



**PLANNING COMMISSION
STAFF REPORT**

May 17, 2018

AGENDA ITEM: Planning File No. 078-18-MAJ: A review of the Sketch Plan step of the Major Site Plan Application for the proposed Frisco Bay Marina new office building.

LOCATION: 280 Marina Road / Unplatted (TR 5-78 Sec 35 QTR 1)

ZONING: Parks and Recreation (PR) District

APPLICANT: Town of Frisco
1 Main Street
Frisco, CO 80443

PROPERTY OWNER: Denver Municipal Water Works
1600 West 12th Avenue
Denver, CO 80204

ARCHITECT: Matthew Stais Architects
PO Box 135
Breckenridge, CO 80424

TOWN STAFF: Bill Gibson, Assistant Community Development Director
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PROJECT DESCRIPTION

Operations at the Frisco Bay Marina have outgrown their current location in the historic Lund House. So the applicant, Town of Frisco, represented by Matthew Stais Architects, is proposing to construct a new office building at the Frisco Bay Marina. With the exception of the Island Grill restaurant, the marina uses currently occupying the Lund House (administrative offices, guest services, retail sales, etc.) will be relocated to the new building upon its completion. The Island Grill restaurant will remain in its current location until such time as a new, separate restaurant building is constructed in the future.

The Town of Frisco is also currently in the process of updating the Marina Master Plan. The master plan update is not yet finalized, but the proposed new office building has been designed to accommodate both the existing site conditions and the future site conditions being contemplated in the current master plan update.

The proposed new office building will be located along the shore of Dillon Reservoir east of the existing Lund House and boat ramp driveway. The new two-story office building will have 4,311 square feet of floor area and will include: retail space, staff offices, support spaces, and separate restrooms for staff, customers, and boat slip holders.

The exterior building materials include: western red cedar shingle siding, standing seam panel accent siding, roughsawn cedar trim, exposed concrete foundation walls, mill finished aluminum window and door cladding, clear anodized aluminum storefront window cladding, and black walnut colored asphalt roof shingles.

For a more complete project description, please refer to the attached application materials.

BACKGROUND

The initial design for the marina was outlined in the 1988 “Lakefront Park Master Plan”. The master plan for the marina was subsequently updated in 1991, 1997, 2001, and 2008. In late 2017, the Town of Frisco initiated a new update to the Marina Master Plan. This update is scheduled for completion and adoption in late summer or fall of this year.

As noted in the Applicant’s narrative, the Frisco Bay Marina was established in the late 1980’s. Most of the marina is located on land leased by the Town of Frisco from Denver Water. The historic Lund House which serves as the marina office was moved to its current location in 1998. The existing Island Grill restaurant addition was constructed in 2005.

In 2014, the Town of Frisco secured U.S. Army Corp of Engineers permits for the “Big Dig” project. The Big Dig is a proposed dredging and excavation of the marina boat mooring and dock areas to increase the operational water depths of the marina. This project is intended to improve boating navigation, extend the duration of the annual boating season, and to reduce the impacts of low water level conditions. The dredging and excavation spoils from the Big Dig are to remain on-site which creates an opportunity for additional waterfront land development. Since 2014, the Town has been waiting for favorable weather, snowpack, and water level conditions to begin implementation of the Big Dig. The current Marina Master Plan update is reevaluating the physical layout of the marina and how to best utilize the spoils from the Big Dig to create a new lake shore design that will enhance both operations and the guest experience of the marina. The current plan will include recommendations to realign the pier and boat docks and to relocate the boat ramp. The proposed marina office building has been designed to both accommodate the existing site conditions at the marina, and implement the future vision now being recommended by the master plan update.

On May 2, 2018, a pre-application meeting was conducted by the Town of Frisco’s Development Review Committee (DRC) which consisted of representatives from the Town’s Planning Division, Building Division, and Public Works Department along with referral agency representatives from Summit Fire and the Frisco Sanitation District. A variety of topics were discussed and items that will need to be addressed by the final site plan application were identified.

Below is a vicinity map of the subject property with an aerial photography base layer. The location of the property lines shown on this map vary in accuracy and should only be used for reference purposes. Photographs of the subject property are included for reference.



Vicinity Map



View from the Island Grill upper dining deck

SKETCH PLAN REVIEW

A sketch plan review is an opportunity for Planning Commission to comment on the various aspects of a development proposal including proposed uses, parking and traffic circulation, architecture, landscape design, and compatibility with the neighborhood. It is also an opportunity for the applicant to listen to Commissioners' comments and make changes to the proposal prior to a final site plan application submittal.

Pursuant to Section §180-2.5-D-3, Frisco Town Code (in part):

- a. *All applications for major site plans shall present an informal sketch plan of the development before a regularly scheduled meeting of the Planning Commission. The applicant shall notify the Community Development staff in writing at least 21 calendar days prior to the Planning Commission meeting at which the sketch plan is requested to be presented. Materials to be presented in support of the development must be of sufficient nature to allow the Planning Commission and Community Development staff to provide informed feedback on the project. At a minimum the applicant must submit the following information:*
 - i. *Written project description, including a synopsis of the proposed development program, and how the project will meet the principles of the Master Plan and the standards of the zoning code;*
 - ii. *Site plan showing the location of the building(s) and other improvements (retaining walls, berms, dumpster locations, open space, etc.) with dimensions to setbacks, property lines, easements, north arrow, scale (no smaller than 1"=20'), legend, vicinity map;*
 - iii. *Existing and proposed utility (main and service) lines;*
 - iv. *Existing and proposed topography at 2 foot intervals, including 50 feet beyond the property boundary, existing easements, lot dimensions, lot size in square feet/acreage;*
 - v. *Existing site characteristics map with vegetation, wetlands, unique natural features;*
 - vi. *Parking space location and counts and traffic circulation design, with driveway locations, points of access from right-of-way, preliminary grades, bike and pedestrian improvements;*
 - vii. *Proposed landscaping, post-development grades, snow storage, preliminary stormwater plan showing approach to stormwater handling;*
 - viii. *Scaled drawings of all building locations and schematic elevations; and*
 - ix. *Samples of all colors and materials proposed.*
- b. *The Planning Commission may require an applicant to return for additional sketch plan presentations if sufficient information is not received or if substantial changes to a proposal are recommended. Presentation of a sketch plan neither binds the Planning Commission to approve a site plan, nor does it confer the applicant any vested rights.*
- c. *The sketch plan presentation shall become null and void if a complete major site plan application is not submitted to the Community Development Department within 90 days after the date of the Planning Commission's review of the sketch plan.*

A final site plan application for this proposal will require Planning Commission review. The proposal will be reviewed in detail for conformance with the Frisco Community Plan and compliance with the Unified Development Code (UDC) at that time.

ANALYSIS - FRISCO COMMUNITY PLAN

The following elements of the Frisco Community Plan are applicable to the review of the proposed development:

Plan Overview (excerpt)

The Frisco Town Charter requires that the Town's master plan be updated every five years in order to respond to changing times. The 2011 master plan update is titled the 'Frisco Community Plan.' Periodically updating the Frisco master plan is a critical step in the process to maintain a vibrant mountain town, balance the town's reputation as a great destination, ensure a strong yet diverse economic base, and preserve our quality of life. The community realizes intentional planning for the future is necessary to ensure that the Town of Frisco continues to evolve as a resilient community.

Purpose ~ The Frisco Community Plan's purpose is to identify common values and guide direction to connect, sustain and create the future of the Town of Frisco over the next 5 years.

Connect ~ Connections are a core tenet of the Frisco Community Plan; they reflect the way people, organizations and neighbors relate to each other in the Frisco community. Connections help to address needs of the community.

Sustain ~ Everything is interrelated. Sustainability is the fundamental approach of the Frisco Community Plan; it recognizes the social, environmental and economic influences on the community, and aims over the long-term to balance these influences to support community success.

Create ~ Creation of lasting community relationships is an important aspect of the Frisco Community Plan. The plan creates the community's direction for a preferred future of Frisco."

Chapter 2. Community Direction (excerpts)

The Frisco Community embraces itself as a vibrant mountain town, and seeks opportunities to enhance and maintain vibrancy through art and culture, the built environment, community services, energy, the economy, health and well-being, housing, natural resources, recreation and transportation. ~ Community Plan Quality of Life statement

Art & Culture

Frisco is a community that celebrates its history, honors its eclectic influences and promotes artistic and cultural opportunities.

- *A&C 1. Preserve and enhance the Town's historic resources.*
- *A&C 2. Enhance Frisco as a cohesive community, which includes full-time residents, second homeowners, businesses and visitors.*
- *A&C 3. Promote public art.*
- *A&C 4. Improve existing community programs and/or explore opportunities to develop new effective programs to benefit Frisco.*
- *A&C 5. Celebrate and highlight Frisco's heritage.*

Built Environment

Frisco is a community that encourages land uses and architectural styles to fit its mountain town identity, and strives for development with sustainable design, materials and practices.

- *BE 1. Encourage eclectic and sustainable designs for new construction and redevelopment to enhance the community's character.*
- *BE 2. Ensure the design of Frisco's public spaces, streets and pathways reflect Frisco's mountain town character.*
- *BE 3. Preserve and enhance the Main Street area as the heart of the community.*
- *BE 4. Enhance the Summit Boulevard area as a primary gateway and as a functional and efficient economic center of the town.*
- *BE 5. Promote attractive and safe connections between all areas and sections of the town.*

Community Services

Frisco is a community that expects quality community services, and seeks to ensure adequate resources are available over the long-term.

- *CS 1. Ensure Town government efficiencies and cost effectiveness.*
- *CS 2. Provide a sufficient level of quality Town services, maintain existing Town infrastructure and lead by example to promote cost-effective sustainable practices.*
- *CS 3. Improve communication between Town officials and the community.*
- *CS 4. Encourage community involvement for the establishment of Town government programs, services and policies.*
- *CS 5. Support efforts of non-profit organizations that enhance the lives of Frisco's residents and businesses.*

Energy

Frisco is a community that supports zero waste principles, encourages use of clean energy opportunities and promotes resource conservation.

- *EN 1. Explore and implement cost effective options for utilizing alternative energy sources for Town government infrastructure, buildings and vehicles.*
- *EN 2. Continue to promote zero-waste community events.*
- *EN 3. Promote zero-waste opportunities for residents and businesses.*
- *EN 4. Encourage the use of recycled materials, renewable energy sources and the use of green and energy efficient building practices.*
- *EN 5. Promote conservation and use of resources to maintain a sustainable community for generations to come.*

Economy

Frisco is a community that promotes a diverse, sustainable, year-round economy.

- *EC 1. Develop economic strategies to encourage a diversity of commercial businesses in town.*
- *EC 2. Continue to promote the town as a year-round destination.*
- *EC 3. Encourage and direct economic growth.*
- *EC 4. Allocate public resources to effectively support and encourage cost-effective private investments that enhance the community.*
- *EC 5. Support the creation and outlet for local markets and support local workforce policies.*

Housing

Frisco is a community that recognizes the importance of ensuring a variety of housing opportunities are available for people to live and work here.

- *HS 1. Encourage a mixture of housing unit sizes and types within new residential developments.*
- *HS 2. Ensure new housing is compatible with adjacent properties and compliments existing neighborhoods.*
- *HS 3. Provide a variety of affordable housing opportunities, regulations and/or programs that meet the needs of the Frisco residents.*
- *HS 4. Promote and encourage public/private partnerships for the development of affordable housing to achieve the highest quality housing possible.*
- *HS 5. Implement strategies that complement existing housing programs to ensure a diverse community.*

Health & Well-being

Frisco is a community that promotes healthy lifestyles, which support good physical health and mental well-being.

- *HW 1. Recognize and promote opportunities for physical activity.*
- *HW 2. Support efforts to promote healthy eating and lifestyle choices.*
- *HW 3. Implement walkability (includes pedestrians, bikes, etc.) concepts into Town government land use regulations.*
- *HW 4. Promote opportunities to encourage community participation and neighborhood events.*
- *HW 5. Provide community gathering spaces for people, groups and organizations, to enhance Frisco's character.*

Natural Resources

Frisco is a community that protects its natural resources, and promotes sustainable practices and policies.

- *NR 1. Protect and preserve surrounding natural areas that contribute to and enhance the community's mountain character.*
- *NR 2. Ensure scenic viewsheds of locally identified points of interest, including Mt Royal, Wichita, Chief, Buffalo, and Dillon Reservoir/Continental Divide, are maintained as practical as possible.*
- *NR 3. Cooperatively work with Denver Water, the US Forest Service, Summit County government, and other municipal and county agencies to preserve, enhance and manage natural areas.*
- *NR 4. Manage noxious weeds, protect water quality and water quantity, promote reforestation and reduce light pollution throughout the community.*
- *NR 5. Educate residents, businesses and visitors on sustainable practices to maintain Frisco's natural resources.*

Recreation

Frisco is a community that celebrates active mountain lifestyles and promotes its diverse year-round recreational opportunities.

- *RE 1. Produce community recreational opportunities and programs for all ages.*
- *RE 2. Coordinate with the US Forest Service to maintain, enhance and expand the local public trails.*
- *RE 3. Coordinate with Denver Water to enhance amenities at the Frisco Bay Marina and along Frisco's shoreline with the Dillon Reservoir.*

- *RE 4. Support efforts to develop public spaces that provide recreational diversity and enhance Frisco’s vitality.*
- *RE 5. Continue to enhance the Town’s park and recreational areas to provide diverse recreational opportunities.*

Transportation & Mobility

Frisco is a community that provides a safe and efficient multi-modal transportation system, and promotes walkability, bicycling and alternative modes of travel.

- *TM 1. Enhance non-vehicular (pedestrians, bicyclists, etc.) safety in commercial core areas with sidewalks, lighting, bike racks, and crosswalks.*
- *TM 2. Maintain the town’s paved pathway system, and enhance connections to the community’s neighborhoods, parks, commercial areas and to the county-wide recpath system.*
- *TM 3. Support transportation programs that provide regional and local connections.*
- *TM 4. Explore options for improved traffic circulation, access and connections throughout town.*
- *TM 5. Participate in regional transportation planning efforts, which contribute to the town.*

The application appears to conform to multiple recommendations of the Frisco Community Plan.

PUBLIC COMMENT

The Community Development Department has not received any formal public comments concerning this project as of May 10, 2018.

ANALYSIS – FLOOD HAZARD AREAS [Chapter 97]

Chapter 97 of the Code of the Town of Frisco regulates construction within floodplains. Portions of the marina are located within a Special Flood Hazard Area (SFHA) associated with Dillon Reservoir that is subject to inundation by the 1% annual chance flood, also known as the 100-year flood.

All new structures located within an SFHA must comply with the standards outlined in §97-11, General Standards, including, but not limited to, utilizing construction methods and practices that minimize flood damage and installing building materials that are resistant to flood damage.

Pursuant to §97-12.B, Nonresidential Construction, the new marina office building shall either have its lowest floor elevation one (1) foot above the base flood elevation (BFE) or be designed so that one (1) foot above the base flood elevations the structure is watertight with walls substantially impermeable to water and with structural components capable of resisting hydrostatic and hydrodynamic loads and effects of buoyancy.

The Federal Emergency Management Agency’s (FEMA) adopted Flood Insurance Rate Map (FIRM) identifies this SFHA as a Zone A. Zone A areas do not have a Base Flood Elevation (BFE) determined and designated on the flood map. However, data is available from the Flood Insurance Study (FIS) for the nearby Ten Mile Creek. The floodplain associated with Ten Mile Creek is designated as Zone AE which has a determined BFE of 9024.5 at its outlet into Dillon

Reservoir. Unless the Applicant can provide site specific data and analysis prepared by a licensed engineer that demonstrates differently, the BFE applicable to this project is 9024.5.

The submitted application materials identify the first floor elevation of the new office building to be 9025.0 to match the first floor elevation of the existing Lund House. The Lund House, however, is not located within the floodplain according to the FIRM. Based upon a BFE of 9024.5, the first floor of the proposed building must be raised by 0.5 feet or be waterproofed. The application must demonstrate compliance with all applicable provisions of Chapter 97 at the time of final site plan review.

ANALYSIS – PARKS AND RECREATION (PR) DISTRICT [§180-3.14]

The requirements of the Parks and Recreation (PR) District are applicable to the review of the proposed project as follows:

Purpose: The purpose of the PR district is as follows:

“To allow for land uses that offer a variety of active and passive recreational pursuits.”

Minimum Lot Area: There is no lot area requirement within the PR District.

Minimum Lot Frontage: There is no lot frontage requirement within the PR District.

Setbacks: The minimum required setbacks and proposed the setbacks for this application are as follows:

	Minimum Setback	Proposed Setback
Front Yard	30 feet	>700 feet
Side Yards	30 feet	>800 feet
Rear Yard	30 feet	>1,600 feet

Lot Coverage: There is no lot coverage requirement within the PR District.

Maximum Building Height: The maximum building height is twenty-five (25) feet. Additionally, pursuant to §180-3.17.7:

A. *In the PR District, upon Planning Commission approval, a maximum height up to 35 feet may be permitted when necessary to accommodate for special recreation specific needs and when the following criteria are met:*

1. *That substantial architectural relief is provided to alleviate the feeling of mass.*
2. *That the additional height allowance provides a recreational amenity that is unique and desired in Frisco, and is supported in the Master Plan.*

B. *In the PF District, the Planning Commission may allow a maximum of 35 feet for schools or other public buildings when necessary to accommodate special public, utility, or institutional needs.*

Based upon the application materials provided, the proposed building is approximately 35 feet in height as measured from existing grade to the peaked roof of the elevator tower element. Staff recommends that the Planning Commission provide the applicant with feedback about the appropriateness of the proposed height in the context of building height exceptions outlined in §180-3.17.7.

ANALYSIS – USE STANDARDS [§180-5]

Permitted and Conditional Uses: In the PR District, a marina is a permitted use.

ANALYSIS - DEVELOPMENT STANDARDS [180-6]

This project will be reviewed for compliance with all development standards of the Unified Development Code (UDC) at the time of major site plan review.

Drainage Plan (§180-6.6): A drainage plan must be submitted with the final site plan application. Said plan shall be prepared by a licensed engineer licensed in the State of Colorado. Submittal requirements, design standards, and erosion and sediment control must be addressed as outlined in §180-6.6. The proposed drainage plan will be reviewed by the Public Works Department and the Town Engineer at the time of final site plan review.

Water Quality Protection (§180-6.7): Soil disturbance is prohibited within 25 feet of all lakes, perennial streams, intermittent streams, wetlands, and from all swales draining 20 acres or more. Soil disturbance includes, but is not limited to, building construction, and the construction of decks, hot tubs, paving, pathways, landscaping, fences, etc. Additionally, snow storage is also prohibited within the 25 foot waterside setback. The proposed new office building appears to meet the minimum 25 foot waterside setback from the existing shoreline of Dillon Reservoir. Implementation of the future Big Dig project will increase the amount of dry land area around the new office building and will create a greater separation between the building and the new shoreline.

Previous wetland delineation information for the marina is on file in the Town's archives; however, wetland delineation reports are typically valid for a period of only five years. The Applicant has contracted a wetland specialist to reassess the wetlands at the marina, but work cannot begin until weather and plant foliage conditions allow later this spring. The results of this new delineation report must be submitted at the time final site plan review.

Pursuant to §180-6.7.4, there are exemptions to the 25 foot waterside setback including, in part, projects which are intended for the benefit of the community and installed by or under the supervision of the Town.

These projects may include but are not limited to, stream bank stabilization and erosion control activities; road and utility crossing; bike and pedestrian paths; flood control and other safety related projects; public recreational improvements including whitewater boating and marina facilities such as docks, piers and launch sites, and dredging operations; and aquatic and terrestrial wildlife habitat improvements.

This exemption appears to be applicable to many of the new and revised marina elements being contemplated by the current Marina Master Plan update.

Access (§180-6.11): All vehicle access shall comply with the standards set forth in Chapter 155, Minimum Street Design and Access Criteria. Where development abuts a Town road, the location and design of access points to the road must be approved by the Frisco Public Works Director. The proposed access will be reviewed by the Public Works Department and the Town Engineer at the time of final site plan review.

Traffic Study (§180-6.12): Frisco Town Code requires a traffic study, prepared by a professional engineer licensed in the State of Colorado, be submitted for any large project that:

- A. Requires a conditional use or rezoning approval;
- B. Is located adjacent to either Main Street or Summit Boulevard;
- C. Contains only one point of access;
- D. Contains an access point off an unimproved roadway or unincorporated area;
- E. Contains an access point off a road with a service level of D or F; or
- F. Is expected to generate 400 or more daily trips per day.

A traffic study must be submitted with the final site plan application. The traffic study will be reviewed by the Public Works Department and the Town Engineer at that time.

On-Premise Parking Requirements (§180-6.13.3): A marina and its associated buildings are not a listed use category in *Table 6-1, Required Number of Parking Spaces by Land Use* of the Unified Development Code. Pursuant to §180-6.13.3.B, Other Unlisted Parking Requirements:

As determined by the Director or Planning Commission, as applicable to the application decision maker. The Director and Planning Commission shall be guided by the comparison with the parking requirements for similar uses which are listed.

There are approximately 208 existing paved parking spaces at the Marina. This does not include the unpaved parking and boat storage areas at the Marina maintenance building, the Town of Frisco owned “Lot B-1” located at the corner of Marina Road and Summit Boulevard, or the Frisco Sanitation District’s “Lot B-2” located between these Town owned properties.

The Town of Frisco Recreation Department believes the existing parking adequately serves the needs of the marina and no changes to the number of existing parking spaces are proposed at this time. However, in an effort to address future needs, the current Marina Master Plan update is proposing a minor net increase in paved parking spaces association with the recommended future site improvements. The current Marina Master Plan update is also evaluating future paved parking and/or structured parking opportunities on Lot B-1 at the corner of Marina Road and South Summit Boulevard.

Staff recommends that the Planning Commission provide the applicant with feedback about the appropriateness of the proposed parking in the context of §180-6.13.3.B.

Bicycle Parking: (§180-6.13.4, §180-6.21.3.J.2): For all commercial and mixed-use development, bicycle parking shall be provided in an amount equal to at least twenty percent (20%) of the required vehicular parking spaces for the development, with a minimum of five (5) bicycle stalls. There are multiple existing bicycle racks at the Marina and additional bicycle stalls will be provided as needed. The specific number and location of the proposed bicycle stalls will be evaluated at the time of final site plan review application.

Snow Storage Areas (§180-6.13.7): One-hundred (100) sq. ft. of snow storage is required for every 350 sq. ft. of paving. At this time, there are no proposed changes to the existing paved areas or the existing snow storage areas. Any future snow storage needs associated with the implementation of the recommendations of the current Marina Master Plan update will be addressed at a later date.

Landscaping and Revegetation (§180-6.14): The submitted application materials include landscaping concept drawings. A finalized landscape plan demonstrating full compliance with §180-6.14, Landscaping and Revegetation, will be required with the final site plan application.

Outdoor Lighting (§180-6.16): A lighting plan must be submitted at the time of final site plan application. The lighting plan shall demonstrate compliance with all outdoor lighting regulations prescribed by the Unified Development Code.

Refuse Management (§180-6.17): All commercial, mixed-use and multi-family residential development projects shall provide adequate space for the collection and storage of refuse and recyclable materials. Dumpsters are required for commercial and mixed-uses projects. The application does not propose any changes to the existing trash dumpster and recycling facilities. At the time of final site plan review, a letter from a waste disposal company verifying that the refuse and recycling facilities are located and sized appropriately for the proposed project will be required.

Non-Residential Development Standards (§180-6.21): The purpose of the non-residential development standards is to ensure high-quality site and building design in Frisco; to establish minimum standards related to the scale, mass, architecture, materials, and overall design character of development; and to protect and enhance existing neighborhood character. Mixed-Use development shall comply with the non-residential development standards.

The proposed building appears to be generally consistent with standards of the non-residential development standards with the exception of the façade articulation requirements that building walls not exceed 27 feet in length without a specified minimum change in geometric plane. The proposed plans must be revised to comply with these standards. The proposed building will be reviewed for compliance with the specific numeric requirements for building elements, building façade articulation, roof design, and project amenities at the time of final site plan review.

The proposed exterior building materials and colors appear to conform to the non-residential development standards; however, these items will also be reviewed in greater detail with the final site plan application.

Bulk Standards (§180-6.23): The Bulk Plane Standards in the Marina area apply to properties located within 100 feet of the Main Street right-of-way east of Summit Boulevard. The subject property is located further than 100 feet from the Main Street right-of-way east of Summit Boulevard, so bulk plane standards do not apply to this application.

STAFF RECOMMENDATIONS

Staff recommends the Planning Commission provide the applicant feedback on the proposed Frisco Bay Marina office building and associated improvements in the context of the recommendations and requirements of the Frisco Community Plan and the Frisco Town Code.

Staff observations:

- Staff supports the construction of a new office building for the operation of the Marina and appreciates the efforts being taken to coordinate the location, scope, and design of this building with the draft recommendations of the on-going Marina Master Plan update.
- Staff recommends the Planning Commission reviews the application and provides the applicant with feedback on the general design direction of the proposed building as well as the various specific architectural features and elements being proposed. The non-residential development standards require additional façade articulation. Staff recommends the proposed window and door fenestration be examined for opportunities to add more visual interest to the building façades, increase the prominence of the

building entrances, and to capture views of not just the nearby lake but also the surrounding mountains.

- Staff recommends the Planning Commission provide the Applicant with feedback about the appropriateness of the proposed building height.
- Staff recommends the Planning Commission provide the Applicant with feedback about the appropriateness of the proposed parking.
- At the time of final site plan review, the application must demonstrate compliance with all Frisco Town Code standards.

ATTACHMENTS

Attachments:

- Parks and Recreation (PR) District
- Non-Residential Development Standards
- Application Materials

cc: Matt Stais

180-3.14 Parks and Recreation (PR) District

180-3.14.1. PURPOSE

To allow for land uses that offer a variety of active and passive recreational pursuits.

180-3.14.2. DISTRICT STANDARDS

See Table 3-3 and Sections 180-3.16 and 180-3.17.

TABLE 3-3: PR DISTRICT DIMENSIONAL STANDARDS	
SETBACKS	
Minimum setback from any property line	30 ft.
BUILDING STANDARDS	
Maximum building height	25 ft.

180-3.15 Public Facilities (PF) District

180-3.15.1. PURPOSE

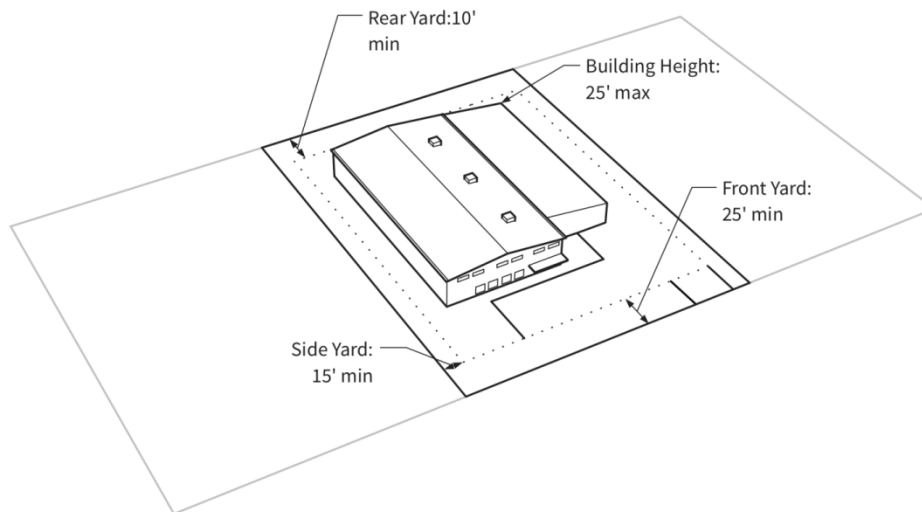
To provide land that is used for, and to encourage the development of, public facilities. Generally, the use is for a governmental or non-profit entity or agency, a utility service, or a use that services a public function.

180-3.15.2. DISTRICT STANDARDS

See Figure 3-N and Sections 180-3.16 and 180-3.17.

TABLE 3-4: PF DISTRICT DIMENSIONAL STANDARDS	
SETBACKS	
Minimum front yard setback	25 ft.
Minimum side yard setback	15 ft.
Minimum rear yard setback	10 ft.
BUILDING STANDARDS	
Maximum building height	25 ft.

Figure 3-N: Illustration of PF District Dimensional Standards



180-6.20 Nuisances (Performance Standards)

180-6.20.1. No building or premises shall be erected, altered, or used in any district for any purpose injurious, noxious, or offensive to a neighborhood by reason of the emission of odor, fumes, dust, smoke, vibration, noise or other cause.

180-6.20.2. Evidence shall be provided that any use of flammable or explosive materials will be in conformance with standards set by the Frisco Fire Protection District and Chapter 94 of the Town of Frisco Code; discharges into the air will be in conformance with applicable regulations of the State Air Pollution Control Act; any electromagnetic radiation will be in conformance with the regulations of the Federal Communications Commission. Discharges into the water will not violate standards or regulations established under the State Water Quality Control Act, Article 8, Title 25, of the Colorado Revised Statutes.

180-6.20.3. No person shall cause construction activity-related noise outside of an enclosed structure other than between the hours of 6:00 a.m. and 6:00 p.m. or one-half hour after sunset, whichever is later, except when construction work is required to make emergency repairs or as provided in Subsection C of this section.

- A. Construction activity shall include, but not be limited to, any activity requiring a building permit, an excavation permit, a grading permit or other outdoor activity which requires the operation of hand or power tools or other machinery used for building.
- B. Any violation of the construction activity time limitation shall be subject to stop orders and other remedies provided in the Town Code in effect at the time.
- C. Exception: The Community Development Director may, upon written application, alter the hours of construction activity described in Subsection 180-6.20.3 of this section by the issuance of a “Special Construction Activity Permit” for good cause shown which may include but not be limited to:
 - 1. Timing considerations based on the nature of the work being performed; or
 - 2. Health or safety considerations.
- D. Special Construction Activity Permits will be issued on a case by case basis and only when appropriate alternatives do not exist. The Community Development Director shall have at least 48 hours to approve or deny such a permit. Such a permit shall not be granted for a period which exceeds five days. If the circumstances warranting the Special Construction Activity Permit continue, the permit may be renewed by application to the Community Development Department.

180-6.21 Non-Residential Development Standards

180-6.21.1. PURPOSE

The purpose of the non-residential development standards is to ensure high-quality site and building design in Frisco; to establish minimum standards related to the scale, mass, architecture, materials, and overall design character of development; and to protect and enhance existing neighborhood character.

180-6.21.2. APPLICABILITY

- A. This section shall apply to the development of any non-residential use that requires site plan review. Findings shall be made that a non-residential development is in compliance with the standards of this section prior to approval of a site plan review. Failure to meet the mandatory standards shall constitute grounds for the decision-making body to request amendments to the proposed design or to deny a final plan or site plan.
- B. Mixed-use development shall comply with these non-residential development standards.

180-6.21.3. STANDARDS

The following mandatory standards shall be met by all non-residential development subject to site plan review:

A. Compatibility with Neighborhood Character

1. Intent

To ensure that structures are compatible with, but not identical to, existing nearby structures and their neighborhood surroundings, as well as Frisco's "small mountain town" character.

2. Compatibility

- a. Compatibility shall be achieved through proper consideration of scale, design, proportions, site planning, landscaping, materials and colors, and compliance with the standards in this section.
 - i. Compatibility of development on Main Street shall be determined based on proper consideration of the above features of nearby properties on Main Street rather than properties on other streets, as well as compliance with the standards in this section.
- b. The existing landforms and historic structures, as noted in the town's Historic Resource Inventory, on a site shall be preserved onsite whenever possible and reinforced by development rather than destroyed or replaced by it.

B. Façade Standards

1. Intent

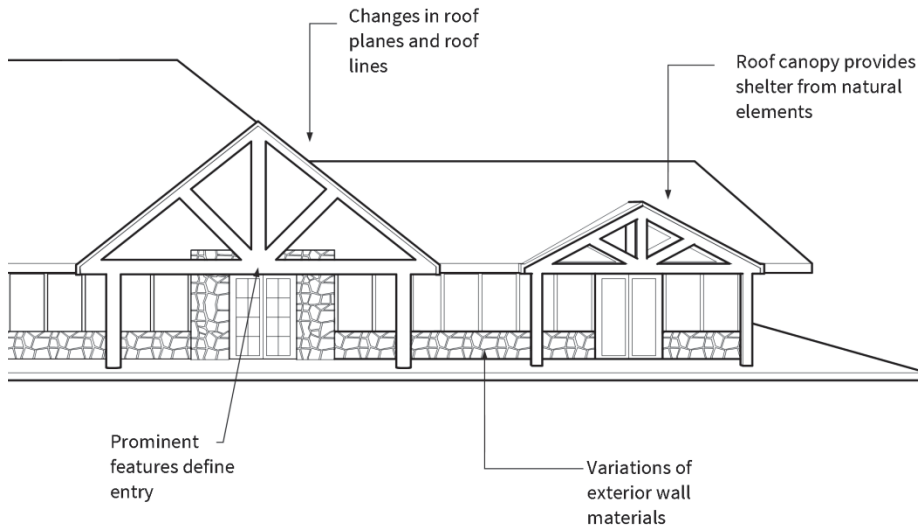
To ensure that the façade design of development is compatible with Frisco's "small mountain town character" and existing buildings.

2. Building Elements

All building elevations shall employ varied articulation of wall surfaces, as shown in Figure 6-00.

- a. Each street-facing façade shall include one or more deep eaves or overhangs, at least 24 inches in depth.
- b. Each façade or each 75 foot portion of a façade visible from public streets or parking lots shall be articulated through the use of at least four of the following building elements that provide shelter from natural elements and provide visual relief.
 - i. Balconies, porches, or patios;
 - ii. Building elements that provide shelter from natural elements;
 - iii. Offsets, insets, bays, or other similar architectural features to add a variety of depths to the wall plane;
 - iv. A change in texture or material, provided all exterior wall textures and materials are consistent with the overall architectural style of the building;
 - v. Variation in roof planes or roof forms, including dormers or gables;
 - vi. Variation in window sizes and shapes; or
 - vii. Prominent building entrance features.

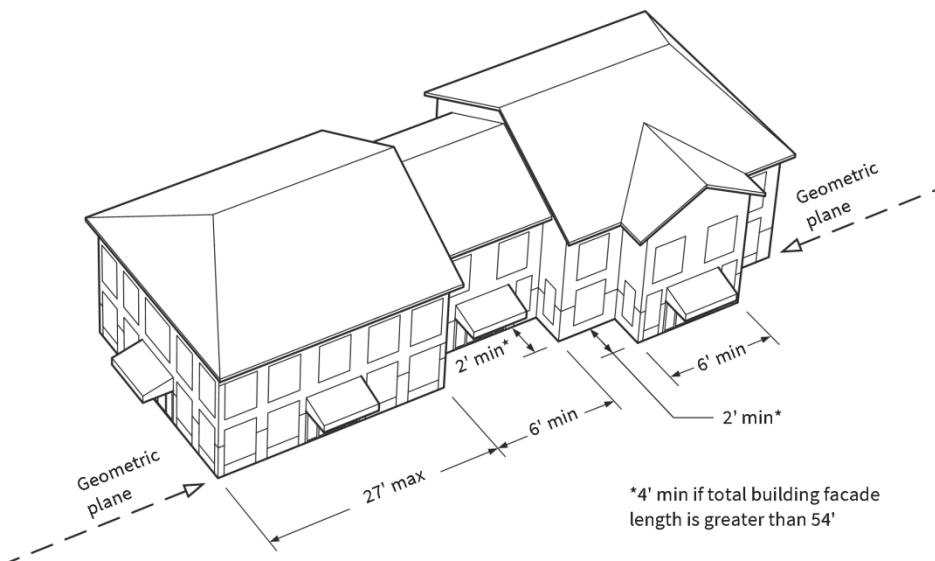
Figure 6-00: Building Element Variation Examples



3. Building Articulation

- a. Building walls and corresponding eaves shall not exceed 27 feet in the same geometric plane.
- b. Building walls over 27 feet in length shall change geometric planes by at least two feet in depth for a minimum length of six feet.
- c. Building walls that exceed 54 feet in total building façade length shall change geometric planes by at least four feet in depth for a minimum length of six feet.
- d. Building walls or roof ridgelines over 33 feet in length and facing a front yard or street side yard shall not have more than 66 percent of the length of the wall or roof ridgeline along the same geometric plane.

Figure 6-PP: Building Articulation Requirements



4. Entrances

- a. For development with over 25,000 square feet of gross floor area, at least two separate and distinct public entrances into the building shall be provided.

C. Bulk Plane Standards

1. Buildings shall be designed in a manner that provides elements that relieve the feeling of mass and provides for the graduation of mass as one moves back from the front of a lot, with the smaller elements located near the street, and the larger elements located further away from the street.
2. See Section 180-6.23 for bulk plane requirements.

D. Roof Standards

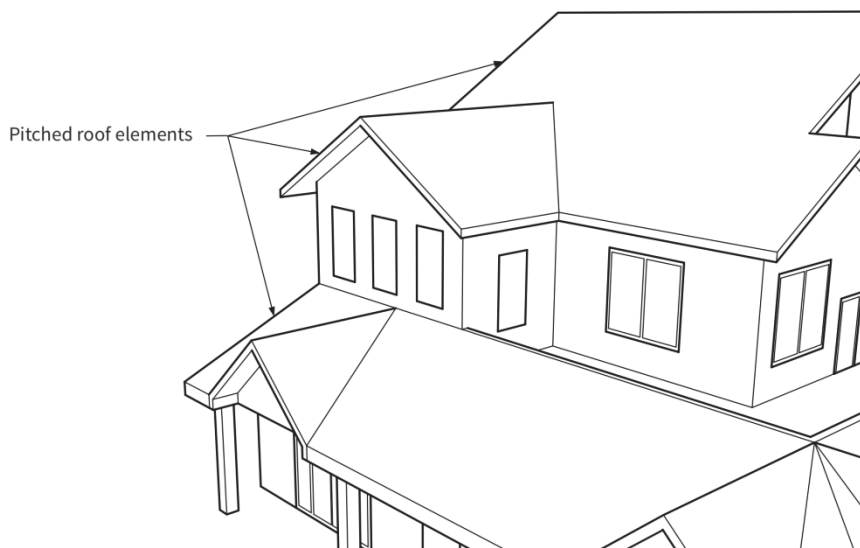
1. Intent

To ensure that roof elements are compatible with or complementary to existing historic or contributing buildings in the area and to encourage visibly pitched roofs or roof elements.

2. Roof Pitch

- a. Steep pitched roofs are encouraged.
- b. Flat roof construction shall be augmented with pitched roof elements, including but not limited to, peaked or sloped facade elements or parapets facing all street sides.
- c. Pitched roof elements shall vary by a minimum of two feet in elevation.
- d. Mansard roofs are not appropriate and are not allowed.

Figure 6-QQ: Pitched Roof Elements

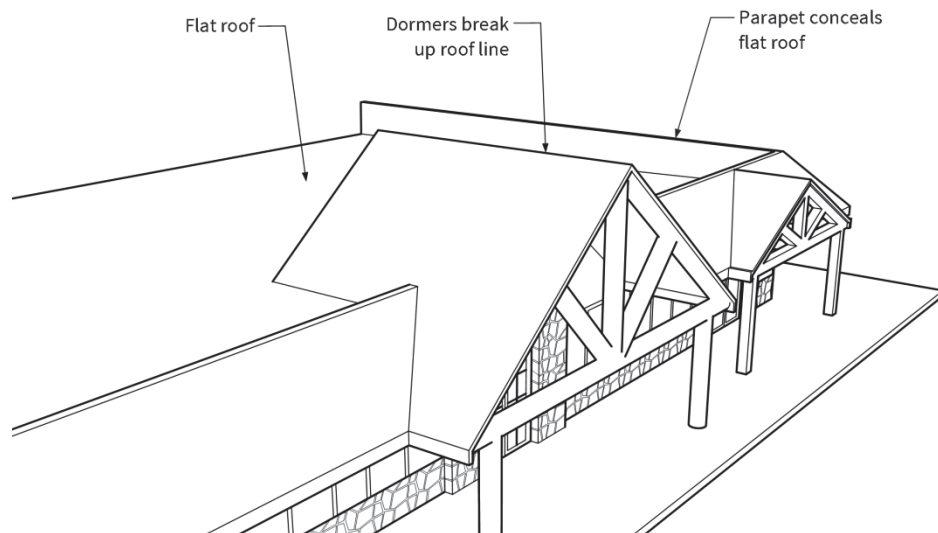


3. Roof Design

- a. Where pitched roofs are utilized:
 - i. A minimum pitch of 4/12 is required.

- ii. Dormers shall be incorporated to break up the roof, to enhance the usability of attic spaces, and to add architectural interest.
- iii. Ridgelines shall change elevation by no less than two feet for each 27 feet of building length. Architectural elements which intersect with the ridgeline may qualify as ridgeline changes upon a finding that the design furthers the purpose of this section.
- b. Shed roofs with a minimum pitch of 3/12 may be utilized only if the shed roof element is below the primary roof level and terminates into the roof or wall of the structure.
- c. No more than 66 percent of a ridgeline or roof line shall be on the same elevation.
- d. Roof lines shall be designed in a manner where they do not substantially deposit snow onto required parking areas, sidewalks, trash storage areas, stairways, decks, balconies, or entryways.

Figure 6-RR: Roof Line Variation



4. Roof Materials

- a. If metal roofs are used they shall be surfaced with a low-gloss finish or be capable of weathering to a dull finish in order to not be reflective.
- b. Metal roofs shall have a standing seam or shall be of a design that provides relief to the roof surface.
- c. Asphalt and fiberglass shingles are permitted provided that they are a heavy material that provides substantial relief and shadow, and the design and color are compatible with the building.
- d. Spanish or Mission style roofs and other similar roof materials are prohibited.
- e. Historic buildings, as noted in the Town's Historic Resource Inventory, may use rolled asphalt roofing materials.
- f. Bright colored roofs that exceed a chroma of four on the Munsell Color chart shall not be allowed.
- g. All rooftop mechanical, electrical, and electronic equipment shall be screened in a manner that is compatible with and substantially similar to the colors and materials of the building or the roof.

E. Building Material Standards

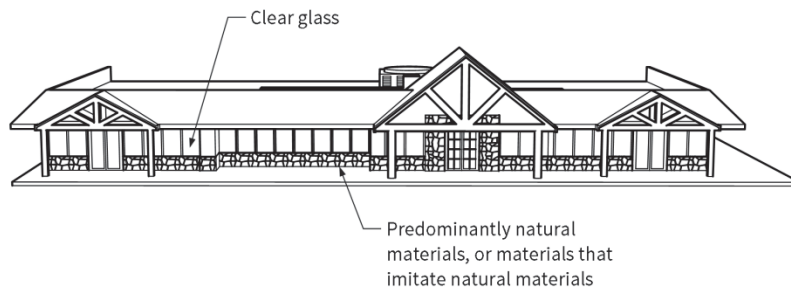
1. Intent

To ensure that building materials are compatible and complementary to existing historic or contributing buildings in the area, using a combination of mainly natural materials.

2. Primary Materials

- a. Building materials shall be predominantly natural, including but not limited to, wood siding, wood shakes, logs, stone, brick, or other similar materials.
- b. Other materials that imitate natural materials are also acceptable, provided their texture, shape, and size are similar to the natural materials they are imitating, and are not obviously artificial materials.
- c. Stucco, steel, or concrete block shall not be primary exterior materials for the majority of a building.

Figure 6-SS: Use of Building Materials



3. Specific Material Standards

a. Concrete Block

Concrete block used as an accent material shall be a split, textured, or scored block.

b. Concrete Panel

Concrete or concrete panels shall be textured or scored and used in combination with other materials, or shall be faced with another material such as stone, stucco, or other similar materials.

c. Glass

Clear glass shall be used for windows. Tinted, colored, or opaque glass may be approved when demonstrated by the applicant to be compatible with the purpose of this section.

d. Metal

Metal shall have a matte finish or a finish proven to fade and not be reflective.

e. Steel

Steel may only be used as an accent material or used in combination with other materials.

f. Stucco

Stucco may only be used as an accent material or used in combination with other materials.

4. Prohibited Materials

The following materials are prohibited:

- a. Aluminum, steel, or plastic exterior siding that does not imitate natural materials;
- b. Mirrored or reflective glass; and
- c. Untreated or unpainted galvanized sheet metal.

5. Accessory Structures

The same or similar building materials shall be used on main structures and any accessory structures located on the same site, unless an alternative design can be provided that will complement the project and meet the purpose of this section.

F. Building Colors

1. Intent

To promote building colors compatible with the site and surrounding buildings.

2. Maximum Color Chroma

No color may be used as the primary color of the building that exceeds a chroma of four on the Munsell Color chart.

3. Exception for Building Accents

Colors that exceed a chroma of four, but do not exceed a chroma of eight on the Munsell Color chart may be used only sparingly as accents, such as on trim or railings. Luminescent, fluorescent, or reflective colors shall not be utilized on any exterior portion of the building.

4. Accessory Structures

The same or similar colors shall be used on main structures and on any accessory structures on the site, unless an alternative scheme can be provided that will complement the project and meet the purpose of this section.

G. Design Variety

1. Intent

To promote design variety that is also compatible with the character of Frisco.

2. Duplicate Building Design Prohibited

- a. Building designs that duplicate, or are substantially similar in terms of roof pitch, building articulation, materials, colors, and building elements to existing or proposed structures within a 300 foot radius of the property are not allowed, with the exception of accessory structures, which may be designed similarly to the primary structure.
- b. Where a proposed building contains multiple identical units, the building design shall provide architectural differentiation from the duplication of units by providing a variety in windows, decks, balconies, or exterior facade compositions.

H. Additions

Additions that are substantially smaller than the square footage of the existing building may be designed to complement the existing structure, even if the existing building does not currently meet the façade, roof, material, or color standards of this section.

I. Parking and Loading

1. Intent

To mitigate the visual impact of parking and loading facilities.

2. Parking

- a. No more than 60 percent of required parking spaces may be located in front of a building along the principal street façade. If another building or other structure blocks the view of parking from the street, the blocked parking spaces may be excluded from this percentage.

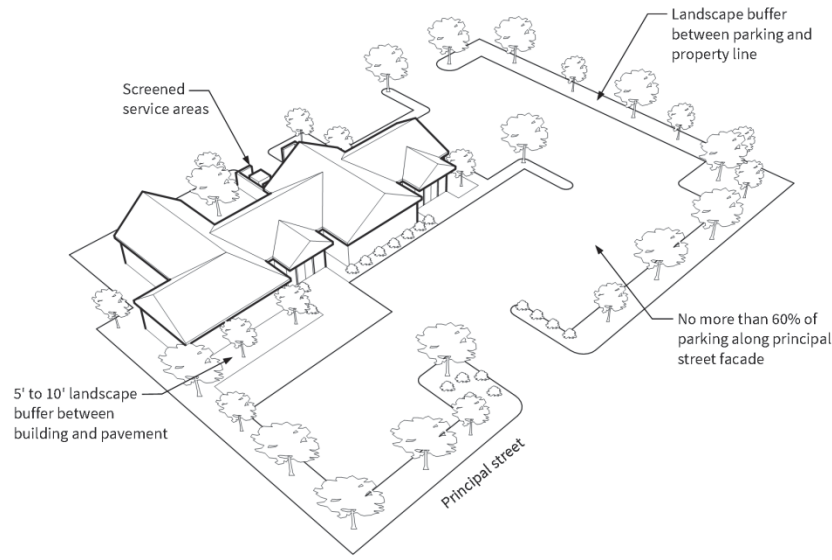
3. Landscaping of Parking Lots

- a. Except in the Central Core District, parking lots abutting a property line shall incorporate a landscaped buffer between the property line and the paved surface of the parking lot. Non-raised planters in parking lots are encouraged so that, where possible, stormwater may be accommodated through such landscaped areas and maintenance is reduced.
 - i. Required landscaped buffers shall meet the following standards:
 - a) Buffers shall be a minimum of ten feet wide and contain twice the required number of trees required by Section 180-6.14.
 - b) The location and type of all plantings shall meet sight distance requirements.
 - ii. The following incentive is available:
 - a) If a landscaped buffer incorporates double the plant quantities and area required above, or double the requirement in Section 180-6.14.3.F, Parking Area Landscaping, whichever is greater, then the applicant may locate up to 75 percent of the required parking in the front of the building along the principal street façade, with approval by the Planning Commission.
- b. Except in the Central Core District, where a building abuts parking or paved areas, a landscaped area shall be provided that varies from five to ten feet in width.
 - i. Required landscaped areas shall meet the following standards:
 - a) At least half of the landscaped areas shall be 10 feet in width.
 - b) This landscaped area shall be at least 50 percent of the length of the building.
 - c) Landscaping shall also comply with Section 180-6.14.
 - ii. The following incentive is available:
 - a) If less than 50 percent of the required parking spaces are located in front of the building along the principal street façade, the landscaped buffer may be reduced to a minimum of 35 percent of the length of the building, with approval by the Planning Commission.

4. Loading

- a. Service, loading, and trash areas shall be screened from all public rights-of-way and parking areas.

Figure 6-TT: Parking and Loading



J. Amenities

1. Intent

To enhance development with amenities that promote alternative modes of transportation and provide community gathering spaces.

2. Bicycle Parking

Bicycle parking spaces shall be provided in an amount equal to at least 20 percent of the required vehicular parking spaces for the development. A lesser number may be approved by the Town if reasonably justified by the applicant.

3. Community Spaces

- a. Development with over 10,000 square feet of gross floor area shall provide community spaces, including but not limited to, public benches, water features, public kiosk/gazebo, public patio/seating areas, public plazas, or public art.
 - i. A minimum of one community space shall be provided for any development with between 10,000 and 25,000 square feet of gross floor area.
 - ii. A minimum of three community spaces shall be provided for any development with over 25,000 square feet of gross floor area.