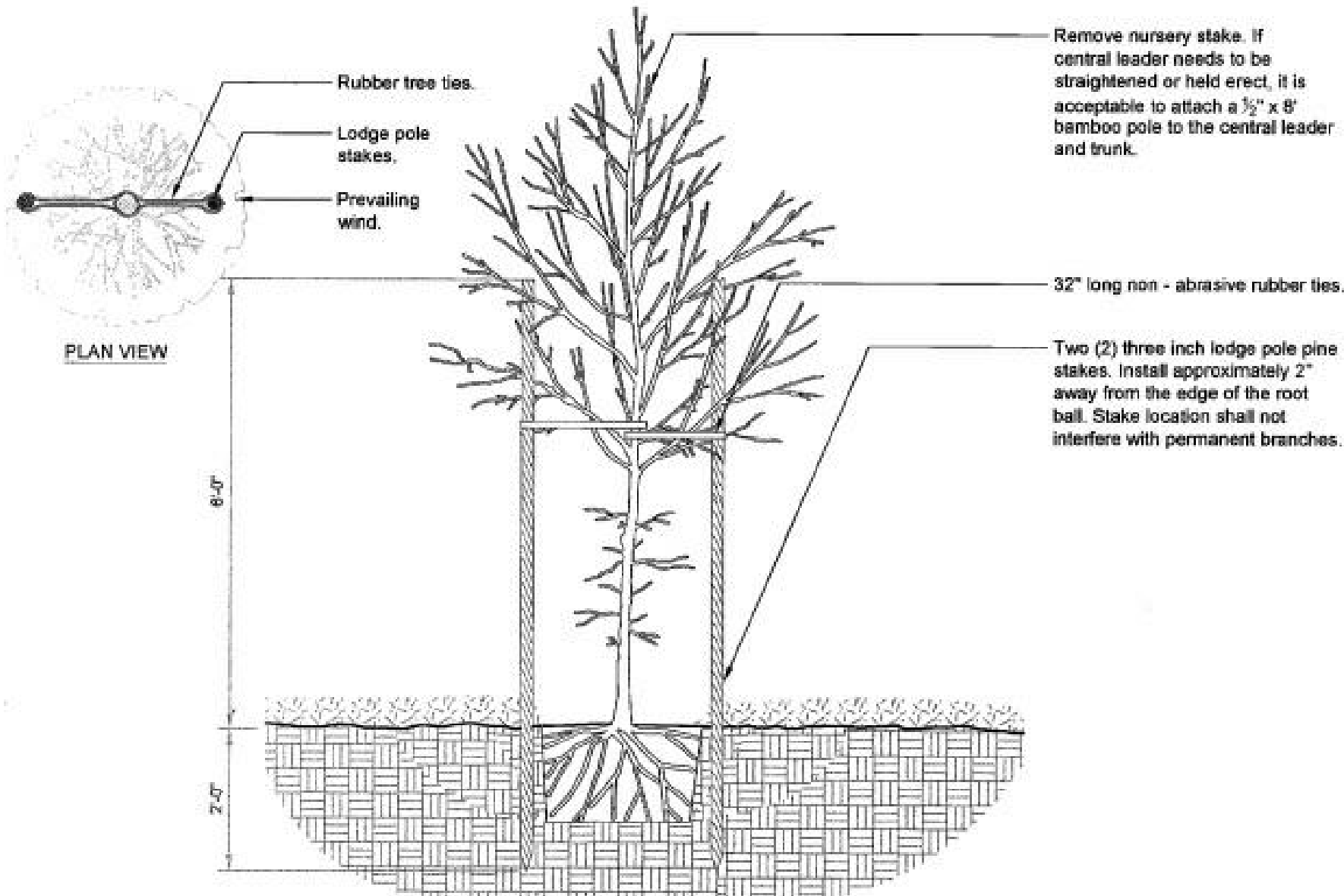
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1 SHRUB PLANTING DET.
SCALE: 1/2" = 1'-0"



1 TREE PLANTING DET.
SCALE: 1/2" = 1'-0"

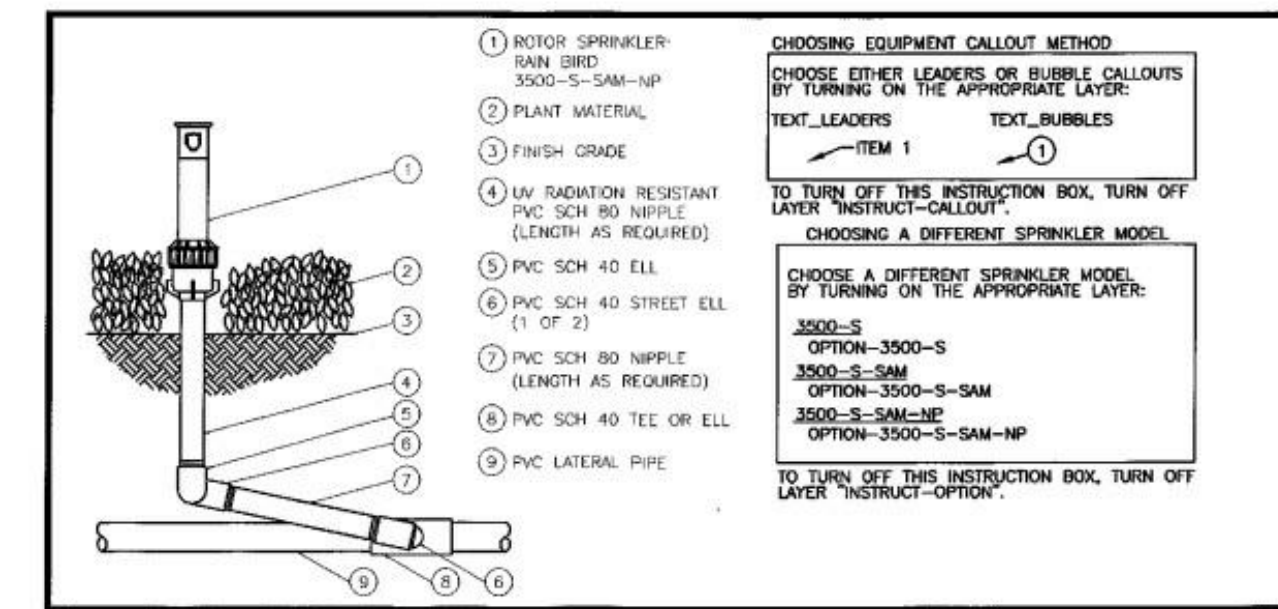


1 TREE STACKING DET.
SCALE: 1/2" = 1'-0"

GENERAL NOTES:
 -Tree and shrub wells to be back filled with 50% native soil and 50% organic amendment.
 -Location of all trees shall be staked by Contractor and approved by the Designer prior to installation.
 -Locate all plant material to avoid snow shed, snow removal locations, sight lines, utility lines, fire hydrants, and easements.
 -Exact placement and shape of planting beds shall be reviewed by Designer prior to installation of irrigation drip tubing.
 -Shrubs, in their pots, shall be reviewed by Designer prior to installation of irrigation drip tubing.
 -Edging to be 4" Bend-a-Board edging. Edging shall be tacked in place with 1 foot edging straps at each 10' section and once in the middle.
 -Distance between straps shall not exceed 5'.
 -It is the contractor's responsibility to furnish plant material free of pests or disease.
 -Pre-selected, "tagged" material must be inspected by the Landscape Designer prior to installation.
 -The Contractor must certify that all plant material is free of pests and disease.
 -The Contractor must warranty all plant materials for health and proper installation for a period of one year after installation per their contract.
 -All new trees and shrubs shall be drip irrigated upon installation.
 -All perennial areas shall be spray irrigated. A permanent irrigation system is required.
 -Provide 3" minimum topsoil and seed with short dry grass mix at areas of disturbance.

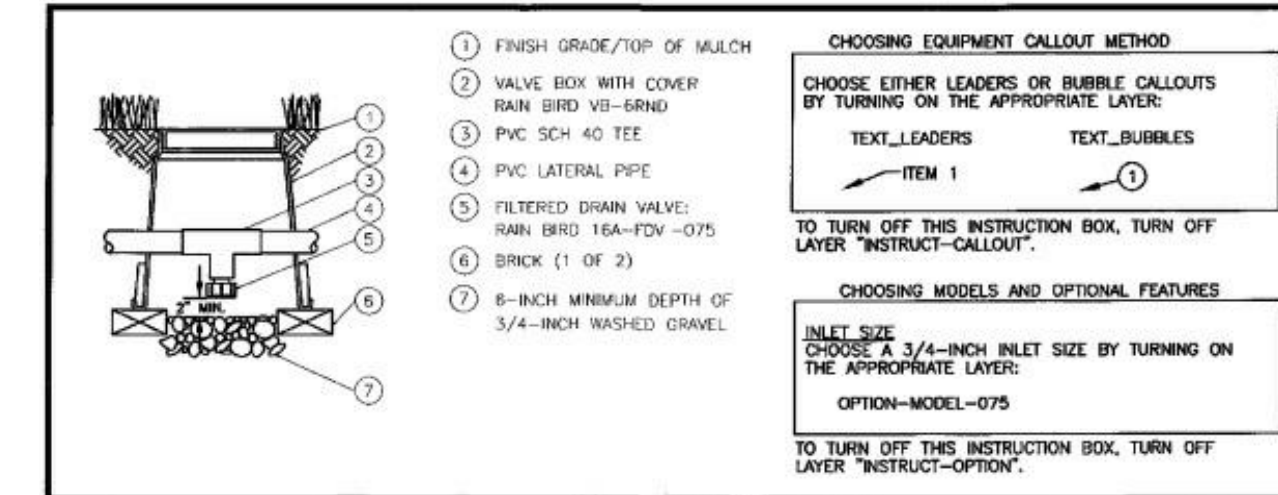
LOT SIZE 10,501 S.F.
 10,501 / 875 = 12 REQUIRED TREES
 10,501 / 1,500 = 7 REQUIRED SHRUBS

ZONING CODE:
 -1 TREE FOR EVERY 875 S.F. - 12 REQUIRED - 14 PROVIDED (INCLUDES EXISTING EVERGREENS TO REMAIN)
 -1 SHRUB FOR EVERY 1,500 S.F. - 7 REQUIRED - 10 PROVIDED
 -NO VARIETIES OF TREE EXCEEDS 45% OF TOTAL TREE COUNT. (INCLUDES 2 EXISTING LODGE POLE PINES TO REMAIN)

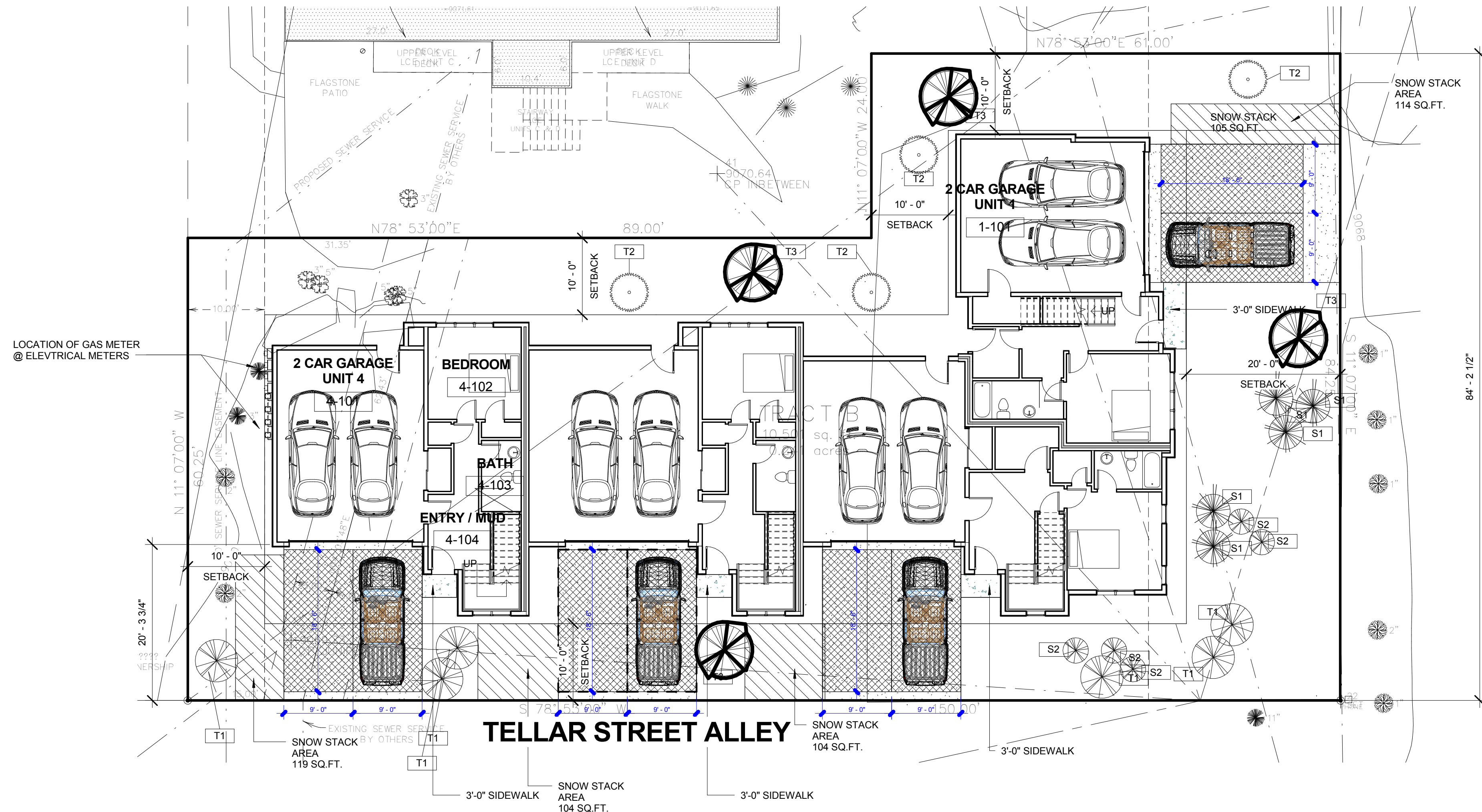


1 ROTOR POP-UP SPRINKLER
3500 SERIES

ALL SOIL IS TO BE AMENDED WITH 6" COUNTY APPROVED TOP SOIL. ROTO-TIL SOIL TO MIX NEW SOIL WITH EXISTING SITE SOIL.



2 DRAIN VALVE
16A-FDV OR 16A-FDV-075



NATIVE GRASS- SHORT DRY GRASS SEED MIXTURE
 HARD FESCUE 30%
 CREEPING RED FESCUE 30%
 SHEEP FESCUE 25%
 CANADA BLUEGRASS 10%
 CANBY BLUEGRASS 5%

1 LANDSCAPE PLAN
1" = 10'-0"

		Planting Schedule		
Type Mark	Botanical Name	Common Name	Comments	Count
S1	PRUNUS VIRGINANNA	CHOKECHERRY SHUBERT	5 GAL	5
T3	POPULUS BALSAMIFERA	BALSAM POPLAR	(2) 2" MIN. & (2) 3" MIN	4
S2	COMUS SERICCA	RED TWIG DOGWOOD	5 GAL	5
T1	POPULUS TREMULOIDES	ASPEN TREE	(3) 2" MIN. & (3) 3" MIN	6
T2	PICEA PUNGENS	COLORADO BLUE SPRUCE	(1) 8'-0" TALL & (1) 10'-0" TALL & (2) 6'-0" tall	4
Grand total: 24				

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 FRISCO, COLORADO

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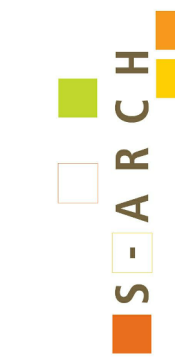
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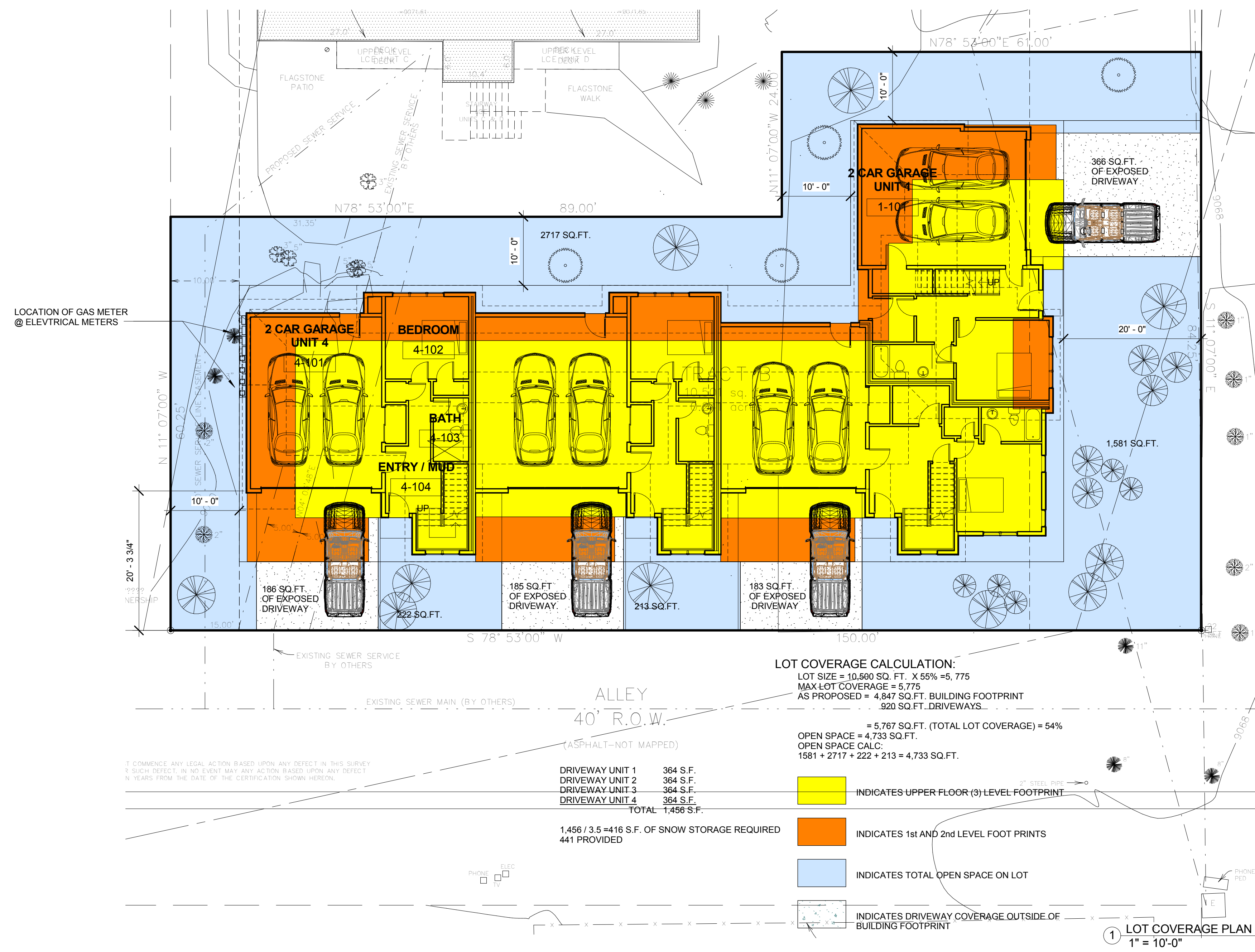
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LOT COVERAGE PLAN

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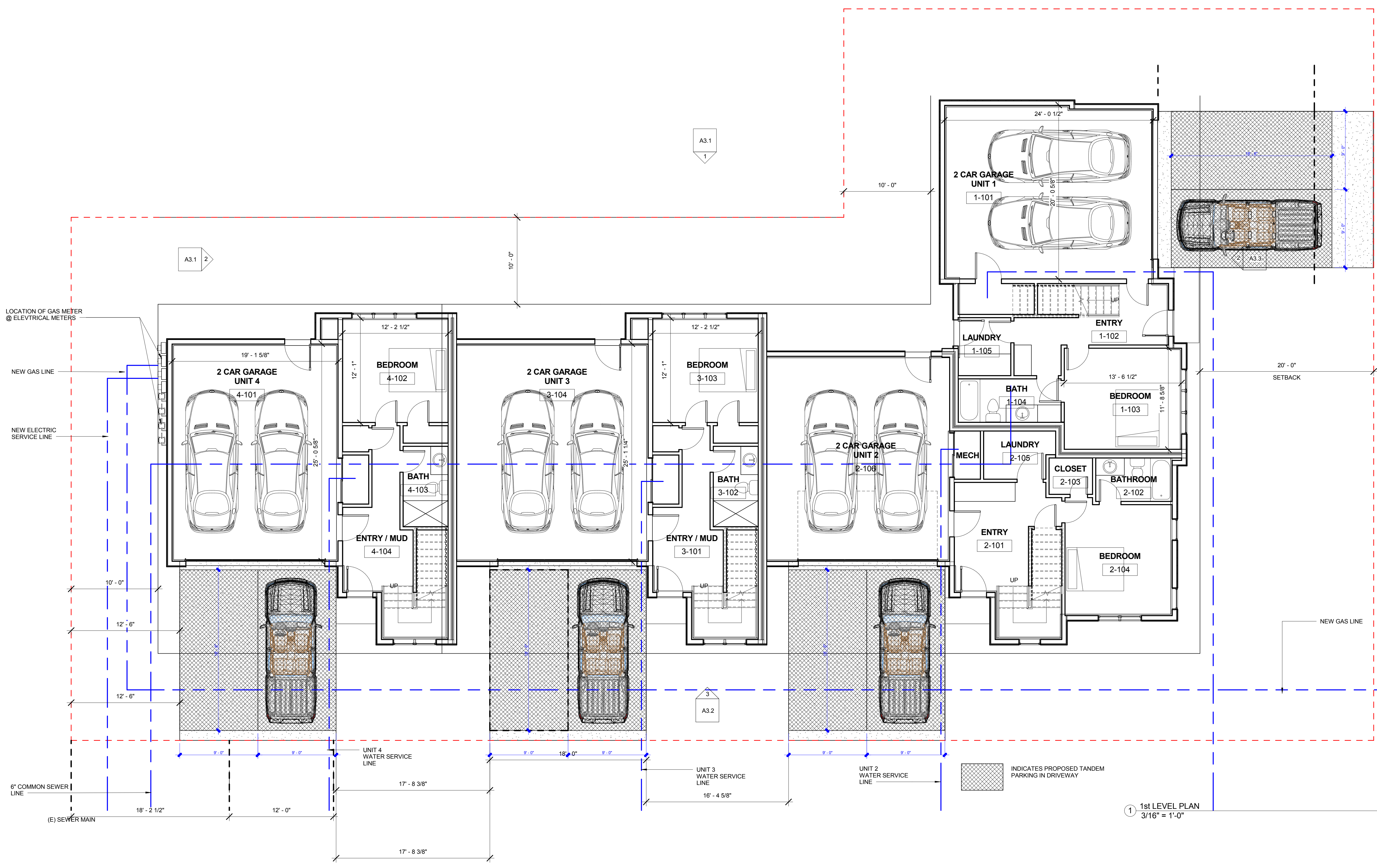
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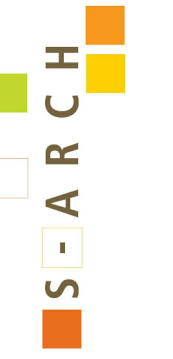
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1ST LEVEL PLAN

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WOODHAVEN TOWNHOMES

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1 2nd LEVEL PLAN
3/16" = 1'-0"

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2ND LEVEL PLAN

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A2.1

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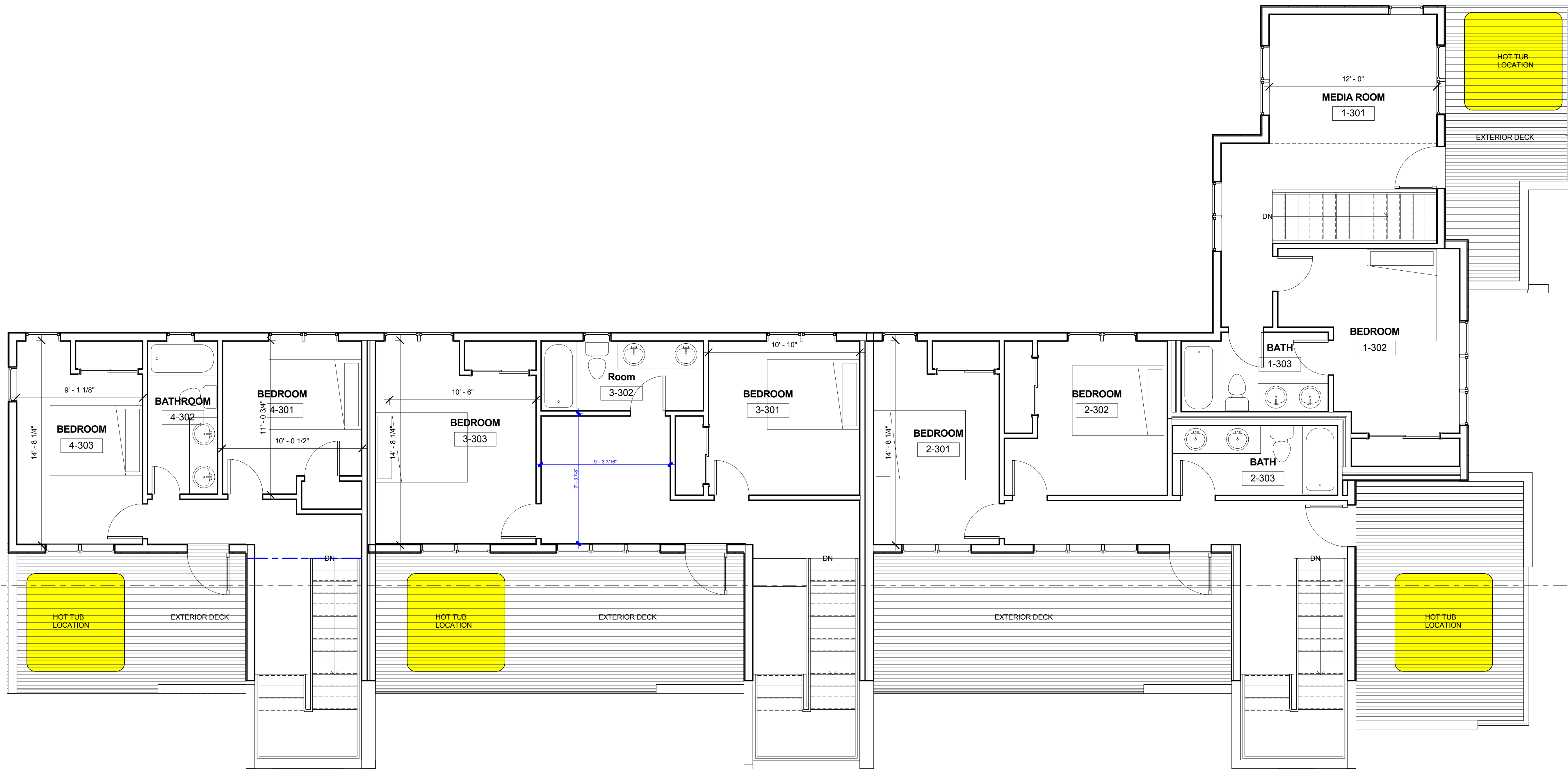
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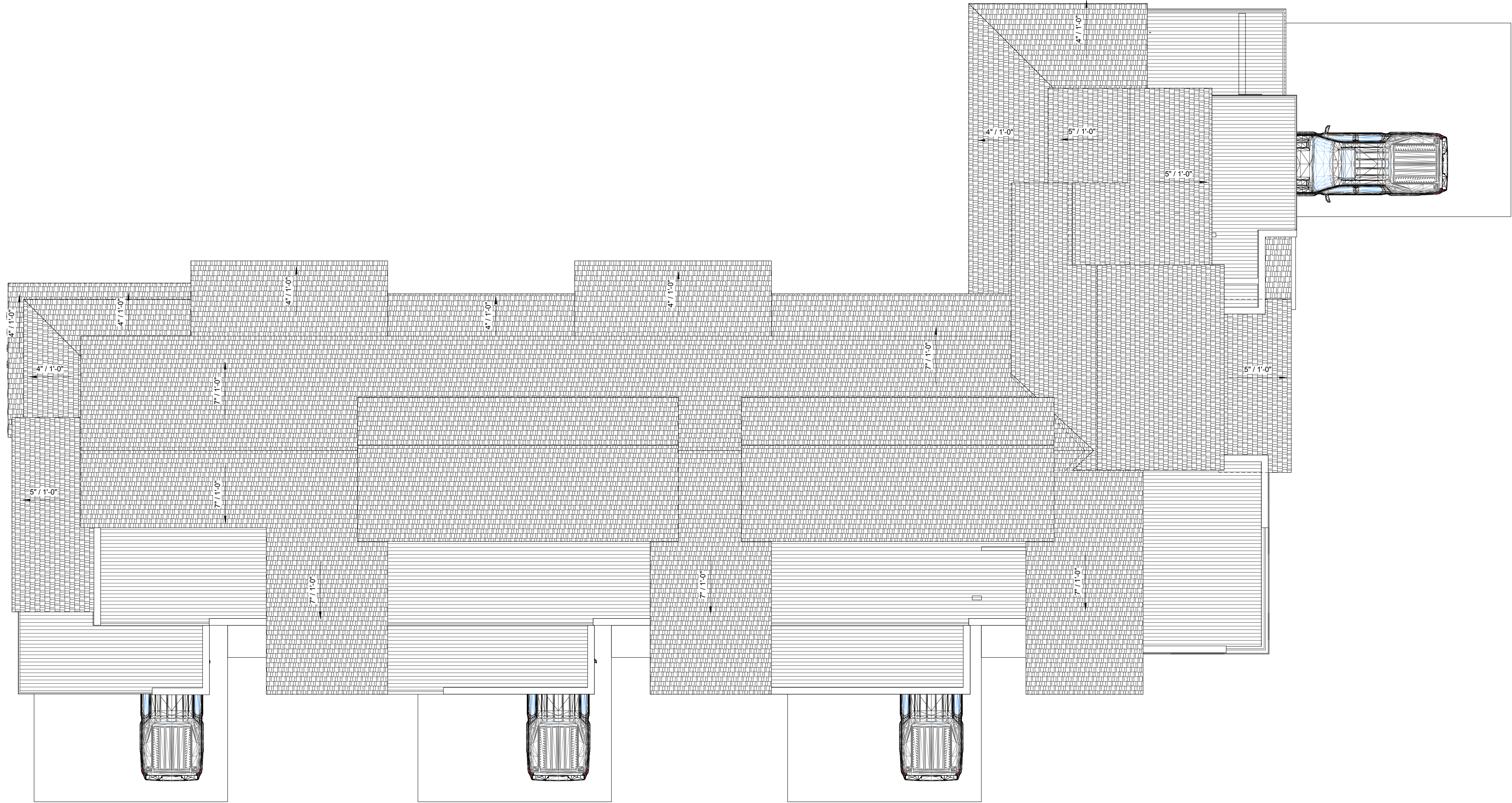
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① ROOF PLAN
3/16" = 1'-0"



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ROOF PLAN

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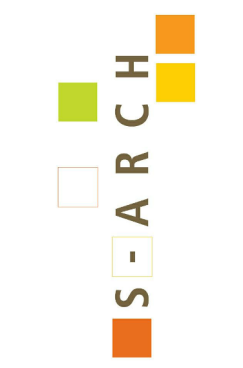
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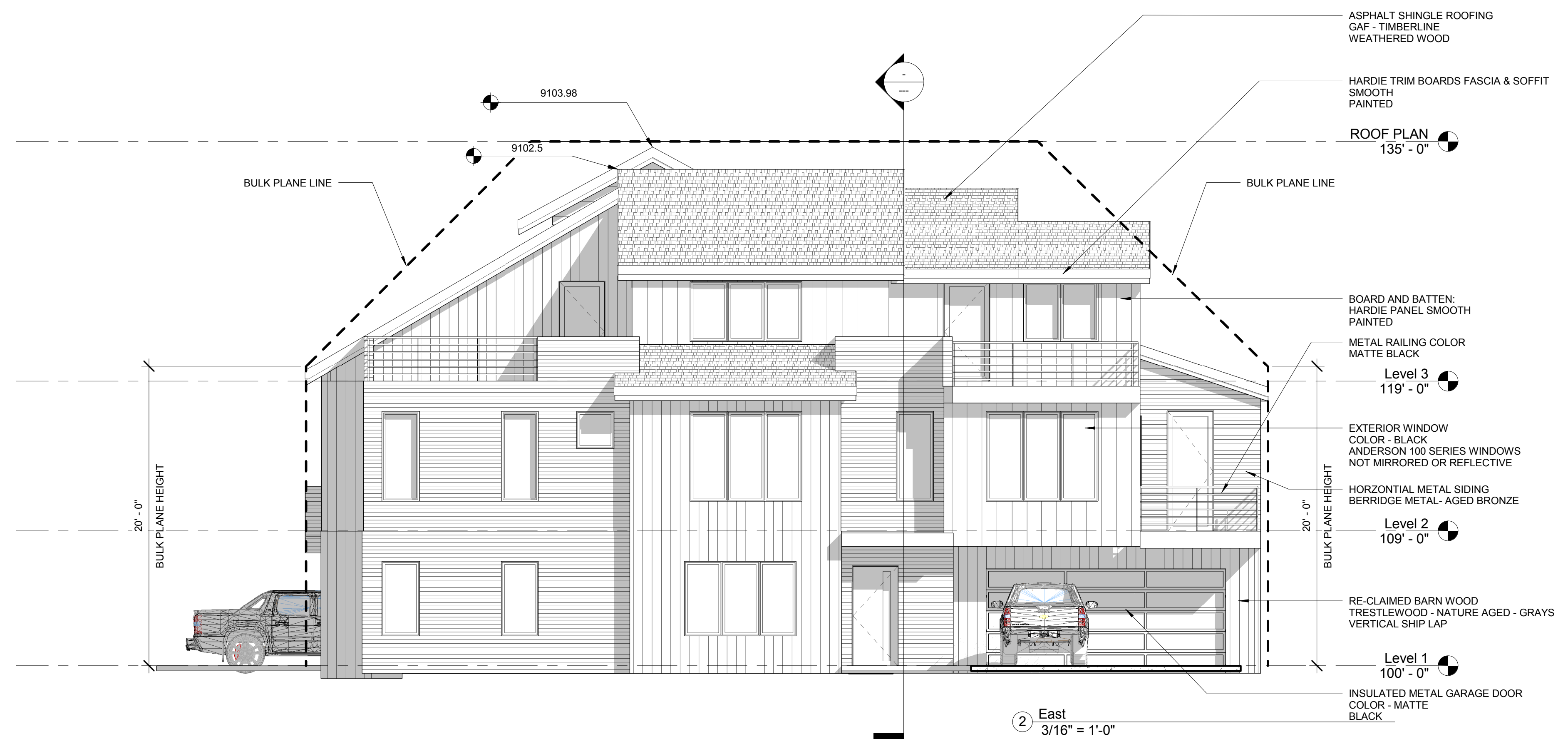
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**205 SOUTH 2ND AVE.
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**ALL EXTERIOR MATERIALS CLADDING WILL WRAP
TO INSIDE CORNER**



**ALL EXTERIOR MATERIALS CLADDING WILL WRAP
TO INSIDE CORNER**

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**EXTERIOR
ELEVATIONS**

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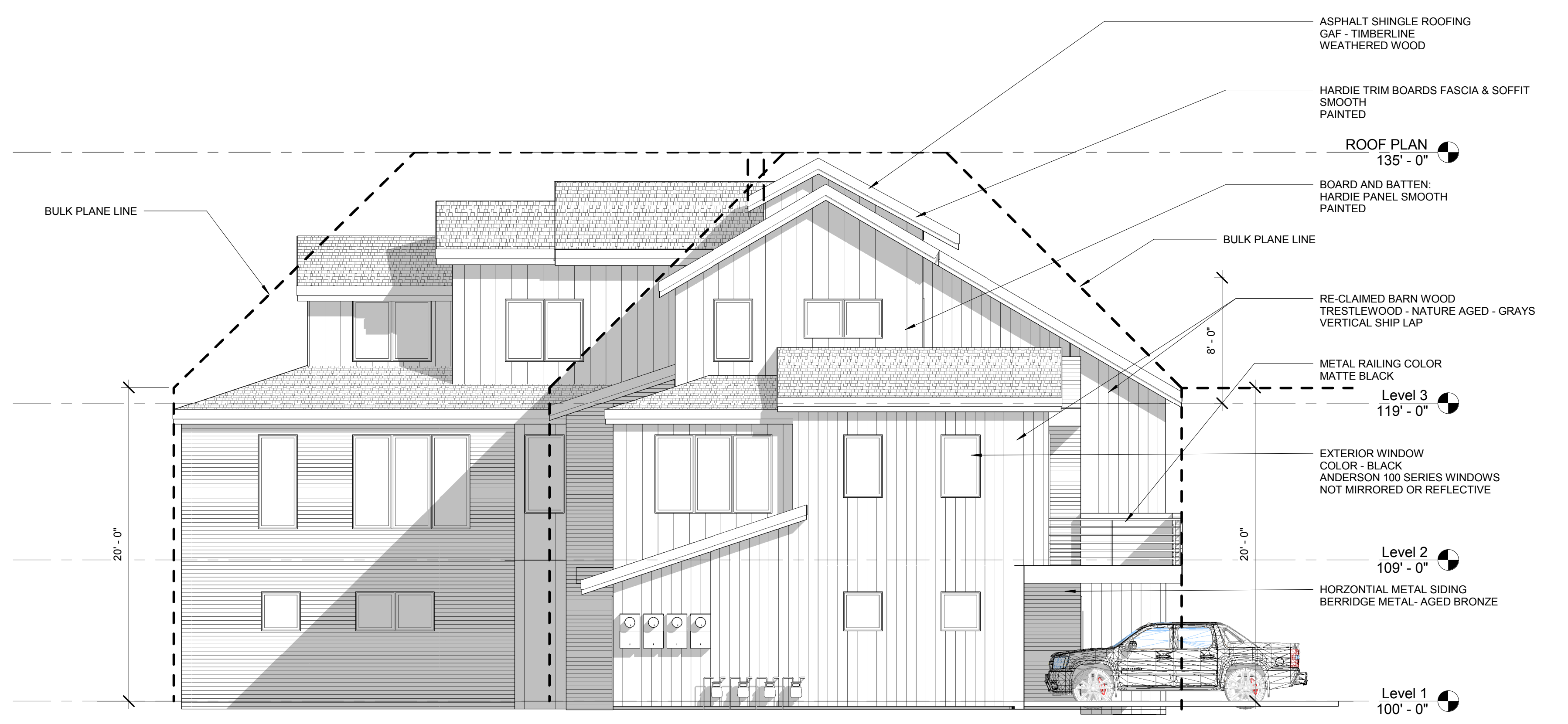
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WOODHAVEN TOWNHOMES

**205 SOUTH 2ND AVE.
FRISCO, COLORADO**



ALL EXTERIOR MATERIALS CLADDING WILL WRAP TO INSIDE CORNER

② West
3/16" = 1'-0"



ALL EXTERIOR MATERIALS CLADDING WILL WRAP TO INSIDE CORNER

① North
3/16" = 1'-0"

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ISSUE		
NO.	DESCRIPTION	DATE

DRAWING TITLE:
EXTERIOR ELEVATIONS

DRAWING NO:
A3.1

SCALE: 3/16" = 1'-0"

DATE: 9/13/2018 11:36:27 AM

PROJECT NO: 2018-0045

DES. MAH	DRWN. MAH	CHK'D. MAH
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F:\Drawings\Arch\Projects\18 - WOODHAVEN TOWNHOMES\WOODHAVEN TOWNHOME_Permit Set.dwg 9/14/18.rvt

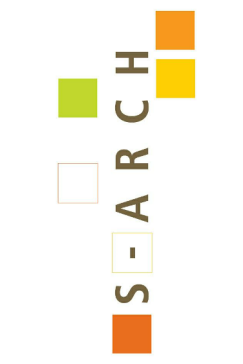


③ SOUTH ELEVATION BULK PLANE DEVIATION
3/16" = 1'-0"

BULK PLANE DEVIATION LOCATION



① WEST BULK PLANE DEVIATION



970 Yuma Street
Suite 150
Denver, Colorado
80204
303-455-4117

WOODHAVEN TOWNHOMES

205 SOUTH 2ND AVE.
FRISCO, COLORADO

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ISSUE

NO.	DESCRIPTION	DATE

DRAWING TITLE:

BULK PLANE DEVIATION

DRAWING NO:

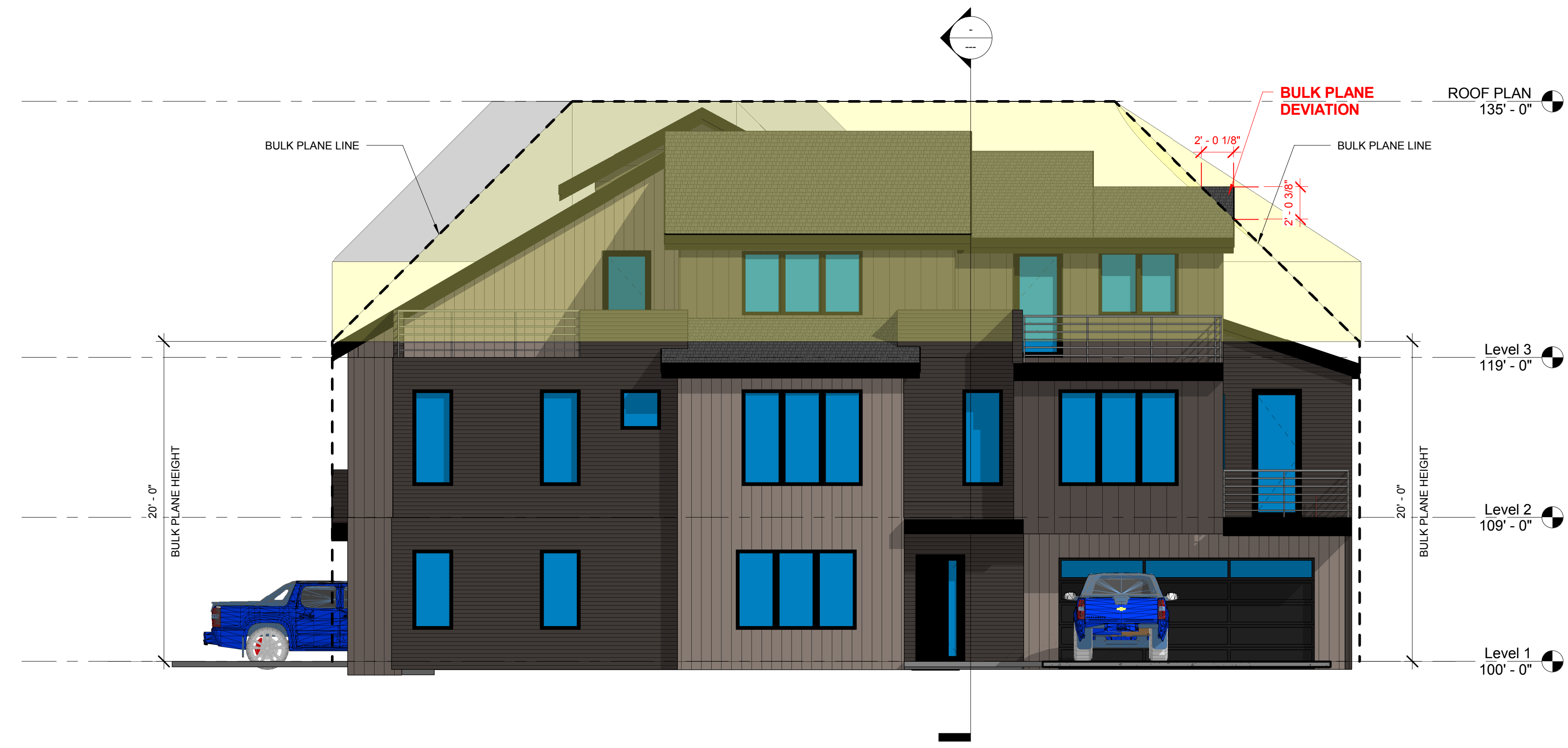
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SCALE: 3/16" = 1'-0"

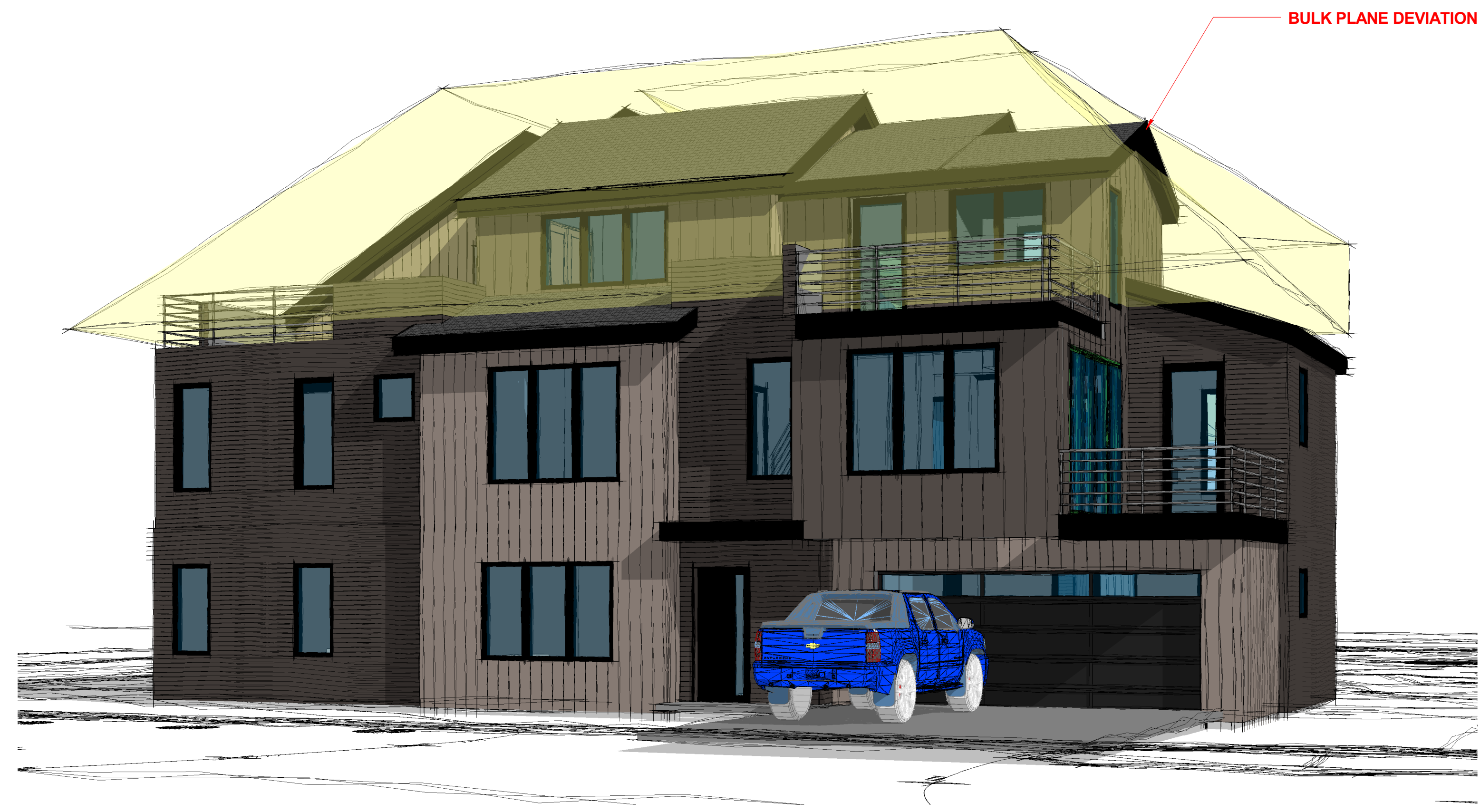
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PROJECT NO: 2018-0045

DES.	DRWN.	CHK'D.
MAH	MAH	MAH



② EAST ELEVATION BULK PLANE DEVIATION
3/16" = 1'-0"



① NORTH BULK PLANE DEVIATION

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ISSUE	

NO. DESCRIPTION DATE

DRAWING TITLE:
BULK PLANE DEVIATION

DRAWING NO:

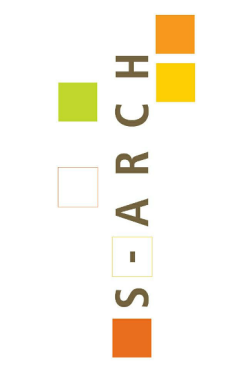
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SCALE: 3/16" = 1'-0"

DATE: 9/13/2018 11:37:44 AM

PROJECT NO: 2018-0045

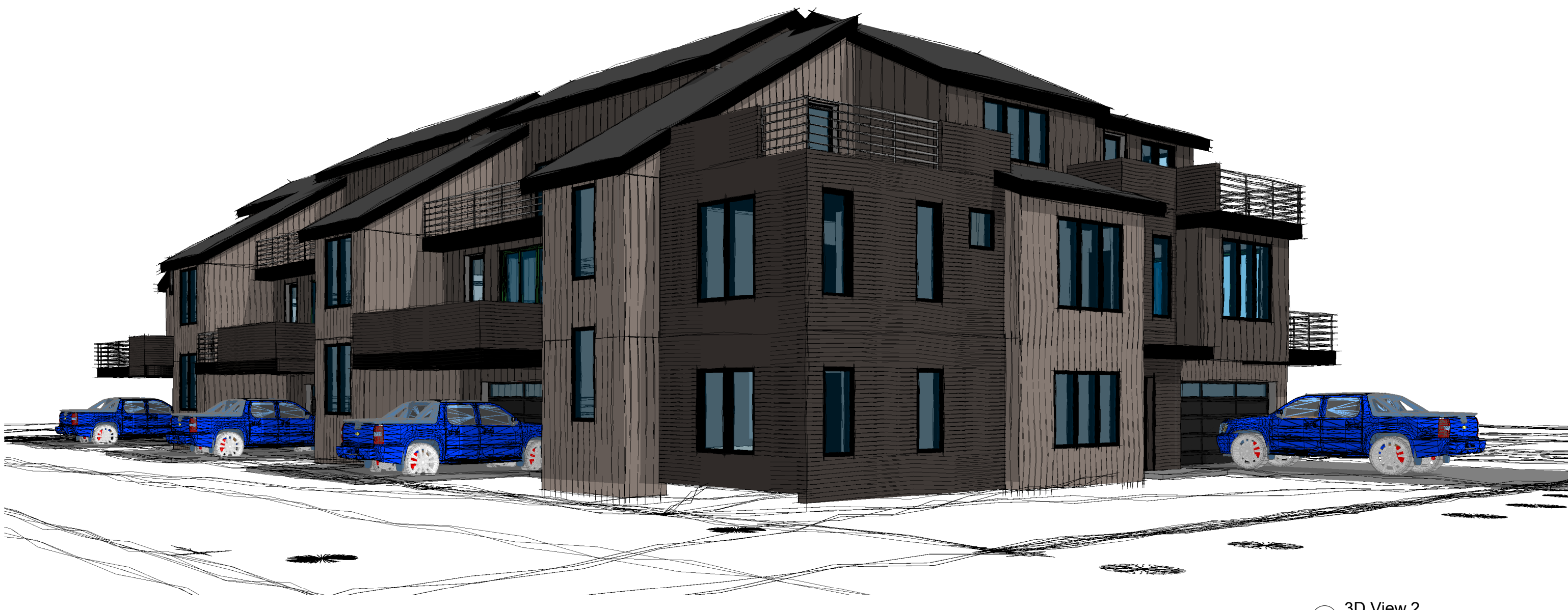
DES. MAH	DRWN. MAH	CHK'D. MAH
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Suite 150
Denver, Colorado
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WOODHAVEN TOWNHOMES

205 SOUTH 2ND AVE.
FRISCO, COLORADO



2 3D View 2



3 3D View 3



1 3D View 1

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ISSUE

NO.	DESCRIPTION	DATE

DRAWING TITLE:
PERSPECTIVES

DRAWING NO:
A3.4

SCALE:
DATE: 9/13/2018 11:39:18 AM

PROJECT NO: 2018-0045

DES. DRWN. CHK'D.
MAH MAH MAH

ISSUE

NO. DESCRIPTION DATE

DRAWING TITLE:
EXTERIOR FINISH MATERIAL BOARD

DRAWING NO:

A3.5

SCALE:

DATE: 9/13/2018 11:40:11 AM

PROJECT NO: 2018-0045

DES. MAH DRWN. MAH CHK'D. MAH



RE-CLAIMED BARN WOOD
TRESTLEWOOD - NATURE AGED - GRAYS
VERTICAL SHIP LAP



METAL RAILING COLOR
MATTE BLACK



HORIZONTAL METAL SIDING
BERRIDGE METAL - AGED BRONZE



EXTERIOR WINDOW COLOR - BLACK
ANDERSON 100 SERIES WINDOWS
NOT MIRRORRED OR REFLECTIVE



ASPHALT SHINGLE ROOFING
GAF - TIMBERLINE
WEATHERED WOOD

COMPOSITE WOOD FASCIA / SOFFIT PAINTED- COLOR



HARDIE TRIM BOARDS FASCIA & SOFFIT SMOOTH PAINTED



BOARD AND BATTEN: HARDIE PANEL SMOOTH PAINTED



INSULATED METAL GARAGE DOOR COLOR - MATTE BLACK



1 MATERIAL BOARD ELEVATION

EXTERIOR LIGHT FIXTURES (DARK SKY TYPE)

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Lamps Plus Westley 6 1/2" High Black LED Outdoor Wall Light

Westley 6 1/2" High Black LED Outdoor Wall Light Style #: 13750

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SHIPS TODAY! (orders by 5pm Pacific)

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Make this charming Westley energy-efficient LED outdoor wall light a lovely feature outside your home.

MORE DETAILS >

PRODUCT DETAILS

A traditional style that evokes warmth, this energy-efficient LED outdoor wall light looks great on a porch or patio. LED lighting ensures reliable and bright illumination. An oil-rubbed black finish complements its classic aura, offering character to any exterior. Stem-style lighting is a beloved finishing touch for traditional, rustic, and farmhouse styles.

6 1/2" high x 7 1/4" wide. Extends 8 1/2" from the wall. Backplate is 7" wide x 7" high. Weight: 1.23 lbs.

13 watt built-in LED module. Not dimmable. 3000K, 80 CRI.

1150 lumens, comparable to a 75 watt incandescent bulb.

Westley energy-efficient LED outdoor wall light. A Dark Sky design outdoor light.

John Timberland

Shop at John Timberland

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