

November 15, 2018

Town of Frisco Planning Commission and CDD Planning Staff
1 Main Street
Post Office Box 4100
Frisco, Colorado 80443

Attached is the second submittal for the Sketch Plan review of Rainbow Court. The scope of the project including the design has changed since our first submittal of approximately one year ago.

One of the design goals this time was to keep as much of the existing grass courtyard as possible. Because of the Owner's desire to have no guardrails at the ramp, the existing pathway to the bottom of the stairs is being relocated to make the existing grades work between Main Street and the bottom of the boardwalk at Vinny's center stairs. In doing this, the existing south lawn is smaller, but the north side grew by that same amount. The existing and proposed hard surface courtyard areas are approximately of the same size.

As with the last submittal, the east one level units are being removed and in its place is a retail-restaurant space, and four adjacent townhomes. My existing office by the elevator, and the Frisco Wine Merchant spaces will become an accessible hotel room and new Mechanical Room.

The new design has minimal impact on Vinny's restaurant, in that the Vinny's east window on the north side facing Main Street will be removed, and the adjacent west window will move approximately 6" to the west, and closer to their existing Elevator Tower. The existing egress Stairway on the east side of their dining room is being redesigned such that a new bottom landing comes in at the existing second riser and egress will be to the east so as to eliminate the existing back add on in order to bring the back parking area more into conformance with the parking code.

The retail-restaurant space is designed with a basement for storage, equipment and mechanical areas, along with a second level and roof top deck. It also has the ability to be a two business area in that the Stairway can be blocked off such that a private access is provided to the second level and roof top deck from Main Street.

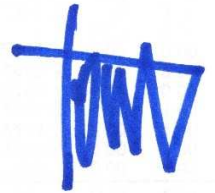
Most of the stamped concrete walkway along the east side will be covered like that of the existing west walkway. The west edge of the decks align with the east side of the existing Elevator Tower with the exception of the townhome closest to Vinny in that the second level does not

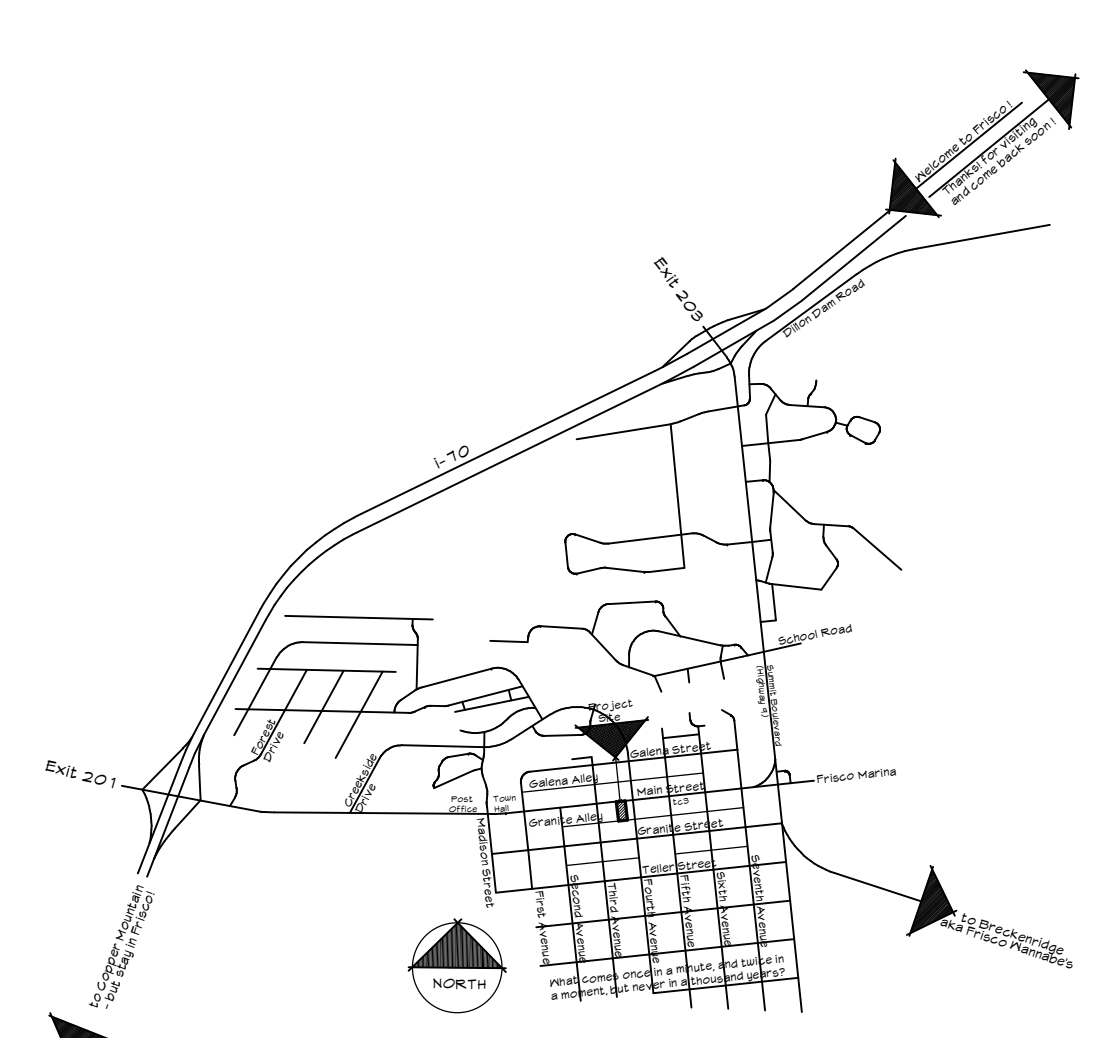
have a deck in front of Vinny's window that faces Main Street. There are third level decks at all of the townhomes.

The townhome exterior design goal was to slope the roofs such that little or no discharge takes place over the courtyard area, and to bring in as much light and air as possible. So the sloped roof discharges onto the flat roof which slopes to roof drains, and overflow roof drains at the east side of the structure. The only Bulk Plane Envelope encroachment is a small area on the arched guardrail of the roof top deck at the northwest corner.

The Owner is proposing to install solar panels with each unit to provide the power to those given units. The existing structure currently has 30 solar panels on the roof. What's shown on the roof plan is conceptual.

We look forward to meeting with you to further explain the design, materials and finishes and to get your input.





Frisco Vicinity Map
no scale
address : 310 Main Street / Frisco, Colorado

LAND USE DATA

Lot Size : 10,500 sq ft = .24 Acres
Zone : Central Core (CC)
Overlay Districts : Historic Overlay District (HO)

Building Setbacks :
Front - Main Street : 3.0'
East Property Line : 0.0'
West Property Line : 0.0'
Rear - Granite Street Alley : 0.0'
Solar Panels Setback : 6.0'

Additional Building Design Criteria :
Minimum Ground Level Ceiling Height = 10.0'
Minimum Third Level Building Stepback = 10.0'
From Second Level wall at Main Street and Granite Street Alley

Maximum Lot Coverage : None
Density : 16 units per acre
Maximum Allowable : 4
Total Proposed : 4
Maximum Building Height :
Pitched Roof : 40.0'
Flat Roof (2/12 slope) : 35.0'

EXISTING/REMODELED BUILDING DATA

EXISTING BASEMENT GROSS FLOOR AREA
Existing Nest Storage and Mechanical Area : 1,487 sq ft (2-both X7)

EXISTING/REMODELED LEVEL 1 GROSS FLOOR AREAS
Buyer's Resource Realty : 1,000 sq ft (1)
Frisco Psychic : 1,000 sq ft (1)
Existing Center Stairway : 111 sq ft
Pop up Consignment : 515 sq ft (1)
Fine, Fresh and Funky Pop Up Boutique : 486 sq ft (1)
Restrooms : 112 sq ft
Lily Pad Hotel Room : 439 sq ft
New Mechanical Room : 367 sq ft (5)
New South Entrance to Basement : 26 sq ft
Gross Floor Area : 3,253 sq ft (1X2-centerX3-eastX4X6X7)

EXISTING LEVEL 2 GROSS FLOOR AREAS
Vacant Office : 380 (1) sq ft
MM Properties : 357 sq ft (1)
Vinn's Existing : 2,306 (1)
Gross Floor Area : 3,024 sq ft (1X3-centerX7X8X9)

TOTAL EXISTING/REMODELED BUILDING TO REMAIN GROSS FLOOR AREAS
Basement : 1,487 sq ft
Level 1 : 3,253 sq ft
Level 2 : 3,024 sq ft
Total Gross Floor Area Existing Building : 7,764 sq ft

NEW CONSTRUCTION BUILDING DATA

TOTAL NEW RETAIL/RESTAURANT GROSS FLOOR AREA
Basement : 657 sq ft (2)
First Level : 645 sq ft (2)
Second Level : 515 sq ft (2)
Total Gross Floor Area : 1,817 sq ft
Second Level Deck : 115 sq ft (5X10)
Roof Top Deck : 351 sq ft (3X5X10)

TOTAL PEAK 1 TOWNHOME GROSS FLOOR AREA
First Level : 414 sq ft (2)
Second Level : 414 sq ft (2)
Third Level : 355 sq ft (3)
Total Gross Floor Area : 1,183 sq ft

TOTAL BUFFALO MOUNTAIN TOWNHOME GROSS FLOOR AREA
First Level : 347 sq ft (2)
Second Level : 347 sq ft (2)
Third Level : 332 sq ft (3)
Total Gross Floor Area : 1,126 sq ft

TOTAL NICHITA MOUNTAIN TOWNHOME GROSS FLOOR AREA
First Level : 348 sq ft (2)
Second Level : 414 sq ft (2)
Third Level : 344 sq ft (3)
Total Gross Floor Area : 1,161 sq ft

TOTAL LITTLE CHIEF MOUNTAIN TOWNHOME GROSS FLOOR AREA
First Level : 347 sq ft (2)
Second Level : 409 sq ft (2)
Third Level : 338 sq ft (3)
Total Gross Floor Area : 1,098 sq ft

PROPOSED GROSS FLOOR AREA EXISTING-REMODELED and NEW

Existing-Remodeled : 7,764 sq ft
New : 6,375 sq ft
Total Gross Floor Area : 14,139 sq ft

FLOOR AREA NOTES

- (1) = existing - data provided by Property Manager and not verified
 - (2) = includes stairway
 - (3) = does not include stairway
 - (4) = does not include south basement stairway
 - (5) = net floor area
 - (6) = includes area under stairway above 5.0'
 - (7) = as scaled and measured
 - (8) = includes elevator
 - (9) = includes east stairway to Vinn's
 - (10) = not shown in floor area totals
- existing floor areas are off of existing drawings and field measurements and are not to be used for anything but Planning and Building Code reviews.
- calculations are taken to the centerline of common/shared walls and to the exterior of the studs in the new construction and finished exterior (assumed) on the existing structure.
- all new floor areas shown are for Planning Code purposes only and not for Building Code analysis.

PARKING REQUIREMENTS

Main Street Parking Credit : 1/25.0' of Main Street frontage = 3 up to 20% of requirement
Multi-Use Shared Parking Credit :
Maximum Allowable Ground Floor non-Retail/Restaurant area : 1,100 sq ft = 2 spaces @ 1/450 sq ft
Multi-Use Shared Parking Credit : 20% of 2 spaces = 0 spaces
Total Parking Required : 2 spaces (Main Street credit of 3)
Retail/Restaurant : 0 (not required for Main Street)
Peak 1 Townhome : 1
Buffalo Mountain Townhome : 1
Nichita Mountain Townhome : 1
Little Chief Townhome : 1
Lily Pad Hotel Room : 1 (both HG and non-HG)
Total Required : 5
Total Provided : 5

SNOW STORAGE

none is required as there are no exposed parking areas

BIKE RACK

20% of required parking or minimum of 5 bicycle stalls.
Bicycle rack (5 stalls) are proposed at south end of Main Street Courtyard

REFUSE SYSTEM

A 4-yard roll out dumpster is designed for mid-sized restaurants, medical clinics, retail stores, offices, 6-unit apartments, services stations and churches.
A 4-yard dumpster can hold approximately 48 kitchen sized trash bags.
Width : 6.25' / Depth : 4.0' / Height : 4.5'

DRAINAGE CONCEPT

- Existing Courtyard : drains to one downspout into existing landscaped area
- Existing South-Alley : discharges to grade adjacent to the passageway.
Proposing to either discharge in subsurface drainage retention area or to storm sewer in Alley
- Proposed East : internal roof drains to subsurface drainage retention area in the Courtyard
- Proposed East Good Neighbor Walkway : concrete paved walkway connecting to storm sewer in Alley or subsurface drainage retention area below the carport parking. If Neighbor elects not to connect, a curb will be installed at the property line to prevent the existing water discharging onto or flooding this property as currently occurs in two locations.

SNOWGUARDS, GUTTERS AND DOWNSPOUTS

- Snowguards : as required in minimal roof areas on the Courtyard side and on the Alley Carport roof.
- Gutters : New gutters at Alley Carport. Existing gutters are heat taped.
New gutters to be heat taped.
- Downspouts : New downspouts at Alley Carport, and are to be heat taped.

LIGHTING CONCEPT AND DATA

- downlight in deck Joliet area over each townhome front door
- no townhome deck lighting at either level
- downlight in carport areas at end wall
- Teka Beacon wall mount with blanked off tops (IEC FGO certified)
above Retail/Restaurant door
- recessed downcast wall lights at second level and roof top deck at a height not to exceed 3.0'

Teka Illumination
Beacon Wall Mount
Model : BMH-2046
Brown Finish
Lamp : 100W A19
Locations : Retail/Restaurant door
Control : timer
ISO Footcandle lines of Horizontal Illumination
- based on 8'-0" mounting height
- lamp : one 100-watt inside Frosted A-19 incandescent, vertical base-up position
- report based on 1,650 lumens per lamp
- go to the light and find the 3 ridges and solve for a 8-pack - first one units - sleeve by manufacturer over exposed glazing

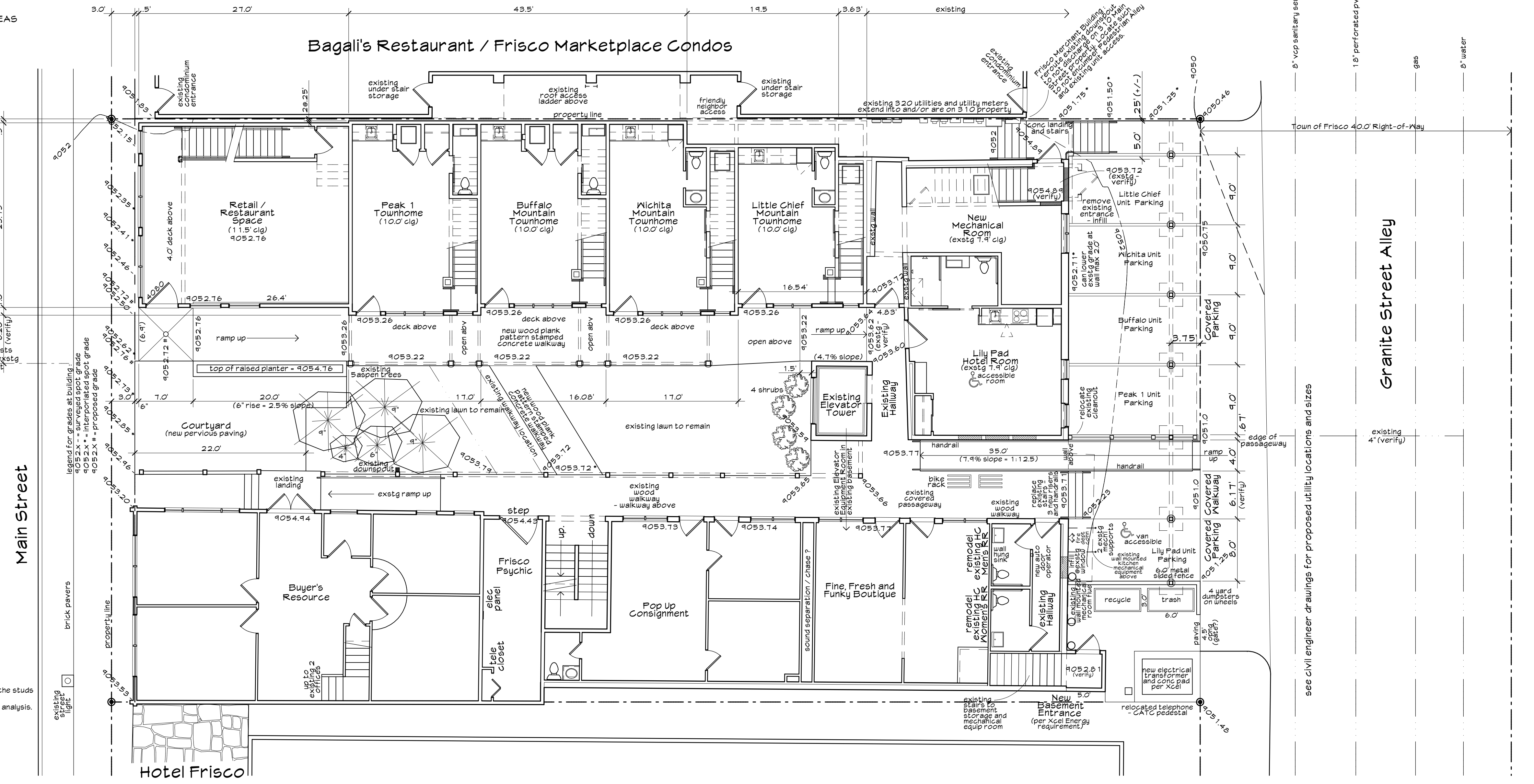
Courtyard Lighting Concept : to be determined by Tenant and any exterior lighting design to be submitted to the Town of Frisco for approval.

BUILDING HEIGHT

See floor plans, roof plan and elevations for building height data

CONSTRUCTION STAGING AREA

- It will be a combination of onsite and offsite, with offsite locations yet to be determined or secured.



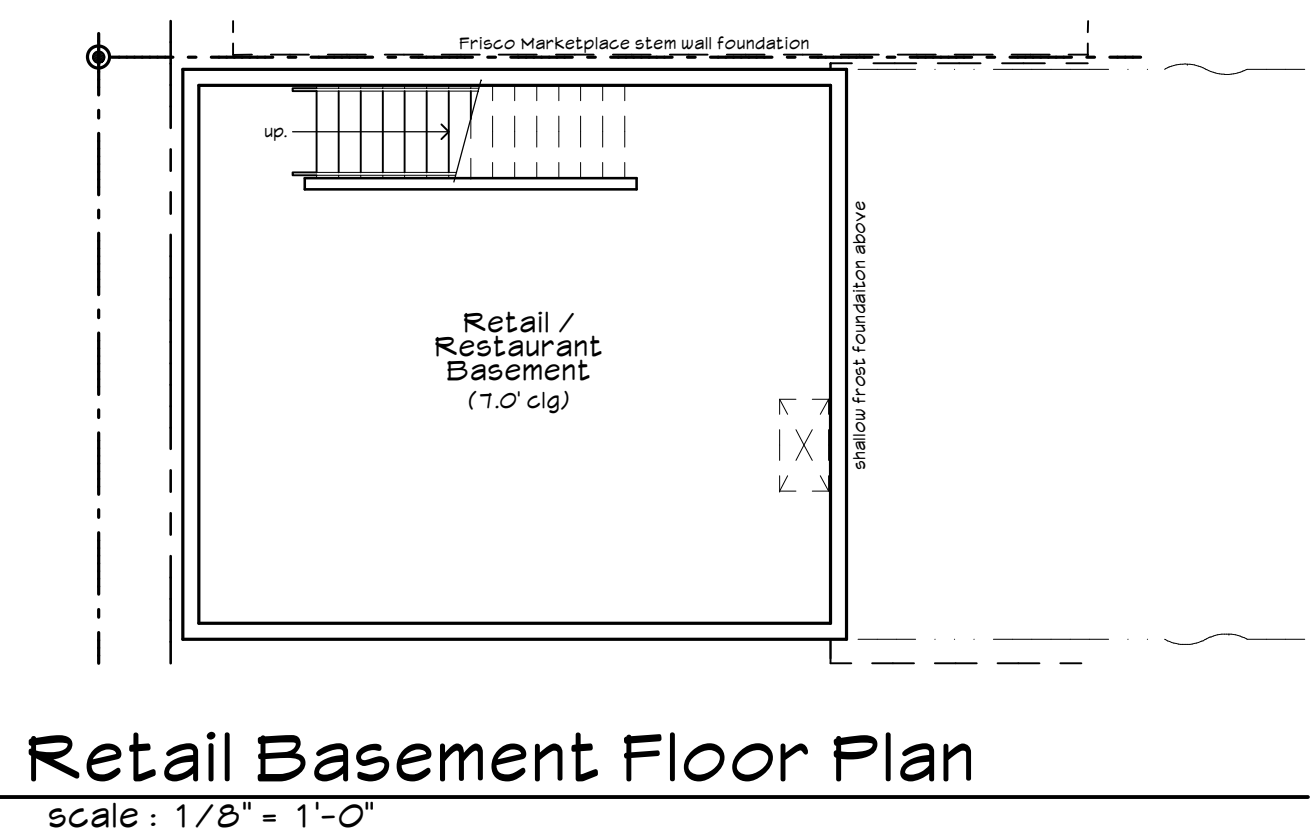
Site Plan and Ground Level Floor Plan
scale : 1/8" = 1'-0"

Rainbow Court
310 Main Street
Lot 3, 4, 5 Block 9 Frisco Town Subdivision
Frisco, Colorado

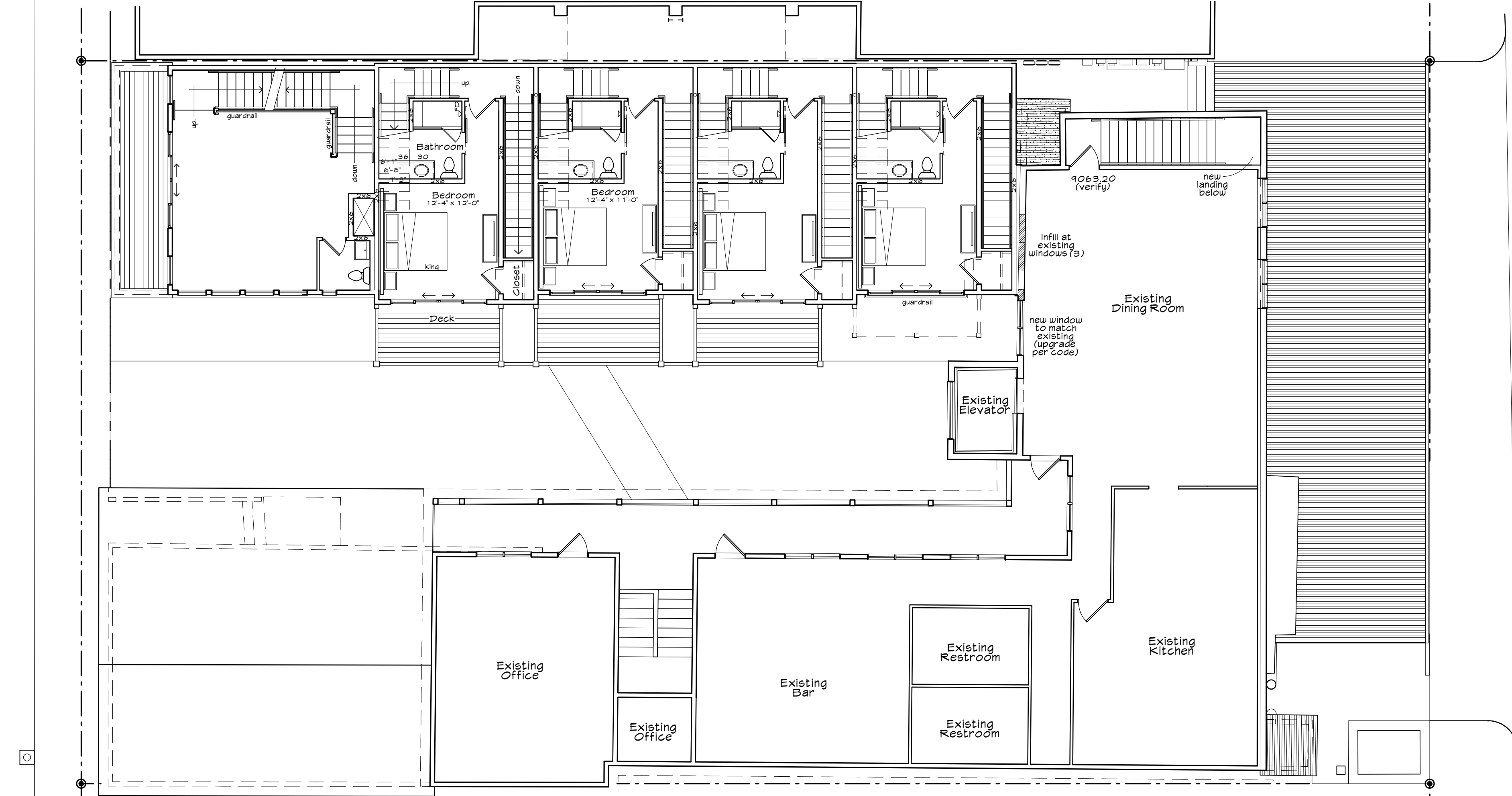
- issued for review by the Design Review Committee 10.19.2018
- issued for Sketch Review by PnZ 11.15.2018
NOT FOR CONSTRUCTION

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Date : 11.15.2018
Drawn By : tc3
Checked By : tc3

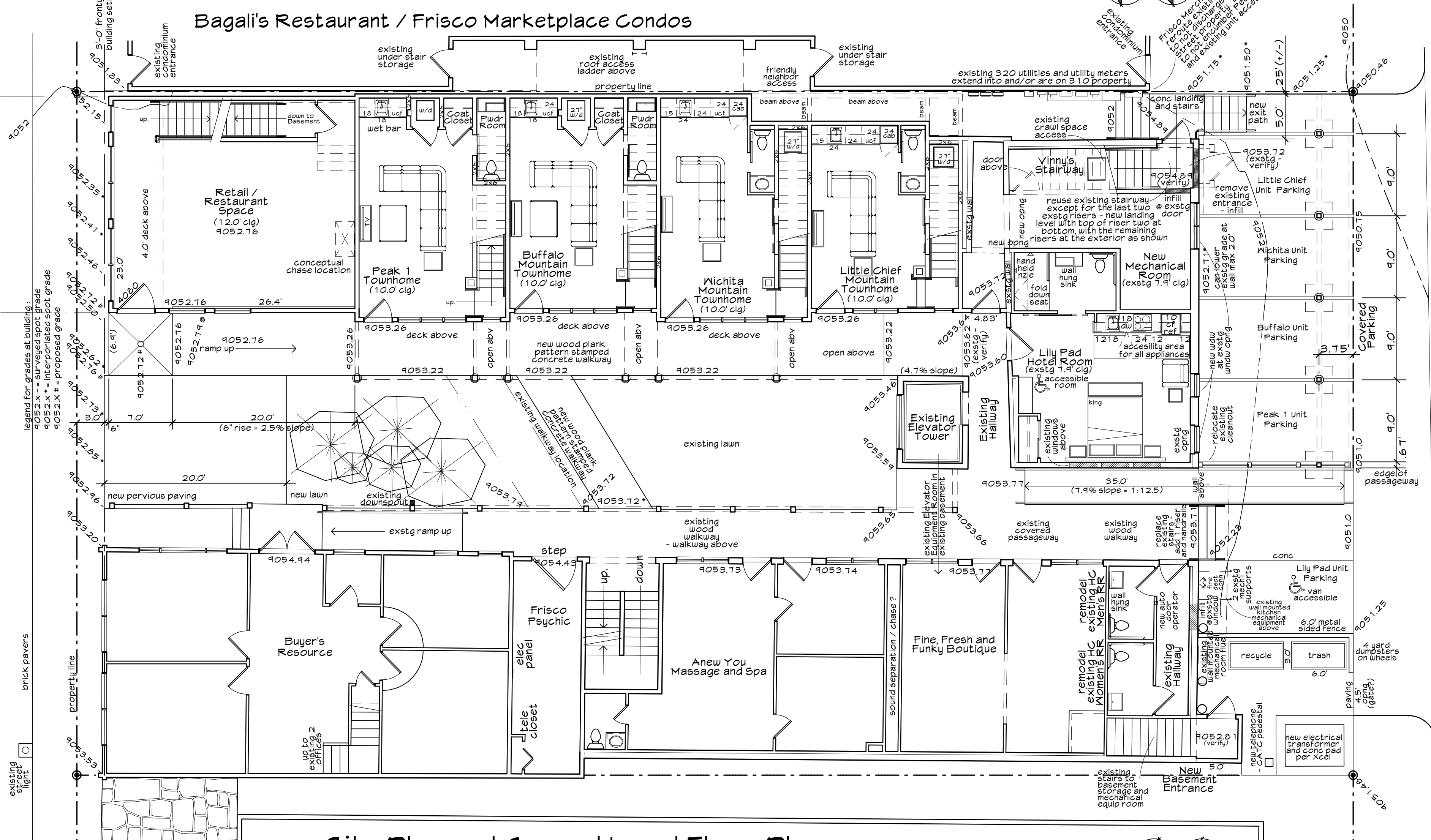
SR-1



Retail Basement Floor Plan
scale : 1/8" = 1'-0"



Mid-Second Level Floor Plan
scale : 1/8" = 1'-0"



Site Plan and Ground Level Floor Plan
scale : 1/8" = 1'-0"

Granite Street Alley

gas

sanitary sewer

storm sewer

further in Alley

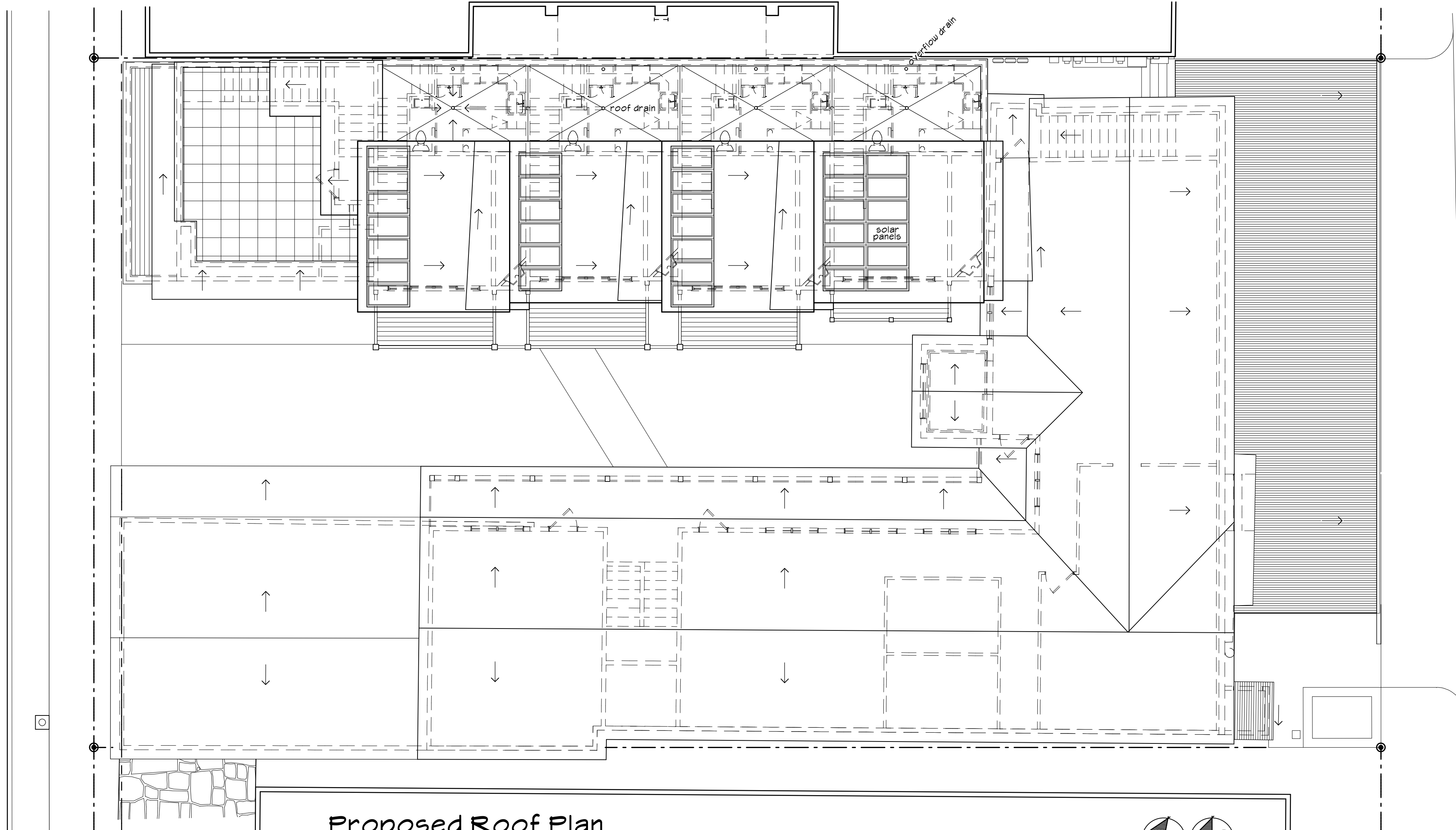
see drawing C-3 for proposed utility locations and sizes

- issued for review
by the Design
Review Committee
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11.15.2018

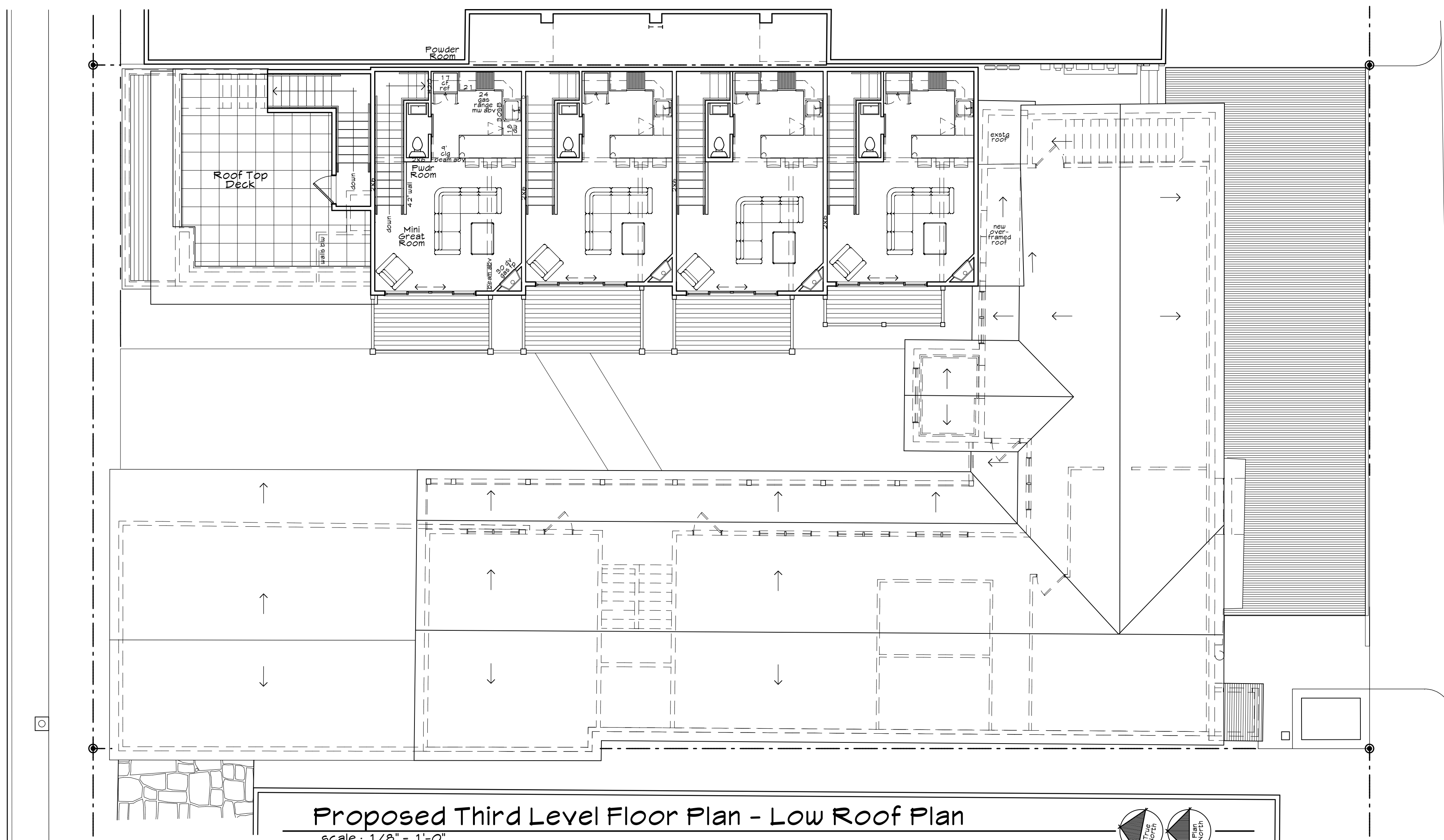
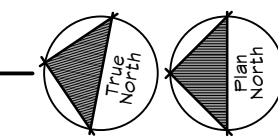
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Drawn By : tc3
Checked By : tc3

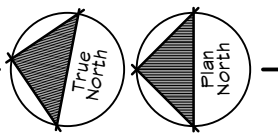
SR-2



Proposed Roof Plan
scale : 1/8" = 1'-0"



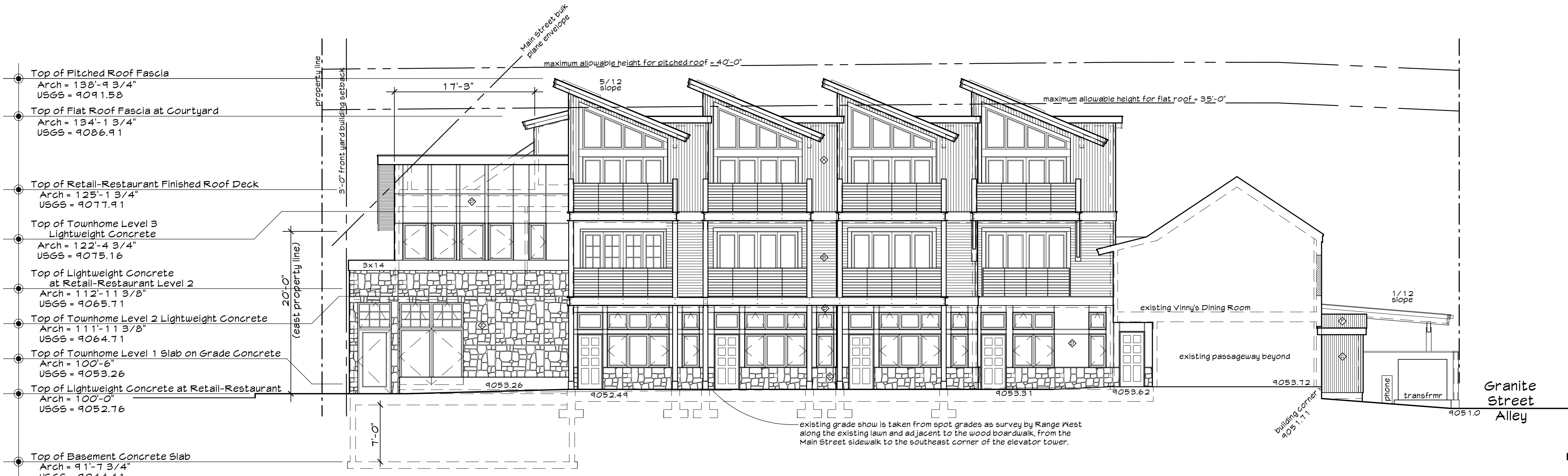
Proposed Third Level Floor Plan - Low Roof Plan
scale : 1/8" = 1'-0"



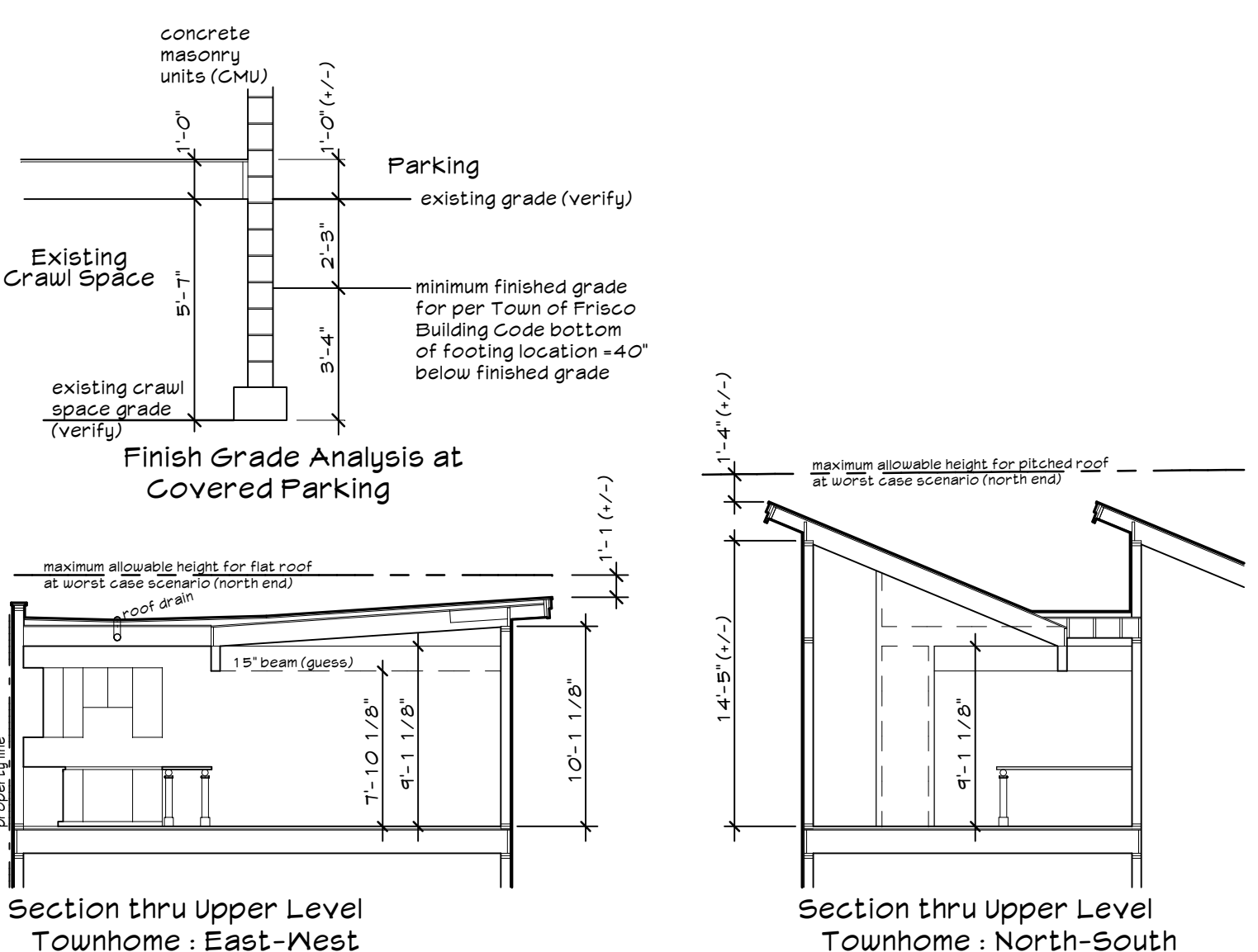
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- Issued for Sketch
Review by PnZ
11.15.2018
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Checked By : tc3

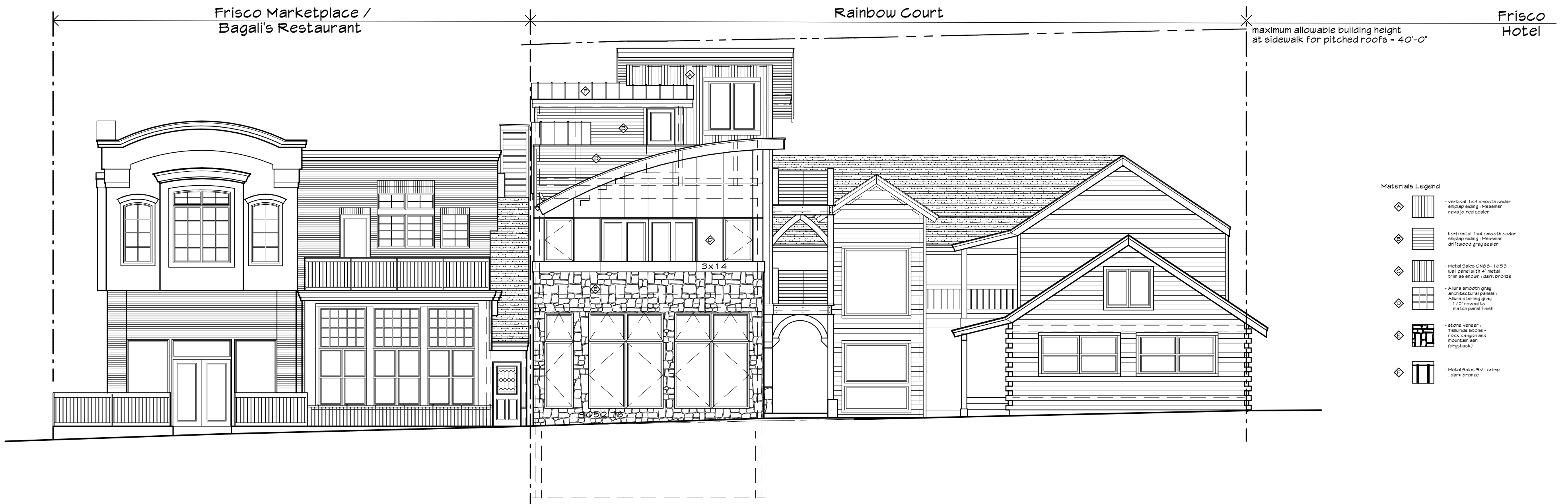
SR-3



Proposed East Building West Elevation - Courtyard View
scale : 1/8" = 1'-0"



Miscellaneous Study Sections
scale : varies



Proposed North Elevation - Main Street View
scale : 1/8" = 1'-0"

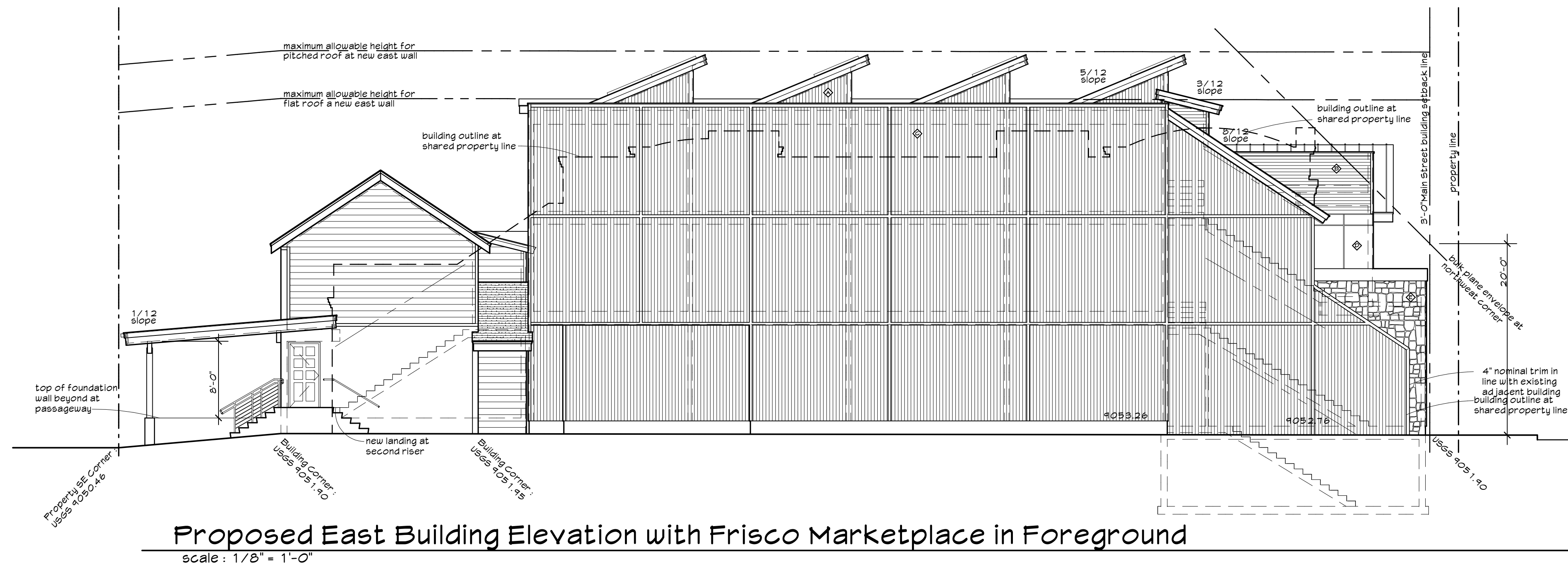
Materials Legend

	vertical 1x4 smooth cedar siding, masonry, metal roof deck
	horizontal 1x4 smooth cedar siding, masonry, aluminum gray stone
	metal roof deck, 1x4 smooth cedar siding, masonry, aluminum gray stone
	aluminum smooth gray, aluminum siding, aluminum siding, aluminum siding, 1/2" metal roof deck
	stone masonry, metal roof deck, aluminum siding, aluminum siding
	metal roof deck, 1x4 smooth cedar siding, masonry

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NOT FOR CONSTRUCTION

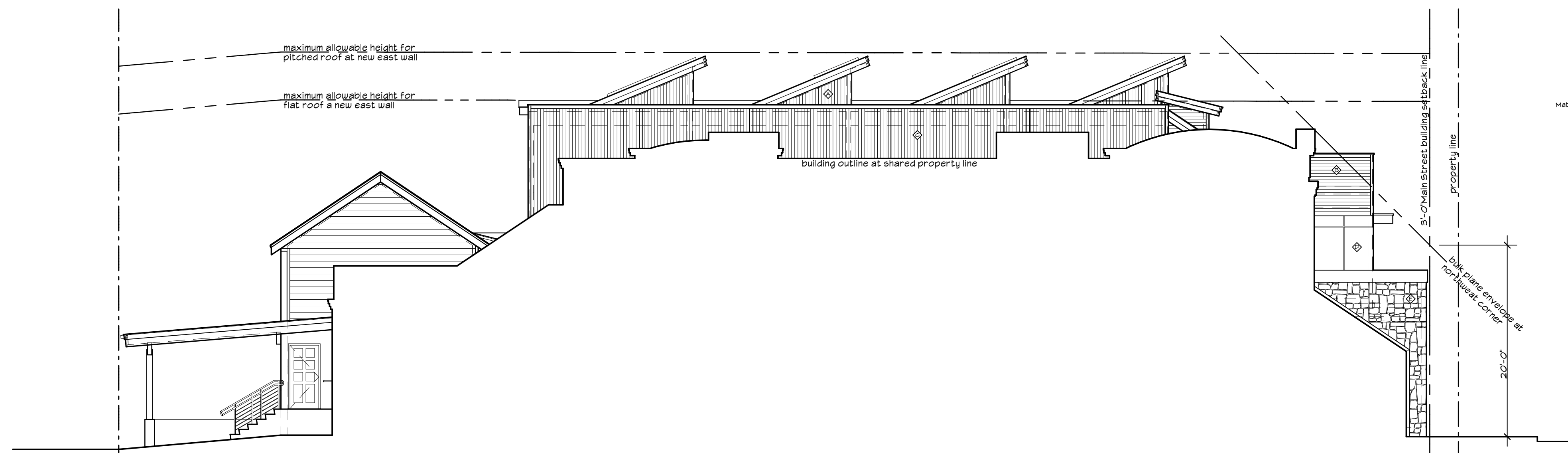
Job No.: 21810
File No.: 21810e8.vwf
Date: 11.15.2018
Drawn By: tc3
Checked By: tc3

SR-4



Proposed East Building Elevation with Frisco Marketplace in Foreground

scale : 1/8" = 1'-0"

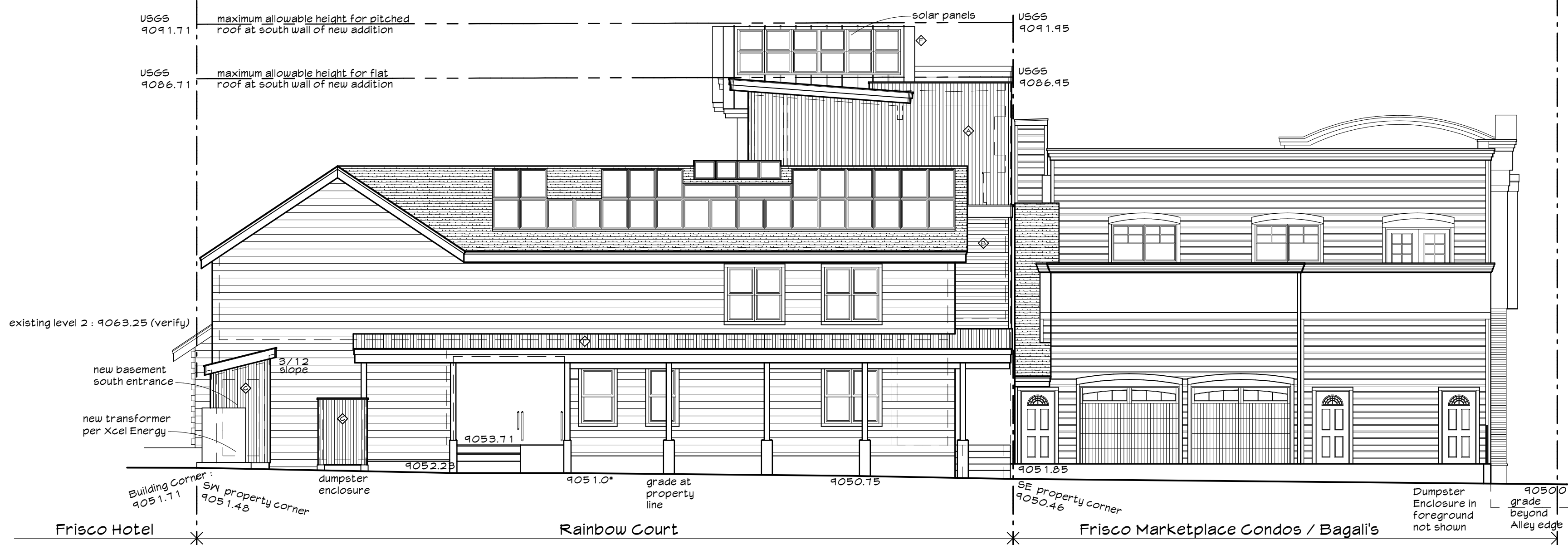


Proposed East Building Elevation with Frisco Marketplace Building Outline at Property Line

scale : 1/8" = 1'-0"

Materials Legend

- Vertical 1x4 wood slat
- Horizontal 1x4 wood slat
- Vertical 1x4 wood slat with metal panel trim
- Horizontal 1x4 wood slat with metal panel trim
- Aluminum extrusion grid
- Aluminum extrusion grid with metal panel trim
- Aluminum extrusion grid with metal panel trim and metal panel trim
- Aluminum extrusion grid with metal panel trim and metal panel trim
- Aluminum extrusion grid with metal panel trim and metal panel trim
- Aluminum extrusion grid with metal panel trim and metal panel trim



Proposed South Elevation - Granite Street Alley view

scale : 1/8" = 1'-0"

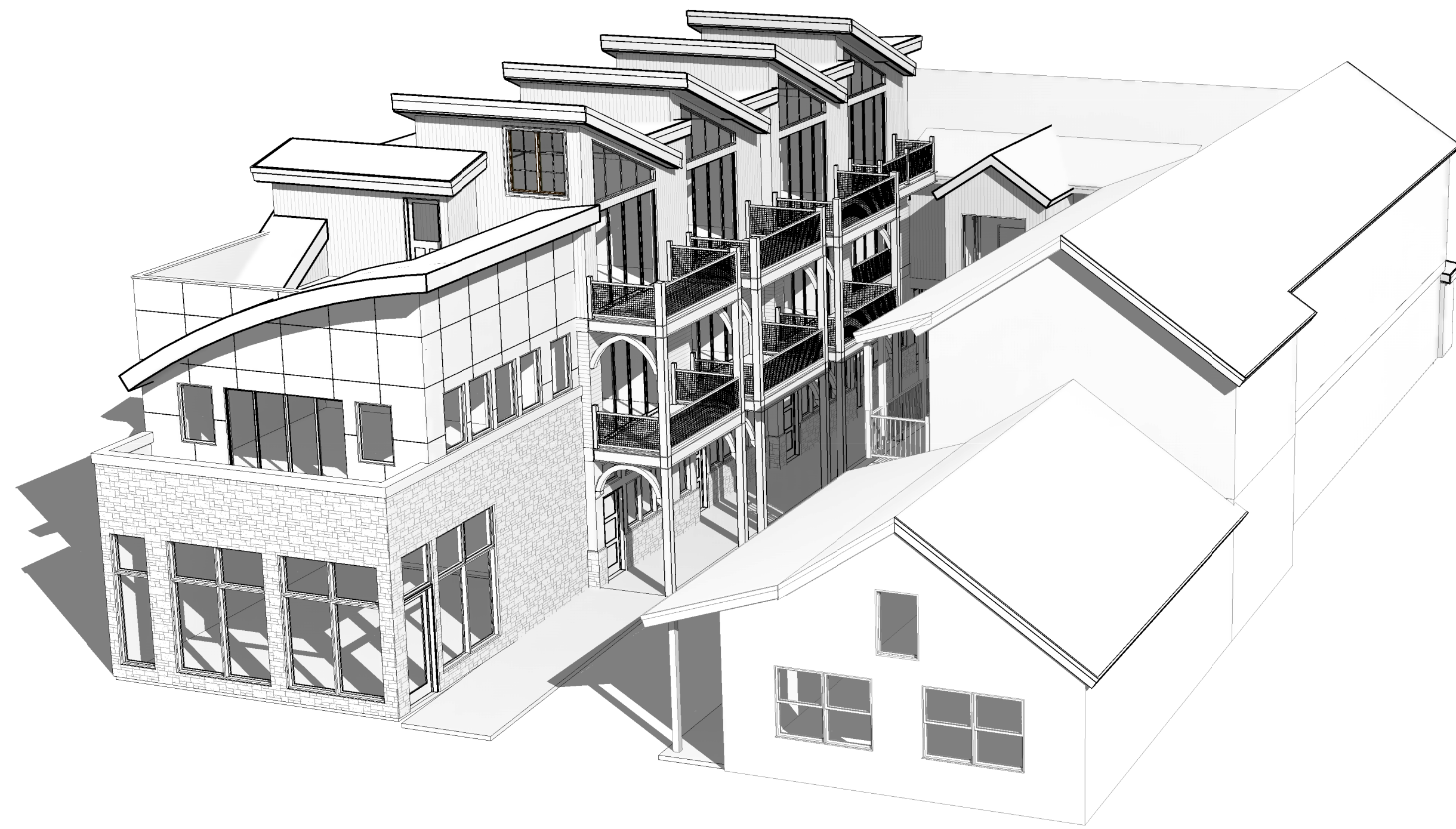
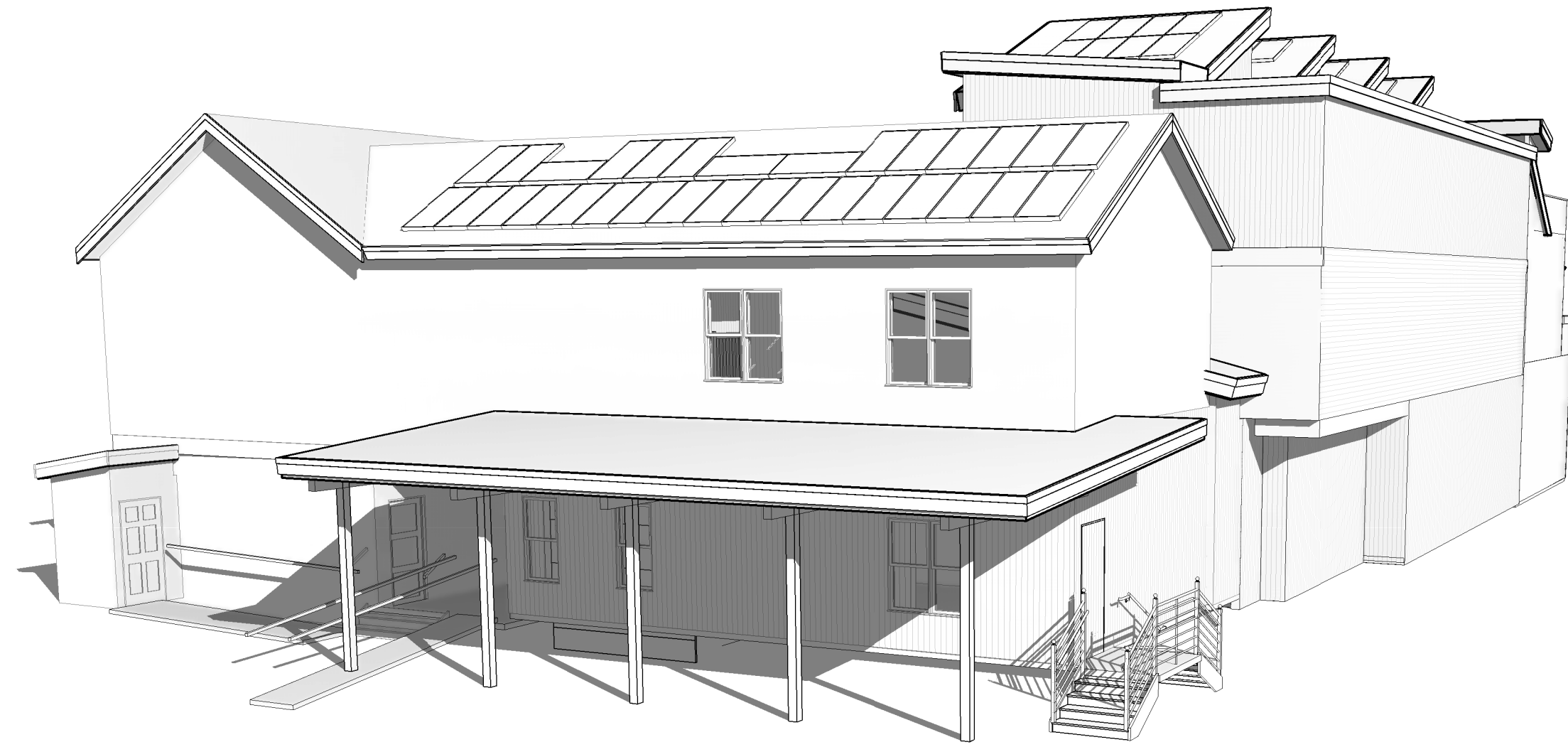
Rainbow Court

310 Main Street
Lot 3, 4, 5 Block 9 Frisco Town Subdivision
Frisco, Colorado

- issued for review by the Design Review Committee 10.14.2018
- issued for Sketch Review by PnZ 11.15.2018
NOT FOR CONSTRUCTION

Job No.: 21810
File No.: 21810e8.vuf
Date: 11.15.2018
Drawn By: tc3
Checked By: tc3

SR-5



Rainbow Court

310 Main Street
Lot 3,4,5 Block 9 Frisco Town Subdivision
Frisco, Colorado

Issued for Sketch
Review by PhZ
11/15/18

job no:	21810
file no:	11/15/18
date:	acs
drawn by:	tc3
checked by:	

SR-6



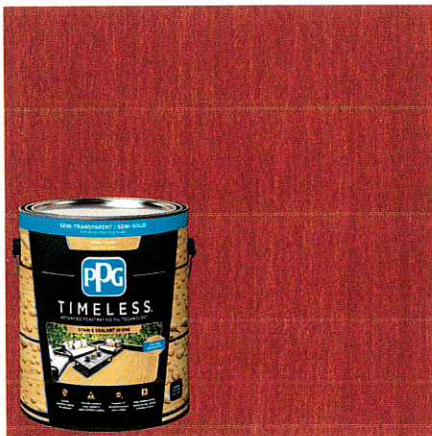
RAINBOW COURT EXTERIOR FINISHES

**Top (3rd) and Middle (2nd) Floors
Soffit Material**

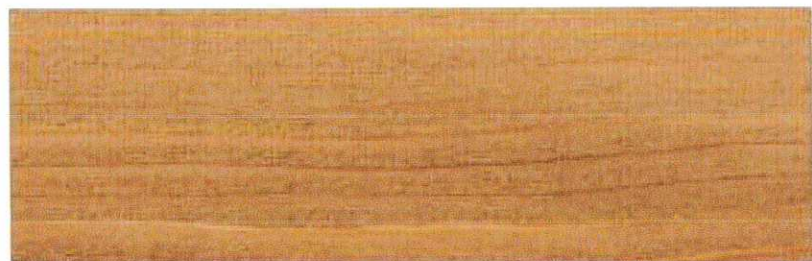


**Top Floor Vertical 1" x 4" Smooth Cedar Shiplap Siding
Color: Messmer's Penetrating Sealer in Navajo Red**

**Second Floor Horizontal 1" x 4" Smooth Cedar Shiplap Siding
Color: Messmer's Penetrating Sealer in Driftwood**

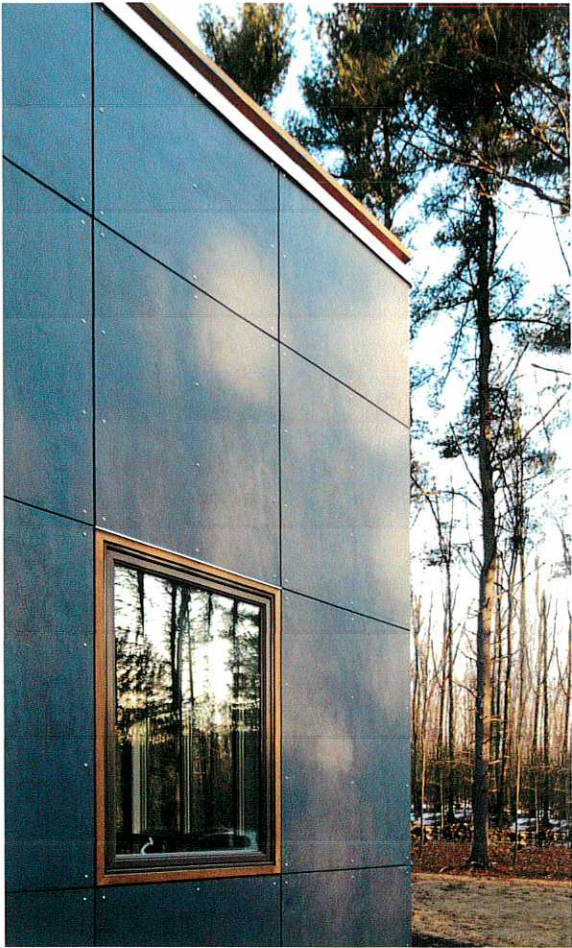


Navajo Red

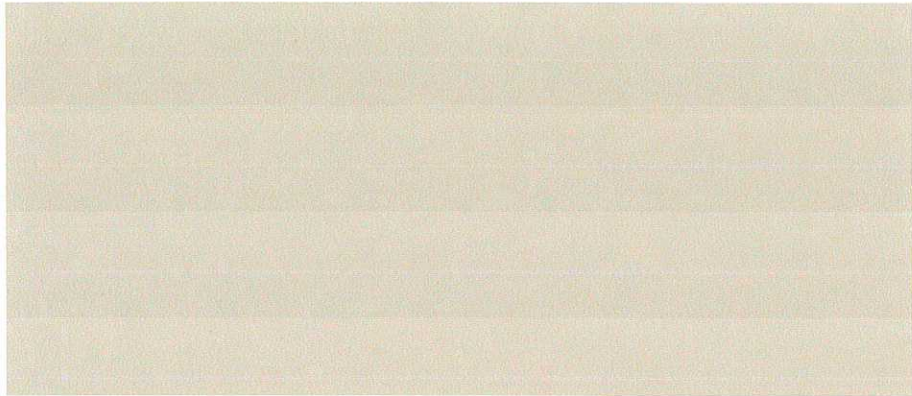


Driftwood Gray

Lower Level



**Allura Smooth Architectural Panels
Color: Allura Sterling Gray**



Sterling Gray

Lower Level



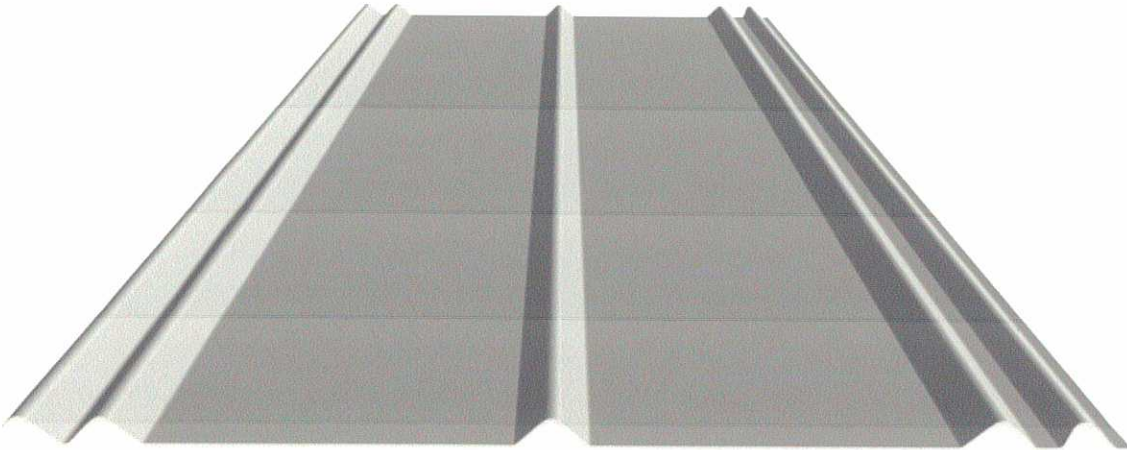
**Stone Veneer
Telluride Stone in Rock Canyon with Mountain Ash
Drystack Application**

Trim / Fascia



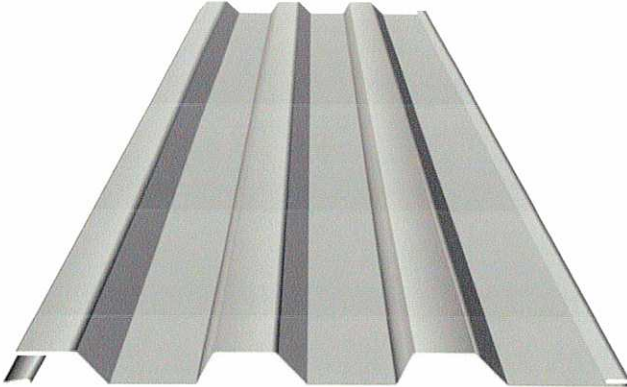
**Composite New Techwood
Color: Dark Bronze**

Roofing Material



Metal Sales 5V-Crimp Roofing
Color: Dark Bronze

Wall Application – East Elevation



Metal Sales CN88-1653 Wall Panel
Color: Dark Bronze

Window Frames

dark bronze



Deck Railings



**Black Metal
Cattle Panel (Not Rusty)**

Decking



**AZEK / Timber Tech
Color: Antique Palm**

Exterior Sconces

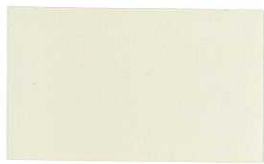


15 1/2" Dark Sky

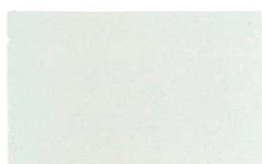


MS COLORFAST45[®] PAINT SYSTEM

29 & 26 GAUGE



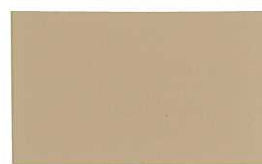
White (30)



★ Polar White (80)



★ Light Stone (63)



★ Mocha Tan (22)



★ Carlsbad Canyon (10) ★



Ash Grey (25)



★ Charcoal (17)



★ Burnished Slate (49)



★ Burgundy (15)



★ Ocean Blue (35) ★



Forest Green (26)



★ Fern Green (07) Low Gloss ★



★ Patina Green (58)



★ Red (24)



★ Patriot Red (73) ★
Upcharge will apply



Brown (12)



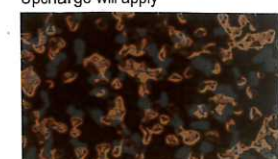
★ Mocha Brown (13)



★ Black (06)



★ Native Copper (190) † ★
Upcharge will apply



★ Rustic Steel (W45) PVDF ★
26 Ga. Only Upcharge will apply



★ Galvalume (41) ★
Non-Painted Finish 25 Year Warranty



★ Galvanized (00)
Non-Painted Finish No Warranty



★ All Colors Meet or Exceed Steep Slope ENERGY STAR[®] Requirements

† Native Copper color may vary visually based on reflection and/or installation angles

metalsales.us.com

45 Year Paint Warranty

metal sales
manufacturing corporation


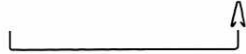

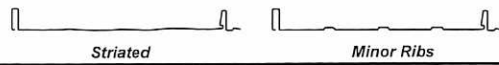












7990 East I-25, Frontage Road
Longmont, CO 80504
800.289.7663 Toll Free
303.702.5440 Phone
800.289.1617 Fax

MS(1R)/04-17

See the back page for other finish options.
All colors carry a 45 year limited paint warranty.
Color selections are close representations but are limited by processing and viewing conditions. Actual samples are available by request.

PRODUCT SOLUTION CHART

PANEL	PROFILE	COVERAGE	MS COLORFAST45®		ACRYLIC COATED GALVALUME®	
			29 GA	26 GA	29 GA	26 GA
VERTICAL SEAM		12"/16"/18"		◆		●
MINI-BATTEN		12"/16"/18"		◆		●
SOFFIT PANEL		12"		●		●
IMAGE II™		12"/16"		●		●
PRO-PANEL II®		36"	●	●	●	●
CLASSIC RIB®		36"	●	●	●	●
PBR-PANEL		36"		●		●
IC72-PANEL		36"		●		●
7/8" CORRUGATED		Roof 32" Wall 34 ² / ₃ "		●		●
2.5" CORRUGATED		24"		■	●	●
1.25" CORRUGATED*		24"		■		●
5V-CRIMP*		24"	■	■	●	●
PBU-PANEL*		36"		■		●
SPAN-LINE 36A*		36"		■		●

Notes:

- ▶ For other colors, finishes, gauges, and materials, please inquire
- ▶ For Image II panel, refer to Image II panel brochure for color selections
- ▶ For panels with asterisk (*) longer lead times will apply

Legend:

- Standard colors are available in any quantity
- ◆ For standard colors, minimum quantity may be required
- Available in limited standard colors

ColorFit40™ 40 Year Finish Warranty

Ash Grey (25)	Charcoal (17)	Taupe (74)
Bright White (39)	Forest Green (26)	White (30)
Brown (12)	Light Stone (63)	Zinc Grey (29)
Burnished Slate (49)	Mocha Tan (22)	
Burgundy (15)	Red (24)	

VersaRib 20 Year Finish Warranty

Bright White (39)	Mocha Tan (22)
Brown (12)	Ocean Blue (35)
Charcoal (17)	Red (24)
Forest Green (26)	White (30)
Light Stone (63)	

Storage Instructions

If metal roofing or siding is not going to be used immediately, it should be stored in a dry area. It should be unbundled and stood on end against an interior wall. If materials must be stored outside, protect with canvas or waterproof paper. Allow for air circulation, do not cover air-tight.

Application precautions

Avoid installing directly over green or damp lumber, porous insulation or other damaging materials. The use of a moisture barrier is recommended in such situations. Strong chemicals, such as fertilizer, manure and lime may cause damage. Storage or application near such materials should be avoided.

HardiePanel®

HardiePanel® vertical siding delivers style and substance. When combined with HardieTrim® boards, it achieves the rustic board-and-batten look that defines cottage charm. The covered seams contribute to a well-insulated home.

Its crisp, clean lines make HardiePanel vertical siding a smart choice for strong, contemporary designs.

HardieTrim®
Batten Boards
Smooth

HardiePanel®
Smooth

True to the tradition of
PERFORMANCE AND BEAUTY.

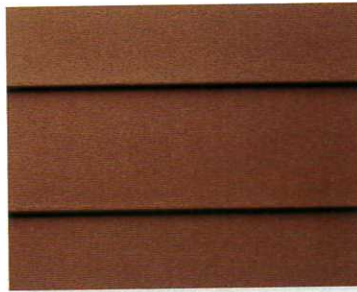
SELECT CEDARMILL®

Woodstock Brown



SMOOTH

Countrylane Red



Thickness	5/16 in.					
Length	12 ft. planks					
Width	5.25 in.*	6.25 in.	7.25 in.	8.25 in.	9.25 in.*	12 in.*
Exposure	4 in.	5 in.	6 in.	7 in.	8 in.	10.75 in.
ColorPlus Pcs./Pallet		280	252	210		
Prime Pcs./Pallet	360	308	252	230	190	152
Pcs./Sq.	25.0	20.0	16.7	14.3	12.5	9.3

BEADED CEDARMILL®

Khaki Brown



BEADED SMOOTH

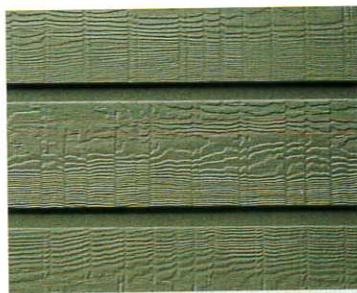
Heathered Moss



Thickness	5/16 in.	
Length	12 ft. planks	
Width	8.25 in.	
Exposure	7 in.	
ColorPlus Pcs./Pallet	210	
Prime Pcs./Pallet	240	
Pcs./Sq.	14.3	

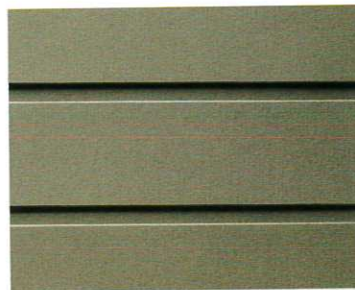
CUSTOM COLONIAL ROUGHSAWN®**

Mountain Sage



CUSTOM COLONIAL SMOOTH®**

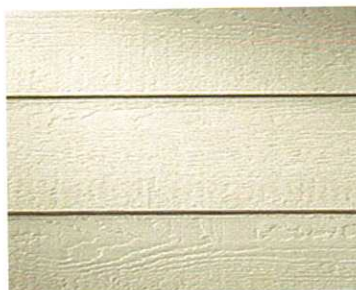
Timber Bark



Thickness	5/16 in.	
Length	12 ft. planks	
Width	8 in.	
Exposure	6.75 in.	
ColorPlus Pcs./Pallet	216	
Prime Pcs./Pallet	240	
Pcs./Sq.	14.9	

RUSTIC CEDAR***

Not available with ColorPlus Technology



Thickness	5/16 in.	
Length	12 ft. planks	
Width	6.25 in.	8.25 in.
Exposure	5 in.	7 in.
Pcs./Pallet	308	230
Pcs./Sq.	20	14.3

*These 5.25 in., 9.25 in. and 12 in. are only available primed.

**Custom Colonial Roughsawn and Custom Colonial Smooth are only available in the HZ10 zone.

***Rustic Cedar available exclusively in Washington, Denver and Oregon districts.

Products are available primed or with ColorPlus Technology finishes. All sizes and textures not available in all areas.

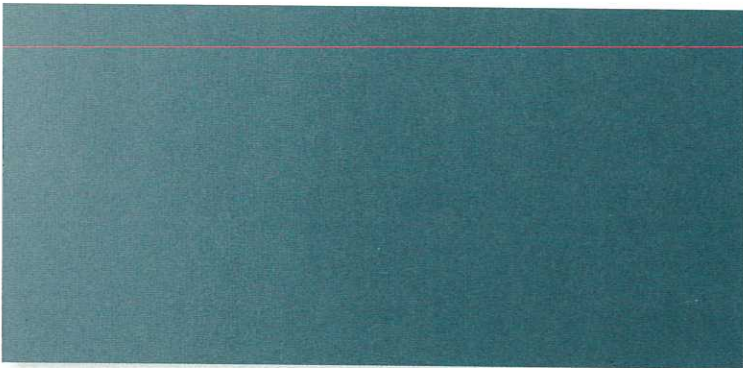
For more details, visit jameshardiepros.com



SELECT CEDARMILL®

Navajo Beige

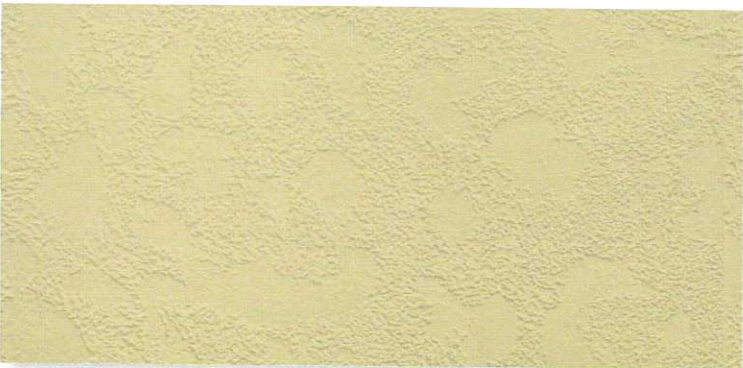
Thickness	5/16 in.		
Size	4 ft. x 8 ft.	4 ft. x 9 ft.*	4 ft. x 10 ft.
Pcs./Pallet	50	50	50
Pcs./Sq.	3.2	2.8	2.5



SMOOTH

Evening Blue

Thickness	5/16 in.		
Size	4 ft. x 8 ft.	4 ft. x 9 ft.*	4 ft. x 10 ft.
Pcs./Pallet	50	50	50
Pcs./Sq.	3.2	2.8	2.5



STUCCO

Navajo Beige

Thickness	5/16 in.		
Size	4 ft. x 8 ft.	4 ft. x 9 ft.*	4 ft. x 10 ft.
Pcs./Pallet	50	50	50
Pcs./Sq.	3.2	2.8	2.5



SIERRA 8

Not available with ColorPlus Technology

Thickness	5/16 in.		
Size	4 ft. x 8 ft.	4 ft. x 9 ft.*	4 ft. x 10 ft.
Pcs./Pallet	50	50	50
Pcs./Sq.	3.2	2.8	2.5

*All 4 ft. x 9 ft. HardiePanel vertical siding only available primed.

HardieShingle®

Restore the look of a grand Cape Cod or add distinction to a handsome bungalow. HardieShingle® siding embodies the enchanting look of cedar shingles with lower maintenance.

Better than the real thing, HardieShingle siding resists rotting, curling, warping and splitting.

HardieTrim®
4/4 x 7.25 in.

HardieShingle®
7 in. Straight
Edge Panel

Achieve the handcrafted
LOOK OF CEDAR.