

OWNER:
E2 MH LLC
BOX 609
LOUISVILLE, N.C. 27023

BUILDER:
CAMPBELL CONSTRUCTION
BOX 4272
FRISCO, COLORADO 80444
970-389-7246

ARCHITECT:
ARCHITECTURAL INNOVATORS, INC.
BOX 30
IDAHO SPRINGS, COLORADO 80452
303-567-0100

CIVIL ENGINEER:
PEARSON ENGINEERING, INC.
BOX 1308
FRISCO, COLORADO 80443
970-668-5067

ELECTRICAL ENGINEER:
HUTCHINSON-PAPESH
ENGINEERING CORP.
DENVER, COLORADO
303-973-9779

STRUCTURAL ENGINEER:
MOUNTAIN STATES
ENGINEERING, INC.
DENVER, COLORADO

MECHANICAL ENGINEER:
MC DONALD
ENGINEERING, INC.
DENVER, COLORADO



① Granite and 4th Birdseye
1/2" = 1'-0"

VISTAS ON GRANITE STREET

165 S. 4TH AVENUE, FRISCO, COLORADO 80444

ARCHITECTURAL:

- A0- SITE PLAN
- A1- LOWER GARAGE LEVEL
- A2- MAIN FLOOR/ UPPER GARAGE
- A3- SECOND LEVEL
- A4- THIRD LEVEL
- A5- FOURTH LEVEL
- A6- ROOF PLAN
- A7- SOUTH ELEVATION
- A8- NORTH ELEVATION
- A9- EAST ELEVATION
- A10- WEST ELEVATION
- A10- LONGITUDINAL SECTION
- A11- TRANSVERSE SECTION

PERSPECTIVES:

- P1- GRANITE & 4TH AVENUE BIRDSEYE
- P2- GRANITE FRONT
- P3- GRANITE & 4TH PEDESTRIAN LEVEL
- P4 - FOURTH AVENUE
- P5- ALLEY
- P6- GRANITE & TOWNHOUSE NEIGHBOR
- P7- GRANITE CORNER BULKPLANE
- P8- FOURTH AVENUE BULKPLANE
- P9- COURTYARD PEDESTRIAN VIEW
- P10- COURTYARD BIRDSEYE

ENGINEERING:

- C1- DRAINAGE SITE PLAN
- C2- DRAINAGE DETAILS
- E1- PHOTOMETRIC LIGHTING PLAN

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INNOVATORS
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IDAHO SPRINGS, CO. 80452
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VISTAS ON GRANITE ST.
165 S. 4TH AVENUE
FRISCO, COLORADO 80443

No.	Description	Date

E2 MH LLC
Granite Station

Cover Sheet

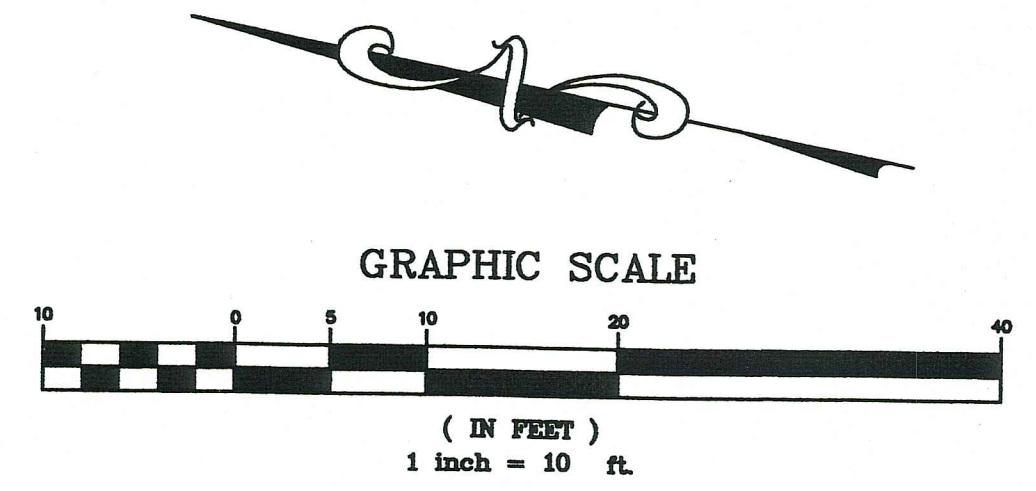
Project numberProject Number
Date 1/28/18
Drawn by Author
Checked by Checker

C-0

Scale 1/2" = 1'-0"

1/28/2018 5:27:44 PM

A TOPOGRAPHIC MAP OF
LOTS 21-24, BLOCK 9, FRISCO TOWNSITE AMENDED
TOWN OF FRISCO, SUMMIT COUNTY, COLORADO



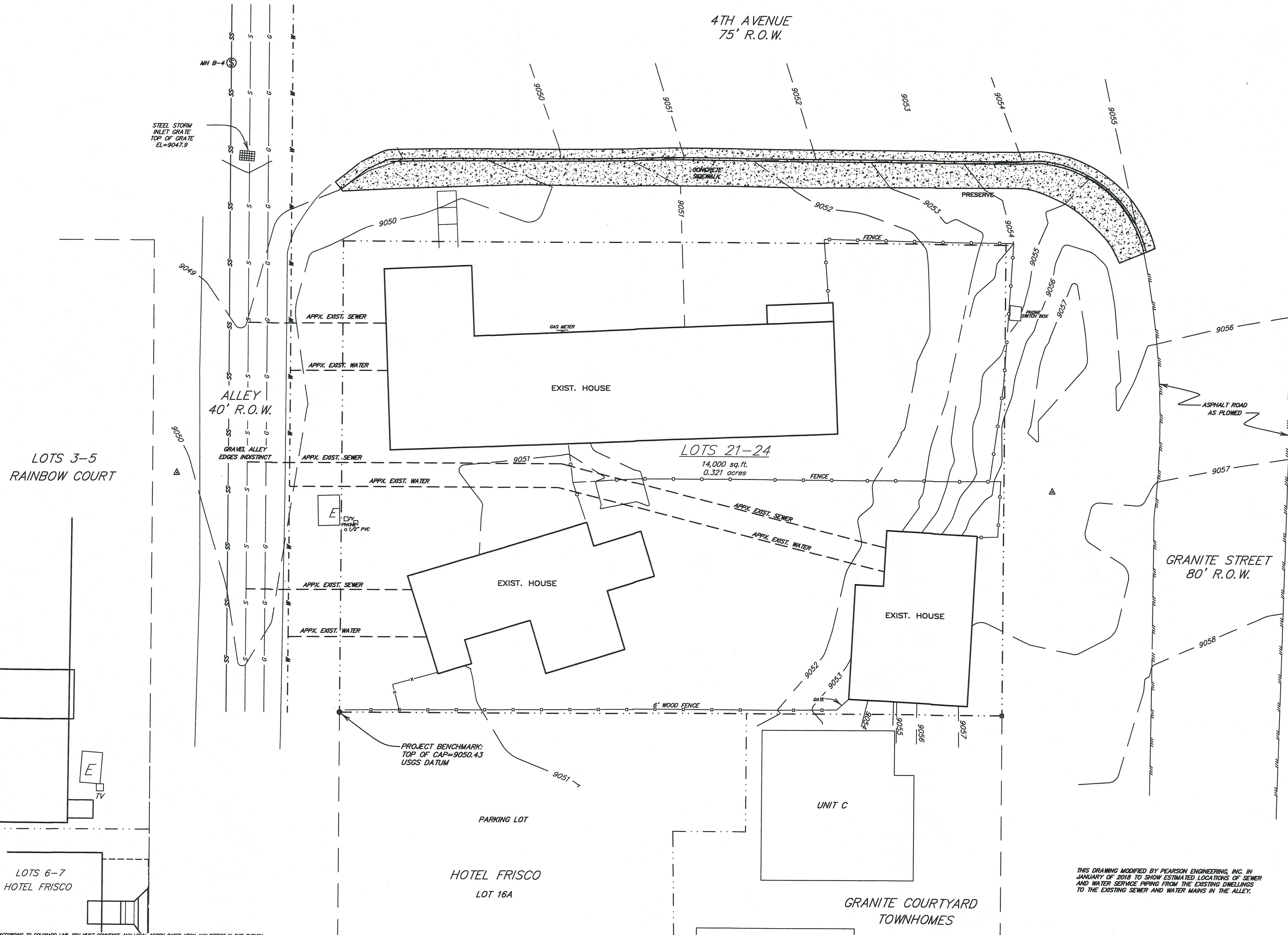
DATE OF FIELD SURVEY: 11/30/06
CONTOUR INTERVAL=2 FEET

LEGEND

- FOUND REBAR & RED PLASTIC CAP (PLS 15242)
- FOUND #4 REBAR
- ▣ FOUND REBAR & ALUM CAP
- UTILITY PEDESTAL
- △ RANDOM SURVEY CONTROL POINT
- ⊞ TRANSFORMER
- 8" PINE TREE WITH TRUNK DIAMETER
- 6" ASPEN TREE WITH TRUNK DIAMETER

- W — W — WATER MAIN
- G — G — GAS MAIN
- S — S — STORM SEWER MAIN
- SS — SS — SANITARY SEWER MAIN

NOTE: UTILITY MAINS ARE SHOWN PER TOWN OF FRISCO AS BUILTS.

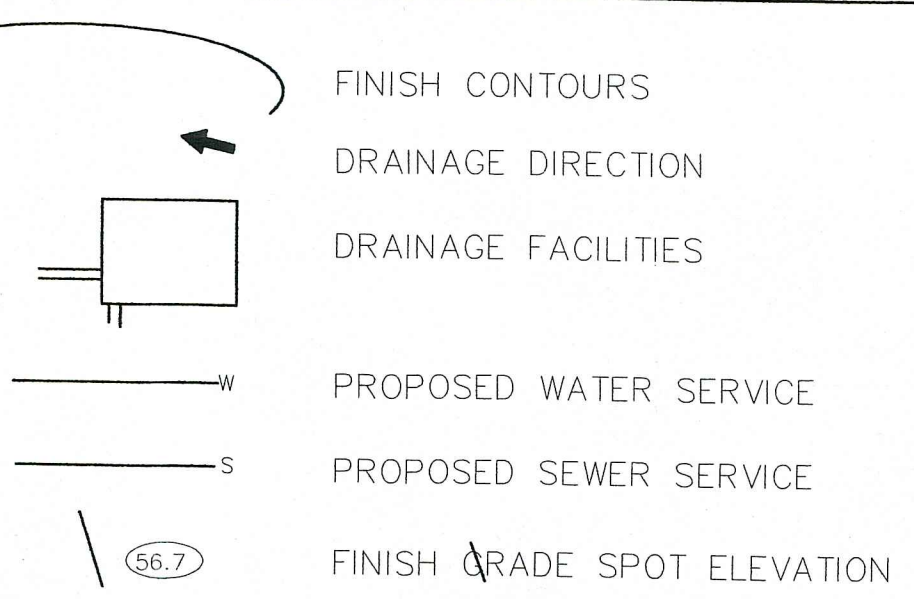


THIS DRAWING MODIFIED BY PEARSON ENGINEERING, INC. IN
JANUARY OF 2018 TO SHOW ESTIMATED LOCATIONS OF SEWER
AND WATER SERVICE PIPING FROM THE EXISTING DWELLINGS
TO THE EXISTING SEWER AND WATER MAINS IN THE ALLEY.

Drawn RRJ	Dwg 198827P	Project 19882
Checked RRJ	Date 12/06/06	Sheet 1 of 1
RANGE WEST SURVEYORS & ENGINEERS P.O. Box 589 Silverthorne, CO 80498 970-465-6261		

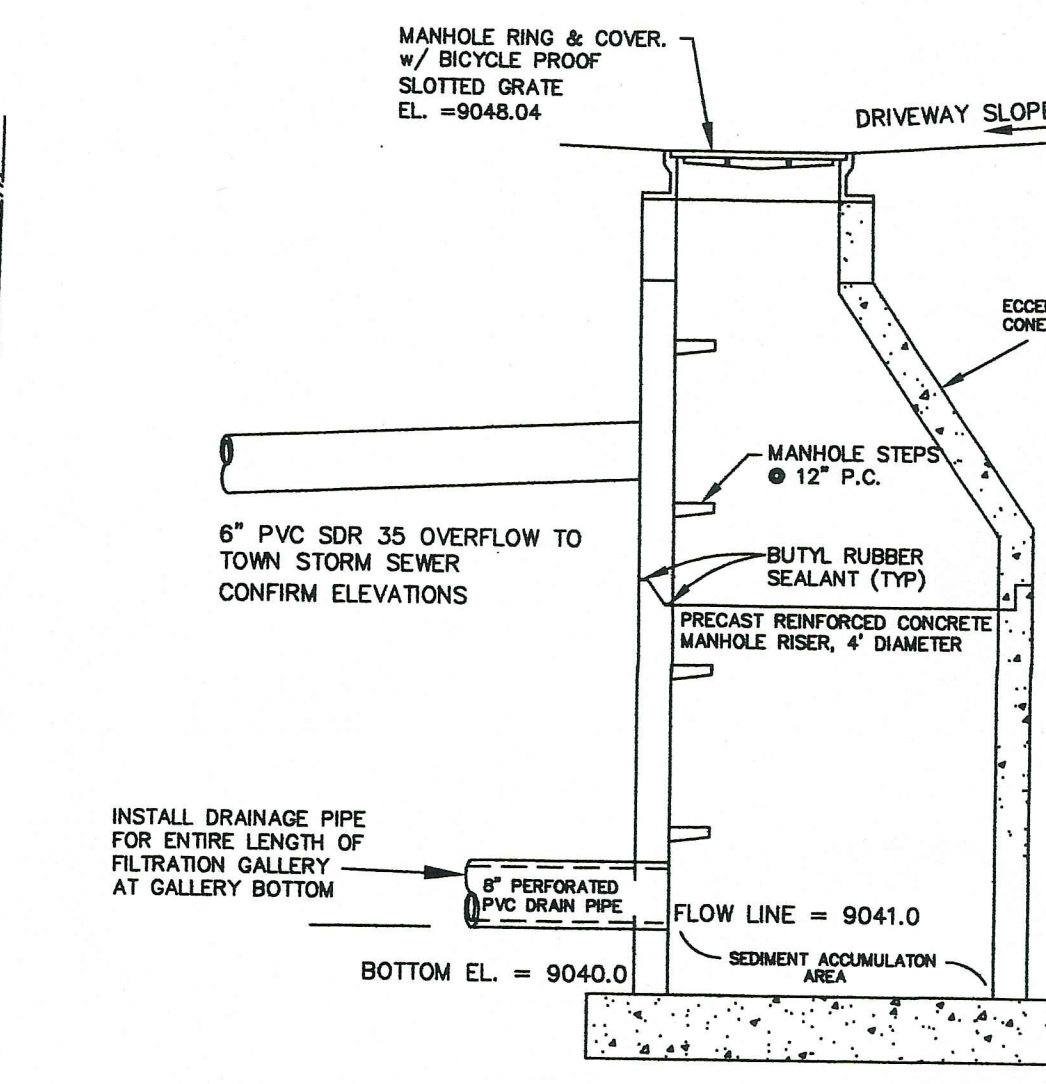
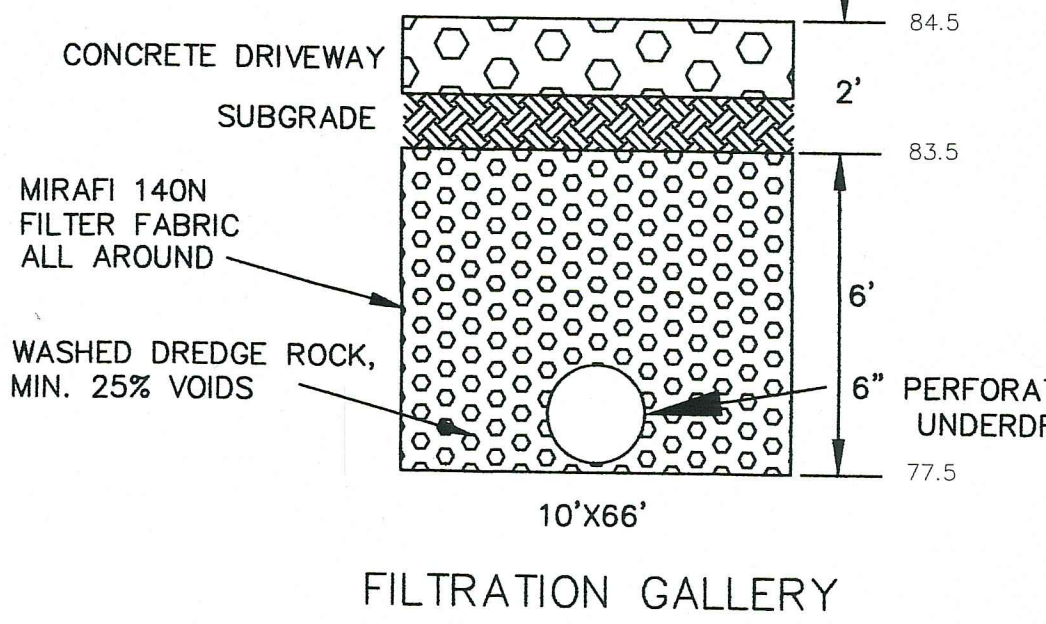
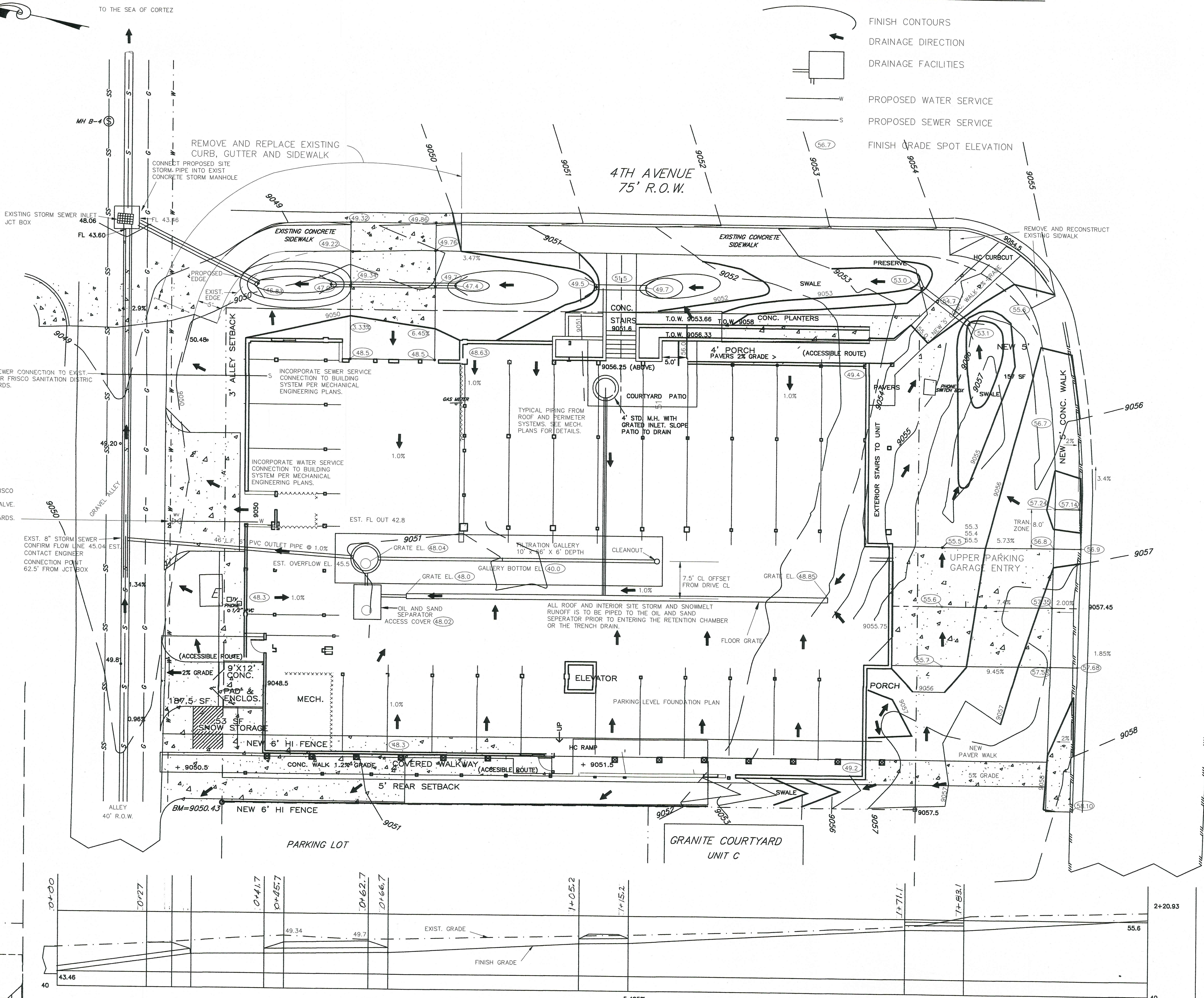
NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY
WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT; IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT
IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

DRAINAGE LEGEND



SURVEYOR'S LEGEND

- FOUND REBAR & RED PLASTIC CAP (PLS 152)
 - FOUND #4 REBAR
 - explode
 - UTILITY PEDESTAL
 - △ RANDOM SURVEY CONTROL POINT
 - E TRANSFORMER
 - 8" PINE TREE WITH TRUNK DIAMETER
 - 8" ASPEN TREE WITH TRUNK DIAMETER
 - W—W— WATER MAIN
 - G—G— GAS MAIN
 - S—S— STORM SEWER MAIN
 - SS—SS— SANITARY SEWER MAIN
 - EXISTING CONTOURS
- NOTE: UTILITY MAINS ARE SHOWN PER TOWN OF FRISCO AS BUILT.



- NOTES:
- 1) ALL JOINTS BETWEEN MANHOLE SECTIONS, MANHOLE RING & TOP SECTION, & AROUND SEWER PIPE INTO MANHOLE SHALL BE WATER-TIGHT.
 - 2) ALL STEPS SHALL BE A MINIMUM OF 12" AND A MAXIMUM OF 16" SPACING.

DATE OF FIELD SURVEY: 11/30/06

LATEST REVISION 01-2

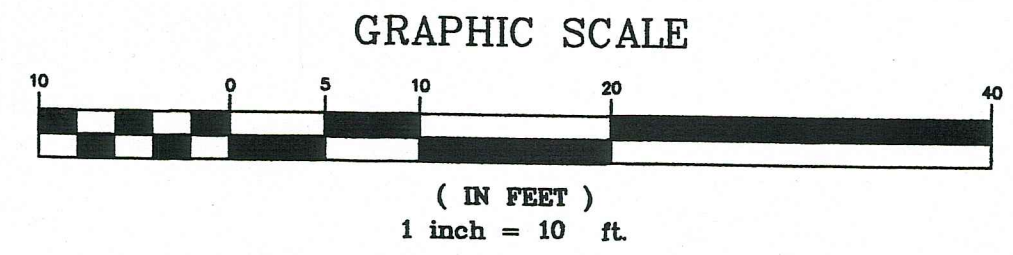
GRADING & DRAINAGE PLAN

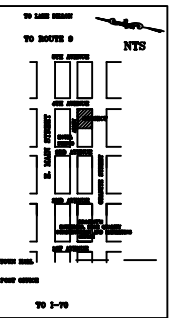
GRANITE STREET STATION

DRAWING #	151101CheckPrint	DATE	0-0
DRAWN BY	GAP	SCALE	1" =
FIELD BOOK	NA	SHEET	C-

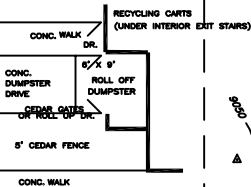
LOTS 21-24, BLOCK 9,
FRISCO TOWN SITE AMENDED
SUMMIT COUNTY, COLORADO

PEARSON ENGINEERING, INC.
1108 Rapid Pueblo Drive
970 668 5067
P.O. BOX 1908, FRISCO, CO 80445
gray@peach.com





VICINITY MAP

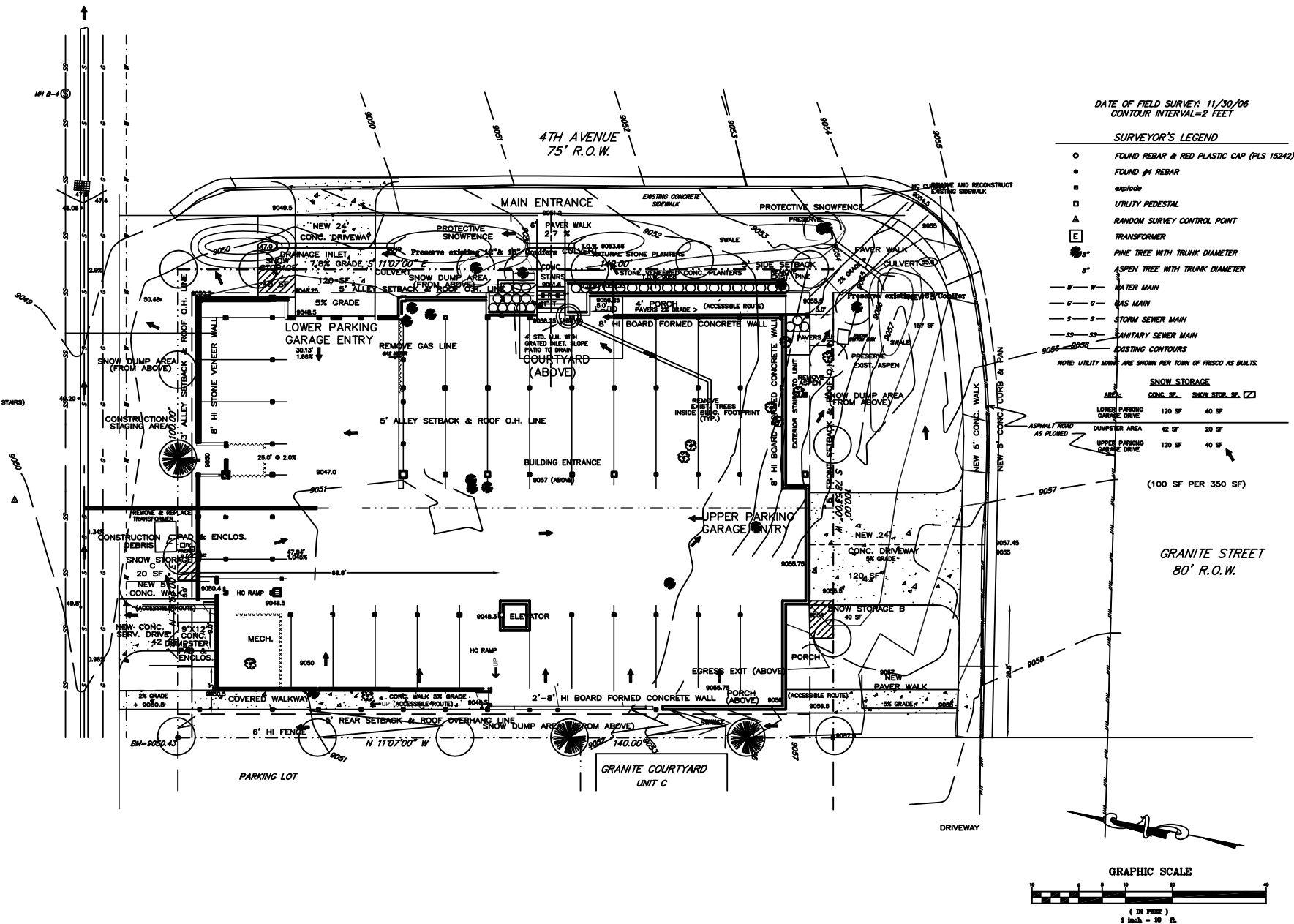


DUMPSTER ENCLOSURE

LOTS 3-5
RAINBOW COURT

SNOW STORAGE	
AREA	STORAGE
A	120 SF
B	40 SF
C	120 SF
	40 SF
	60 SF
	20 SF

LOTS 6-7
HOTEL FRISCO



DATE OF FIELD SURVEY: 11/30/06
CONTOUR INTERVAL=2 FEET

SURVEYOR'S LEGEND

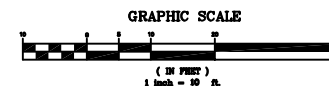
- FOUND REBAR & RED PLASTIC CAP (PLS 15242)
 - FOUND #4 REBAR
 - explode
 - UTILITY PEDESTAL
 - △ RANDOM SURVEY CONTROL POINT
 - ⬜ TRANSFORMER
 - PINE TREE WITH TRUNK DIAMETER
 - ASPEN TREE WITH TRUNK DIAMETER
 - W — W WATER MAIN
 - G — G GAS MAIN
 - S — S STORM SEWER MAIN
 - SS — SS SANITARY SEWER MAIN
 - — — — — EXISTING CONTOURS
- NOTE: UTILITY MAINS ARE SHOWN PER TOWN OF FRISCO AS BUILTS.

SNOW STORAGE

AREA	CONC. SF	SNOW STOR. SF
LOWER PARKING GARAGE DRIVE	120 SF	40 SF
DUMPSTER AREA	42 SF	20 SF
UPPER PARKING GARAGE DRIVE	120 SF	40 SF

(100 SF PER 350 SF)

GRANITE STREET
80' R.O.W.



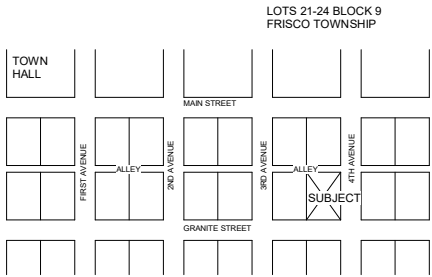
ARCHITECTURAL
INNOVATORS
INC.

Box 30 Idaho Springs, Co 80402
303-567-0100

VISTAS ON GRANITE STREET
FRISCO, COLORADO

OWNER	DATE	SCALE	PROJECT
ARCHITECT	11/30/06	1" = 10'	VISTAS ON GRANITE STREET
ENGINEER			
LANDSCAPE			
MECHANICAL			
ELECTRICAL			
PLUMBING			
STRUCTURAL			
INTERIOR			
EXTERIOR			
GENERAL			

PROJECT NO. A-0



VICINITY MAP

PROJECT OWNER:

E2 MH LLC
BOX 609
LOUISVILLE, NC. 27023

CONTRACTOR:

CAMPBELL
CONSTRUCTION
BOX 4272
FRISCO, CO. 80443
970-389-7246

SITE DATA:

SITE AREA: 14,000 SF, .32 ACRE
PARKING GARAGE AREA: 11,643 SF
LOT COVERAGE: 84 %

GARAGES: TYPE III CONSTRUCTION
RESIDENTIAL: TYPE IV CONSTRUCTION

PARKING:

MARKET UNITS:

5- 3 BED. @ 3 SPACES/UNIT = 15

BONUS UNITS:

2- 3 BED @ 3 SPACES/UNIT = 6
3- 2 BED @ 2 SPACES/UNIT = 6

DEED RESTRICTED UNITS:

5- 2 BED @ 2 SPACES = 10
TOTAL PARKING REQ.
RESIDENT = 37 SPACES

1/5 UNITS GUEST = 3 GUEST SPACES
1/25 = 2 HC SPACES

TOTAL PARKING REQUIRED = 42 SPACES
TOTAL PARKING PROVIDED :
32 LOWER + 10 UPPER LEVEL = 42 SPACES

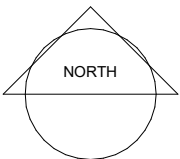
LOWER LEVEL PARKING: 11,643 SF

UPPER LEVEL PARKING: 2,753 SF

TOTAL PARKING: 14,393 SF

EXISTING
PARKING
LOT

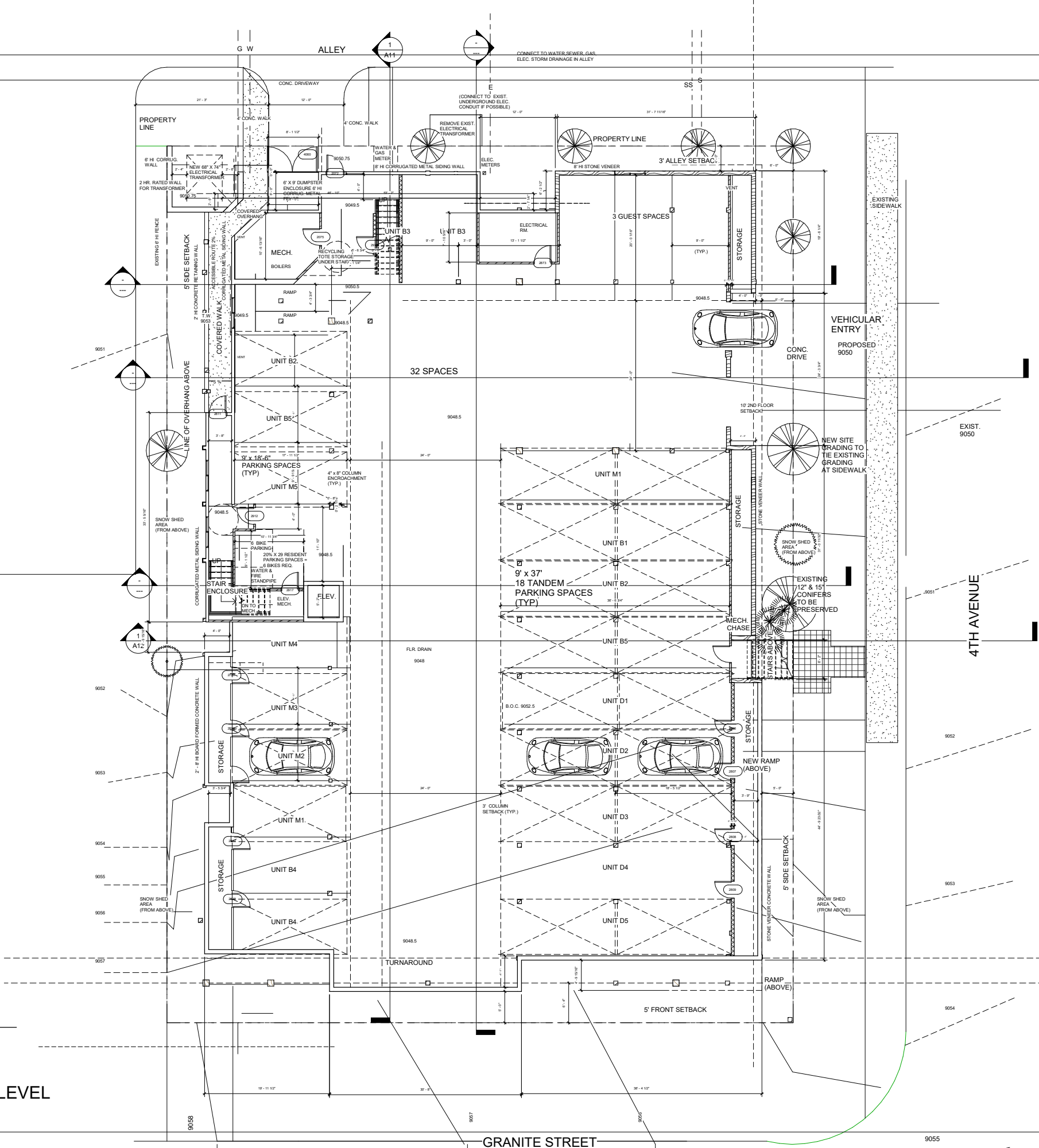
EXISTING 2
STORY
TOWNHOMES



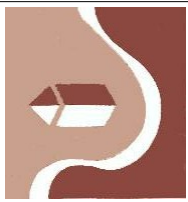
0 5 10 20 30

SCALE: 1/8" = 1'-0"

LOWER GARAGE LEVEL



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VISTAS ON GRANITE ST.

165 S. 4TH AVENUE
FRISCO, COLORADO 80443

No.	Description	Date

E2 MH LLC
Granite Station

Lower Level
Garage

Project numberProject Number
Date2/1/18
Drawn byAuthor
Checked byChecker

A1

Scale1/8" = 1'-0"

MAIN FLOOR DATA:

	INTERIOR SPACE:	EXTERIOR SPACE:
UNIT D1 DEED RESTRICTED 2 BED	1130 SF	58 SF
UNIT D2 DEED RESTRICTED 2 BED	1130 SF	58 SF
UNIT D3 DEED RESTRICTED 2 BED	1130 SF	58 SF
UNIT D4 DEED RESTRICTED 2 BED	1130 SF	65 SF
UNIT B1 BONUS 2 BED	1300 SF	226 SF
SUBTOTAL FOR SALE AREA:	5820 SF	945 SF
COURTYARD		945 SF
CORRIDOR	691 SF	
TOTAL AREA:	6511 SF	1408 SF
ALLOWABLE BONUS UNIT = 1130 DEED RESTRICTED UNIT X 115% = 1300 SF		

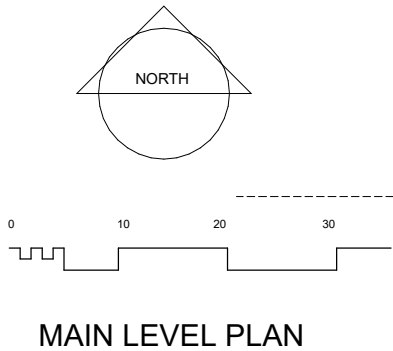
SECOND FLOOR DATA:

	EXTERIOR SPACE:
TOTAL FOR SALE:	7819 SF
CORRIDOR:	747 SF
TOTAL AREA:	8566 SF

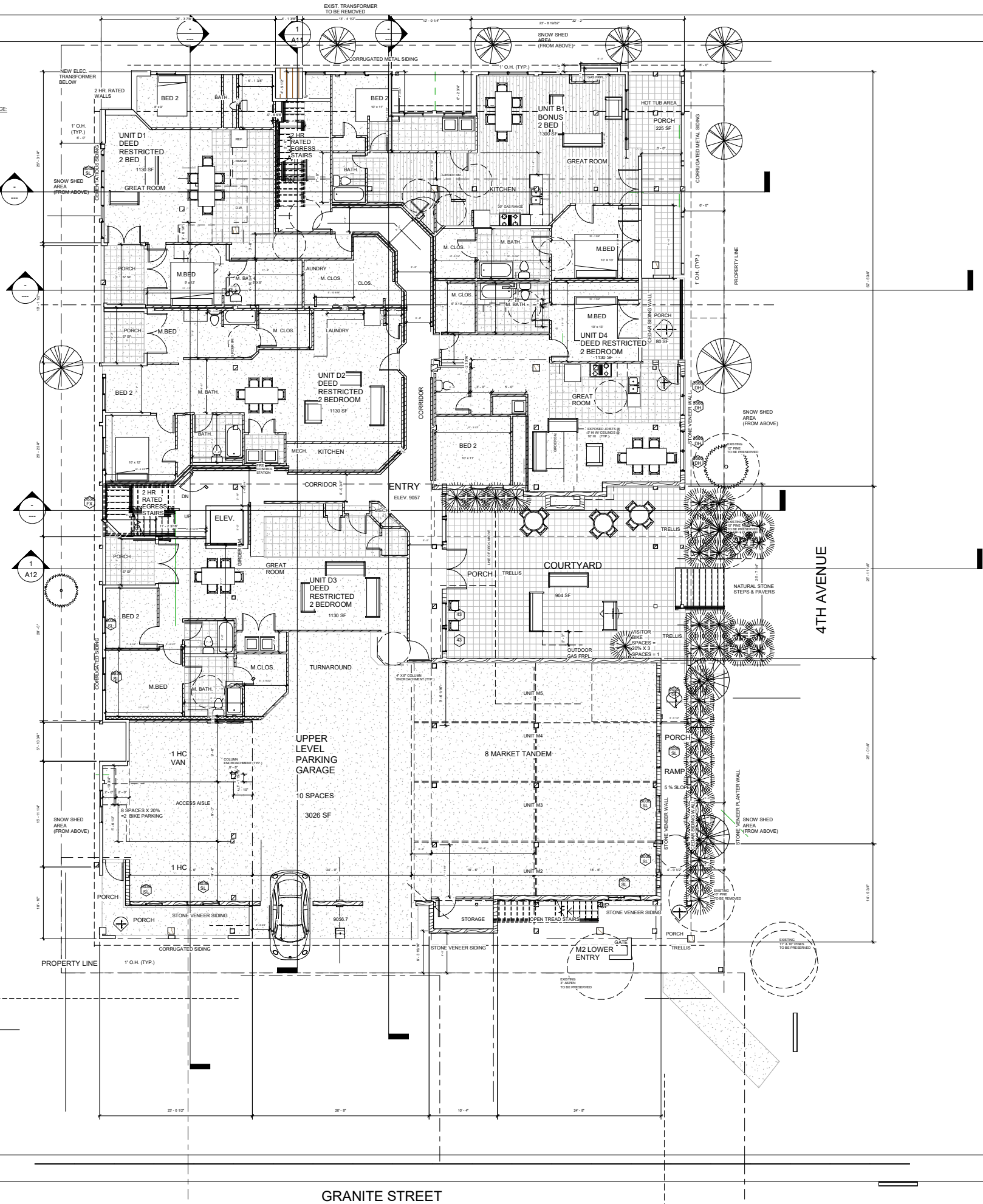
THIRD FLOOR DATA:

TOTAL FOR SALE:	7993 SF
COMMON AREA:	862 SF
TOTAL AREA:	8855 SF
TOTAL FOR SALE AREA:	21,632 SF
TOTAL AREA:	23,611 SF
TOTAL BULK PLANE ENCROACHMENT:	6091 SF
TOTAL COURTYARD AREA:	

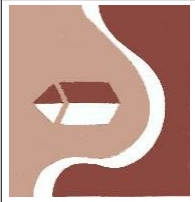
NEIGHBORING TOWNHOUSES



MAIN LEVEL PLAN



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303-567-0100



VISTAS ON GRANITE ST.

165 S. 4TH AVENUE
FRISCO, COLORADO 80443

No.	Description	Date

E2 MH LLC
Granite Station
Main Floor Plan

Project number	Project Number
Date	2/1/18
Drawn by	Author
Checked by	Checker

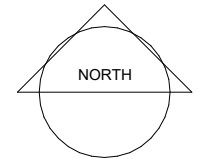
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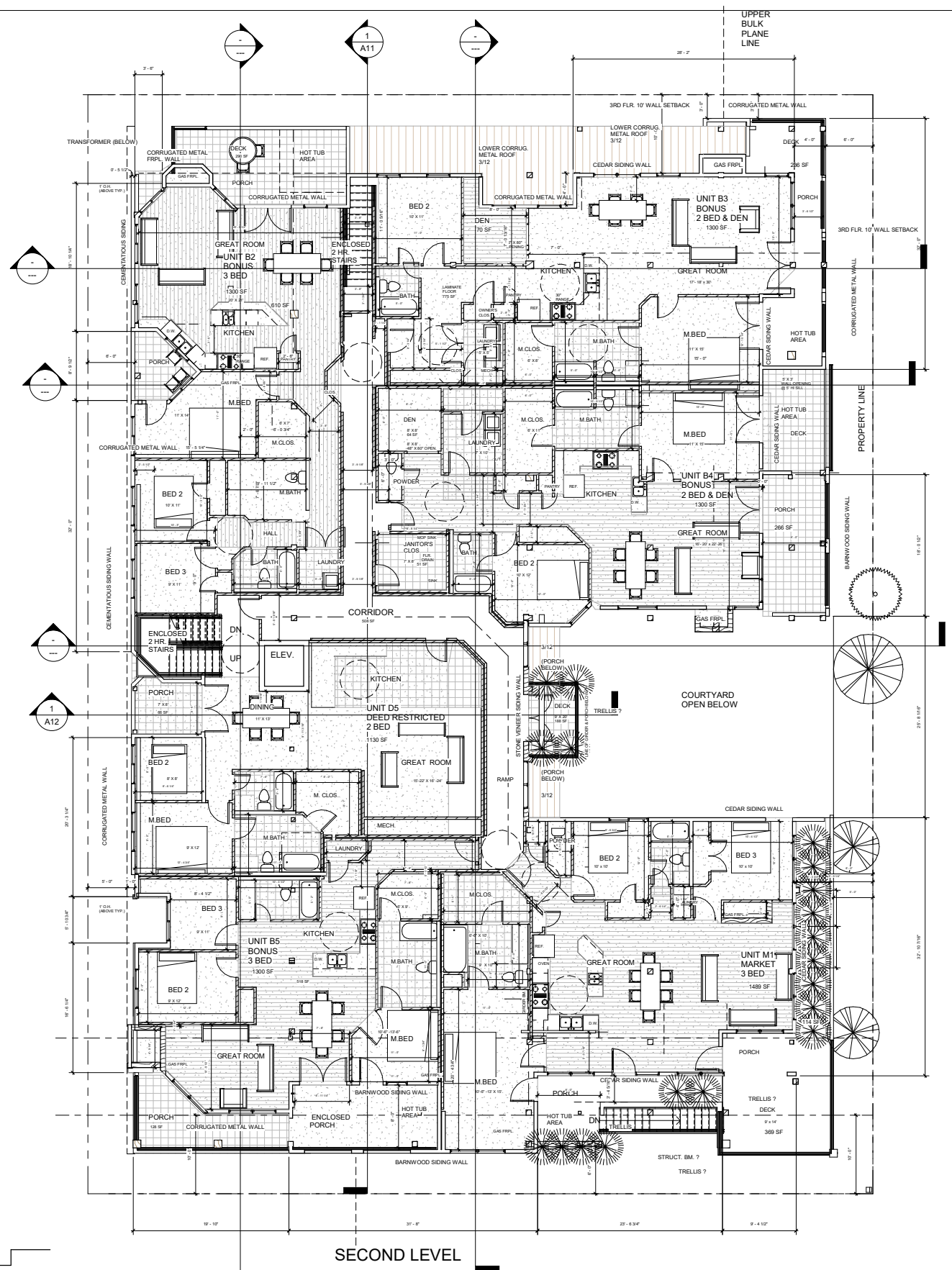
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SECOND LEVEL DATA

	INTERIOR SF	EXTERIOR SF
UNIT D5 DEED RESTRICTED 2 BED	1130 SF	66 SF
UNIT B3 BONUS 3 BED	1300 SF	290 SF
UNIT B4 BONUS 2 BED & DEN	1300 SF	236 SF
UNIT B5 BONUS 3 BED	1300 SF	266 SF
UNIT M1 MARKET 3 BED	1489 SF	128 SF
TOTAL RESIDENTIAL	7819 SF	1514 SF
CORRIDORS & COMMON AREA	747 SF	
TOTAL	8566 SF	



1 Level 2 South
1/8" = 1'-0"



No.	Description	Date

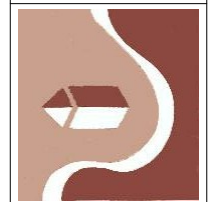
E2 MH LLC
Granite Station

Second Floor
Plan

Project number	Project Number
Date	2/1/18
Drawn by	Author
Checked by	Checker

A3
Scale 1/8" = 1'-0"

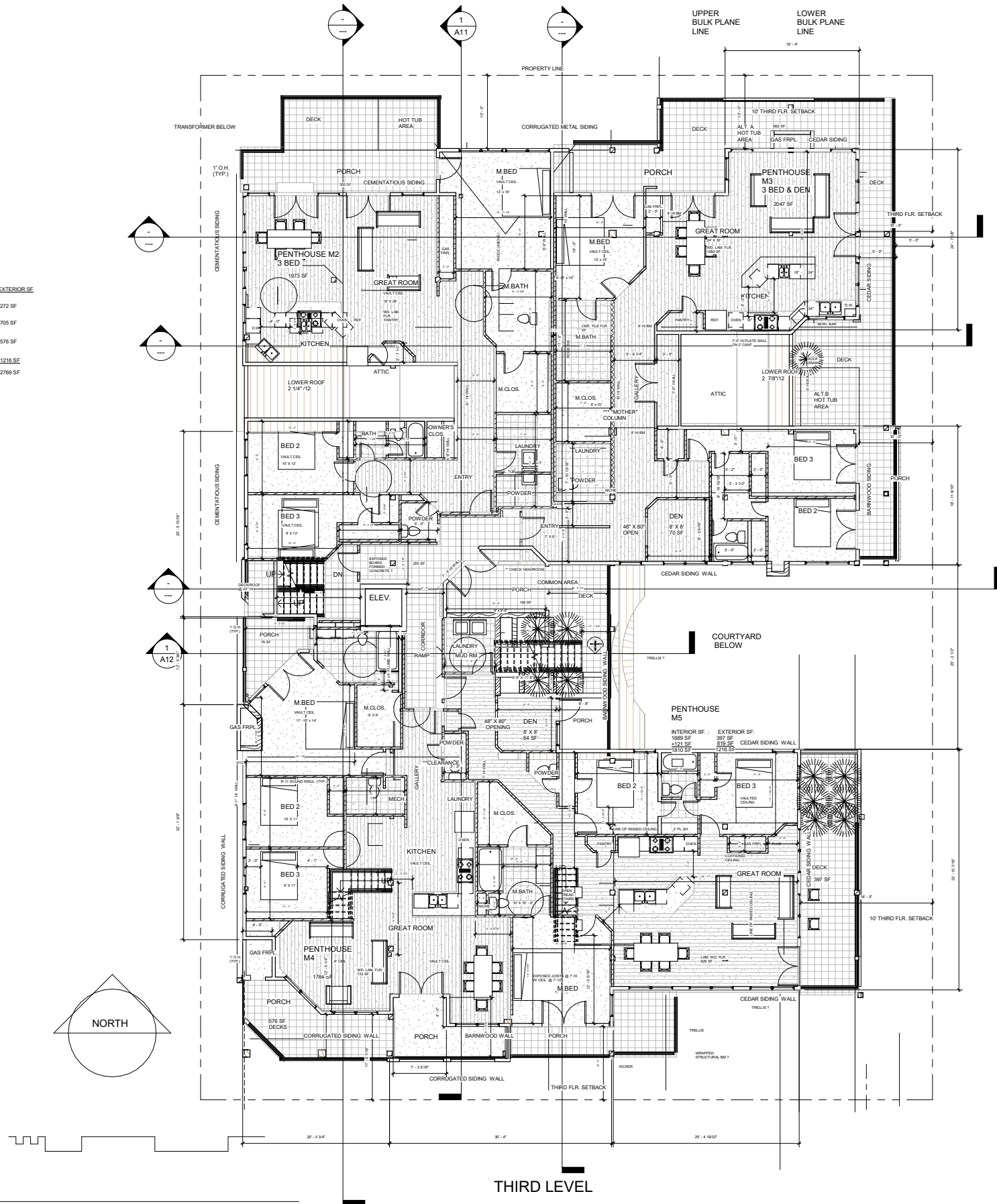
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INNOVATORS
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303-567-0100



VISTAS ON GRANITE ST.
165 S. 4TH AVENUE
FRISCO, COLORADO 80443

THIRD LEVEL DATA

	INTERIOR SF	EXTERIOR SF
UNIT M2 MARKET PENTHOUSE 3 BED	1786 SF	272 SF
UNIT M3 MARKET PENTHOUSE 3 BED & DEN	2030 SF	705 SF
UNIT M4 MARKET PENTHOUSE 3 BED	1784 SF	576 SF
UNIT M5 MARKET PENTHOUSE 3 BED & DEN	1810 SF	1216 SF
TOTAL FOR SALE:	7411 SF	2769 SF
COMMON AREA PORCH & DECK	307 SF	
CORRIDOR:	255 SF	
TOTAL:	7983 SF	



1 Level 3 South
1/8" = 1'-0"

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VISTAS ON GRANITE ST.
165 S. 4TH AVENUE
FRISCO, COLORADO 80443

No.	Description	Date

E2 MH LLC
Granite Station

Third Floor Plan

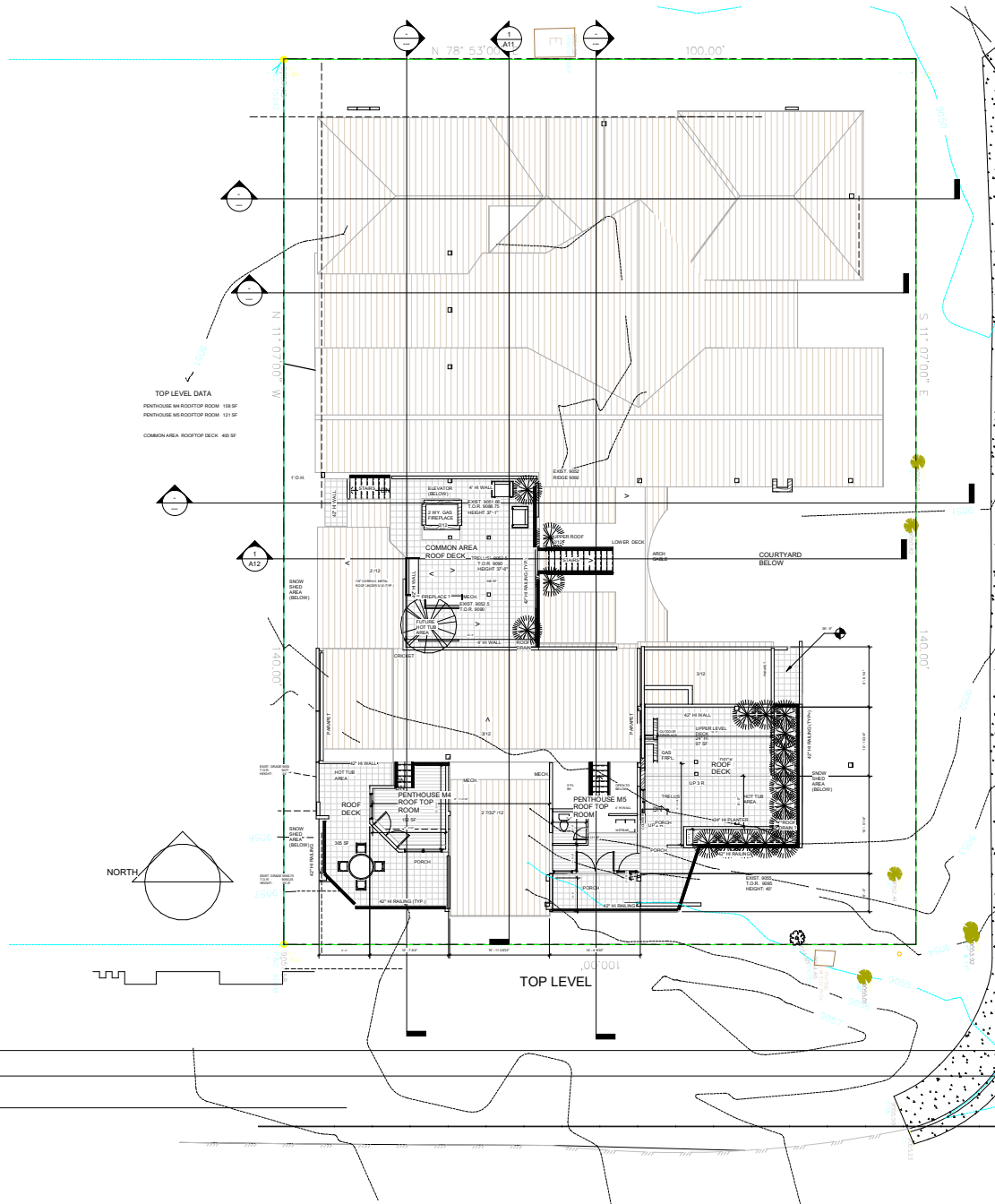
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Date	2/1/18
Drawn by	Author
Checked by	Checker

A4

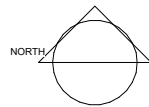
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① Level 4
1/8" = 1'-0"



TOP LEVEL DATA
PENTHOUSE M4 ROOFTOP ROOM 158 SF
PENTHOUSE M5 ROOFTOP ROOM 131 SF
COMMON AREA ROOFTOP DECK 480 SF



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VISTAS ON GRANITE ST.
165 S. 4TH AVENUE
FRISCO, COLORADO 80443

No.	Description	Date

E2 MH LLC
Granite Station
Top Floor Plan

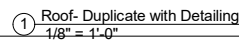
Project numberProject Number
Date1/28/18
Drawn byAuthor
Checked byChecker

A5
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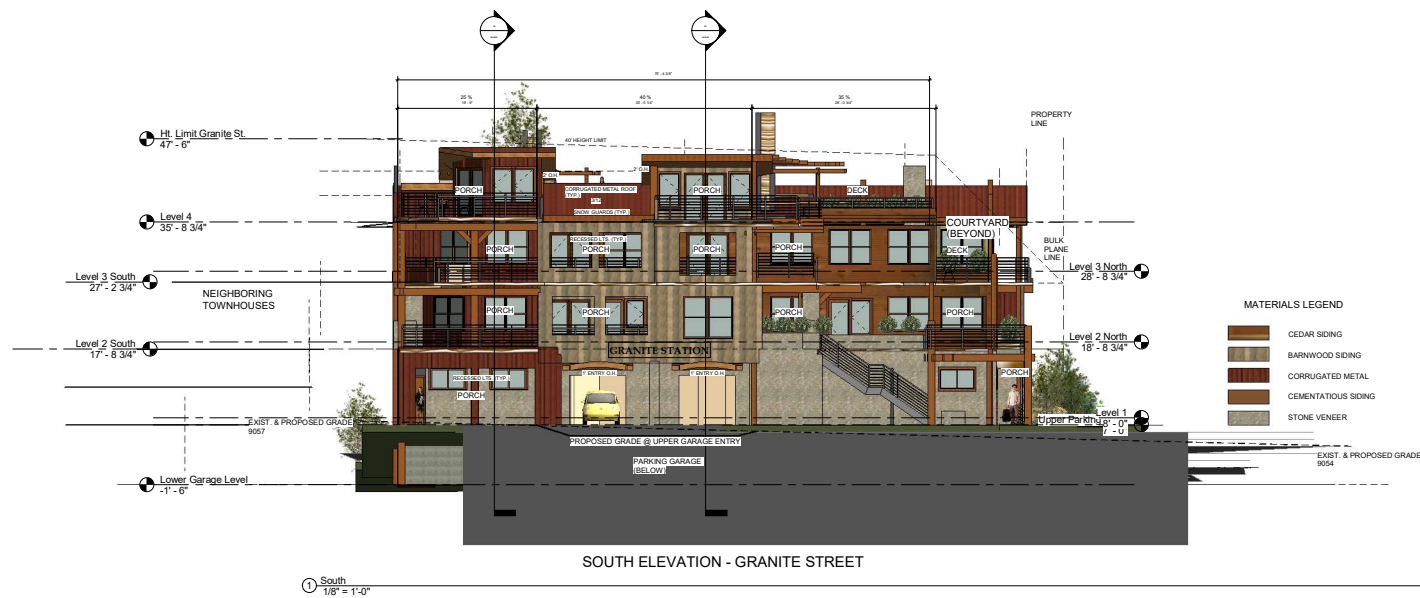
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A	9050.9	9090.9	39°-11
B	9050.7	9090.4	39°-7"
C	9050.5	9090.4	39°-11"
D	9050.5	9090.4	39°-11"
E	9050.25	9086.25	36'
F	9050.66	9090.4	39°-9"
G	9050.5	9090.4	39°-10"
H	9051	9090.4	39°-5"
I	9050.5	9080.6	30°-1"
J	9050.5	9090.5	40'
K	9051.5	9091	39°-6"
L	9051.75	9090.5	39°-9"
N	9051.75	9089.75	37°-10"
N	9053.5	9091.25	37°-9"
C	9051.8	9091.25	39°-5"
P	9056.5	9096.3	39°-10"
C	9057	9094.45	30°-4"
F	9055.33	9055.33	40'

NOTE: THE EXISTING/PROPOSED GRADE AROUND
THE BUILDING ARE MOSTLY THE SAME.

[illegible]

Scale	1/8" = 1'-0"
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VISTAS ON GRANITE ST.
165 S. 4TH AVENUE
FRISCO, COLORADO 80443

No.	Description	Date

E2 MH LLC
Granite Station
South Elevation

Project numberProject Number
Date1/26/18
Drawn byAuthor
Checked byChecker

A7

Scale1/8" = 1'-0"

1/26/2018 8:12:06 PM



NORTH ELEVATION
SCALE: 1/8" = 1'

① North
1/8" = 1'-0"

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VISTAS ON GRANITE ST.
165 S. 4TH AVENUE
FRISCO, COLORADO 80443

No.	Description	Date

E2 MH LLC
Granite Station
North Elevation

Project number	Project Number
Date	2/1/18
Drawn by	Author
Checked by	Checker

A8

Scale	1/8" = 1'-0"
-------	--------------

2/1/2018 4:12:59 PM



E2 MH LLC
Granite Station
East Elevation

A9
Scale 1/8" = 1'-0"



EAST ELEVATION - 4TH AVENUE
SCALE: 1"=1/8"



① West
1/8" = 1'-0"

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VISTAS ON GRANITE ST.
165 S. 4TH AVENUE
FRISCO, COLORADO 80443

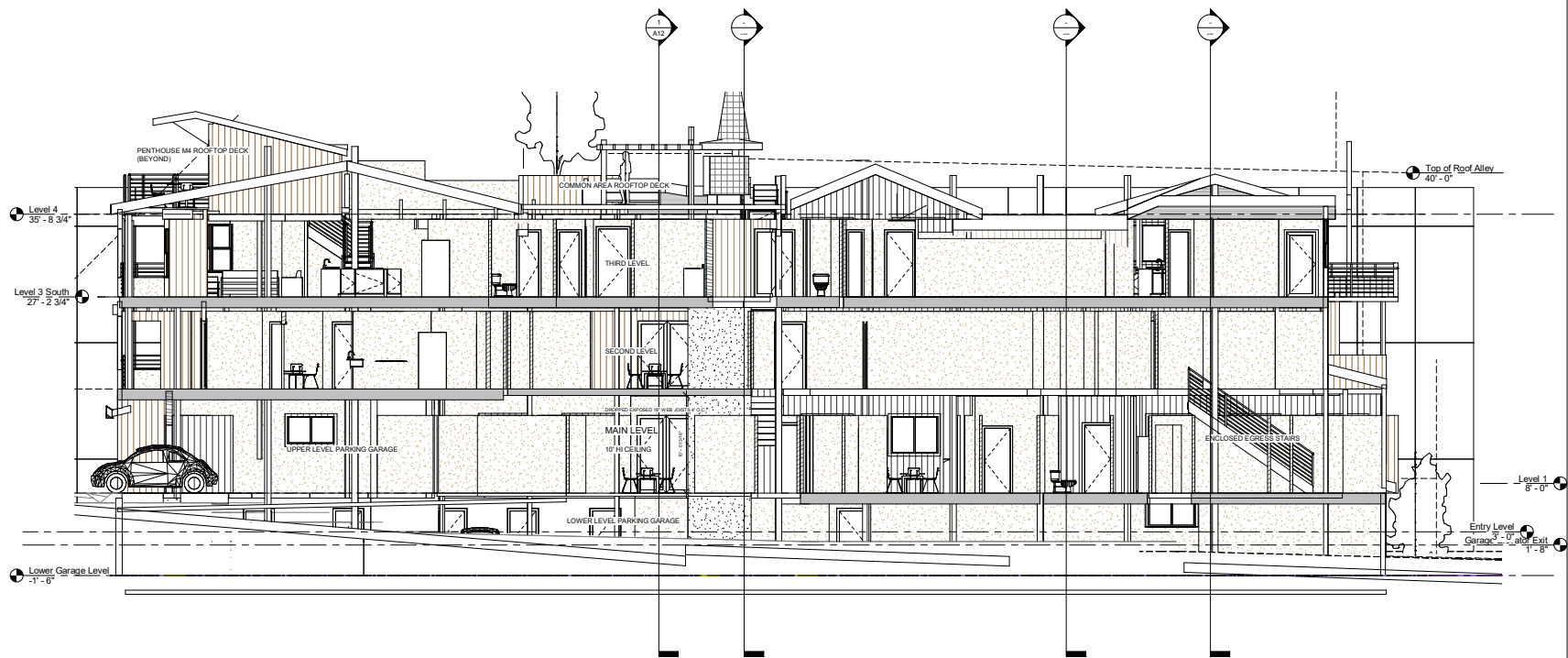
No.	Description	Date

E2 MH LLC
Granite Station
West Elevation

Project number/Project Number
Date 2/1/18
Drawn by Author
Checked by Checker

A10
Scale 1/8" = 1'-0"

2/1/2018 4:30:42 PM



① Longitudinal
3/16" = 1'-0"

ARCHITECTURAL
INNOVATORS
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165 S. 4TH AVENUE
FRISCO, COLORADO 80443

No.	Description	Date

E2 MH LLC
Granite Station

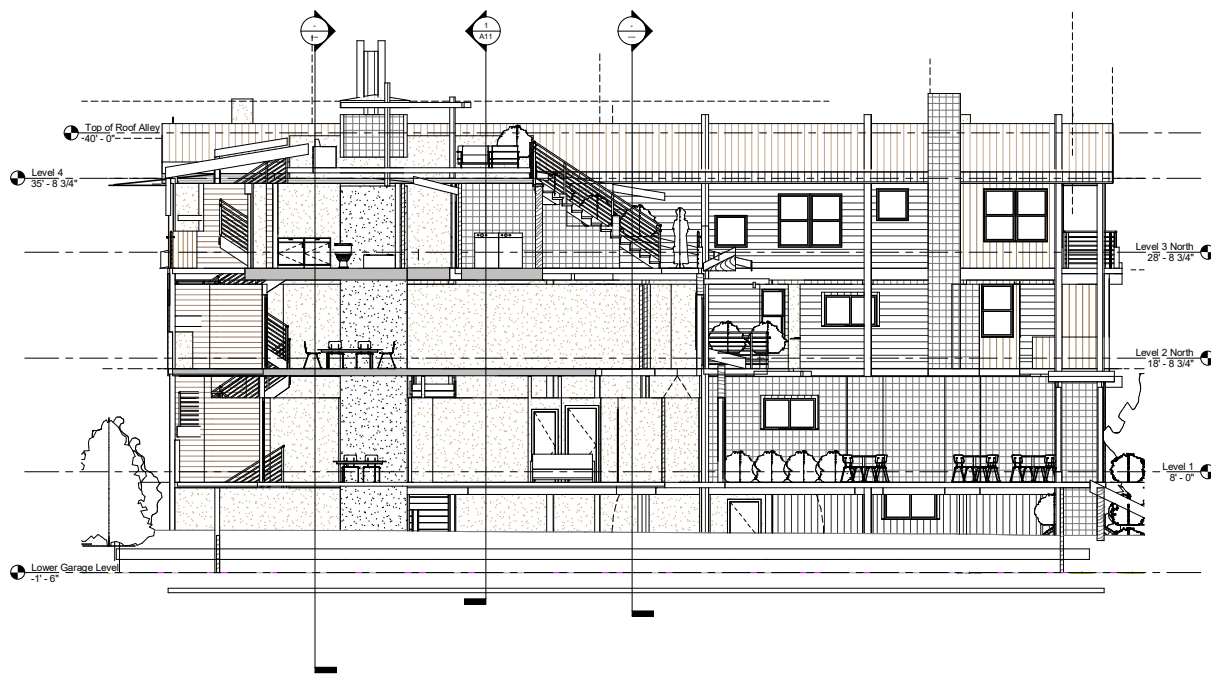
Longitudinal
Section

Project numberProject Number
Date1/26/18
Drawn byAuthor
Checked byChecker

A11

Scale3/16" = 1'-0"

1/26/2018 9:13:51 PM



① Transverse Courtyard
3/16" = 1'-0"

ARCHITECTURAL
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VISTAS ON GRANITE ST.
165 S. 4TH AVENUE
FRISCO, COLORADO 80443

No.	Description	Date

E2 MH LLC
Granite Station

Transverse
Section

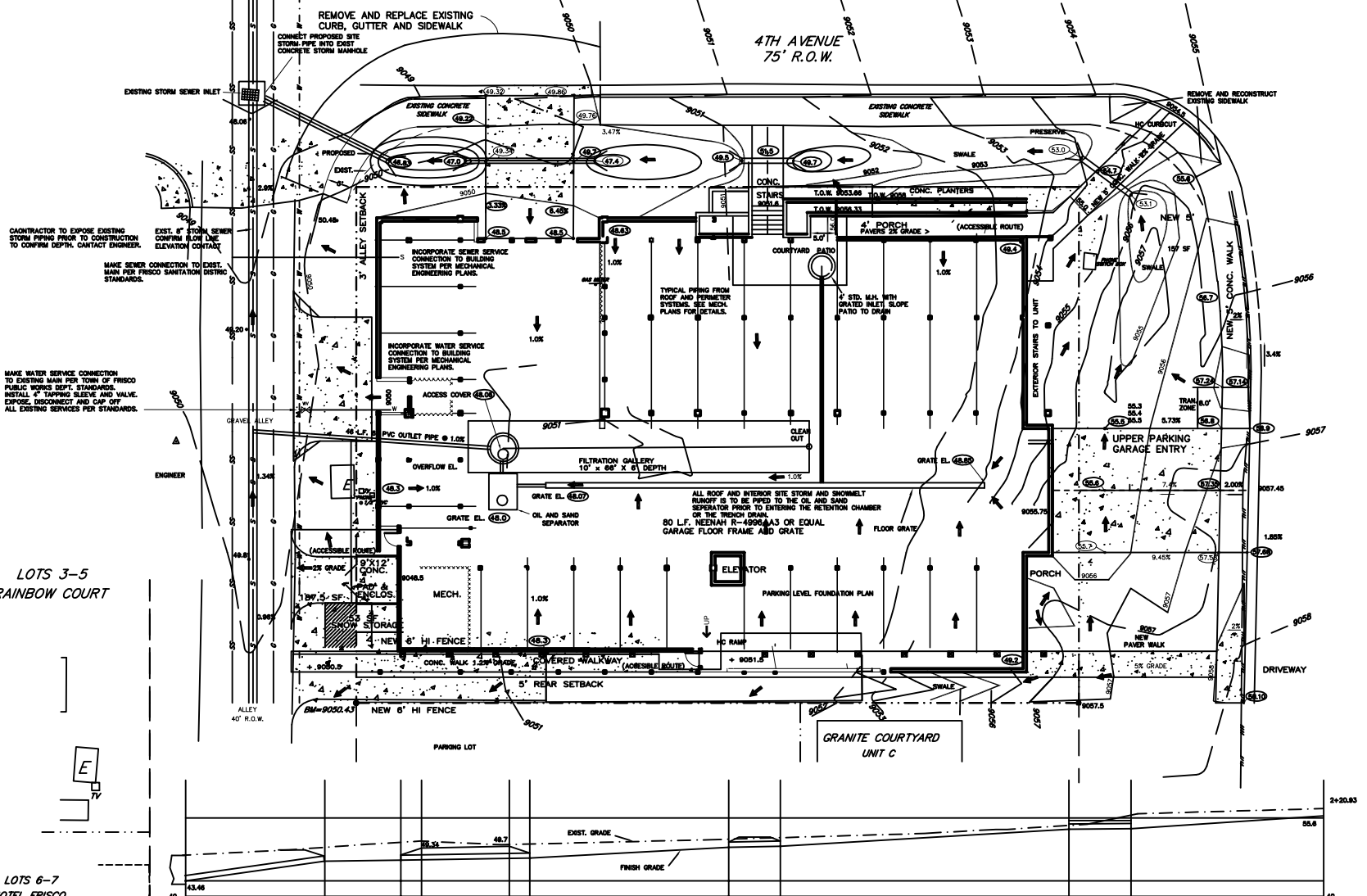
Project numberProject Number
Date 1/26/18
Drawn by Author
Checked by Checker

A12
Scale 3/16" = 1'-0"

1/26/2018 9:20:54 AM



TO THE SEA OF CORTEZ



SURVEYOR'S LEGEND

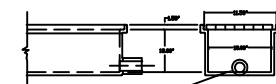
- FOUND REBAR & RED PLASTIC CAP (PLS 15242)
- FOUND #4 REBAR
- explode
- UTILITY PEDESTAL
- △ RANDOM SURVEY CONTROL POINT
- [E] TRANSFORMER
- PINE TREE WITH TRUNK DIAMETER
- ASPEN TREE WITH TRUNK DIAMETER

- W — WATER MAIN
- G — GAS MAIN
- S — STORM SEWER MAIN
- SS — SANITARY SEWER MAIN
- — EXISTING CONTOURS

NOTE: UTILITY MAINS ARE SHOWN PER TOWN OF FRISCO AS BUILTS.

DRAINAGE LEGEND

- FINISH CONTOURS
- DRAINAGE DIRECTION
- DRAINAGE FACILITIES
- W — PROPOSED WATER SERVICE
- S — PROPOSED SEWER SERVICE
- FINISH GRADE SPOT ELEVATION



NEENAH R-4996-A3 OR EQUAL
GARAGE FLOOR FRAME AND GRATE
TRENCH BOTTOM TO BE CAST-IN-PLACE CONCRETE
SLOPED TO DRAIN TO THE NORTH.
CENTER ON DRIVE ISLE.

DATE OF FIELD SURVEY: 11/30/06
CONTOUR INTERVAL=2 FEET

DRAINAGE PLAN

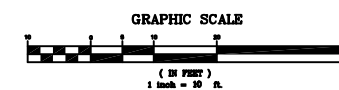
VISTAS ON GRANITE STREET

LOTS 21-24, BLOCK 9,
FRISCO TOWN SITE AMENDED
SUMMIT COUNTY, COLORADO

DRAWING # 191010-0
DRAWN BY GAF
FIELD WORK NA

DATE 0-0-0
SCALE 1" = 10'
SHEET C-1

PEARSON ENGINEERING, INC.
1008 Royal Palfrey Drive
P.O. BOX 19008, FRISCO, CO 80449
970.665.1007



LOTS 3-5
RAINBOW COURT

LOTS 6-7
HOTEL FRISCO

