



**PLANNING COMMISSION
STAFF REPORT**

September 20, 2018

AGENDA ITEM: Planning File No. 062-18-MAJ: A public hearing for the sketch plan review of the Major Site Plan application for the proposed addition to the Frisco Emporium Building

LOCATION: 313 East Main Street, Lots 4 & 5, Block 6, Frisco Townsite

ZONING: Central Core (CC) District

OWNER/
APPLICANT: Robert Philippe
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PROJECT DESCRIPTION

The applicant, Robert Philippe, is requesting a sketch plan review for an addition to the Frisco Emporium Building located at 313 East Main, Lots 4 & 5, Block 6, Frisco Townsite. According to the application materials, the project includes:

- Construction of a 2,250 s.f. addition to the existing Frisco Emporium Building to create additional retail space.
- The relocation of the existing dumpster and construction of a new enclosure.

The project will require a full Major Site Plan review by the Planning Commission.

For a more complete project description, please refer to the attached application materials.

BACKGROUND

The property contains an existing structure built in 1986, known as the Frisco Emporium Building. Approximately 6,770 sf in size, it contains retail uses, the Ein Prosit Beer Garden, and an antique steam locomotive. As stated in the applicant's narrative, the proposed project is to create a 2,250 sf addition in order to expand the existing retail and allow for a new tenant space with separate entrance off of the Galena Street Alley.

Below is a vicinity map of the subject property with an aerial photography base layer. The location of the property lines shown on this map vary in accuracy and should only be used for reference purposes. Photographs of the subject property are included for reference.



Vicinity Map



Southwest Corner of existing building



South-facing, Main Street Façade of existing building



North-facing, Galena Street Elevation of existing building



Northwest corner of existing building

SKETCH PLAN REVIEW

A sketch plan review is an opportunity for Planning Commission to comment on the various aspects of a development proposal including proposed uses, parking and traffic circulation, architecture, landscape design, and compatibility with the neighborhood. It is also an opportunity for the applicant to listen to Commissioners' comments and make changes to the proposal prior to the final site plan application submittal.

Pursuant to Section §180-2.5-D-3, Frisco Town Code (in part):

a. All applications for major site plans shall present an informal sketch plan of the development before a regularly scheduled meeting of the Planning Commission. The applicant shall notify the Community Development staff in writing at least 21 calendar days prior to the Planning Commission meeting at which the sketch plan is requested to be presented. Materials to be presented in support of the development must be of sufficient nature to allow the Planning Commission and Community Development staff to provide informed feedback on the project. At a minimum the applicant must submit the following information:

- i. Written project description, including a synopsis of the proposed development program, and how the project will meet the principles of the Master Plan and the standards of the zoning code;*
- ii. Site plan showing the location of the building(s) and other improvements (retaining walls, berms, dumpster locations, open space, etc.) with dimensions to setbacks, property lines, easements, north arrow, scale (no smaller than 1"=20'), legend, vicinity map;*
- iii. Existing and proposed utility (main and service) lines;*
- iv. Existing and proposed topography at 2 foot intervals, including 50 feet beyond the property boundary, existing easements, lot dimensions, lot size in square feet/acreage;*
- v. Existing site characteristics map with vegetation, wetlands, unique natural features;*
- vi. Parking space location and counts and traffic circulation design, with driveway locations, points of access from right-of-way, preliminary grades, bike and pedestrian improvements;*
- vii. Proposed landscaping, post-development grades, snow storage, preliminary stormwater plan showing approach to stormwater handling;*
- viii. Scaled drawings of all building locations and schematic elevations; and*
- ix. Samples of all colors and materials proposed.*

b. The Planning Commission may require an applicant to return for additional sketch plan presentations if sufficient information is not received or if substantial changes to a proposal are recommended. Presentation of a sketch plan neither binds the

Planning Commission to approve a site plan, nor does it confer the applicant any vested rights.

- c. The sketch plan presentation shall become null and void if a complete major site plan application is not submitted to the Community Development Department within 90 days after the date of the Planning Commission's review of the sketch plan.*

Based upon a cursory review of the submitted sketch plan application materials, this proposal generally appears to conform with the use, lot coverage, setbacks, stepbacks, and building height requirements of the Frisco Unified Development Code (UDC). Landscaping, lighting, refuse management and other specific development standards have not been reviewed at this time, but will need to be clearly addressed at the time of final site plan review.

The final site plan application for this proposal will require Planning Commission review. The proposal will be reviewed in detail for conformance with the Frisco Community Plan and compliance with the Frisco UDC at that time.

ANALYSIS - FRISCO COMMUNITY PLAN

The following elements of the Frisco Community Plan are applicable to the review of the proposed development:

Plan Overview (excerpt)

The Frisco Town Charter requires that the Town's master plan be updated every five years in order to respond to changing times. The 2011 master plan update is titled the 'Frisco Community Plan.' Periodically updating the Frisco master plan is a critical step in the process to maintain a vibrant mountain town, balance the town's reputation as a great destination, ensure a strong yet diverse economic base, and preserve our quality of life. The community realizes intentional planning for the future is necessary to ensure that the Town of Frisco continues to evolve as a resilient community.

Purpose ~ The Frisco Community Plan's purpose is to identify common values and guide direction to connect, sustain and create the future of the Town of Frisco over the next 5 years.

Connect ~ Connections are a core tenet of the Frisco Community Plan; they reflect the way people, organizations and neighbors relate to each other in the Frisco community. Connections help to address needs of the community.

Sustain ~ Everything is interrelated. Sustainability is the fundamental approach of the Frisco Community Plan; it recognizes the social, environmental and economic influences on the community, and aims over the long-term to balance these influences to support community success.

Create ~ Creation of lasting community relationships is an important aspect of the Frisco Community Plan. The plan creates the community's direction for a preferred future of Frisco."

Chapter 2. Community Direction (excerpts)

The Frisco Community embraces itself as a vibrant mountain town, and seeks opportunities to enhance and maintain vibrancy through art and culture, the built environment, community services, energy, the economy, health and well-being, housing, natural resources, recreation and transportation. ~ Community Plan Quality of Life statement

Built Environment

Frisco is a community that encourages land uses and architectural styles to fit its mountain town identity, and strives for development with sustainable design, materials and practices.

- **BE 1. Encourage eclectic and sustainable designs for new construction and redevelopment to enhance the community's character.**
- **BE 2. Ensure the design of Frisco's public spaces, streets and pathways reflect Frisco's mountain town character.**
- **BE 3. Preserve and enhance the Main Street area as the heart of the community.**
- *BE 4. Enhance the Summit Boulevard area as a primary gateway and as a functional and efficient economic center of the town.*
- *BE 5. Promote attractive and safe connections between all areas and sections of the town.*

Economy

Frisco is a community that promotes a diverse, sustainable, year-round economy.

- **EC 1. Develop economic strategies to encourage a diversity of commercial businesses in town.**
- **EC 2. Continue to promote the town as a year-round destination.**
- **EC 3. Encourage and direct economic growth.**
- *EC 4. Allocate public resources to effectively support and encourage cost-effective private investments that enhance the community.*
- **EC 5. Support the creation and outlet for local markets and support local workforce policies.**

The proposed application appears to further the quality of life statements above in bold. The application conforms to the recommendations of the Frisco Community Plan.

ANALYSIS – CENTRAL CORE (CC) DISTRICT [§180-3.11]

The requirements of the Central Core (CC) District are applicable to the review of the proposed Frisco Emporium Building addition project as follows:

Purpose: The purpose of the CC district is as follows:

“To promote the development of Frisco's Main Street commercial district for retail, restaurant, service, commercial, visitor accommodation, recreational, institutional and residential uses, and to enhance the visual character, scale and vitality of the central core.”

Minimum Lot Area: The minimum lot area is 3,500 sf. The existing project site area is 7,000 sf.

Minimum Lot Frontage: None

Setbacks: The minimum required setbacks and proposed the setbacks for this property are as follows:

| | Minimum Setback | Proposed Setback |
|------------|-----------------|--------------------|
| Front Yard | 3 feet | 3 feet (no change) |
| Side Yard | 0 feet | N/A |
| Rear Yard | 0 feet | N/A |

Stepbacks: A minimum stepback of 10 feet is required for the third and above floors of street facing wall facades. The third floor of the addition steps back approximately 14 feet from the second floor. This project meets the stepback requirement.

Lot Coverage: There is no maximum lot coverage requirement within the CC District for uses other than residential.

Maximum Building Height: The maximum building height is forty (40) feet for a pitched roof and thirty-five (35) feet for flat. According to the architectural elevations the proposed pitched roof is approximately thirty-one (31) feet in height. A roof plan that includes roof ridgeline and height elevations in USGS format and an accompanying chart illustrating compliance will be required at final site plan review.

ANALYSIS – USE STANDARDS [§180-5]

Permitted Uses: In the CC District, there are several types of allowed retail uses, including artisan studio or gallery and light retail.

ANALYSIS - DEVELOPMENT STANDARDS [180-6]

The project will be reviewed thoroughly for compliance with the specific development standards of the Frisco Uniform Development Code (UDC) at the time of full site plan review.

Access (§180-6.11): All vehicle access shall comply with the standards set forth in Chapter 155, Minimum Street Design and Access Criteria. Where development abuts a Town road, location of access points to the road must be approved by the Frisco Public Works Director.

There is currently a shared access drive to the Galena Street Alley along the project's western property boundary. This access drive is intended to serve the required residential parking and loading area for the neighboring development located on Lots 6, 7, 8, & 9, Block 6, Frisco Townsite. More detail on the shared parking and access agreement will be required at final site plan review. The applicant will need to demonstrate that the proposed project will not have negative impacts to the adjacent property pursuant to the UDC §180-6.11.1. A. 3. *"Access in and out of a project shall be designed so as to create a safe condition and reduce potentially hazardous or inadequate situations, including but not limited to inadequate access, parking or loading of the project site, for residents or employees of the project as well as the general public."* Staff would like clarification on pedestrian access to the new retail space.

Traffic Study (§180-6.12): Due to the size of the development site the applicant is not required to submit a traffic report.

Parking and Loading (§180-6.13): There is no required on premise parking for retail uses within the CC District. On premise service and loading facilities are required for commercial uses. Since the Frisco Emporium Building functions in conjunction with the neighboring building located on Lots 6, 7, 8, & 9, Block 6, Frisco Townsite, the applicant will be required to provide a loading area per UDC §180-6.13.8.

Landscaping and Revegetation (§180-6.14): The applicant has not submitted a landscaping plan. There are a number of trees on the property which can be utilized towards landscaping requirements. The applicant will be required to show full compliance with §180-6.14, Landscaping and Revegetation at the time of full site plan application submittal.

Outdoor Lighting (§180-6.16): No outdoor lighting information has been provided. Lighting fixture cutsheets that demonstrate compliance with UDC requirements will be required for the final site plan review.

Refuse Management (§180-6.17): All commercial, mixed-use and multi-family residential development projects shall provide adequate space for the collection and storage of refuse and recyclable materials. Dumpsters, located within an approved enclosure, are required for commercial and mixed-uses projects.

The plans show the dumpster being relocated to the northern portion of Lot 6 and 7. The comments from Xcel state that the applicant will "need a 10 foot clearance to be

maintained from the transformer.” At time of full site plan review, the applicant will be required to address compliance with UDC §180-6.17 and referral comments from Xcel.

All refuse and recycling dumpsters and facilities must be screened on four sides with an approved enclosure. The screening must meet the requirements of UDC §180-6.17.2. Screening and §180-5.2.3. Outdoor Storage Areas.

Non-Residential Development Standards (§180-6.21): The purpose of the non-residential development standards is to ensure high-quality site and building design in Frisco; to establish minimum standards related to the scale, mass, architecture, materials, and overall design character of development; and to protect and enhance existing neighborhood character.

Compatibility with Neighborhood Character (§180-6.21.3. A.) - The existing structure is sided in a clapboard-style, natural brown, wood siding, with a gray metal standing seam roof. The proposed addition will match the architectural layout of the existing structure with two floors of substantially the same size and a smaller, third level loft. The proposed addition will be sided with metal, corrugated corten steel siding, and cedar trim. The metal roof will tie in and match the existing building. To the east is the Frisco Lodge, which is sided in an off-white stucco, and the west is a multi-use building housing Greco’s on the ground floor, which is sided in a natural brown log.

Façade Standards (§180-6.21.3. B.) – Although no changes are being proposed for the south facing façade, the existing building meets the Façade Standards outlined in §180-6.21.3. B. The building has deep eaves of greater than 24 inches in depth, it contains a variety of building elements including offsets in geometric plane, covered entrances, a patio area, and variations in the roof plane.

Bulk Plane Standards (§180-6.21.3. C.) - The existing building meets the bulk plane requirements on the south (front) façade as shown on the architectural elevations. There are no bulk plane requirements for the side and rear elevations in the CC District between Main Street and the Galena Street Alley.

Roof Standards (§180-6.21.3. D.) – The existing building and proposed addition have a 6:12 pitched roof. The third level loft and cupolas create variation and relief from the second level roofline. The south facing façade contains a dormer to break up the roof form. The proposed addition will have three dormers, one on each level as well as a shed roof over the rear entrance. The existing and proposed roof material is standing seam metal with a dull gray finish.

Building Material Standards (§180-6.21.3. E.) – The building material standards call for predominately natural materials. The existing building is wood siding in a clap board style. The addition is proposed to be sided in corrugated corten steel with cedar trim. Per UDC §180-6.21.3. E. 2. C. *“Stucco, steel, or concrete block shall not be primary exterior materials for the majority of a building.”* Staff recommends the Planning Commission provide the applicant feedback on the proposed siding material.

Building Colors (§180-6.21.3. F.) – The existing building meets the building color standards. No material samples were provided with this submittal. The applicant will be required to submit building material samples to demonstrate compliance with Town Code at the time of final site plan review.

Design Variety (§180-6.21.3. G.) – The third floor loft is setback substantially from the roofline of the lower floor. There is an existing cupola and the addition proposes a second cupola to match. These features are unique to this building within a 300’ radius.

Parking and Loading (§180-6.21.3. I.) – For retail and restaurant uses along Main Street there are no required parking spaces, therefore the requirement that “*No more than 60 percent of required parking spaces may be located in front of a building along the principal street façade*” does not apply.

The applicant is required to comply with the Loading requirements that state “ Service, loading, and trash areas shall be screened from all public rights-of-way and parking areas.” At the time of full site plan review, the applicant will be required to show compliance with the Parking and Loading sections of the Non-Residential Development Standards. Since the property is located in the CC District, it is exempt for the parking lot landscaping requirements.

Amenities (§180-6.21.3. J.) – The purpose of this section is “To enhance development with the amenities that promote alternative modes of transportation and provide community gathering spaces.” The development is located along Main Street in a pedestrian environment. Due to the size of the project no additional requirements apply.

Bulk Standards (§180-6.23): The proposed addition does not have any bulk plane encroachments. See above.

PUBLIC COMMENT

The Community Development Department has not received any formal public comments concerning this project as of September 13, 2018.

STAFF RECOMMENDATIONS

Staff recommends the Planning Commission provide the applicant feedback on the proposed Frisco Emporium Building addition and associated improvements in the context of the recommendations and requirements of the Frisco Community Plan and the Frisco UDC.

Staff observations:

- The applicant shall submit documentation to memorialize the shared parking, access, snow storage, and trash removal agreements between the two projects located at 313 and 307, 309, 311 Main Street.
- Staff recommends the Planning Commission provide the applicant feedback on the proposed use of corten steel as a siding material.

At the time of final site plan review, the applicant will be required to demonstrate compliance with all elements of the Frisco Town Code including access, snow storage, and landscaping, building height, parking, non-residential development standards, etc.

ATTACHMENTS

Attachments:

- Central Core (CC) District
- Non-Residential Development Standards
- Sketch plan application materials

3.11 Central Core (CC) District

3.11.1. PURPOSE

To promote the development of Frisco's Main Street commercial district for retail, restaurant, service, commercial, visitor accommodation, recreational, institutional and residential uses, and to enhance the visual character, scale and vitality of the central core.

3.11.2. DISTRICT STANDARDS

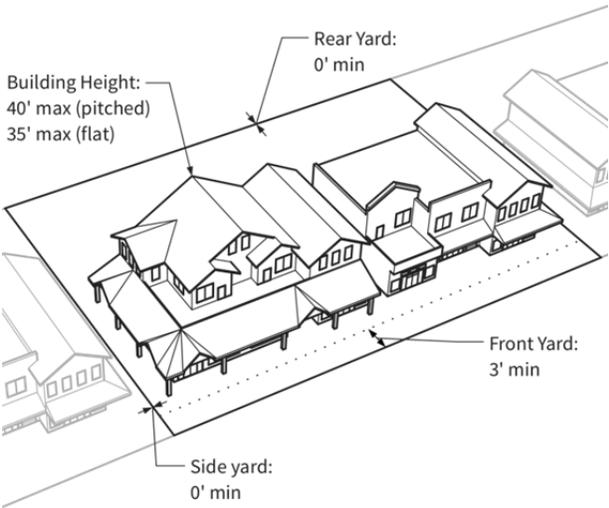
A. Dimensions

See Figures 3-I through 3-L and Sections 3.16 and 3.17.

B. Development Standards

1. For properties with frontage along Main Street, on-site parking shall be located at the rear of the property.
2. All residential development is subject to the Residential Development Standards in Section 6.22.
3. All non-residential development is subject to the Non-Residential Development Standards in Section 6.21.

Figure 3-I: Illustration of CC District Dimensional Standards for Properties on Main Street



| TABLE 3.11-1: CC DISTRICT DIMENSIONAL STANDARDS | |
|--|---------------------------------|
| PROJECT STANDARDS | |
| Maximum density | 16 du/acre |
| LOT STANDARDS | |
| Minimum lot area | 3,500 sf |
| Minimum lot frontage | None |
| Maximum lot coverage, one or two residential units | 70% |
| Maximum lot coverage, all other uses | None |
| SETBACKS | |
| <i>Properties on Main Street</i> | |
| Minimum front yard setback | 3 ft. |
| Minimum side yard setback | 0 ft. |
| Minimum rear yard setback | 0 ft. |
| <i>Properties on Granite Alley, Galena Alley, Granite Street, and Galena Street</i> | |
| Minimum front yard setback | 5 ft. |
| Minimum side yard setback | 5 ft. |
| Minimum rear yard setback | 5 ft. |
| Minimum setback for alley facing yard | 3 ft. |
| <i>One or Two Residential Units, Including Accessory Units</i> | |
| Minimum front yard setback | 10 ft. |
| Minimum side yard setback | 5 ft. |
| Minimum rear yard setback | 5 ft. |
| STEPBACKS | |
| Minimum stepback for the third and above floors of street-facing wall facades (as taken from the floor below, see Figure 3-L.) | 10 ft. |
| BUILDING STANDARDS | |
| Maximum building height | 40 ft. (pitched); 35 ft. (flat) |
| Maximum building height, first 20 feet in from property line on Galena Street | 25 ft. (pitched roof required) |

6.20 Nuisances (Performance Standards)

6.20.1. No building or premises shall be erected, altered, or used in any district for any purpose injurious, noxious, or offensive to a neighborhood by reason of the emission of odor, fumes, dust, smoke, vibration, noise or other cause.

6.20.2. Evidence shall be provided that any use of flammable or explosive materials will be in conformance with standards set by the Frisco Fire Protection District and Chapter 94 of the Town of Frisco Code; discharges into the air will be in conformance with applicable regulations of the State Air Pollution Control Act; any electromagnetic radiation will be in conformance with the regulations of the Federal Communications Commission. Discharges into the water will not violate standards or regulations established under the State Water Quality Control Act, Article 8, Title 25, of the Colorado Revised Statutes.

6.20.3. No person shall cause construction activity-related noise outside of an enclosed structure other than between the hours of 6:00 a.m. and 6:00 p.m. or one-half hour after sunset, whichever is later, except when construction work is required to make emergency repairs or as provided in Subsection C of this section.

- A. Construction activity shall include, but not be limited to, any activity requiring a building permit, an excavation permit, a grading permit or other outdoor activity which requires the operation of hand or power tools or other machinery used for building.
- B. Any violation of the construction activity time limitation shall be subject to stop orders and other remedies provided in the Town Code in effect at the time.
- C. Exception: The Community Development Director may, upon written application, alter the hours of construction activity described in Subsection 6.20.3 of this section by the issuance of a “Special Construction Activity Permit” for good cause shown which may include but not be limited to:
 - 1. Timing considerations based on the nature of the work being performed; or
 - 2. Health or safety considerations.
- D. Special Construction Activity Permits will be issued on a case by case basis and only when appropriate alternatives do not exist. The Community Development Director shall have at least 48 hours to approve or deny such a permit. Such a permit shall not be granted for a period which exceeds five days. If the circumstances warranting the Special Construction Activity Permit continue, the permit may be renewed by application to the Community Development Department.

6.21 Non-Residential Development Standards

6.21.1. PURPOSE

The purpose of the non-residential development standards is to ensure high-quality site and building design in Frisco; to establish minimum standards related to the scale, mass, architecture, materials, and overall design character of development; and to protect and enhance existing neighborhood character.

6.21.2. APPLICABILITY

- A. This section shall apply to the development of any non-residential use that requires site plan review. Findings shall be made that a non-residential development is in compliance with the standards of this section prior to approval of a site plan review. Failure to meet the mandatory standards shall constitute grounds for the decision-making body to request amendments to the proposed design or to deny a final plan or site plan.
- B. Mixed-use development shall comply with these non-residential development standards.

6.21.3. STANDARDS

The following mandatory standards shall be met by all non-residential development subject to site plan review:

A. Compatibility with Neighborhood Character

1. Intent

To ensure that structures are compatible with, but not identical to, existing nearby structures and their neighborhood surroundings, as well as Frisco's "small mountain town" character.

2. Compatibility

- a. Compatibility shall be achieved through proper consideration of scale, design, proportions, site planning, landscaping, materials and colors, and compliance with the standards in this section.
 - i. Compatibility of development on Main Street shall be determined based on proper consideration of the above features of nearby properties on Main Street rather than properties on other streets, as well as compliance with the standards in this section.
- b. The existing landforms and historic structures, as noted in the town's Historic Resource Inventory, on a site shall be preserved onsite whenever possible and reinforced by development rather than destroyed or replaced by it.

B. Façade Standards

1. Intent

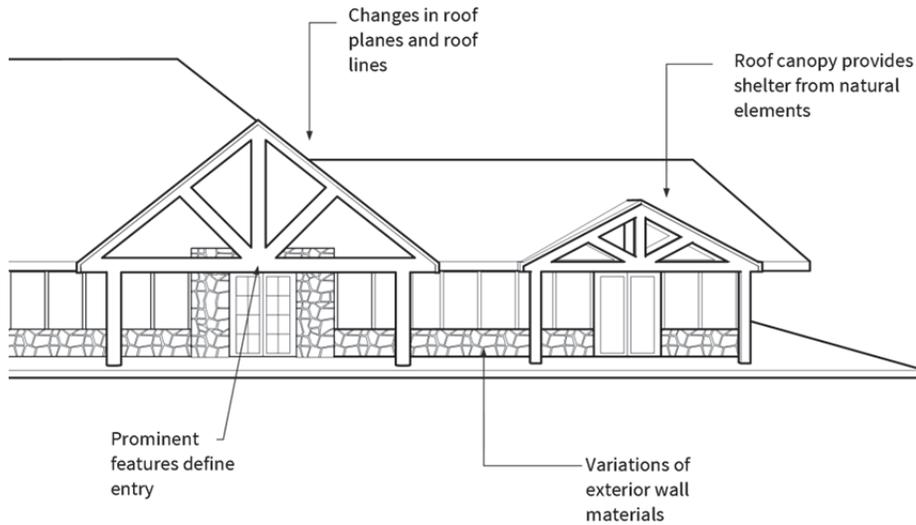
To ensure that the façade design of development is compatible with Frisco's "small mountain town character" and existing buildings.

2. Building Elements

All building elevations shall employ varied articulation of wall surfaces, as shown in Figure 6-00.

- a. Each street-facing façade shall include one or more deep eaves or overhangs, at least 24 inches in depth.
- b. Each façade or each 75 foot portion of a façade visible from public streets or parking lots shall be articulated through the use of at least four of the following building elements that provide shelter from natural elements and provide visual relief.
 - i. Balconies, porches, or patios;
 - ii. Building elements that provide shelter from natural elements;
 - iii. Offsets, insets, bays, or other similar architectural features to add a variety of depths to the wall plane;
 - iv. A change in texture or material, provided all exterior wall textures and materials are consistent with the overall architectural style of the building;
 - v. Variation in roof planes or roof forms, including dormers or gables;
 - vi. Variation in window sizes and shapes; or
 - vii. Prominent building entrance features.

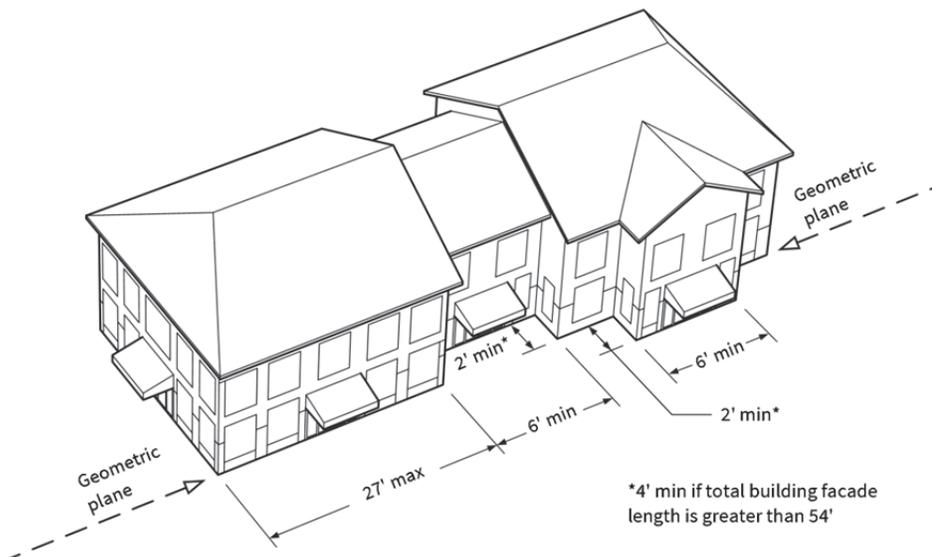
Figure 6-00: Building Element Variation Examples



3. Building Articulation

- a. Building walls and corresponding eaves shall not exceed 27 feet in the same geometric plane.
- b. Building walls over 27 feet in length shall change geometric planes by at least two feet in depth for a minimum length of six feet.
- c. Building walls that exceed 54 feet in total building façade length shall change geometric planes by at least four feet in depth for a minimum length of six feet.
- d. Building walls or roof ridgelines over 33 feet in length and facing a front yard or street side yard shall not have more than 66 percent of the length of the wall or roof ridgeline along the same geometric plane.

Figure 6-PP: Building Articulation Requirements



4. Entrances

- a. For development with over 25,000 square feet of gross floor area, at least two separate and distinct public entrances into the building shall be provided.

C. Bulk Plane Standards

1. Buildings shall be designed in a manner that provides elements that relieve the feeling of mass and provides for the graduation of mass as one moves back from the front of a lot, with the smaller elements located near the street, and the larger elements located further away from the street.
2. See Section 6.23 for bulk plane requirements.

D. Roof Standards

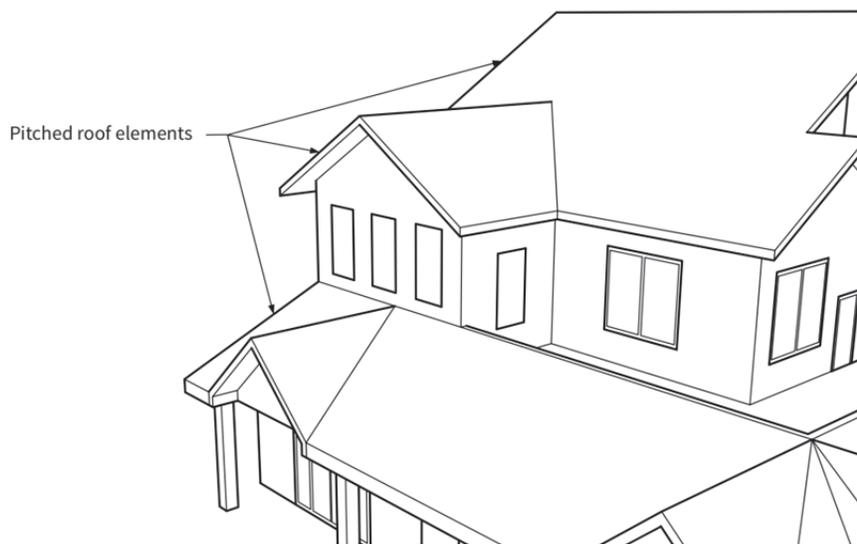
1. Intent

To ensure that roof elements are compatible with or complementary to existing historic or contributing buildings in the area and to encourage visibly pitched roofs or roof elements.

2. Roof Pitch

- a. Steep pitched roofs are encouraged.
- b. Flat roof construction shall be augmented with pitched roof elements, including but not limited to, peaked or sloped facade elements or parapets facing all street sides.
- c. Pitched roof elements shall vary by a minimum of two feet in elevation.
- d. Mansard roofs are not appropriate and are not allowed.

Figure 6-QQ: Pitched Roof Elements

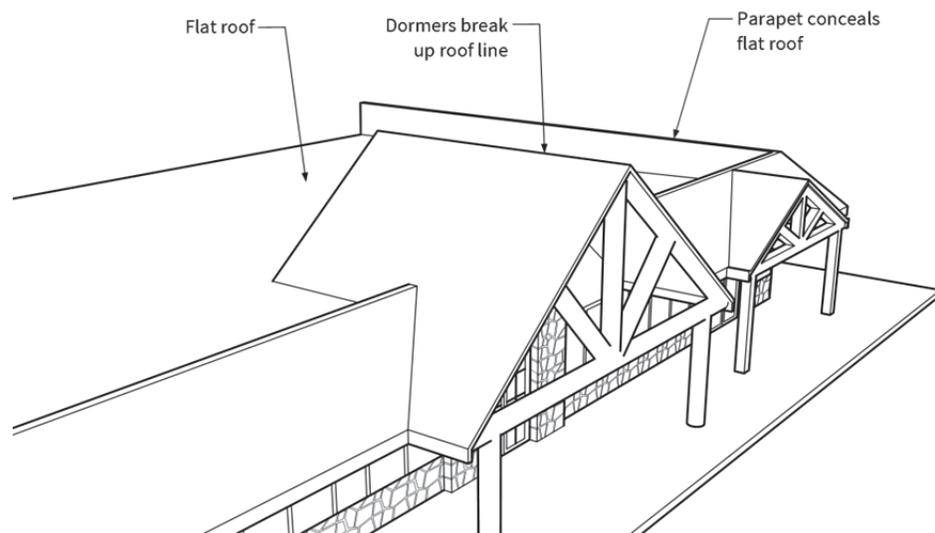


3. Roof Design

- a. Where pitched roofs are utilized:
 - i. A minimum pitch of 4/12 is required.

- ii. Dormers shall be incorporated to break up the roof, to enhance the usability of attic spaces, and to add architectural interest.
- iii. Ridgelines shall change elevation by no less than two feet for each 27 feet of building length. Architectural elements which intersect with the ridgeline may qualify as ridgeline changes upon a finding that the design furthers the purpose of this section.
- b. Shed roofs with a minimum pitch of 3/12 may be utilized only if the shed roof element is below the primary roof level and terminates into the roof or wall of the structure.
- c. No more than 66 percent of a ridgeline or roof line shall be on the same elevation.
- d. Roof lines shall be designed in a manner where they do not substantially deposit snow onto required parking areas, sidewalks, trash storage areas, stairways, decks, balconies, or entryways.

Figure 6-RR: Roof Line Variation



4. Roof Materials

- a. If metal roofs are used they shall be surfaced with a low-gloss finish or be capable of weathering to a dull finish in order to not be reflective.
- b. Metal roofs shall have a standing seam or shall be of a design that provides relief to the roof surface.
- c. Asphalt and fiberglass shingles are permitted provided that they are a heavy material that provides substantial relief and shadow, and the design and color are compatible with the building.
- d. Spanish or Mission style roofs and other similar roof materials are prohibited.
- e. Historic buildings, as noted in the Town's Historic Resource Inventory, may use rolled asphalt roofing materials.
- f. Bright colored roofs that exceed a chroma of four on the Munsell Color chart shall not be allowed.
- g. All rooftop mechanical, electrical, and electronic equipment shall be screened in a manner that is compatible with and substantially similar to the colors and materials of the building or the roof.

E. Building Material Standards

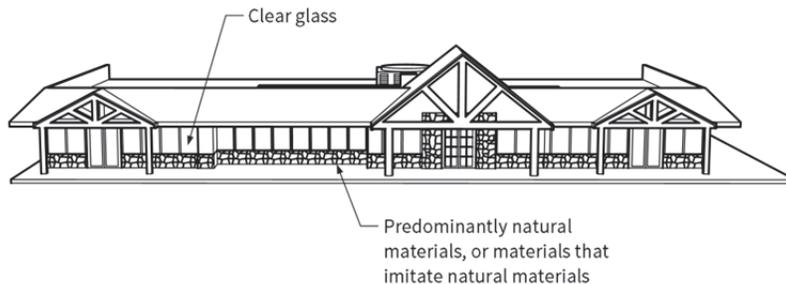
1. Intent

To ensure that building materials are compatible and complementary to existing historic or contributing buildings in the area, using a combination of mainly natural materials.

2. Primary Materials

- a. Building materials shall be predominantly natural, including but not limited to, wood siding, wood shakes, logs, stone, brick, or other similar materials.
- b. Other materials that imitate natural materials are also acceptable, provided their texture, shape, and size are similar to the natural materials they are imitating, and are not obviously artificial materials.
- c. Stucco, steel, or concrete block shall not be primary exterior materials for the majority of a building.

Figure 6-SS: Use of Building Materials



3. Specific Material Standards

a. Concrete Block

Concrete block used as an accent material shall be a split, textured, or scored block.

b. Concrete Panel

Concrete or concrete panels shall be textured or scored and used in combination with other materials, or shall be faced with another material such as stone, stucco, or other similar materials.

c. Glass

Clear glass shall be used for windows. Tinted, colored, or opaque glass may be approved when demonstrated by the applicant to be compatible with the purpose of this section.

d. Metal

Metal shall have a matte finish or a finish proven to fade and not be reflective.

e. Steel

Steel may only be used as an accent material or used in combination with other materials.

f. Stucco

Stucco may only be used as an accent material or used in combination with other materials.

4. Prohibited Materials

The following materials are prohibited:

- a. Aluminum, steel, or plastic exterior siding that does not imitate natural materials;
- b. Mirrored or reflective glass; and
- c. Untreated or unpainted galvanized sheet metal.

5. Accessory Structures

The same or similar building materials shall be used on main structures and any accessory structures located on the same site, unless an alternative design can be provided that will complement the project and meet the purpose of this section.

F. Building Colors

1. Intent

To promote building colors compatible with the site and surrounding buildings.

2. Maximum Color Chroma

No color may be used as the primary color of the building that exceeds a chroma of four on the Munsell Color chart.

3. Exception for Building Accents

Colors that exceed a chroma of four, but do not exceed a chroma of eight on the Munsell Color chart may be used only sparingly as accents, such as on trim or railings. Luminescent, fluorescent, or reflective colors shall not be utilized on any exterior portion of the building.

4. Accessory Structures

The same or similar colors shall be used on main structures and on any accessory structures on the site, unless an alternative scheme can be provided that will complement the project and meet the purpose of this section.

G. Design Variety

1. Intent

To promote design variety that is also compatible with the character of Frisco.

2. Duplicate Building Design Prohibited

- a. Building designs that duplicate, or are substantially similar in terms of roof pitch, building articulation, materials, colors, and building elements to existing or proposed structures within a 300 foot radius of the property are not allowed, with the exception of accessory structures, which may be designed similarly to the primary structure.
- b. Where a proposed building contains multiple identical units, the building design shall provide architectural differentiation from the duplication of units by providing a variety in windows, decks, balconies, or exterior facade compositions.

H. Additions

Additions that are substantially smaller than the square footage of the existing building may be designed to complement the existing structure, even if the existing building does not currently meet the façade, roof, material, or color standards of this section.

I. Parking and Loading

1. Intent

To mitigate the visual impact of parking and loading facilities.

2. Parking

- a. No more than 60 percent of required parking spaces may be located in front of a building along the principal street façade. If another building or other structure blocks the view of parking from the street, the blocked parking spaces may be excluded from this percentage.

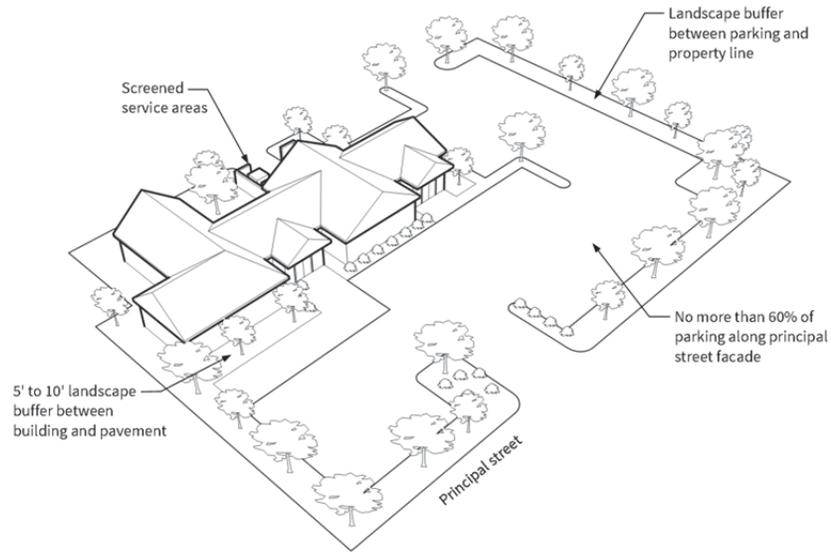
3. Landscaping of Parking Lots

- a. Except in the Central Core District, parking lots abutting a property line shall incorporate a landscaped buffer between the property line and the paved surface of the parking lot. Non-raised planters in parking lots are encouraged so that, where possible, stormwater may be accommodated through such landscaped areas and maintenance is reduced.
 - i. Required landscaped buffers shall meet the following standards:
 - a) Buffers shall be a minimum of ten feet wide and contain twice the required number of trees required by Section 6.14.
 - b) The location and type of all plantings shall meet sight distance requirements.
 - ii. The following incentive is available:
 - a) If a landscaped buffer incorporates double the plant quantities and area required above, or double the requirement in Section 6.14.3.F, Parking Area Landscaping, whichever is greater, then the applicant may locate up to 75 percent of the required parking in the front of the building along the principal street façade, with approval by the Planning Commission.
- b. Except in the Central Core District, where a building abuts parking or paved areas, a landscaped area shall be provided that varies from five to ten feet in width.
 - i. Required landscaped areas shall meet the following standards:
 - a) At least half of the landscaped areas shall be 10 feet in width.
 - b) This landscaped area shall be at least 50 percent of the length of the building.
 - c) Landscaping shall also comply with Section 6.14.
 - ii. The following incentive is available:
 - a) If less than 50 percent of the required parking spaces are located in front of the building along the principal street façade, the landscaped buffer may be reduced to a minimum of 35 percent of the length of the building, with approval by the Planning Commission.

4. Loading

- a. Service, loading, and trash areas shall be screened from all public rights-of-way and parking areas.

Figure 6-TT: Parking and Loading



J. Amenities

1. Intent

To enhance development with amenities that promote alternative modes of transportation and provide community gathering spaces.

2. Bicycle Parking

Bicycle parking spaces shall be provided in an amount equal to at least 20 percent of the required vehicular parking spaces for the development. A lesser number may be approved by the Town if reasonably justified by the applicant.

3. Community Spaces

- a. Development with over 10,000 square feet of gross floor area shall provide community spaces, including but not limited to, public benches, water features, public kiosk/gazebo, public patio/seating areas, public plazas, or public art.
 - i. A minimum of one community space shall be provided for any development with between 10,000 and 25,000 square feet of gross floor area.
 - ii. A minimum of three community spaces shall be provided for any development with over 25,000 square feet of gross floor area.