



**PLANNING COMMISSION
STAFF REPORT**

December 6, 2018

AGENDA ITEM: Planning File No. 238-18-MAJ: A review of the sketch plan step of the Major Site Plan Application for the proposed Rainbow Court East Building mixed-use project.

LOCATION: 310 East Main Street / Lots 3-5, Block 9, Frisco Townsite

ZONING: Central Core (CC) District

APPLICANT & OWNER: Myra Mesko, MM Properties LLC
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PROJECT DESCRIPTION

The applicant, MM Properties LLC, represented by TC3 Architects is proposing to demolish and redevelop the “east wing” of the existing Rainbow Court Building located at 310 East Main Street. The proposed redevelopment includes a new first floor retail/restaurant space, four (4) 2-bedroom residential dwelling units and an accessible hotel room. The new building will have a gross floor area of approximately 7,764 square feet. Solar panels are proposed with each unit.

The exterior building materials include: various vintage wood vertical shiplap siding, Brazilian Walnut horizontal wood siding, painted composite board lap siding, dry stacked stone veneer, rusted corrugated metal siding, concrete masonry units, asphalt composition roof shingles, and standing seam metal roofing.

For a more complete project description, please refer to the attached application materials.

BACKGROUND

The subject property consists of three (3) lots from the original Frisco Townsite with a total lot area of 10,500 square feet. The subject property fronts along East Main Street and abuts the Granite Street Alley on the rear. The property includes the existing Rainbow Court Building

which is occupied by a variety of existing commercial uses including restaurants, offices, personal services, and retail. The adjacent uses are Hotel Frisco to the west and the Frisco Market Place Condominiums and Bagali's Restaurant to the east.

According to the submitted application, the existing Rainbow Court Building is composed of renovated elements of former motel buildings from the 1950's and 1970's. The Community Development Department's archives do not include any information about the original construction of this building.

On January 4, 2018, the applicant presented a sketch plan application to the Planning Commission for a proposed redevelopment of this building which would include a new first floor restaurant/commercial tenant space, second floor offices, and two (2) residential dwelling units on the third floor with roof-top deck access. The application included renovation and expansion of the existing Vinny's Restaurant. The new building was proposed to have a gross floor area of approximately 9,770 square feet. The applicant has addressed the project's change of scope in the submitted narrative dated November 15, 2018.

Below is a vicinity map of the subject property with an aerial photography base layer. The location of the property lines shown on this map vary in accuracy and should only be used for reference purposes. Photographs of the subject property are included for reference.



Vicinity Map



North Side



Interior view of the East Wing



South Side

SKETCH PLAN REVIEW

A sketch plan review is an opportunity for Planning Commission to comment on the various aspects of a development proposal including proposed uses, parking and traffic circulation, architecture, landscape design, and compatibility with the neighborhood. It is also an opportunity for the applicant to listen to Commissioners' comments and make changes to the proposal prior to a final site plan application submittal.

Pursuant to Section §180-2.5-D-3, Frisco Town Code (in part):

- a. *All applications for major site plans shall present an informal sketch plan of the development before a regularly scheduled meeting of the Planning Commission. The applicant shall notify the Community Development staff in writing at least 21 calendar days prior to the Planning Commission meeting at which the sketch plan is requested to be presented. Materials to be presented in support of the development must be of sufficient nature to allow the Planning Commission and Community Development staff to provide informed feedback on the project. At a minimum the applicant must submit the following information:*
 - i. *Written project description, including a synopsis of the proposed development program, and how the project will meet the principles of the Master Plan and the standards of the zoning code;*
 - ii. *Site plan showing the location of the building(s) and other improvements (retaining walls, berms, dumpster locations, open space, etc.) with dimensions to setbacks, property lines, easements, north arrow, scale (no smaller than 1"=20'), legend, vicinity map;*
 - iii. *Existing and proposed utility (main and service) lines;*

- iv. Existing and proposed topography at 2 foot intervals, including 50 feet beyond the property boundary, existing easements, lot dimensions, lot size in square feet/acreage;
- v. Existing site characteristics map with vegetation, wetlands, unique natural features;
- vi. Parking space location and counts and traffic circulation design, with driveway locations, points of access from right-of-way, preliminary grades, bike and pedestrian improvements;
- vii. Proposed landscaping, post-development grades, snow storage, preliminary stormwater plan showing approach to stormwater handling;
- viii. Scaled drawings of all building locations and schematic elevations; and
- ix. Samples of all colors and materials proposed.

- b. The Planning Commission may require an applicant to return for additional sketch plan presentations if sufficient information is not received or if substantial changes to a proposal are recommended. Presentation of a sketch plan neither binds the Planning Commission to approve a site plan, nor does it confer the applicant any vested rights.
- c. The sketch plan presentation shall become null and void if a complete major site plan application is not submitted to the Community Development Department within 90 days after the date of the Planning Commission's review of the sketch plan.

A final site plan application for this proposal will require Planning Commission review. The proposal will be reviewed in detail for conformance with the Frisco Community Plan and compliance with the Frisco Unified Development Code (UDC) at that time.

ANALYSIS - FRISCO COMMUNITY PLAN

The following elements of the Frisco Community Plan are applicable to the review of the proposed development:

Plan Overview (excerpt)

The Frisco Town Charter requires that the Town's master plan be updated every five years in order to respond to changing times. The 2011 master plan update is titled the 'Frisco Community Plan.' Periodically updating the Frisco master plan is a critical step in the process to maintain a vibrant mountain town, balance the town's reputation as a great destination, ensure a strong yet diverse economic base, and preserve our quality of life. The community realizes intentional planning for the future is necessary to ensure that the Town of Frisco continues to evolve as a resilient community.

Purpose ~ The Frisco Community Plan's purpose is to identify common values and guide direction to connect, sustain and create the future of the Town of Frisco over the next 5 years.

Connect ~ Connections are a core tenet of the Frisco Community Plan; they reflect the way people, organizations and neighbors relate to each other in the Frisco community. Connections help to address needs of the community.

Sustain ~ Everything is interrelated. Sustainability is the fundamental approach of the Frisco Community Plan; it recognizes the social, environmental and economic influences on the community, and aims over the long-term to balance these influences to support community success.

Create ~ Creation of lasting community relationships is an important aspect of the Frisco Community Plan. The plan creates the community's direction for a preferred future of Frisco."

Chapter 2. Community Direction (excerpts)

The Frisco Community embraces itself as a vibrant mountain town, and seeks opportunities to enhance and maintain vibrancy through art and culture, the built environment, community services, energy, the economy, health and well-being, housing, natural resources, recreation and transportation. ~ Community Plan Quality of Life statement

Art & Culture

Frisco is a community that celebrates its history, honors its eclectic influences and promotes artistic and cultural opportunities.

- *A&C 1. Preserve and enhance the Town's historic resources.*
- **A&C 2. Enhance Frisco as a cohesive community, which includes full-time residents, second homeowners, businesses and visitors.**
- *A&C 3. Promote public art.*
- *A&C 4. Improve existing community programs and/or explore opportunities to develop new effective programs to benefit Frisco.*
- *A&C 5. Celebrate and highlight Frisco's heritage.*

Built Environment

Frisco is a community that encourages land uses and architectural styles to fit its mountain town identity, and strives for development with sustainable design, materials and practices.

- **BE 1. Encourage eclectic and sustainable designs for new construction and redevelopment to enhance the community's character.**
- *BE 2. Ensure the design of Frisco's public spaces, streets and pathways reflect Frisco's mountain town character.*
- **BE 3. Preserve and enhance the Main Street area as the heart of the community.**
- *BE 4. Enhance the Summit Boulevard area as a primary gateway and as a functional and efficient economic center of the town.*
- *BE 5. Promote attractive and safe connections between all areas and sections of the town.*

Economy

Frisco is a community that promotes a diverse, sustainable, year-round economy.

- *EC 1. Develop economic strategies to encourage a diversity of commercial businesses in town.*
- **EC 2. Continue to promote the town as a year-round destination.**
- **EC 3. Encourage and direct economic growth.**
- *EC 4. Allocate public resources to effectively support and encourage cost-effective private investments that enhance the community.*
- *EC 5. Support the creation and outlet for local markets and support local workforce policies.*

Housing

Frisco is a community that recognizes the importance of ensuring a variety of housing opportunities are available for people to live and work here.

- **HS 1. Encourage a mixture of housing unit sizes and types within new residential developments.**
- **HS 2. Ensure new housing is compatible with adjacent properties and compliments existing neighborhoods.**
- HS 3. Provide a variety of affordable housing opportunities, regulations and/or programs that meet the needs of the Frisco residents.
- HS 4. Promote and encourage public/private partnerships for the development of affordable housing to achieve the highest quality housing possible.
- HS 5. Implement strategies that complement existing housing programs to ensure a diverse community.

The proposed application appears to further the bolded quality of life statements above. The application appears to conform to the recommendations of the Frisco Community Plan.

ANALYSIS – CENTRAL CORE (CC) DISTRICT [§180-3.11]

The requirements of the Central Core (CC) District are applicable to the review of the proposed Rainbow Court project as follows:

Purpose: The purpose of the CC district is as follows:

“To promote the development of Frisco's Main Street commercial district for retail, restaurant, service, commercial, visitor accommodation, recreational, institutional and residential uses, and to enhance the visual character, scale and vitality of the central core.”

Minimum Lot Area: 3,500 square feet. The existing lot size is 10,500 square feet.

Minimum Lot Frontage: None required.

Setbacks: The subject property is located along Main Street. The minimum required setbacks and proposed the setbacks for this application are as follows:

	Minimum Setback	Proposed Setback
Front Yard (Main Street)	3 feet	3 feet
Side Yards	0 feet	East: 0 feet West: no change to existing 0 feet
Rear Yard (Alley)	0 feet	0 feet
Minimum Stepback for the third and above floors of street-facing wall facades	10 feet	North (Main Street): ~20 feet South (Alley): ~40 feet

Section 3.17.11 of the Town of Frisco UDC states that in the Central Core District, the following encroachments into a required stepback are allowed:

- A. Roof overhangs, limited to two feet in depth; and
- B. Railings, limited to the minimum height required by the building code.

The application appears to meet the setback standards.

Maximum Lot Coverage: None required.

Maximum Building Height: The maximum building height is forty (40) feet for pitched roofs and thirty-five (35) feet for flat roofs in this zone district. The application appears to meet this standard with the pitched roofs proposed at forty (40) feet; however, detailed roof elevation information will be required with the final site plan application to verify compliance.

Section 3.17.8 of the Town of Frisco UDC states that for properties along Main Street in the Central Core District, the ground floor ceiling height for all uses shall be a minimum of ten (10) feet in height. The application appears to meet this standard; however, this will be verified at time of full site plan review.

Density: The permitted density in the Central Core District is sixteen (16) dwelling units per developable acre. With a developable lot size of 0.24 acres, the maximum allowed residential density is 3.86 units, which pursuant to the UDC are rounded up to four (4) dwelling units. The application proposes four (4) residential units and meets this standard.

The Density Bonus affordable housing incentive is available in the Central Core District. The application does not propose the use of this provision. Since the proposed application does not exceed the allowable density of this zoning district, there is no requirement for deed restricted affordable housing units with this proposal.

ANALYSIS – USE STANDARDS [§180-5]

Permitted and Conditional Uses: In the Central Core District, a variety of commercial uses are permitted including multi-unit dwellings, townhomes, hotel and motel, restaurants/bars/taverns, offices, personal service, and light retail. The application appears to meet this standard.

The applicant is proposing four (4) residential townhouse units and one (1) motel room.

Section 9.3 of the Town of Frisco UDC defines a hotel or motel as:

A building or group of buildings in which lodging is provided and offered to transient guests for compensation. This does not include boarding, lodging, or rooming facilities or tourist homes.

Section 9.3 of the Town of Frisco UDC defines a boarding, rooming, or lodging facility as:

A building with a managing resident on the premises in which accommodations, with or without meals, are let on a short-term basis for compensation for no more than ten bedrooms. Does not include condominium hotels.

The applicant shall provide further clarification as to how the proposed motel room operates and meets the definition of a motel.

Residential Uses in Central Core: For properties located between Main Street and Galena Alley and properties located between Main Street and Granite Alley, residential uses are prohibited on the ground floor in those portions of a building that front along Main Street and/or a numbered Avenue. The proposed residential units are not in the portions of building that front along Main Street or a numbered Avenue. The application appears to meet this standard.

Accessory Uses and Structures: Solar Energy Facilities: The re-use of the existing roof mounted solar energy facilities is proposed by this application. Pursuant to §180-5.3.3, Solar Energy Facilities:

Solar energy facilities may be ground-mounted or mounted on principal or accessory structures, provided they comply with the following requirements:

- A. Solar energy facilities shall not be located in the front yard between the principal structure and the public right-of-way;*
- B. Solar energy facilities shall be located a minimum of 6 feet from all property lines and other structures except the structure on which it is mounted;*
- C. Solar energy facilities shall not exceed the greater of one-half of the footprint of the principal structure;*
- D. Ground mounted solar energy facilities shall not exceed 5 feet in height.*
- E. A solar energy facility shall not extend more than 18 inches above the roofline of a one-family or two family residential structure, or more than ten feet above the roofline of a multi-family or non-residential structure.*

Compliance with the standards of §180-5.3.3 will be required with the final site plan review application.

ANALYSIS - DEVELOPMENT STANDARDS [180-6]

This project will be reviewed for compliance with all development standards of the Unified Development Code (UDC) at the time of major site plan review.

Drainage Plan (§180-6.6): A drainage plan shall be submitted with the final site plan application. Said plan shall be prepared by a licensed engineer licensed in the State of Colorado. Submittal requirements, design standards and erosion and sediment control shall be addressed as outlined in §180-6.6, Frisco UDC.

Access (§180-6.11): All vehicle access shall comply with the standards set forth in Chapter 155, Minimum Street Design and Access Criteria. Where development abuts a Town road, the location and design of access points to the road must be approved by the Frisco Public Works Director. The proposed access will be reviewed by the Public Works Department and the Town Engineer at the time of final site plan review.

Traffic Study (§180-6.12): Frisco Town Code requires a traffic study, prepared by a professional engineer licensed in the State of Colorado, be submitted for any large project that:

- A. Requires a conditional use or rezoning approval;*
- B. Is located adjacent to either Main Street or Summit Boulevard;***
- C. Contains only one point of access;*
- D. Contains an access point off an unimproved roadway or unincorporated area;*
- E. Contains an access point off a road with a service level of D or F; or*
- F. Is expected to generate 400 or more daily trips per day.*

A traffic study shall be submitted with the final site plan application. The traffic study will be reviewed by the Public Works Department and the Town Engineer at that time.

On-Premise Parking Requirements (§180-6.13.3.D): For properties that front along East Main Street there are no parking requirements for many commercial uses including restaurant,

personal service, and retail uses. There are also no parking requirements for office uses not located on the ground floor. The following is a preliminary parking analysis:

Use Type	Parking Standard	Required Spaces
Restaurant/Bar/Tavern	0 per 350 square feet of seating area 0 per 450 square feet of non-seating area	0
Retail/Personal Services	0 per 450 square feet of GFA	0
Office, Ground Floor	1 per 450 square feet of GFA	2*
Office, Non-Ground Floor	0 per 450 square feet of GFA	0
Medical Office	1 per 450 square feet of GFA	0*
Residential Dwellings	1 per bedroom	8
Visitor Parking	1 space for every 5 dwelling units	0
Hotel or Motel	1 space for each bedroom	1
Total Required		11

*Eligible for On-Street Parking Credits

Based upon the information provided in the submitted application, the ground level of each dwelling unit meets the definition of a bedroom due to having a partial bathroom directly connected to the space. A total of two (2) bedrooms are proposed for each residential unit requiring eight (8) parking spaces for the four (4) new residential dwelling units. The application includes five (5) covered parking spaces accessing the Granite Street Alley. The applicant will be required to show full compliance with on premise parking requirements at time of full site plan review.

Visitor Parking: Visitor parking is required for multi-family residential developments at a rate of one (1) parking space for every five (5) units. Only four (4) residential dwelling units are proposed, so no visitor parking spaces are required.

On-Street Parking Credits (§180-6.13.3.E): Parking requirements for non-overnight uses may be reduced within the Central Core District. For every twenty-five (25) feet of linear frontage abutting a public right-of-way on which legal on-street parking exists within 300 feet of the property, there may be one (1) parking space reduction. Numerous on-street parking spaces exist within 300 feet of this property along both sides of Main Street, North & South 3rd Avenue, and North & South 4th Avenue. These on-street parking credits meet the two (2) parking space requirement for the existing first floor real estate office in the west wing of the Rainbow Court Building. These on-street parking credits would also accommodate some repurposing of the existing and/or proposed building areas to first floor office or medical office uses if such a repurposing were ever proposed in the future.

Multi-use Shared Parking Provisions (§180-6.13.3.F): Within the Central Core District, parking reductions for multi-use developments may be allowed of up to twenty percent (20%) of the required parking upon approval by the Planning Commission according to the following criteria:

- a. *The proposed parking for both uses shall be on-site; and*
- b. *The parking is provided in areas designed to serve two (2) or more distinctly different land uses; and*
- c. *The reduction in parking is justified using industry standards such as those established by the Urban Land Institute, the Institute of Transportation Engineers or other acceptable standards.*

The applicant has not requested a multi-use shared parking reduction with this application.

Bicycle Parking: (§180-6.13.4, §180-6.21.3.J.2): For all commercial and mixed-use development, bicycle parking shall be provided in an amount equal to at least twenty percent (20%) of the required vehicular parking spaces for the development, with a minimum of five (5) bicycle stalls. Twenty percent (20%) of eleven (11) parking spaces is 2.2 bicycle spaces, so the five (5) bicycle stall minimum applies. Bicycle stalls are proposed on the site plan to the west of the Lily Pad hotel room.

Snow Storage Areas (§180-6.13.7): One-hundred (100) sq. ft. of snow storage is required for every 350 sq. ft. of paving. The proposed parking spaces about the south property line and are covered parking. The short segment of proposed new driveway is located entirely within the Granite Street Alley right-of-way, so no snow storage areas are required.

On-Premises Loading Requirements (§180-6.13.8): One (1) on premises service and loading facility shall be provided for commercial uses between 12,000 – 40,000 square feet of Gross Floor Area (GFA). All such service and loading facilities shall be located so that no vehicle loading or unloading merchandise shall be parked in front of any property or block traffic in any street or public right-of-way including alleys, and must meet the following:

- A. *On premises loading areas must have a minimum dimension of fifteen by thirty (15 x 30) feet. Where loading areas are covered; a minimum height of 15 feet is required. Where semi-trailer trucks typically unload, the minimum loading area size shall be 15 feet by 60 feet by 15 feet high. No portion of a loading vehicle may protrude into a public right-of-way; and*
- B. *On premises loading areas shall be required for each structure according to the following schedule, unless it can be demonstrated to the satisfaction of the Town that sufficient loading is available from an adjacent alley or other suitable area, which alley or area is shown not to impede vehicular traffic or pedestrian use when used for loading purposes.*

There are no new loading areas proposed by this application. The sufficiency of using the adjacent Granite Street Alley for loading will be reviewed by the Public Works Department and the Town Engineer at the time of final site plan review.

Landscaping and Revegetation (§180-6.14): The proposed landscaping plan has been incorporated in the site plan on the submitted Sheet SR-1. The application proposes a combination of plant materials and allowed landscaping alternatives such as benches, planter boxes, and art displays. The application will be reviewed for full compliance with §180-6.14, Landscaping and Revegetation standards at the time of final site plan application.

Snow Storage and Snow Shedding (§180-6.15): Applications shall demonstrate that the danger of snow shedding onto windows or doors that swing out or on public or private ways is eliminated. The covered parking adjacent to the alley does not have windows or doors that swing out on public ways; however, Staff has concerns about the snow shedding from the roof directly onto the public way.

Frisco Town Code, Chapter 65, Building Construction and Housing Standards states:

1503.7 Snow-shedding. Roofs shall be oriented and positioned, or otherwise arranged and designed, to prevent snow and ice from shedding and accumulating at pedestrian and vehicular exit doors or onto adjacent properties. In addition, roofs shall not shed snow onto any components of a required means of egress system or required accessible route, including, but not limited to stairways, sidewalks, landings, ramps and handrails.

Additionally, Frisco Town Code, Chapter 127-38, states:

It shall be unlawful for any person, business or corporation to push or deposit snow or ice upon any street, sidewalk, alley, right-of-way or other public property or any portion thereof.

The application will be reviewed for full compliance with §180-6.15, Snow Storage and Snow Shedding standards at the time of final site plan application.

Outdoor Lighting (§180-6.16): A lighting plan shall be submitted at the time of final site plan application. The lighting plan shall show exterior fixtures proposed for the new structure along with parking areas and pedestrian walkways to show compliance with all regulations stated in Section 180-6.16 of the Frisco UDC.

Refuse Management (§180-6.17): All commercial, mixed-use and multi-family residential development projects shall provide adequate space for the collection and storage of refuse and recyclable materials. Dumpsters are required for commercial and mixed-uses projects. The application materials note a proposed trash and recycling area along Granite Street Alley. All refuse and recycling dumpster facilities shall be screened on four (4) sides to a height of six (6) feet.

The applicant will be required to submit a letter from a waste disposal company showing that proposed refuse and recycling facilities are located and sized appropriately for the proposed project. This will be reviewed at the time of final site plan review.

Non-Residential Development Standards (§180-6.21): The purpose of the non-residential development standards is to ensure high-quality site and building design in Frisco; to establish minimum standards related to the scale, mass, architecture, materials, and overall design character of development; and to protect and enhance existing neighborhood character. Mixed-Use development shall comply with the non-residential development standards.

Staff has provided some initial comments for the Planning Commission to discuss and offer feedback to the applicant. The proposed building will be reviewed for compliance with the specific numeric requirements for building elements, building façade articulation, roof design, and project amenities at the time of final site plan review.

- **Compatibility with Neighborhood Character** (§180-6.21.3. A.): Compatibility shall be achieved through proper consideration of scale, design, proportions, site planning, landscaping, materials and colors. Compatibility of development on Main Street shall be determined based on proper consideration of the features of nearby properties on Main Street rather than properties on other streets, as well as compliance with the standards in this section. Below are pictures of existing structures within the same block on Main Street for the Planning Commission to take into consideration. Staff requests the Planning Commission provide feedback at sketch plan review on the proposed structure and if they think it is compatible with the neighborhood character.



- Façade Standards (§180-6.21.3. B.) Each street-facing façade shall include one or more deep eaves or overhangs, at least twenty-four (24) inches in depth. Each façade visible from public streets or parking lots shall be articulated through at least four (4) building elements that provide shelter from natural elements and provide visual relief. The proposed north and south facing facades are visible from public streets. The west façade of the addition is visible from the street but is not a street facing façade. The proposed structure contains a variety of building elements including offsets in geometric plane, covered entrances, decks and porches, and variations in the roof plane. The application appears to comply with this standard.
- Roof Standards (§180-6.21.3. C): The application plans show a variety of flat and pitched roof elements. Pitched roofs are proposed at a 5:12 slope. No more than 66 percent of a ridgeline or roofline appears to be on the same elevation. Proposed roof material is a dark bronze crimp metal. Metal roofs are permitted as long as surfaced with a low-gloss finish or be capable of weathering. Metal roofs shall have a standing seam or be of a design that provides relief to a building. The application appears to comply with this standard.
- Building Material Standards (§180-6.22.3.D): The structure is proposed to have smooth cedar shiplap siding, architectural panels, stone veneer, metal siding, metal roofing and metal railings. Metal and steel are permitted as long as combined with acceptable materials and of a matte finish. Staff requests the Planning Commission provide feedback at sketch plan review on the proposed building materials including the architectural panels and metal siding.
- Building Colors (§180-6.22.3.F): Proposed colors of the structure include a navajo red sealer, driftwood gray, sterling gray and dark brown metal siding and roofing. No proposed color appears to exceed a chroma of four on the Munsell Color chart. The applicant has provided a sample board with the proposed colors which will be

presented at the December 6th meeting. The application appears to comply with this standard.

- Design Variety (§180-6.21.3.G): Building designs that duplicate, or are substantially similar in terms of roof pitch, building articulation, materials, colors and building elements to existing or proposed structures within a 300 foot radius of the property are not allowed. The proposed structure does not appear to duplicate or be substantially similar to any other structure within a 300 foot radius of the property.
- Parking and Loading (§180-6.21.3.I): The applicant is required to comply with the Loading requirements that state “Service, loading, and trash areas shall be screened from all public rights-of-way and parking areas.” At the time of full site plan review, the applicant will be required to show compliance with the Parking and Loading sections of the Non-Residential Development Standards. Since the property is located in the CC District, it is exempt for the parking lot landscaping requirements stated in (§180-6.21.3.G).
- Amenities (§180-6.21.3.J) – The purpose of this section is “To enhance development with the amenities that promote alternative modes of transportation and provide community gathering spaces.” Bicycle parking spaces shall be provided in an amount equal to at least twenty percent (20%) of the required vehicular parking spaces for the development. A lesser number may be approved by the Town if reasonably justified by the applicant. Bicycle stalls are proposed on the site plan to the west of the Lily Pad hotel room. Development with between 10,000 and 25,000 square feet of gross floor area shall provide a minimum of one community space. The site plan notes a courtyard with new pervious paving on the property showing compliance with this standard. Staff requests the Planning Commission provide feedback at sketch plan review on bicycle parking spaces and the proposed courtyard.

Bulk Standards (§180-6.23):

Table 6-K of the UDC outlines bulk plane requirements. Per footnote 1, side property line bulk plane does not apply to properties located between Main Street and the Granite Street Alley. Bulk plane shall be measured at the front property line and extend up twenty (20) feet prior to extending at a 45 degree angle. The applicant has shown bulk plane encroachments on the submitted elevation drawings. §180-6.23.3 of the UDC states that building forms may deviate from this standard and project beyond the bulk plane if they do not exceed maximum building height and provide substantial architectural relief, with Planning Commission approval. Staff requests the Commission provide the applicant feedback on the proposed bulk plane encroachments.

PUBLIC COMMENT

The Community Development Department has not received any formal public comments concerning this project as of November 29, 2018.

STAFF RECOMMENDATIONS

Staff recommends the Planning Commission provide the applicant feedback on the proposed Rainbow Court structure and associated improvements in the context of the recommendations and requirements of the Frisco Community Plan and the Frisco Town Code.

Staff observations:

- Staff supports the uses proposed for the new building which include first floor restaurant/retail space and residential dwelling units. Staff believes a mixed use building of this nature is appropriate and desirable in this location on Main Street. Staff seeks further clarification on the proposed use of the one (1) proposed hotel room.
- Staff supports the general architectural design direction of the new building which appears to be complimentary to other buildings along Main Street. Staff recommends the Planning Commission reviews the application and provides the applicant with feedback on the general design direction as well as the various specific architectural features and elements being proposed. The Planning Commission should also consider and provide the applicant with feedback on the appropriateness of the proposed transition between the old and new portions of the Rainbow Court Building.
- The Planning Commission should provide the applicant with feedback about the appropriateness of the proposed bulk plane encroachments.
- At the time of final site plan review, the application must demonstrate compliance with all Frisco Town Code standards.

ATTACHMENTS

Attachments:

- Central Core (CC) District
- Non-Residential Development Standards
- Application Materials

cc: Tom Connolly, TC3 Architects

180-3.11 Central Core (CC) District

180-3.11.1. PURPOSE

To promote the development of Frisco's Main Street commercial district for retail, restaurant, service, commercial, visitor accommodation, recreational, institutional and residential uses, and to enhance the visual character, scale and vitality of the central core.

180-3.11.2. DISTRICT STANDARDS

A. Dimensions

See Figures 3-I through 3-L and Sections 180-3.16 and 180-3.17.

B. Development Standards

1. For properties with frontage along Main Street, on-site parking shall be located at the rear of the property.
2. All residential development is subject to the Residential Development Standards in Section 180-6.22.
3. All non-residential development is subject to the Non-Residential Development Standards in Section 180-6.21.

Figure 3-I: Illustration of CC District Dimensional Standards for Properties on Main Street

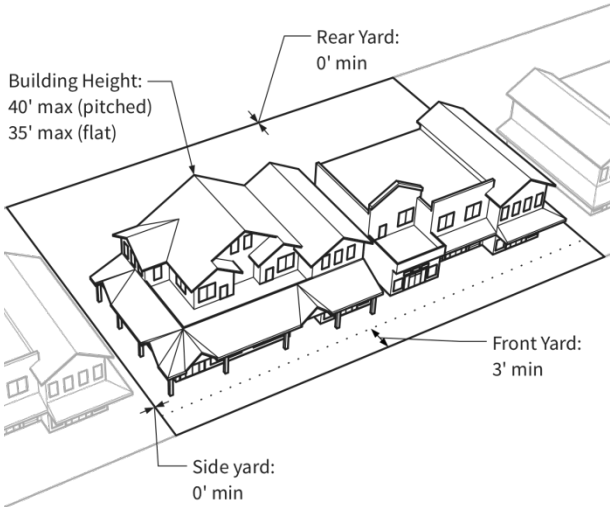


TABLE 3.11-1: CC DISTRICT DIMENSIONAL STANDARDS	
PROJECT STANDARDS	
Maximum density	16 du/acre
LOT STANDARDS	
Minimum lot area	3,500 sf
Minimum lot frontage	None
Maximum lot coverage, one or two residential units	70%
Maximum lot coverage, all other uses	None
SETBACKS	
<i>Properties on Main Street</i>	
Minimum front yard setback	3 ft.
Minimum side yard setback	0 ft.
Minimum rear yard setback	0 ft.
<i>Properties on Granite Alley, Galena Alley, Granite Street, and Galena Street</i>	
Minimum front yard setback	5 ft.
Minimum side yard setback	5 ft.
Minimum rear yard setback	5 ft.
Minimum setback for alley facing yard	3 ft.
<i>One or Two Residential Units, Including Accessory Units</i>	
Minimum front yard setback	10 ft.
Minimum side yard setback	5 ft.
Minimum rear yard setback	5 ft.
STEPBACKS	
Minimum stepback for the third and above floors of street-facing wall facades (as taken from the floor below, see Figure 3-L.)	10 ft.
BUILDING STANDARDS	
Maximum building height	40 ft. (pitched); 35 ft. (flat)
Maximum building height, first 20 feet in from property line on Galena Street	25 ft. (pitched roof required)

180-6.20 Nuisances (Performance Standards)

[Amended 10-09-18 by Ord. 18-09]

180-6.20.1. No building or premises shall be erected, altered, or used in any district for any purpose injurious, noxious, or offensive to a neighborhood by reason of the emission of odor, fumes, dust, smoke, vibration, noise or other cause.

180-6.20.2. Evidence shall be provided that any use of flammable or explosive materials will be in conformance with standards set by the Frisco Fire Protection District and Chapter 94 of the Town of Frisco Code; discharges into the air will be in conformance with applicable regulations of the State Air Pollution Control Act; any electromagnetic radiation will be in conformance with the regulations of the Federal Communications Commission. Discharges into the water will not violate standards or regulations established under the State Water Quality Control Act, Article 8, Title 25, of the Colorado Revised Statutes.

180-6.21 Non-Residential Development Standards

180-6.21.1. PURPOSE

The purpose of the non-residential development standards is to ensure high-quality site and building design in Frisco; to establish minimum standards related to the scale, mass, architecture, materials, and overall design character of development; and to protect and enhance existing neighborhood character.

180-6.21.2. APPLICABILITY

- A. This section shall apply to the development of any non-residential use that requires site plan review. Findings shall be made that a non-residential development is in compliance with the standards of this section prior to approval of a site plan review. Failure to meet the mandatory standards shall constitute grounds for the decision-making body to request amendments to the proposed design or to deny a final plan or site plan.
- B. Mixed-use development shall comply with these non-residential development standards.

180-6.21.3. STANDARDS

The following mandatory standards shall be met by all non-residential development subject to site plan review:

A. Compatibility with Neighborhood Character

1. Intent

To ensure that structures are compatible with, but not identical to, existing nearby structures and their neighborhood surroundings, as well as Frisco's "small mountain town" character.

2. Compatibility

- a. Compatibility shall be achieved through proper consideration of scale, design, proportions, site planning, landscaping, materials and colors, and compliance with the standards in this section.
 - i. Compatibility of development on Main Street shall be determined based on proper consideration of the above features of nearby properties on Main Street rather than properties on other streets, as well as compliance with the standards in this section.
- b. The existing landforms and historic structures, as noted in the town's Historic Resource Inventory, on a site shall be preserved onsite whenever possible and reinforced by development rather than destroyed or replaced by it.

B. Façade Standards

1. Intent

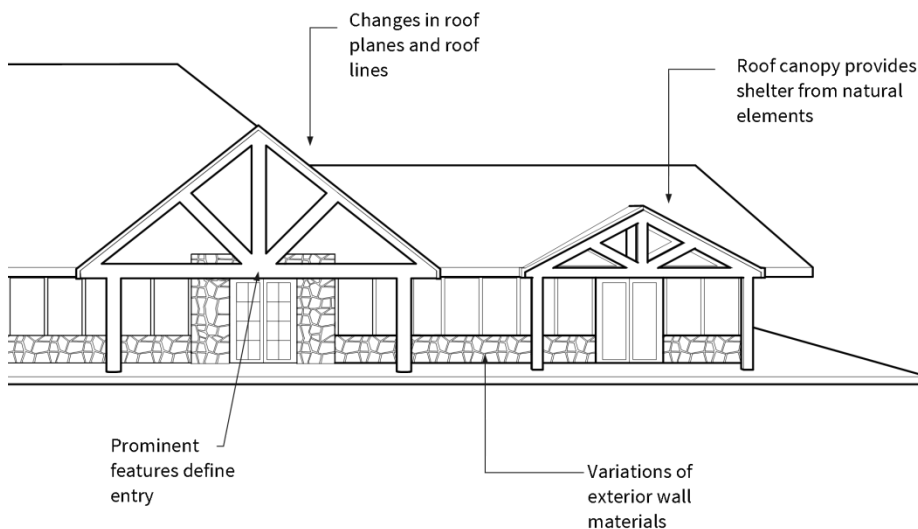
To ensure that the façade design of development is compatible with Frisco’s “small mountain town character” and existing buildings.

2. Building Elements

All building elevations shall employ varied articulation of wall surfaces, as shown in Figure 6-00.

- a. Each street-facing façade shall include one or more deep eaves or overhangs, at least 24 inches in depth.
- b. Each façade or each 75 foot portion of a façade visible from public streets or parking lots shall be articulated through the use of at least four of the following building elements that provide shelter from natural elements and provide visual relief.
 - i. Balconies, porches, or patios;
 - ii. Building elements that provide shelter from natural elements;
 - iii. Offsets, insets, bays, or other similar architectural features to add a variety of depths to the wall plane;
 - iv. A change in texture or material, provided all exterior wall textures and materials are consistent with the overall architectural style of the building;
 - v. Variation in roof planes or roof forms, including dormers or gables;
 - vi. Variation in window sizes and shapes; or
 - vii. Prominent building entrance features.

Figure 6-00: Building Element Variation Examples

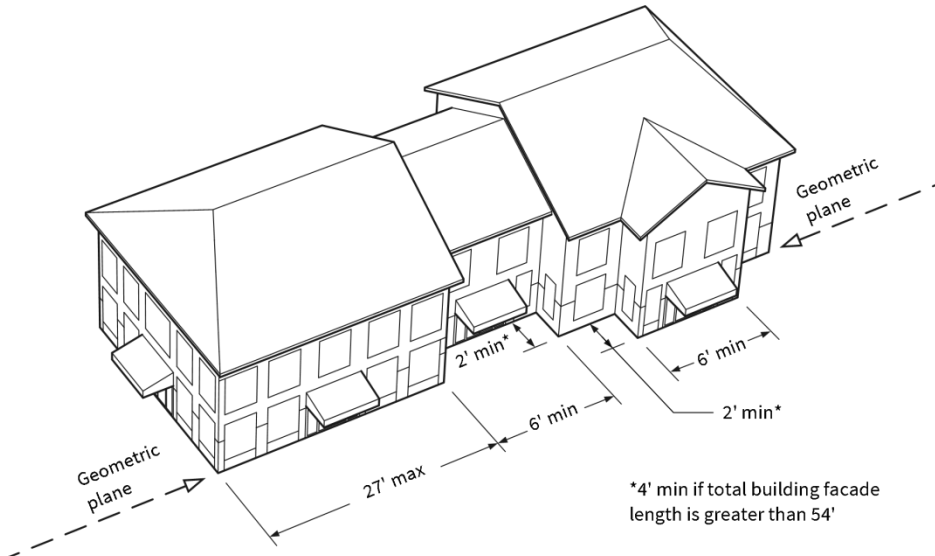


3. Building Articulation

- a. Building walls and corresponding eaves shall not exceed 27 feet in the same geometric plane.

- b. Building walls over 27 feet in length shall change geometric planes by at least two feet in depth for a minimum length of six feet.
- c. Building walls that exceed 54 feet in total building façade length shall change geometric planes by at least four feet in depth for a minimum length of six feet.
- d. Building walls or roof ridgelines over 33 feet in length and facing a front yard or street side yard shall not have more than 66 percent of the length of the wall or roof ridgeline along the same geometric plane.

Figure 6-PP: Building Articulation Requirements



4. Entrances

- a. For development with over 25,000 square feet of gross floor area, at least two separate and distinct public entrances into the building shall be provided.

C. Bulk Plane Standards

- 1. Buildings shall be designed in a manner that provides elements that relieve the feeling of mass and provides for the graduation of mass as one moves back from the front of a lot, with the smaller elements located near the street, and the larger elements located further away from the street.
- 2. See Section 180-6.23 for bulk plane requirements.

D. Roof Standards

1. Intent

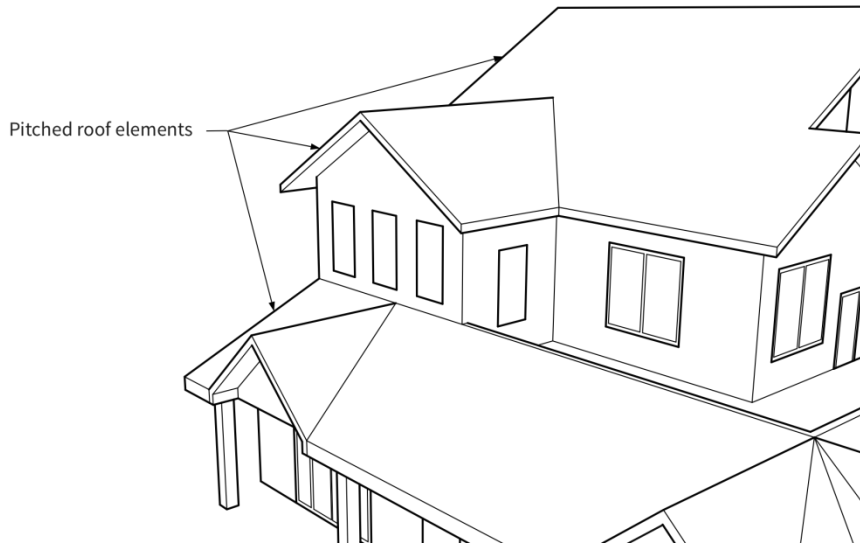
To ensure that roof elements are compatible with or complementary to existing historic or contributing buildings in the area and to encourage visibly pitched roofs or roof elements.

2. Roof Pitch

- a. Steep pitched roofs are encouraged.
- b. Flat roof construction shall be augmented with pitched roof elements, including but not limited to, peaked or sloped facade elements or parapets facing all street sides.
- c. Pitched roof elements shall vary by a minimum of two feet in elevation.

- d. Mansard roofs are not appropriate and are not allowed.

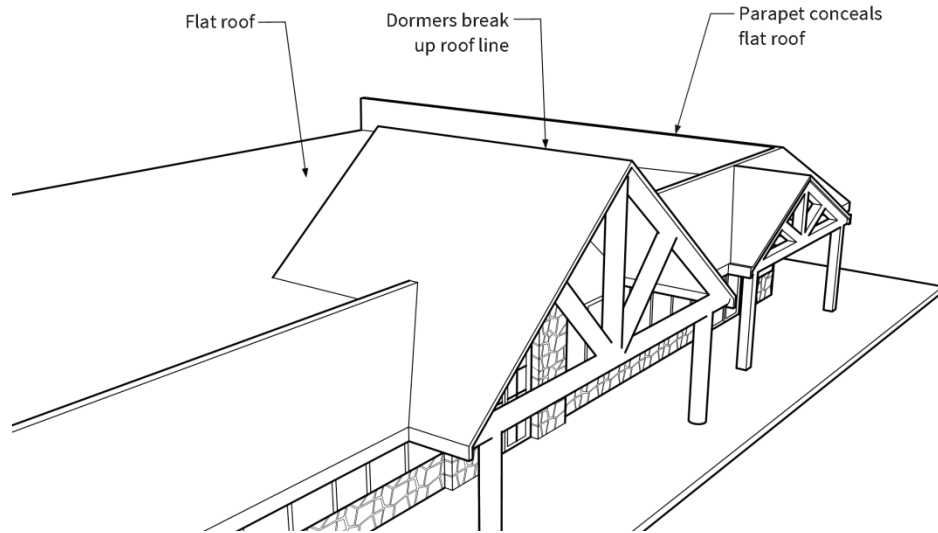
Figure 6-QQ: Pitched Roof Elements



3. Roof Design

- a. Where pitched roofs are utilized:
- A minimum pitch of 4/12 is required.
 - Dormers shall be incorporated to break up the roof, to enhance the usability of attic spaces, and to add architectural interest.
 - Ridgelines shall change elevation by no less than two feet for each 27 feet of building length. Architectural elements which intersect with the ridgeline may qualify as ridgeline changes upon a finding that the design furthers the purpose of this section.
- b. Shed roofs with a minimum pitch of 3/12 may be utilized only if the shed roof element is below the primary roof level and terminates into the roof or wall of the structure.
- c. No more than 66 percent of a ridgeline or roof line shall be on the same elevation.
- d. Roof lines shall be designed in a manner where they do not substantially deposit snow onto required parking areas, sidewalks, trash storage areas, stairways, decks, balconies, or entryways.

Figure 6-RR: Roof Line Variation



4. Roof Materials

- a. If metal roofs are used they shall be surfaced with a low-gloss finish or be capable of weathering to a dull finish in order to not be reflective.
- b. Metal roofs shall have a standing seam or shall be of a design that provides relief to the roof surface.
- c. Asphalt and fiberglass shingles are permitted provided that they are a heavy material that provides substantial relief and shadow, and the design and color are compatible with the building.
- d. Spanish or Mission style roofs and other similar roof materials are prohibited.
- e. Historic buildings, as noted in the Town's Historic Resource Inventory, may use rolled asphalt roofing materials.
- f. Bright colored roofs that exceed a chroma of four on the Munsell Color chart shall not be allowed.
- g. All rooftop mechanical, electrical, and electronic equipment shall be screened in a manner that is compatible with and substantially similar to the colors and materials of the building or the roof.

E. Building Material Standards

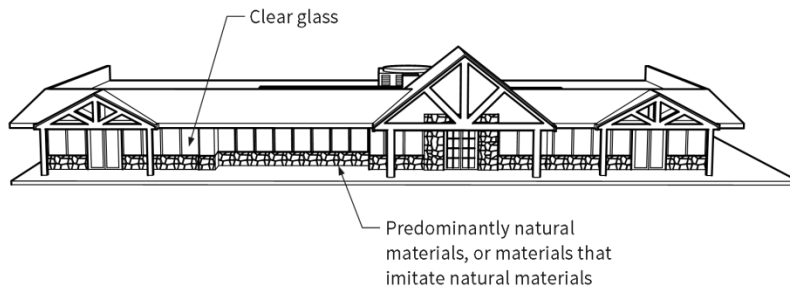
1. Intent

To ensure that building materials are compatible and complementary to existing historic or contributing buildings in the area, using a combination of mainly natural materials.

2. Primary Materials

- a. Building materials shall be predominantly natural, including but not limited to, wood siding, wood shakes, logs, stone, brick, or other similar materials.
- b. Other materials that imitate natural materials are also acceptable, provided their texture, shape, and size are similar to the natural materials they are imitating, and are not obviously artificial materials.
- c. Stucco, steel, or concrete block shall not be primary exterior materials for the majority of a building.

Figure 6-SS: Use of Building Materials



3. Specific Material Standards

a. Concrete Block

Concrete block used as an accent material shall be a split, textured, or scored block.

b. Concrete Panel

Concrete or concrete panels shall be textured or scored and used in combination with other materials, or shall be faced with another material such as stone, stucco, or other similar materials.

c. Glass

Clear glass shall be used for windows. Tinted, colored, or opaque glass may be approved when demonstrated by the applicant to be compatible with the purpose of this section.

d. Metal

Metal shall have a matte finish or a finish proven to fade and not be reflective.

e. Steel

Steel may only be used as an accent material or used in combination with other materials.

f. Stucco

Stucco may only be used as an accent material or used in combination with other materials.

4. Prohibited Materials

The following materials are prohibited:

- a. Aluminum, steel, or plastic exterior siding that does not imitate natural materials;
- b. Mirrored or reflective glass; and
- c. Untreated or unpainted galvanized sheet metal.

5. Accessory Structures

The same or similar building materials shall be used on main structures and any accessory structures located on the same site, unless an alternative design can be provided that will complement the project and meet the purpose of this section.

F. Building Colors

1. Intent

To promote building colors compatible with the site and surrounding buildings.

2. Maximum Color Chroma

No color may be used as the primary color of the building that exceeds a chroma of four on the Munsell Color chart.

3. Exception for Building Accents

Colors that exceed a chroma of four, but do not exceed a chroma of eight on the Munsell Color chart may be used only sparingly as accents, such as on trim or railings. Luminescent, fluorescent, or reflective colors shall not be utilized on any exterior portion of the building.

4. Accessory Structures

The same or similar colors shall be used on main structures and on any accessory structures on the site, unless an alternative scheme can be provided that will complement the project and meet the purpose of this section.

G. Design Variety

1. Intent

To promote design variety that is also compatible with the character of Frisco.

2. Duplicate Building Design Prohibited

- a. Building designs that duplicate, or are substantially similar in terms of roof pitch, building articulation, materials, colors, and building elements to existing or proposed structures within a 300 foot radius of the property are not allowed, with the exception of accessory structures, which may be designed similarly to the primary structure.
- b. Where a proposed building contains multiple identical units, the building design shall provide architectural differentiation from the duplication of units by providing a variety in windows, decks, balconies, or exterior facade compositions.

H. Additions

Additions that are substantially smaller than the square footage of the existing building may be designed to complement the existing structure, even if the existing building does not currently meet the façade, roof, material, or color standards of this section.

I. Parking and Loading

1. Intent

To mitigate the visual impact of parking and loading facilities.

2. Parking

- a. No more than 60 percent of required parking spaces may be located in front of a building along the principal street façade. If another building or other structure blocks the view of parking from the street, the blocked parking spaces may be excluded from this percentage.

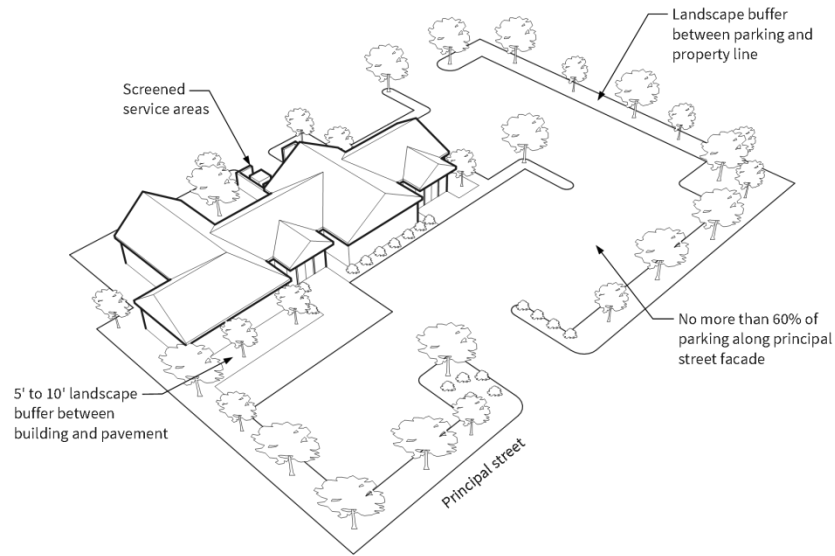
3. Landscaping of Parking Lots

- a. Except in the Central Core District, parking lots abutting a property line shall incorporate a landscaped buffer between the property line and the paved surface of the parking lot. Non-raised planters in parking lots are encouraged so that, where possible, stormwater may be accommodated through such landscaped areas and maintenance is reduced.
 - i. Required landscaped buffers shall meet the following standards:
 - a) Buffers shall be a minimum of ten feet wide and contain twice the required number of trees required by Section 180-6.14.
 - b) The location and type of all plantings shall meet sight distance requirements.
 - ii. The following incentive is available:
 - a) If a landscaped buffer incorporates double the plant quantities and area required above, or double the requirement in Section 180-6.14.3.F, Parking Area Landscaping, whichever is greater, then the applicant may locate up to 75 percent of the required parking in the front of the building along the principal street façade, with approval by the Planning Commission.
- b. Except in the Central Core District, where a building abuts parking or paved areas, a landscaped area shall be provided that varies from five to ten feet in width.
 - i. Required landscaped areas shall meet the following standards:
 - a) At least half of the landscaped areas shall be 10 feet in width.
 - b) This landscaped area shall be at least 50 percent of the length of the building.
 - c) Landscaping shall also comply with Section 180-6.14.
 - ii. The following incentive is available:
 - a) If less than 50 percent of the required parking spaces are located in front of the building along the principal street façade, the landscaped buffer may be reduced to a minimum of 35 percent of the length of the building, with approval by the Planning Commission.

4. Loading

- a. Service, loading, and trash areas shall be screened from all public rights-of-way and parking areas.

Figure 6-TT: Parking and Loading



J. Amenities

1. Intent

To enhance development with amenities that promote alternative modes of transportation and provide community gathering spaces.

2. Bicycle Parking

Bicycle parking spaces shall be provided in an amount equal to at least 20 percent of the required vehicular parking spaces for the development. A lesser number may be approved by the Town if reasonably justified by the applicant.

3. Community Spaces

- a. Development with over 10,000 square feet of gross floor area shall provide community spaces, including but not limited to, public benches, water features, public kiosk/gazebo, public patio/seating areas, public plazas, or public art.
 - i. A minimum of one community space shall be provided for any development with between 10,000 and 25,000 square feet of gross floor area.
 - ii. A minimum of three community spaces shall be provided for any development with over 25,000 square feet of gross floor area.