
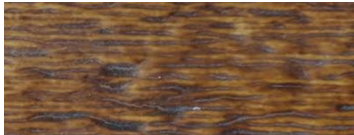


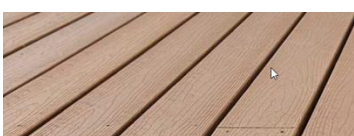


WAGNER RESIDENCE

EXTERIOR MATERIALS SCHEDULE (MODULAR HOME)

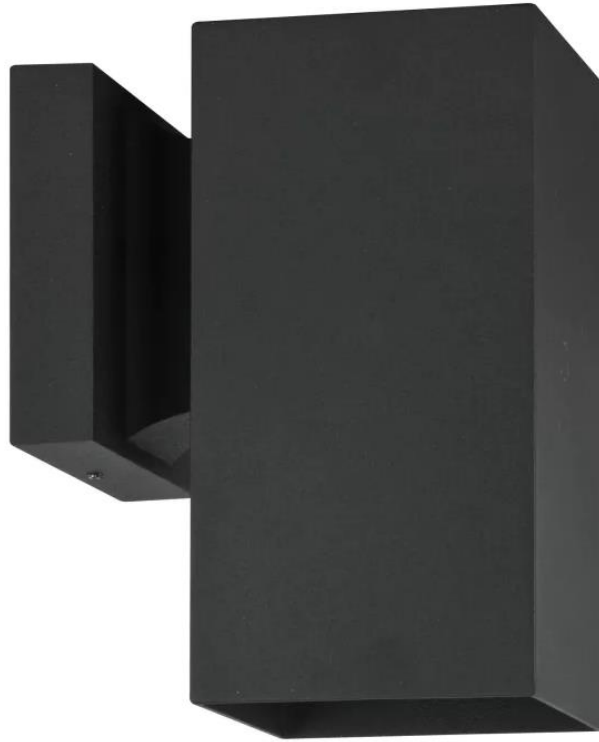
DATE: 23 MARCH 2018

ITEM	COLOR	DESCRIPTION
ROOF PRIMARY		ARCHITECTURAL ASPHALT SHINGLE WEATHERED WOOD
FASCIA		LP CEDAR MILL SMART TRIM SABLE
SOFFIT		LP CEDAR MILL SMART PANEL SABLE
SIDING		LP CEDAR MILL SMART LAP SIDING SABLE
DOORS/WINDOWS		GERKIN VINYL SANDSTONE
DOOR/WINDOW TRIM		SHERWIN WILLIAMS 2735 ROCKWEED
DECKS		EVERGRAIN WEATHERED WOOD
EXPOSED POSTS/BEAMS		SUPERDECK 2320 BLACKWOOD

WAGNER RESIDENCE

EXTERIOR MATERIALS SCHEDULE

DATE: 23 MARCH 2018



EXTERIOR SCONCE

MANUFACTURER: SUNSET LIGHTING

MODEL # F6891-31

DIMENSIONS: 8" HEIGHT; 4 3/8" WIDTH; 6 1/8" DEPTH

FINISH: BLACK ALUMINUM

MAX WATTAGE: 75 WATTS



RIDGE HEIGHT CALCULATIONS

POINT	NAT GRADE ELEVATION	FIN GRADE ELEVATION	MEASURED FROM	ROOF ELEVATION	CALCULATION	HEIGHT
A	9,079.4'	9,079.4'	NAT GRADE	9,103.8'	9,103.8'-9,079.4'	24.4'
B	9,071.9'	NA	NAT GRADE	9,103.8'	9,103.8'-9,071.9'	31.9'

SITE LEGEND

- PROPOSED SIDEWALK
- PROPOSED SNOWSTACK AREA
- PROPOSED ASPHALT DRIVEWAY

SITE CALCULATIONS

SITE AREA:	10,493 SF (0.241 ACRES)
FOOTPRINT W/ DECKS & PATIOS:	5,396 SF
PAVED DRIVE LESS 12' EXCEPTION 1,442-980=	462 SF
SNOWSTACK AREA:	432 SF (30% OF PAVED AREA)
LOT COVERAGE:	5,858 SF (55% OF SITE)

LANDSCAPE NOTES

- EROSION CONTROL METHODS: CONTROL ALL RUNOFF WITHIN SITE PER SUBDIVISION STANDARDS AND COUNTY REQUIREMENTS BY UTILIZING, SINGLE OR IN COMBINATION, NON-EROSIVE DRAINAGE MATS, SILT FENCING, DIVERSION SWALES, AND DIKES AS NECESSARY TO TRAP, INTERCEPT, AND DIVERT RUNOFF WITHIN BUILDING ENVELOPE.
- NATIVE LANDSCAPING AREA IN CONTACT WITH BUILDING ENVELOPE WILL BE PROTECTED FROM ROOF RUNOFF AS SHOWN IN WALL SECTION. RIVER ROCK RIPRAP IS TO EXTEND 8" BEYOND DRIP LINE.
- EXISTING VEGETATION SHALL BE PROTECTED AS MUCH AS POSSIBLE TO PROMOTE XERISCAPING - PER TOWN OF BRECKENRIDGE CODE SECTION 3603.C3.
- ALL EXISTING TREES WITHIN 15' OF THE PROPOSED RESIDENCE MUST BE REMOVED TO CREATE DEFENSIBLE SPACE, PER TOWN CODE REQUIREMENTS.
- ALL EXISTING TREES WITHIN 15'-75' OF THE PROPOSED RESIDENCE MUST BE THINNED, PER TOWN CODE REQUIREMENTS.
- REMOVE ALL EXISTING BEETLE KILL AND DISEASED TREES, PER HOA GUIDELINES AND TOWN CODE REQUIREMENTS.
- TREE REMOVAL TO BE COORDINATED BETWEEN OWNER, GENERAL CONTRACTOR, HOA, AND TOWN PLANNING STAFF, PRIOR TO REMOVAL.
- ALL AREAS WITHIN BUILDING ENVELOPE AND WITHIN 40' OF DRIVEWAY OUTSIDE OF ENVELOPE TO BE RE-VEGETATED WITH 100% NATIVE HIGH COUNTRY GRASS SEED MIXTURE CONSISTING OF:

30% SLENDER WHEATGRASS	15% CANBY BLUEGRASS
10% BIG BLUEGRASS	10% IDAHO FESCUE
10% SHEEP FESCUE	10% WESTERN WHEATGRASS
5% BLUE WILDRYE	5% TUFTED HAIRGRASS

 ALONG WITH A MIXTURE OF PERENNIALS & GROUND COVER, PER SUMMIT COUNTY DEVELOPMENT CODE.
- A DRIP IRRIGATION SYSTEM SHALL BE INSTALLED TO ALL NEW TYPES OF TREES AND SHRUBS, PER THE TOWN REQUIREMENTS.

PLANT LEGEND

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	6	RIBES ALPINUM & ROSA WOODSII	ALPINE CURRANT & WOODS ROSE	5 GAL
	3	POPULUS TREMULOIDES	QUAKING ASPEN	2.5" CAL MIN
	2	PICEA PUNGENS	COLORADO SPRUCE	8' MIN
		EXISTING PINE TO REMAIN		
		EXISTING TREE TO BE REMOVED		

WAGNER RESIDENCE LOT 10, 11, 12 . BLOCK 29 . FRISCO TOWN SUBDIVISION 307 SOUTH 8TH AVENUE . FRISCO . COLORADO TITLE: PROPOSED LANDSCAPE & SITE PLAN

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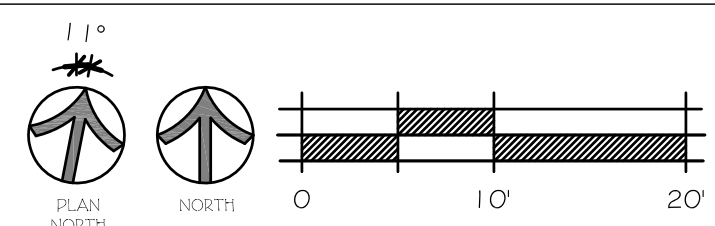
ISSUE:	DATE:
PRELIMINARY	31 JAN 2018
PRELIMINARY	21 FEB 2018
PLANNING	27 MAR 2018
PLANNING REV	30 MAY 2018

AO.1

1 AO.1

PROPOSED LANDSCAPE AND SITE PLAN

SCALE: 1" = 10'-0"



WAGNER RESIDENCE
 307 S. 8TH AVENUE
 FRISCO, CO
 SLOPE ANALYSIS

NO.	DATE	REVISIONS
	03/29/2018	BUILDING PERMIT SUBMITTAL

DESIGNED MCW	MCW	XXX	XXX	03/26/2018
DRAWN	MCW	XXX	XXX	
CHECKED	XXX	XXX	XXX	
JOB NO.	XXX	XXX	XXX	
DATE				



NOTE:
 SEE EASEMENT AGREEMENT WITH THE TOWN OF FRISCO FOR A 10' SIDE YARD SETBACK AREA AT RECEPTION NO. 373823. EXACT LOCATION UNKNOWN DUE TO LACK OF INFORMATION.

GENERAL NOTES

- I. THESE PLANS WERE DESIGNED TO CONFORM WITH THE INTERNATIONAL RESIDENTIAL CODE AND THE NATIONAL ELECTRIC CODE. DUE TO CONTINUOUS CHANGES IN BOTH LOCAL AND NATIONAL BUILDING CODES, ACCOMMODATING ALL BUILDING RESTRICTIONS IS IMPOSSIBLE. THEREFORE, THESE PLANS ARE SUBJECT TO LOCAL REQUIREMENTS AND INTERPRETATIONS. IT BECOMES THE RESPONSIBILITY OF THE BUILDER TO MAKE CERTAIN THESE PLANS COMPLY TO LOCAL CODE REQUIREMENTS.
- II. EVERY EFFORT HAS BEEN MADE TO ELIMINATE ERRORS DURING THE PREPARATION OF THESE DRAWINGS. BECAUSE HERITAGE HOMES OF NEBRASKA, INC. CANNOT GUARANTEE AGAINST THE POSSIBILITY OF HUMAN ERROR, IT IS THE OBLIGATION OF THE BUILDER TO VERIFY THE ACCURACY OF ALL DETAILS, DIMENSIONS, AND BE PERSONALLY RESPONSIBLE FOR THEM.
- III. THE PLANS, DRAWINGS, SPECIFICATIONS, DESIGNS, AND ENGINEERING HAVE BEEN DEVELOPED BY HERITAGE HOMES OF NEBRASKA, INC. SOLELY FOR ITS USE IN PREPARING AND SUBMITTING CONSTRUCTION CONTRACTS. HERITAGE HOMES OF NEBRASKA, INC. MAKES NO WARRANTY OF ANY KIND, LIABILITY, OR RESPONSIBILITY WHATSOEVER FOR THE PROPRIETY, EFFICACY, OR FITNESS OF SUCH WORK WHEN USED BY ANY OTHER PARTY FOR ANY OTHER PURPOSE, EXCEPT WHEN COVERED BY HERITAGE HOMES OF NEBRASKA, INC. WARRANTIES ACCOMPANYING ITS OWN CONTRACTS.

ELEVATION

- I. ALL PORCHES, DECKS, AND GARAGES ARE THE RESPONSIBILITY OF AN ON-SITE CONTRACTOR.
- II. CONTINUOUS RIDGE AND SOFFIT VENTS ARE STANDARD.
- III. VENT PIPES AND FLUES ARE TO BE EXTENDED THROUGH DORMERS AND GARAGE ROOFS BY ON-SITE CONTRACTOR.
- IV. ALL FINISHED GRADE LINES ON DRAWINGS ARE APPROXIMATE. FINAL GRADE MAY VARY.

FLOOR PLAN

- I. EXTERIOR DIMENSIONS ARE FROM SHEATHING TO SHEATHING.
- II. ANY DRYWALL WRAPPED MATING WALL OPENINGS ARE TO BE FINISHED BY AN ON-SITE CONTRACTOR.
- III. 5/8" TYPE-X DRYWALL ON GARAGE SIDE OF ANY ADJOINING WALL.
- IV. GROUT FOR FLOOR TILE SUPPLIED BY HERITAGE HOMES OF NEBRASKA, INC., BUT APPLIED BY ON-SITE CONTRACTOR.

MECHANICAL/ELECTRICAL/PLUMBING

- I. SWITCH, OUTLET, MECHANICAL, AND OTHER UTILITY LOCATIONS ARE APPROXIMATE.
- II. IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY THE ON-SITE PLUMBER HAS PROPERLY CHECKED AND TIGHTENED FITTINGS ON SUPPLY LINES, AND CONNECTIONS OF WASTE LINE FITTINGS PRIOR TO TURNING ON WATER.
- III. INSTALL DRYER VENT MATERIAL ONSITE PER M1501.
- IV. 1/2" SUPPLY DROPS PROVIDED AT EACH FIXTURE. MINIMUM 3/4" DISTRIBUTION LINE REQUIRED BY ON-SITE CONTRACTOR.
- V. ALL ELECTRICAL WORK IN BASEMENT DONE BY AN ON-SITE CONTRACTOR.
- VI. GROUND FAULT AND ARC FAULT PROTECTION PER NATIONAL ELECTRICAL CODE.
- VII. KITCHEN SMALL APPLIANCE CIRCUITS TO BE GFCI PROTECTED.
- VIII. EQUIPMENT AND APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SO THE SOURCE OF IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE FLOOR IN HAZARDOUS LOCATIONS AND PRIVATE GARAGES IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE.
- IX. ALL TUBS, TUB/SHOWERS AND SHOWERS ARE EQUIPPED WITH ANTI-SCALD 120 DEGREE MAX. MIXING VALVES.

FOUNDATION

- I. THESE DRAWINGS ARE INTENDED TO PROVIDE OVERALL PLAN-VIEW DIMENSIONS ONLY. PIERS, FOOTINGS, FOUNDATION SIZES, AND DESIGNS ARE TO BE BASED ON SITE SOIL CONDITIONS. ALL PIERS, FOOTINGS, FOUNDATIONS, AND OTHER ON-SITE CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES.
- II. ALL WORK BELOW FLOOR SYSTEM TO BE DESIGNED AND COMPLETED BY AN ON-SITE CONTRACTOR.
- III. FOUNDATION WALLS INSULATED TO MIN. R-10, EXCEPT FOR A CRAWL SPACE.
- IV. INSULATE FLOOR SYSTEM TO R-30 WHEN ON A CRAWL SPACE.
- V. FOR CRAWL SPACE FOUNDATIONS, INSTALL FOUNDATION VENTS TO PROVIDE VENTING PER INTERNATIONAL RESIDENTIAL CODE.
- VI. IN BASEMENT GARAGES, 5/8" TYPE-X DRYWALL IS REQUIRED ON WALLS AND CEILINGS WITH MINIMUM R-19 INSULATION IN CEILING.
- VII. IN BASEMENT GARAGES, STEEL BEAMS MUST BE PROTECTED BY MINIMUM 1/2" DRYWALL.

SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
LIGHTS		FANS		H.V.A.C.	
	STANDARD LIGHT		CEILING FAN W/ LIGHT (2 SWITCHES PROVIDED)		SINGLE RETURN AIR VENT
	PULL-CHAIN LIGHT		CEILING FAN W/O LIGHT (2 SWITCHES PROVIDED)		DOUBLE RETURN AIR VENT
	6" LED LIGHT		BATHFAN W/ LIGHT		TOE KICK REGISTER
	4" LED LIGHT		EXHAUST FAN		4X10 FLOOR REGISTER
	6" EYEBALL RECESSED LIGHT		VENT FREE EXHAUST FAN		2X12 FLOOR REGISTER
	6" LED LIGHT IN A SOFFIT		ROUGH-IN ONLY CEILING FAN (2 SWITCHES PROVIDED)		WALL STACK
	4" RECESSED LIGHT IN A SOFFIT	T.V. & PHONE OUTLETS		PLUG-IN OUTLETS	
	PENDANT LIGHT		PULL WIRE		110V OUTLET
	CANISTER LIGHT		TV WIRE		110V GFCI PROTECTED OUTLET
	DINING ROOM CHANDELIER		PHONE WIRE		110V WEATHER PROOF GFCI OUTLET
	STAIR CHANDELIER		TV/PHONE WIRE		110V SWITCHED OUTLET
	CANTILEVER CHANDELIER		SPEAKER WIRE		110V 4-PLEX OUTLET
	LED UNDER CABINET LIGHT	SWITCHES			110V FLOOR OUTLET
	4" TRACK LIGHTING		SINGLE SWITCH		220V OUTLET
	SCONCE LIGHT		3-WAY SWITCH	MISC.	
	FLOOD LIGHT		4-WAY SWITCH		SMOKE/CO DETECTOR
	ROUGH-IN ONLY LIGHT		DIMMER SWITCH		SMOKE DETECTOR
			3-WAY DIMMER SWITCH		THERMOSTAT
			TIMER SWITCH		DOOR BELL CHIME
			TRI-PLEX SWITCH		ICE MAKER BOX
			CEILING FAN SWITCH		CAPPED HALF-WALL
					INSULATED WALL
					TOWEL BAR
					RECESSED MEDICINE CABINET
					WINDOW WHICH MEETS EGRESS REQUIREMENTS
					SAFETY GLASS

BUILDING CODES
2012 IRC 2012 IMC 2012 IPC 2017 NEC 2015 IECC COLORADO

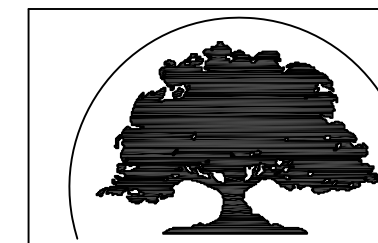
SQ. FOOTAGE	
1ST FLOOR	1456 SQ. FT.
2ND FLOOR	1018 SQ. FT.
BASEMENT	1675 SQ. FT.
TOTAL	4149 SQ. FT.
GARAGE	N/A SQ. FT.

DESIGN LOADS	
ROOF LIVE LOAD (Pf)	80.0 PSF
FLOOR LIVE LOAD	40.0 PSF
WIND LOAD (3-SECOND GUST)	90.0 MPH
EXPOSURE	C
SEISMIC	B

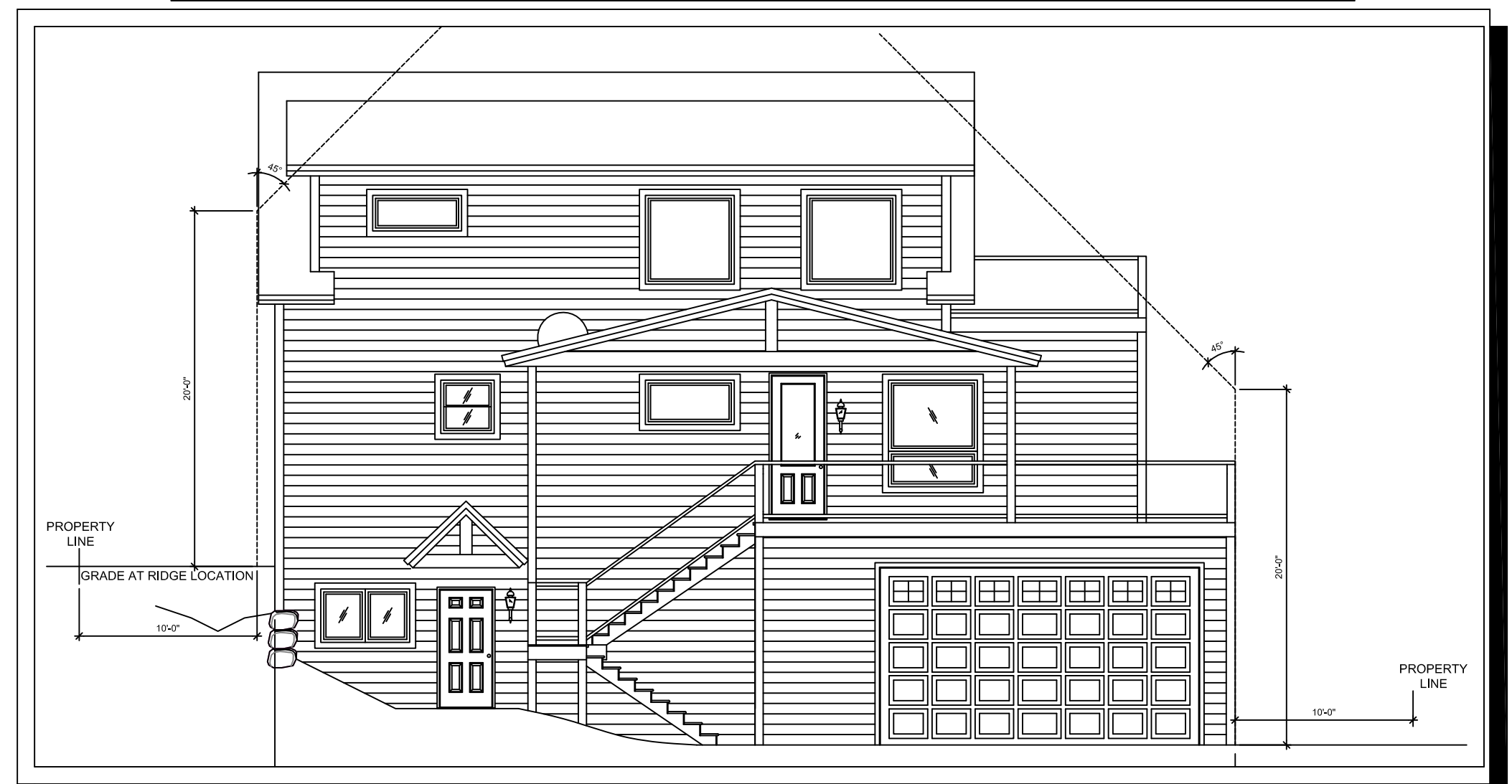
FRAMING SPECS.	
1ST FLOOR WALLS	2 X 6
2ND FLOOR WALLS	2 X 6
FOUNDATION WALLS	8"
1ST FLOOR HEIGHT	9'-0 1/4"
2ND FLOOR HEIGHT	VARIES
FOUNDATION HEIGHT	10'-0"

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GENERAL	
G1.1 COVER SHEET	
ARCHITECTURAL	
A1.1 EXTERIOR ELEVATION	
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A2.2 2ND FLOOR PLAN	
A3.1 DETAILS	
STRUCTURAL	
S1.1 FOUNDATION PLAN	
S2.1 CROSS SECTION	
S3.1 INSTALLATION MANUAL	
S4.1 FRAMING PLAN	

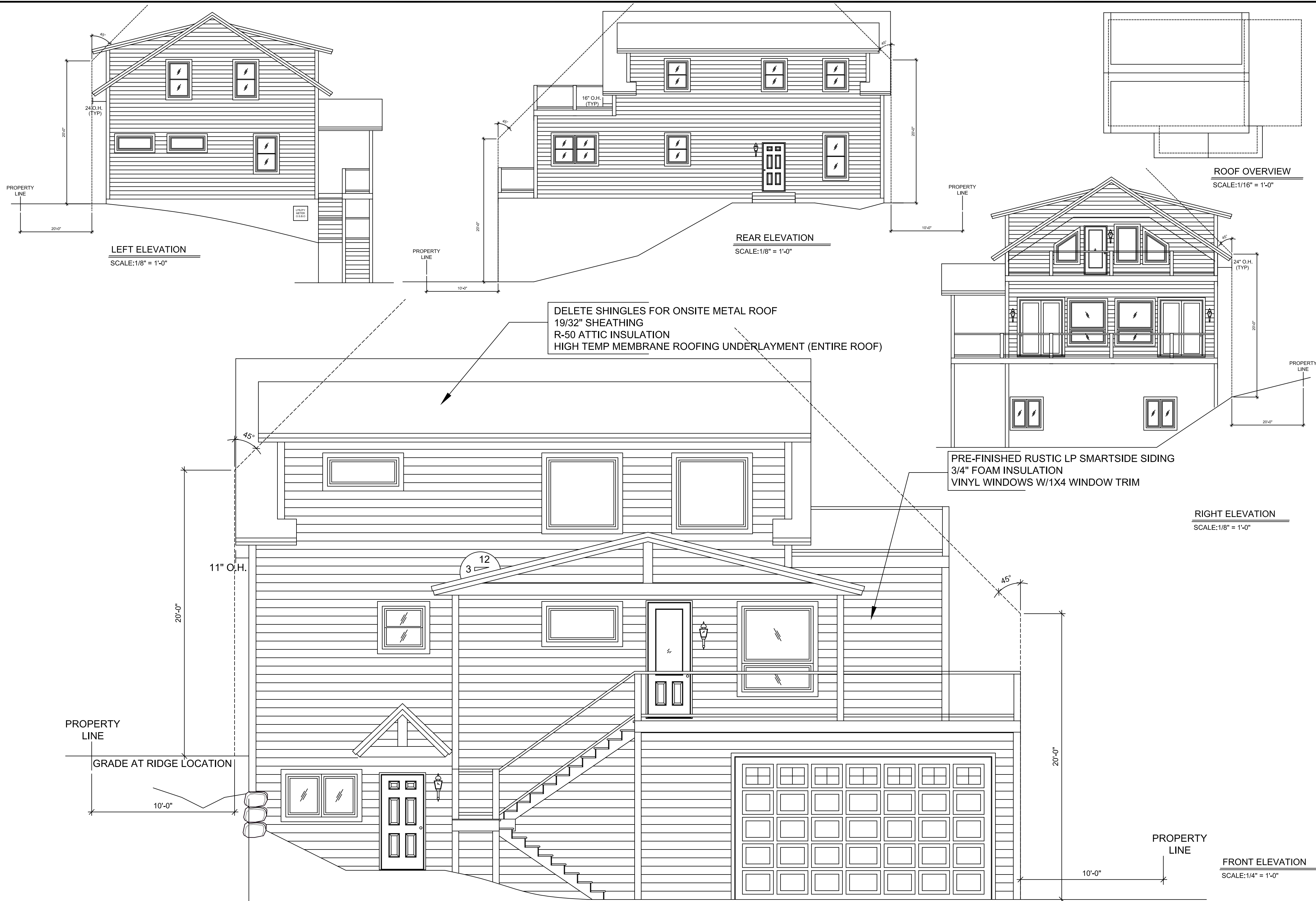
JOB STATUS		
	DATE	DWN BY
PA	03/15/18	JD
A	04/05/18	JD
CO1	5/21/18	BB
CO2	5/29/18	RC
CO3		
CO4		
CO5		
CO6		
CO7		



HERITAGE HOMES
OF NEBRASKA, INC.



PLAN RETURN NOTICE & SIGNATURES	DATE DRAWN/REVISED	HERITAGE HOMES BUILDER	DESIGNED FOR	JOB NO.
(CHECK ONE BOX ONLY) <input type="checkbox"/> REVISE & RESEND TO BUILDER <input type="checkbox"/> APPROVED AS FINAL BUILD PLAN	5/30/18	COLORADO MODULAR HOMES BUILDER LOCATION EVERGREEN, CO	SHANE WAGNER NEW HOME LOCATION FRISCO, CO	7201 SHEET NO. G1.1
WE THE UNDERSIGNED RETURN THIS PLAN TO HERITAGEHOMES FOR THE EXPRESSED PURPOSE INDICATED AT THE IMMEDIATE LEFT. NOTE: INVALID IF MORE THAN ONE BOX IS CHECKED.		BUILDER SIGNATURE _____ DATE _____		
		CUSTOMER SIGNATURE _____ DATE _____		



PLAN RETURN NOTICE & SIGNATURES
(CHECK ONE BOX ONLY)

REVISE & RESEND TO BUILDER

APPROVED AS FINAL BUILD PLAN

WE THE UNDERSIGNED RETURN THIS PLAN TO HERITAGEHOMES FOR THE EXPRESSED PURPOSE INDICATED AT THE IMMEDIATE LEFT. NOTE: INVALID IF MORE THAN ONE BOX IS CHECKED.

BUILDER SIGNATURE

CUSTOMER SIGNATURE

DATE

DATE

DATE DRAWN/REVISED

5/30/18

HERITAGE HOMES BUILDER

COLORADO MODULAR HOMES

BUILDER LOCATION

EVERGREEN, CO

DESIGNED FOR

SHANE WAGNER

NEW HOME LOCATION

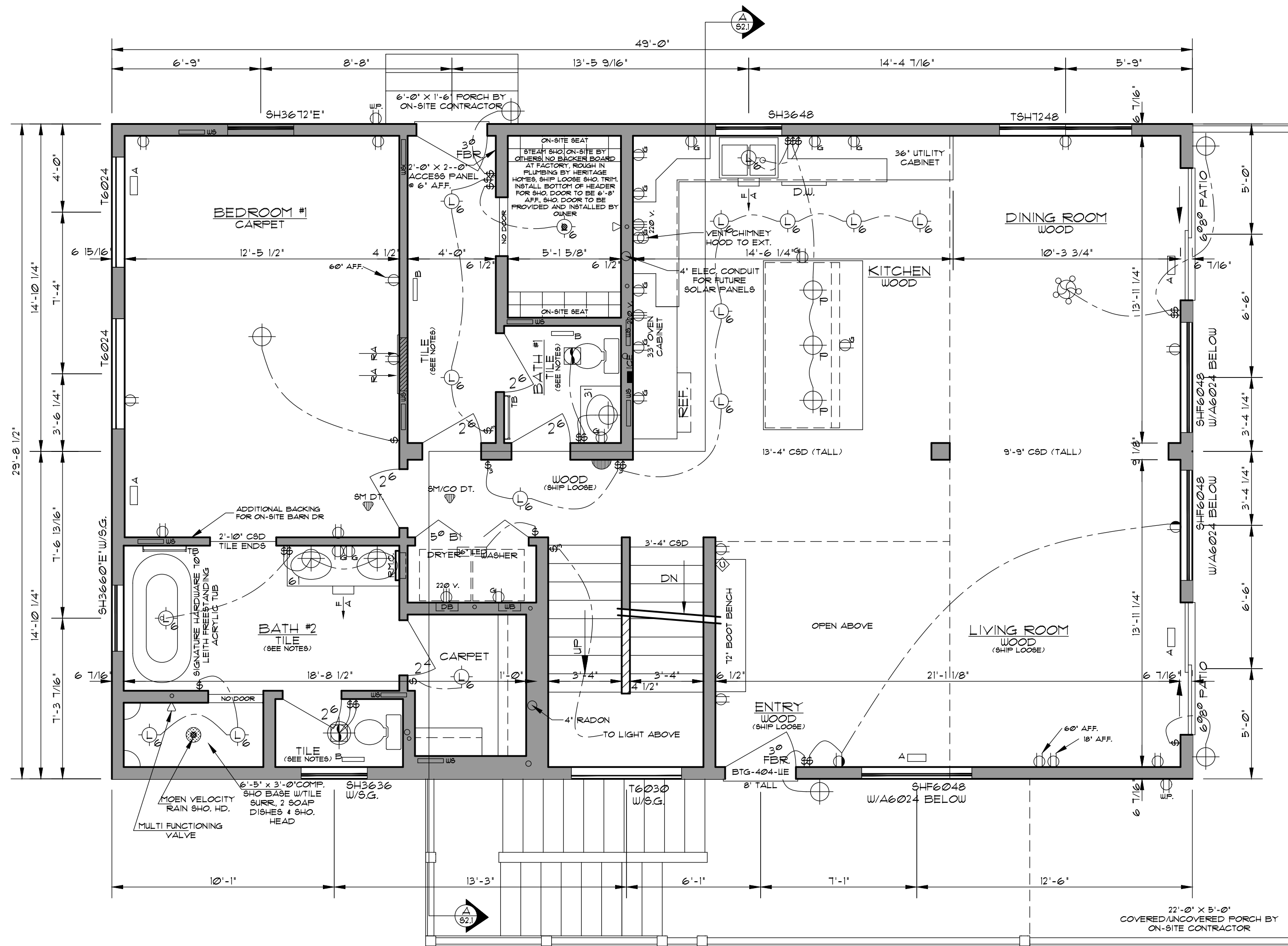
FRISCO, CO

JOB NO.

7201

SHEET NO.

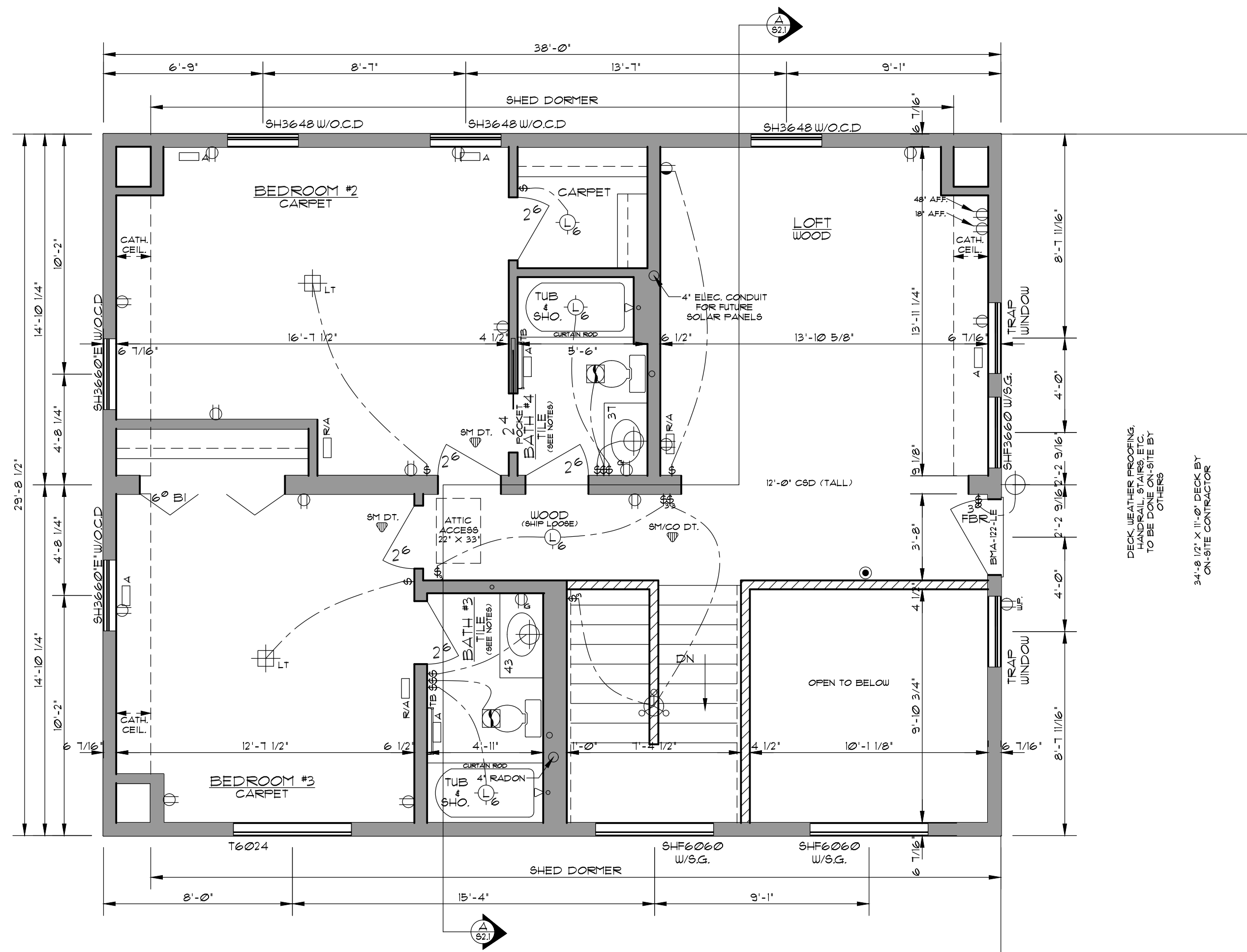
A1.1



NOTES:
 -BAYER BUILT PPKF2 PINE INTERIOR DOORS - THRU OUT
 -1X4 PINE CASING W/1X6 BASE TRIM
 -SKIP TROWEL DRYWALL TEXTURE @ WALLS & CEILINGS
 -GROUT FOR FLOOR TILE SUPPLIED BY HERITAGE HOMES BUT APPLIED BY ON-SITE CONTRACTOR

1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

	PLAN RETURN NOTICE & SIGNATURES (CHECK ONE BOX ONLY)		WE THE UNDERSIGNED RETURN THIS PLAN TO HERITAGEHOMES FOR THE EXPRESSED PURPOSE INDICATED AT THE IMMEDIATE LEFT. NOTE: INVALID IF MORE THAN ONE BOX IS CHECKED.	DATE DRAWN/REVISED 5/30/18	HERITAGE HOMES BUILDER COLORADO MODULAR HOMES BUILDER LOCATION EVERGREEN, CO	DESIGNED FOR SHANE WAGNER NEW HOME LOCATION FRISCO, CO	JOB NO. 7201 SHEET NO. A2.1
	<input type="checkbox"/> REVISE & RESEND TO BUILDER	<input type="checkbox"/> APPROVED AS FINAL BUILD PLAN					

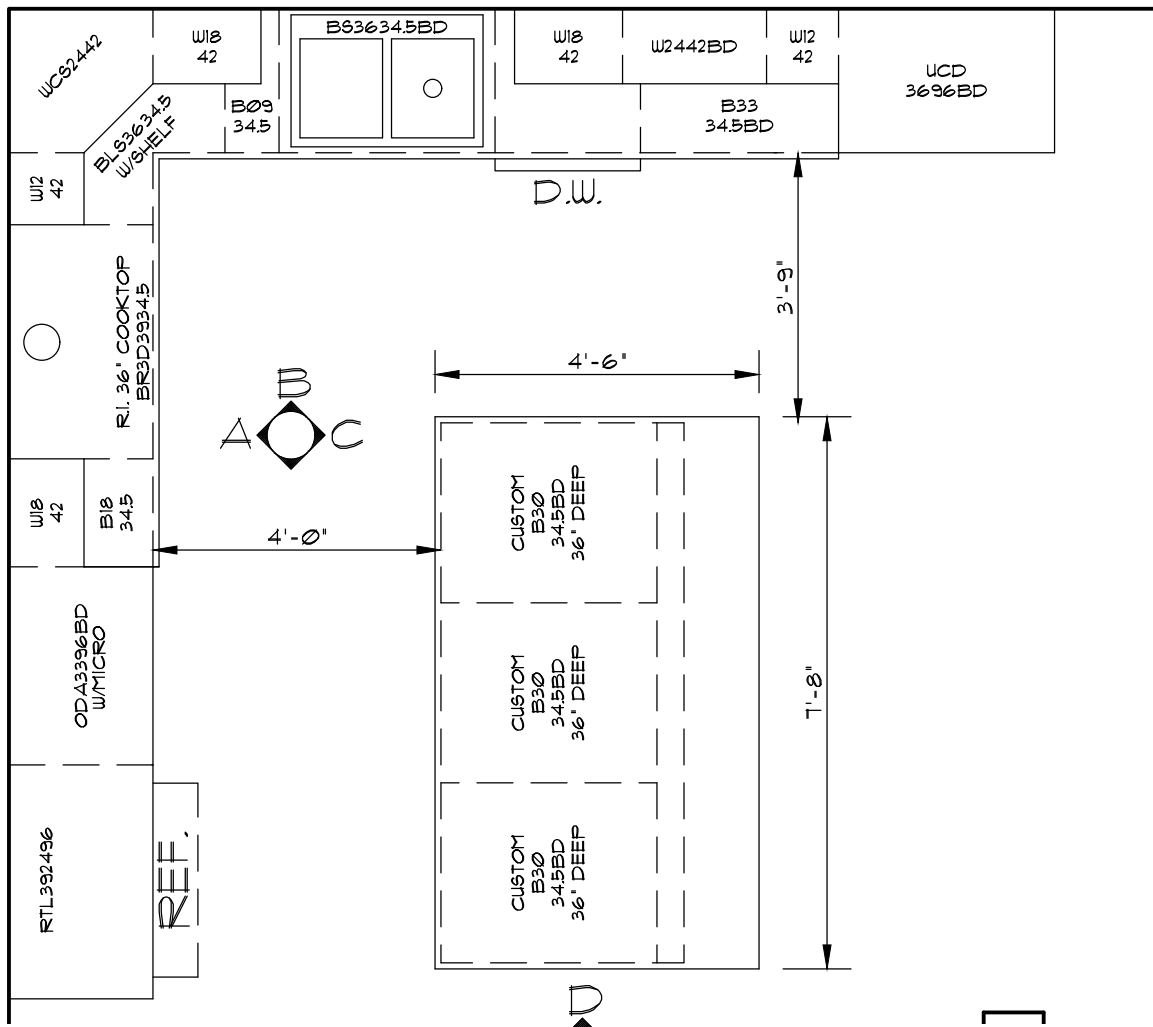


DECK WEATHER PROOFING, TRAP WINDOWS, TO BE DONE ON-SITE BY OTHERS
 34'-8 1/2" X 11'-0" DECK BY ON-SITE CONTRACTOR

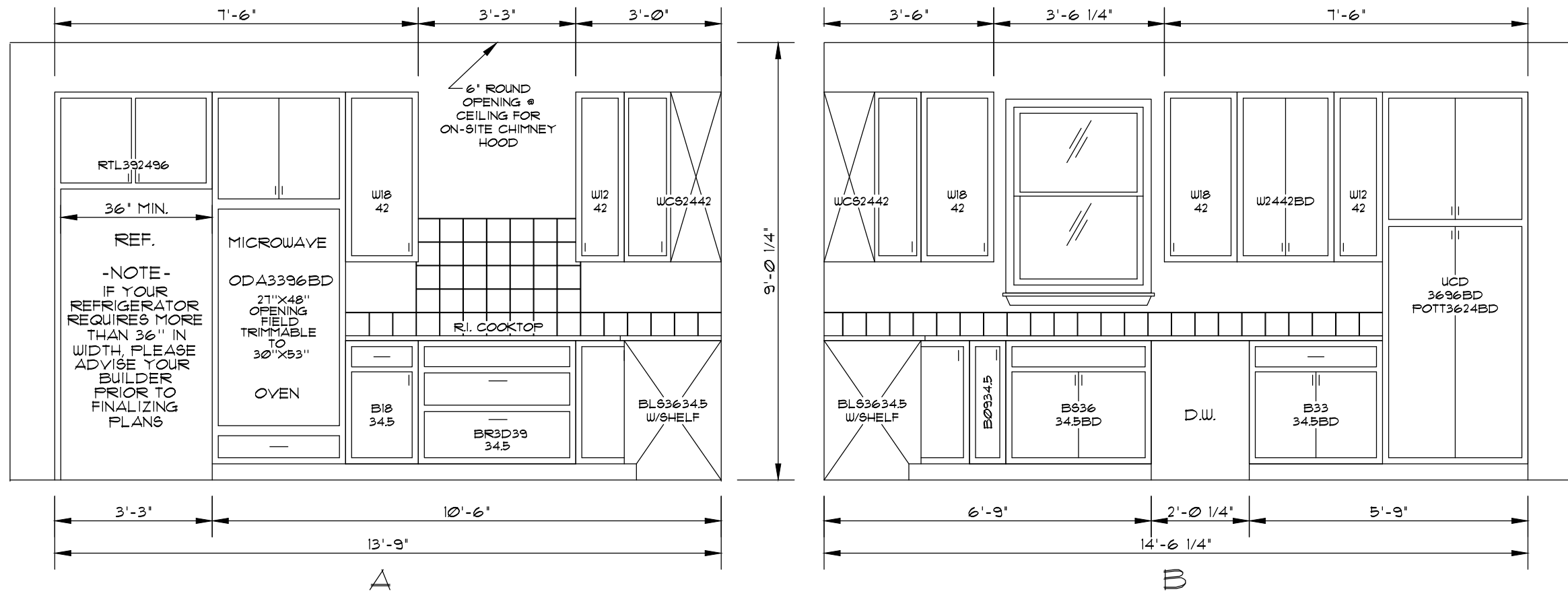
- NOTES:
 -BAYER BUILT PPKF2 PINE INTERIOR DOORS - THRU OUT
 -1X4 FINE CASING W/1X6 BASE TRIM
 -SKIP TROWEL DRYWALL TEXTURE @ WALLS & CEILINGS
 -GROUT FOR FLOOR TILE SUPPLIED BY HERITAGE HOMES BUT APPLIED BY ON-SITE CONTRACTOR

2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

	PLAN RETURN NOTICE & SIGNATURES (CHECK ONE BOX ONLY) <input type="checkbox"/> REVISE & RESEND TO BUILDER <input type="checkbox"/> APPROVED AS FINAL BUILD PLAN	WE THE UNDERSIGNED RETURN THIS PLAN TO HERITAGEHOMES FOR THE EXPRESSED PURPOSE INDICATED AT THE IMMEDIATE LEFT. NOTE: INVALID IF MORE THAN ONE BOX IS CHECKED. BUILDER SIGNATURE _____ DATE _____ CUSTOMER SIGNATURE _____ DATE _____	DATE DRAWN/REVISED 5/30/18	HERITAGE HOMES BUILDER COLORADO MODULAR HOMES BUILDER LOCATION EVERGREEN, CO	DESIGNED FOR SHANE WAGNER NEW HOME LOCATION FRISCO, CO	JOB NO. 7201 SHEET NO. A2.2
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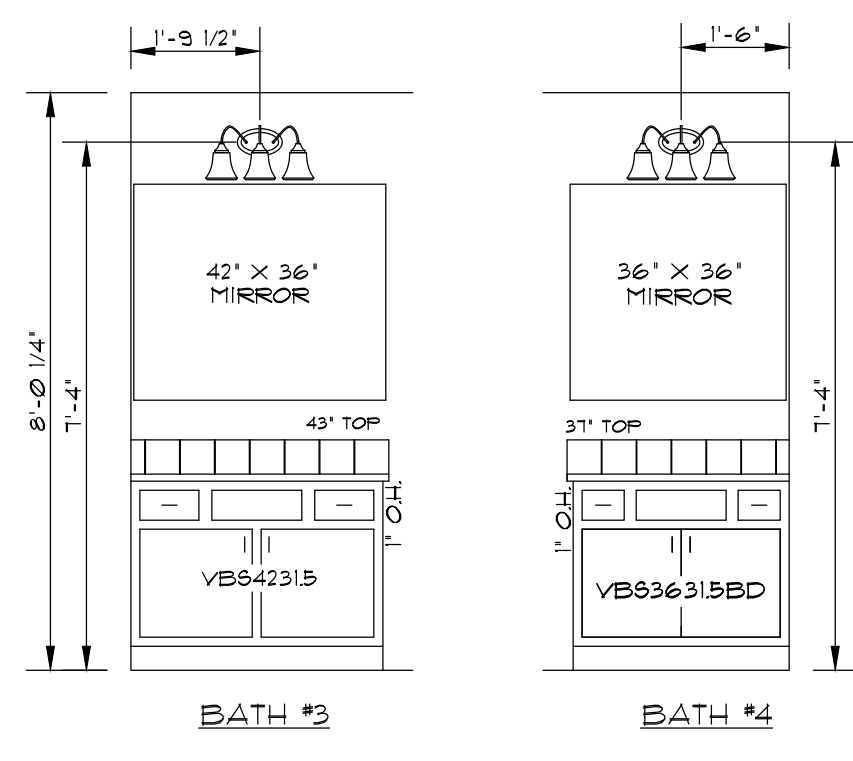
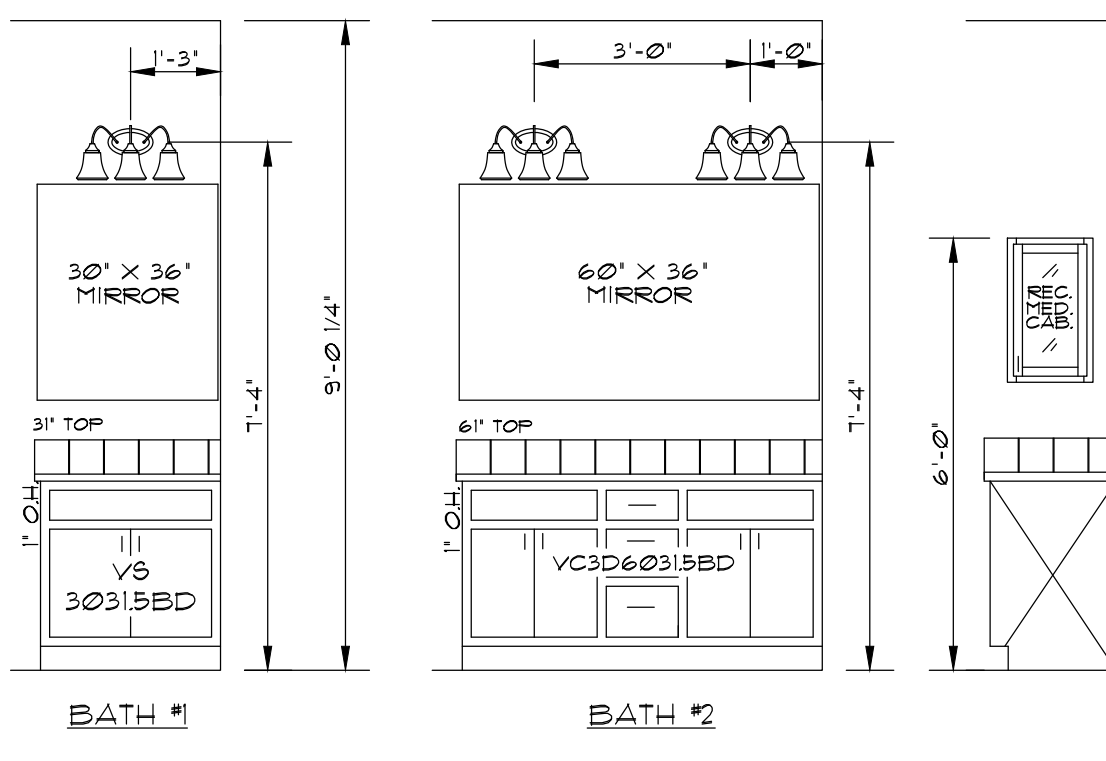
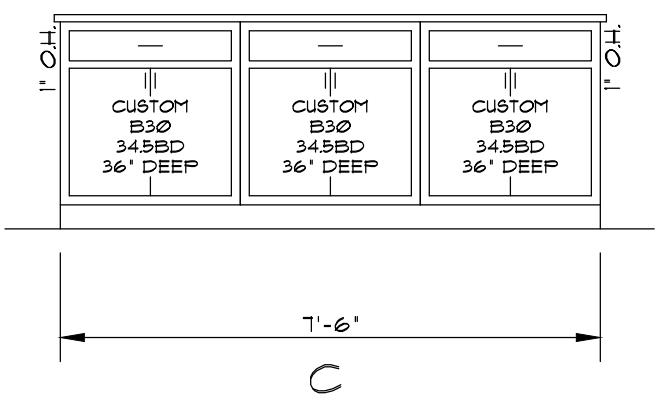


OVERVIEW CABINET DETAILS
SCALE: 3/8" = 1'-0"



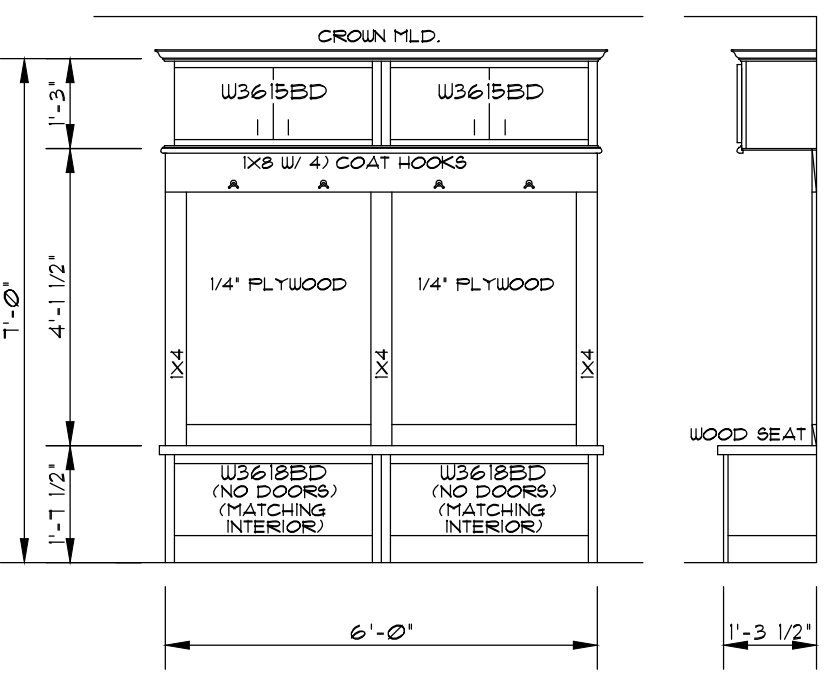
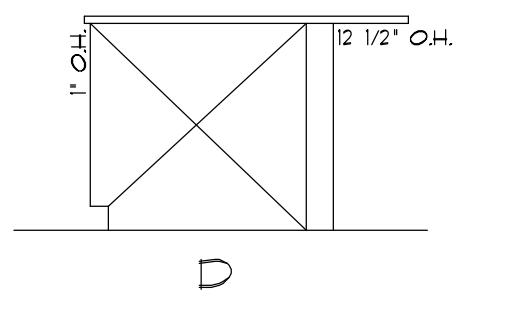
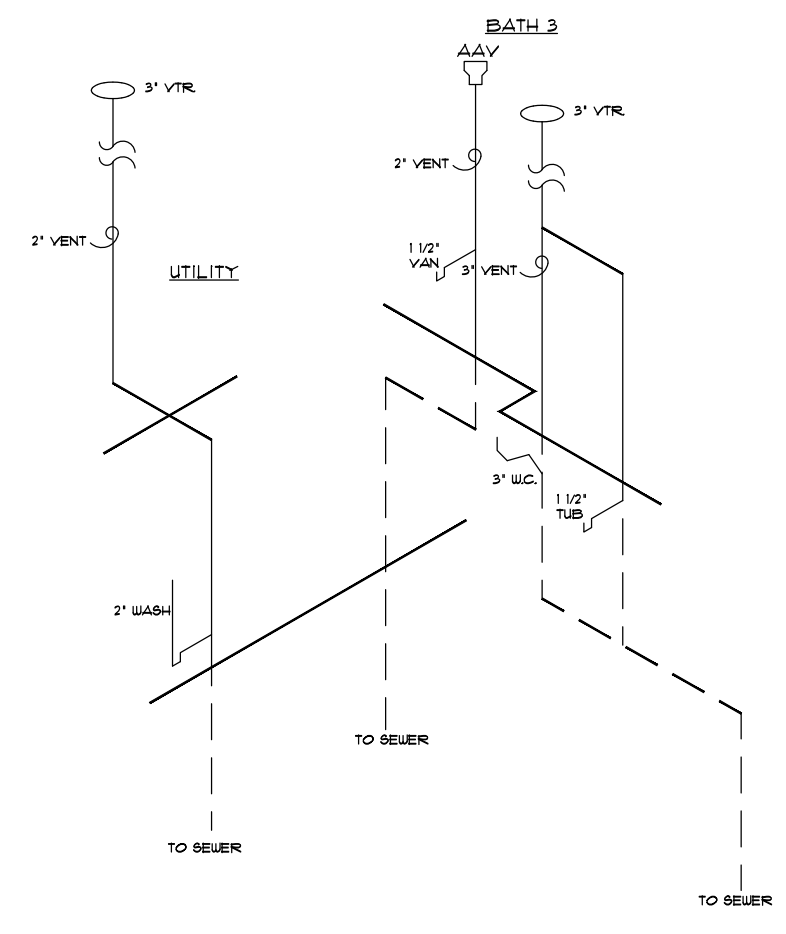
KITCHEN CABINET DETAILS
SCALE: 3/8" = 1'-0"

NOTES:
-SLAB CABINET DRAWER FRONTS
-PORTRAIT STYLE CABINET DOORS
-RED OAK KITCHEN CABINETS
-QUARTZ COUNTERTOP
-CERAMIC TILE BACKSPLASH



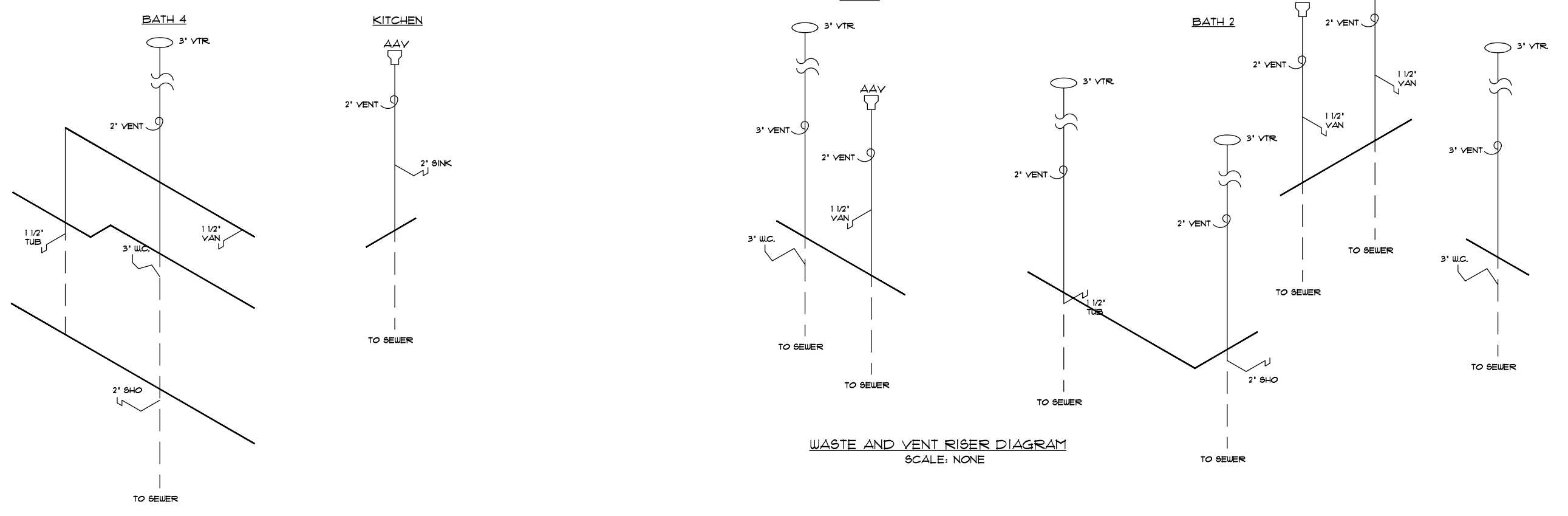
BATH VANITY DETAILS
SCALE: 3/8" = 1'-0"

NOTES:
-CERAMIC TILE BACKSPLASH
-GRANITE VANITY TOPS W/UNDERMOUNT SINKS
-PORTRAIT STYLE CABINET DOORS
-SLAB CABINET DRAWER FRONTS
-RED OAK VANITIES

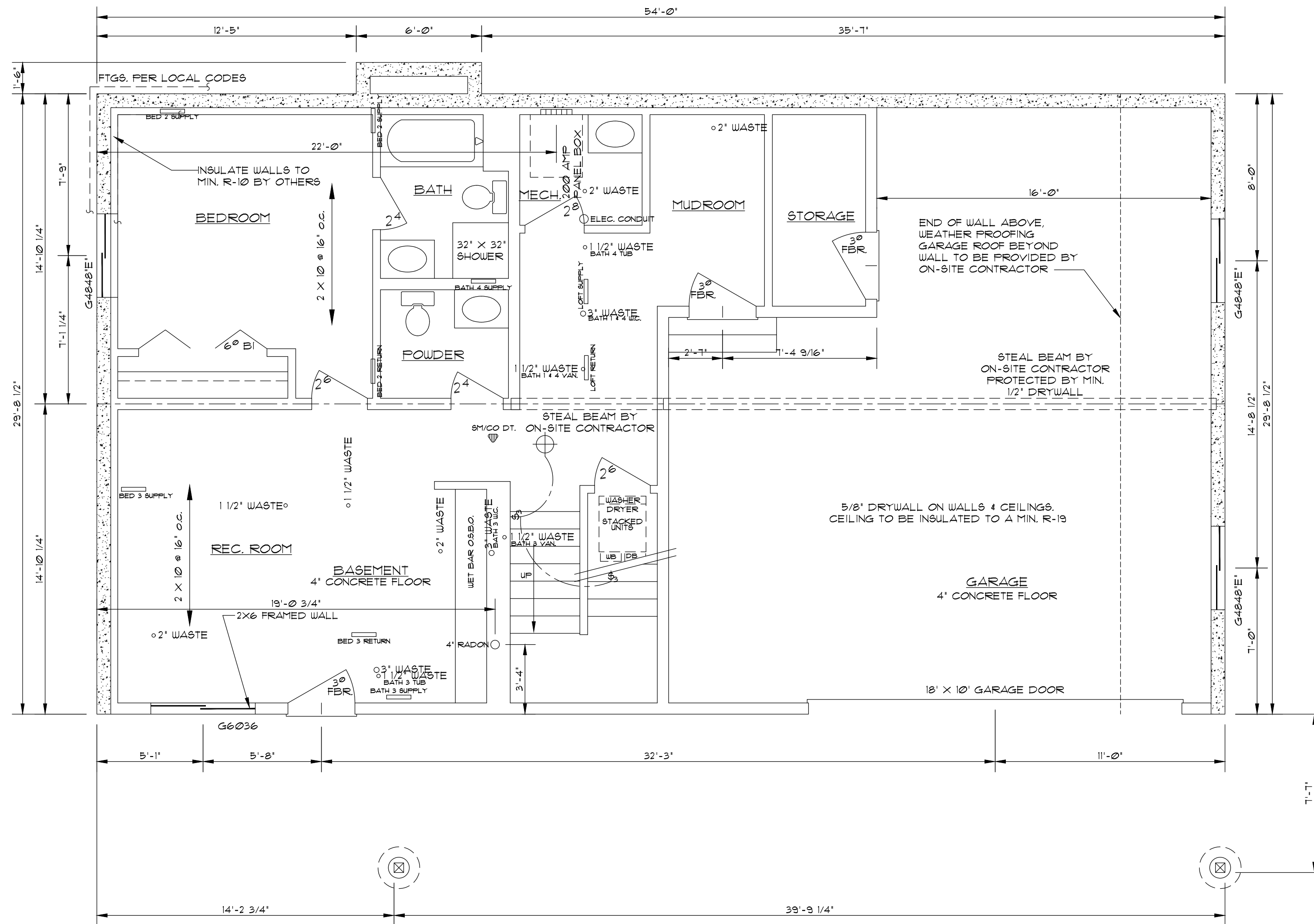


12" BOOT BENCH LOCKER DETAIL
SCALE: 3/8" = 1'-0"

NOTES:
-RED OAK CABINETS
-PORTRAIT STYLE CABINET DOORS



WASTE AND VENT RISER DIAGRAM
SCALE: NONE



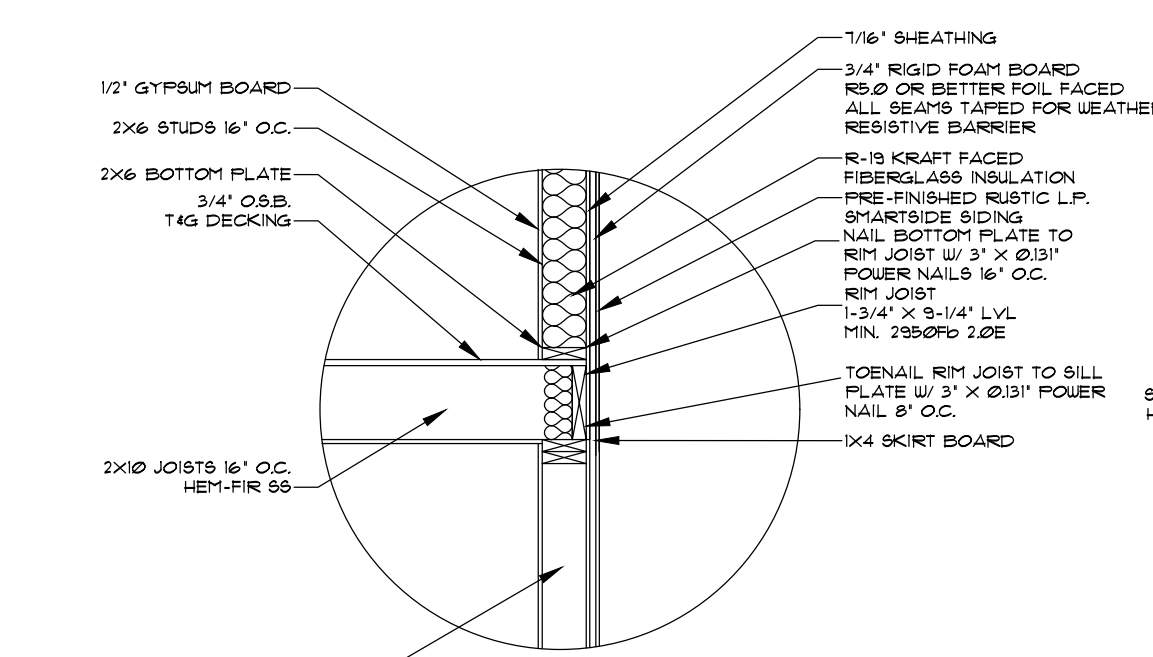
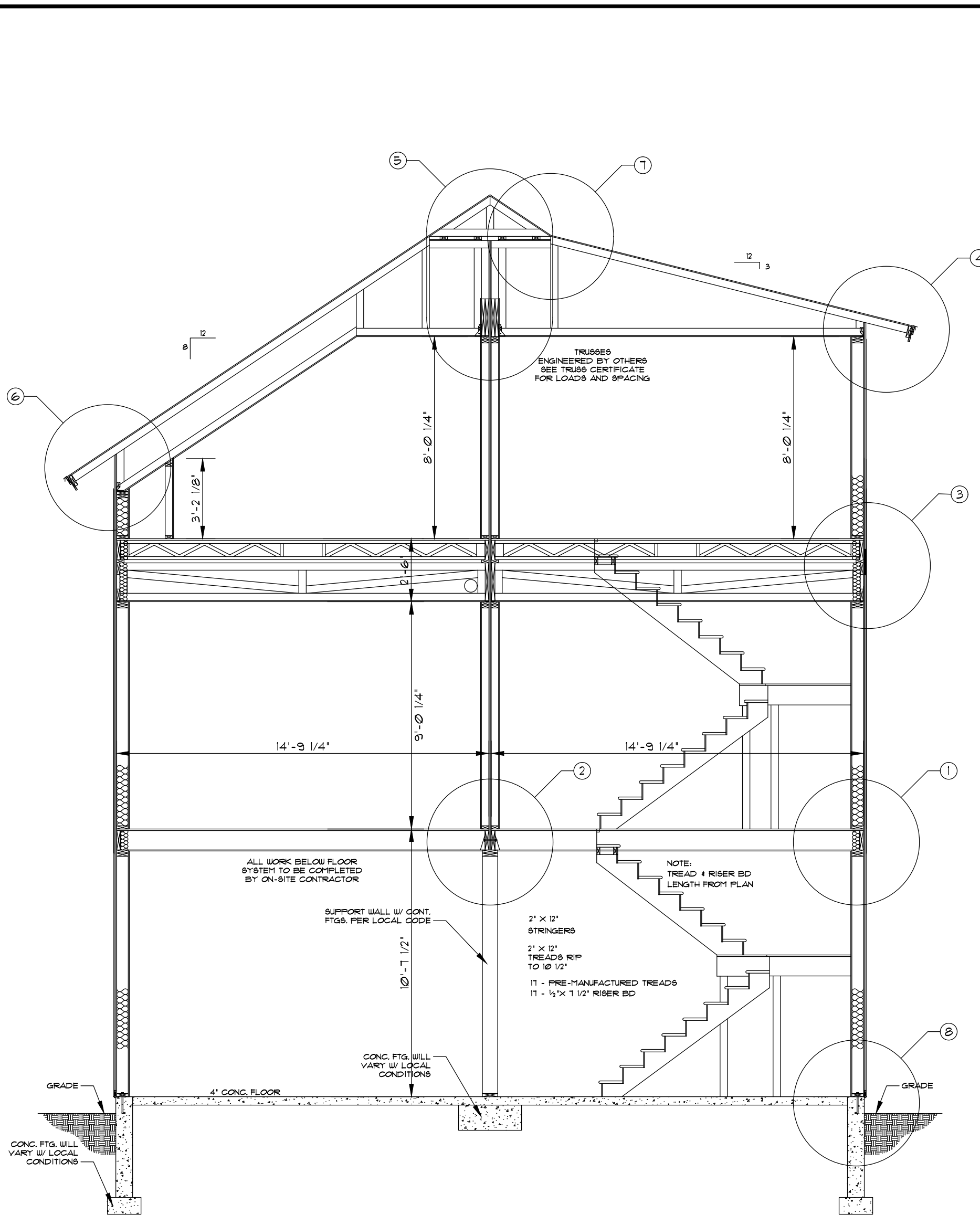
FOUNDATION NOTES:

- I. THESE DRAWINGS ARE INTENDED TO PROVIDE OVERALL PLAN-VIEW DIMENSIONS ONLY. PIERS, FOOTINGS, FOUNDATION SIZES, AND DESIGNS ARE TO BE BASED ON SITE SOIL CONDITIONS. ALL PIERS, FOOTINGS, FOUNDATIONS, AND OTHER ON-SITE CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES.
- II. ALL WORK BELOW FLOOR SYSTEM TO BE DESIGNED AND COMPLETED BY AN ON-SITE CONTRACTOR.
- III. VERIFY DIMENSIONS PRIOR TO CONSTRUCTION.
- IV. THE BUILDER AGREES, AT THE OWNER'S REQUEST, TO LEAVE TWO BUCKETFULS OF DIRT/BACKFILL MATERIAL ON PROPERTY FOR THE OWNER'S USE IN MAINTAINING PROPER SLOPE AWAY FROM THE FOUNDATION ON THE BACKFILL AREA AROUND THE HOME.

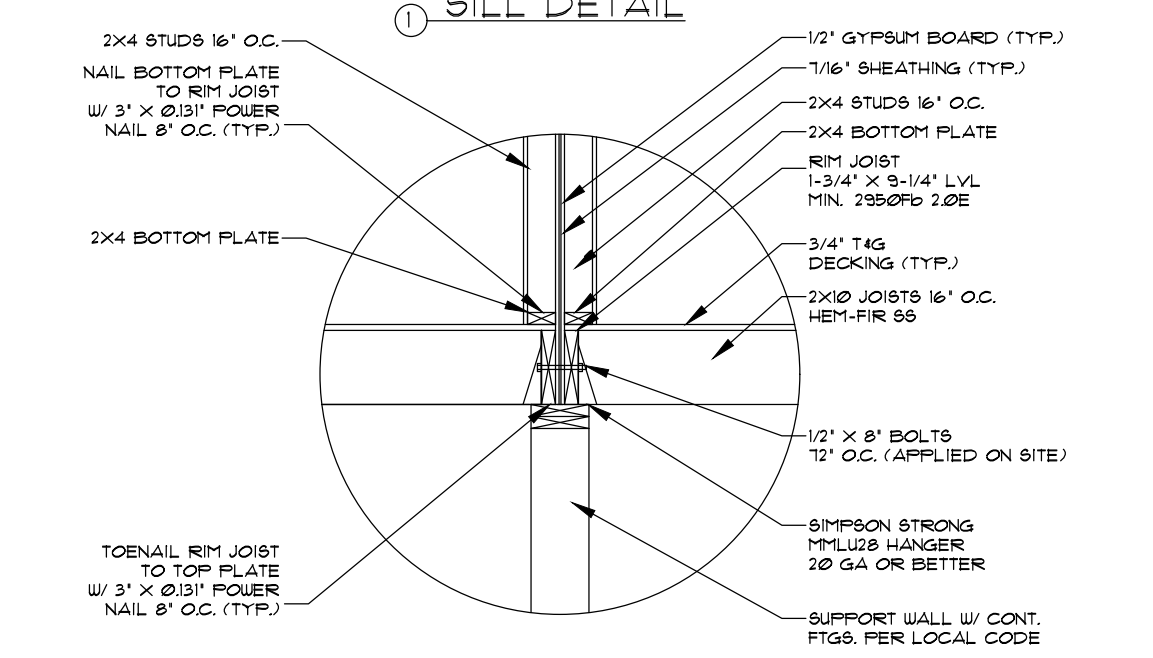
- V. PROPER SLOPE OF THE PERIMETER GRADE AROUND THE HOME FOUNDATION SHALL BE A MINIMUM OF ONE IN SIX ± ONE FOOT HIGHER AT THE FOUNDATION THAN THE GRADE IS 6 FEET FROM THE FOUNDATION, FOR POSITIVE DRAINAGE.
- VI. SETTLING WILL OCCUR DURING THE NEXT 5 TO 7 YEARS AS MOISTURE PENETRATES THE BACKFILL MATERIAL. MAINTENANCE IS NOT THE RESPONSIBILITY OF THE BUILDER.
- VII. PERIMETER PLANTINGS SHOULD BE A MINIMUM OF 4 FEET AWAY FROM THE FOUNDATION. AN ALTERNATE TO GRASS IS A 4 FOOT WIDE PLASTIC WATER BARRIER ON THE SOIL AND LAPPED UP ONTO THE FOUNDATION WALL AND COVERED WITH LANDSCAPE ROCKS. LAWN SPRINKLER HEADS SHOULD NOT BE PLACED CLOSER THAN 6 FEET FROM THE FOUNDATION, AND SPRAY AWAY FROM THE FOUNDATION.

PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

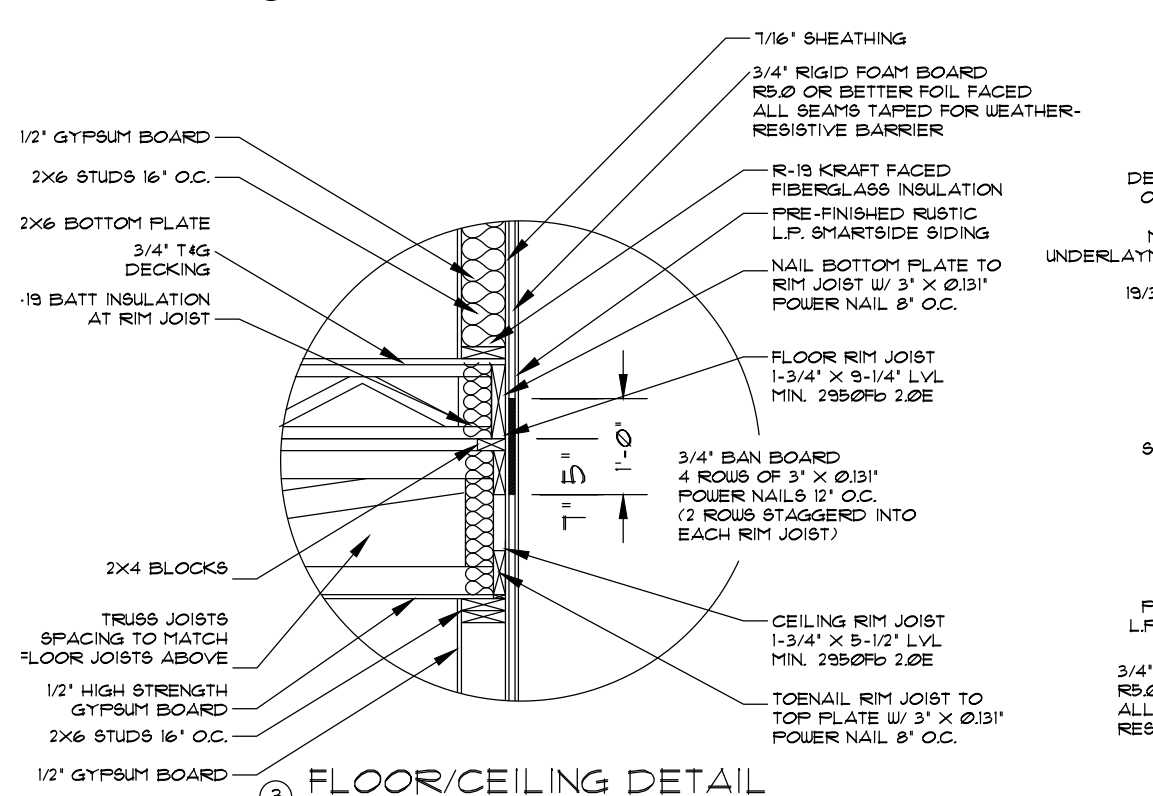
	PLAN RETURN NOTICE & SIGNATURES (CHECK ONE BOX ONLY)		WE THE UNDERSIGNED RETURN THIS PLAN TO HERITAGEHOMES FOR THE EXPRESSED PURPOSE INDICATED AT THE IMMEDIATE LEFT. NOTE: INVALID IF MORE THAN ONE BOX IS CHECKED.	DATE DRAWN/REVISED 5/30/18	HERITAGE HOMES BUILDER COLORADO MODULAR HOMES BUILDER LOCATION EVERGREEN, CO	DESIGNED FOR SHANE WAGNER NEW HOME LOCATION FRISCO, CO	JOB NO. 7201 SHEET NO. S1.1
	<input type="checkbox"/> REVISE & RESEND TO BUILDER	<input type="checkbox"/> APPROVED AS FINAL BUILD PLAN					



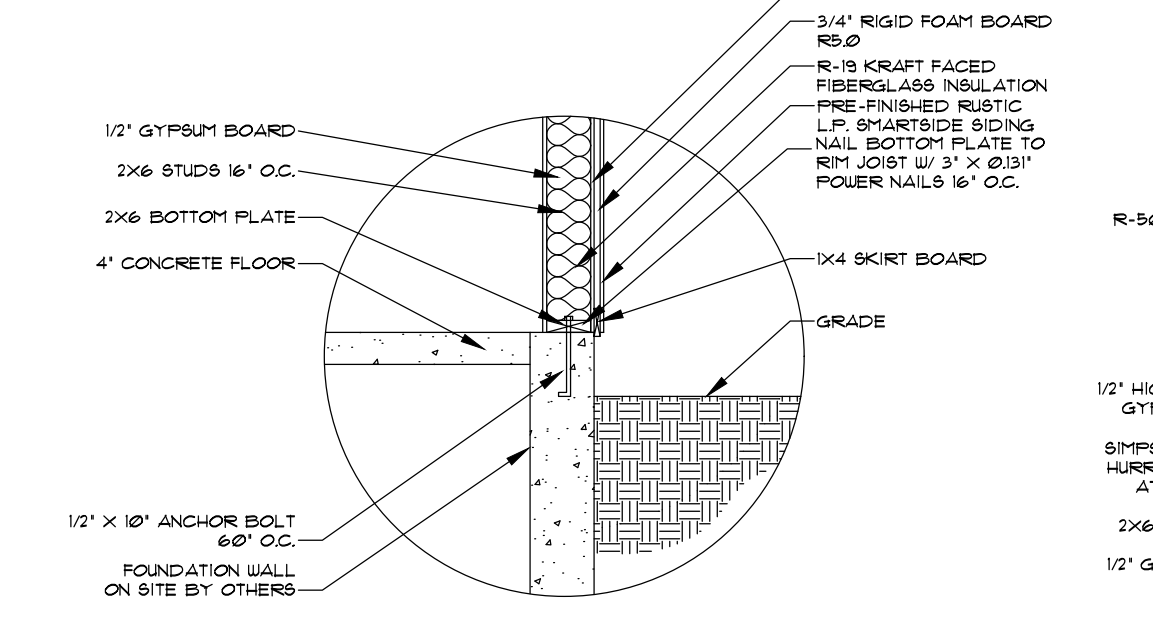
1 SILL DETAIL



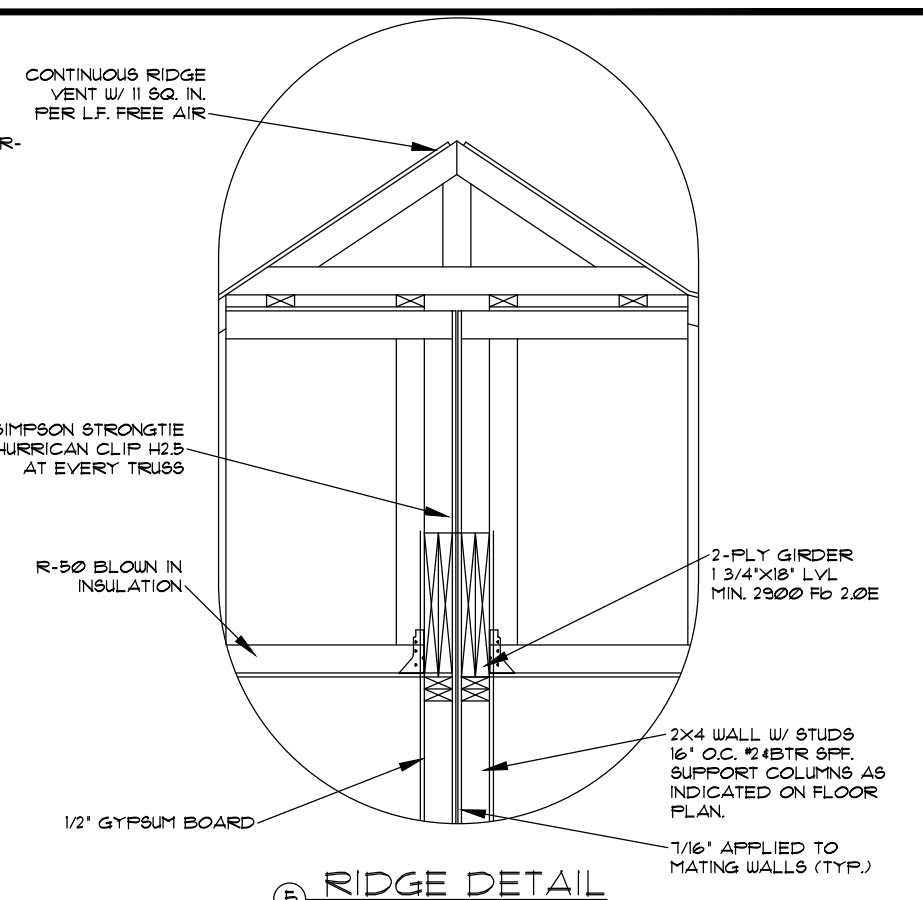
2 MATING WALL JOIST DETAIL



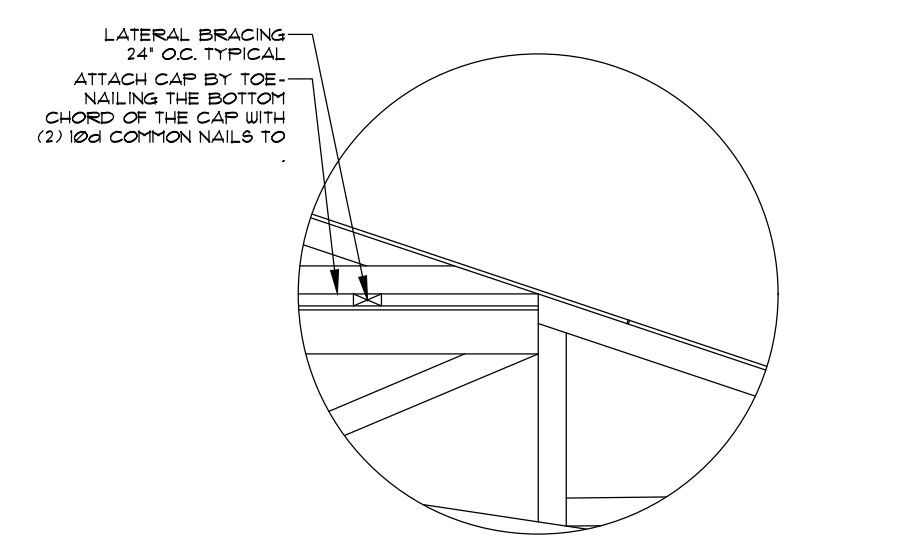
3 FLOOR/CEILING DETAIL



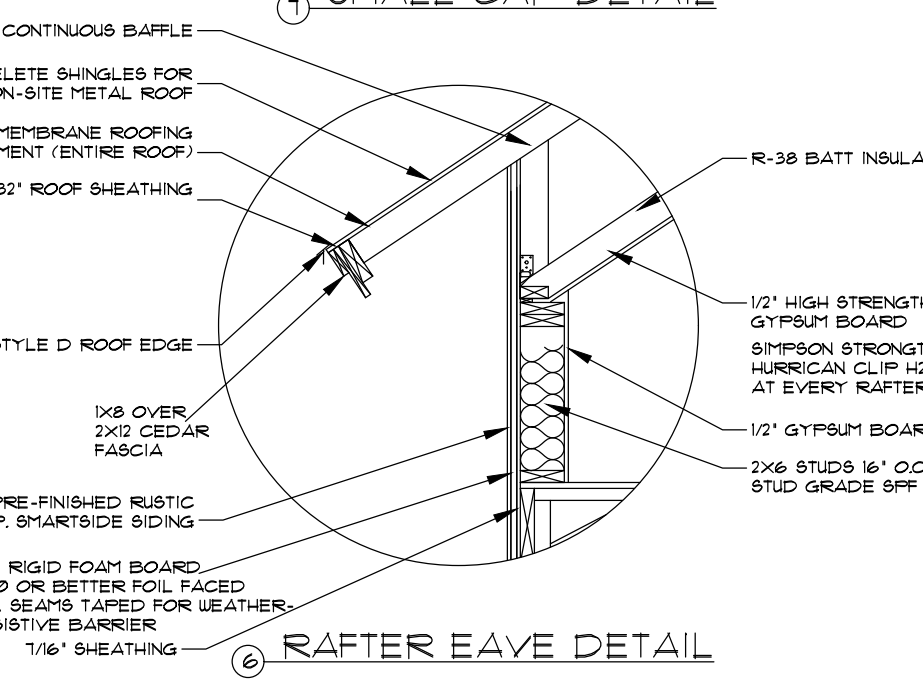
4 SILL DETAIL



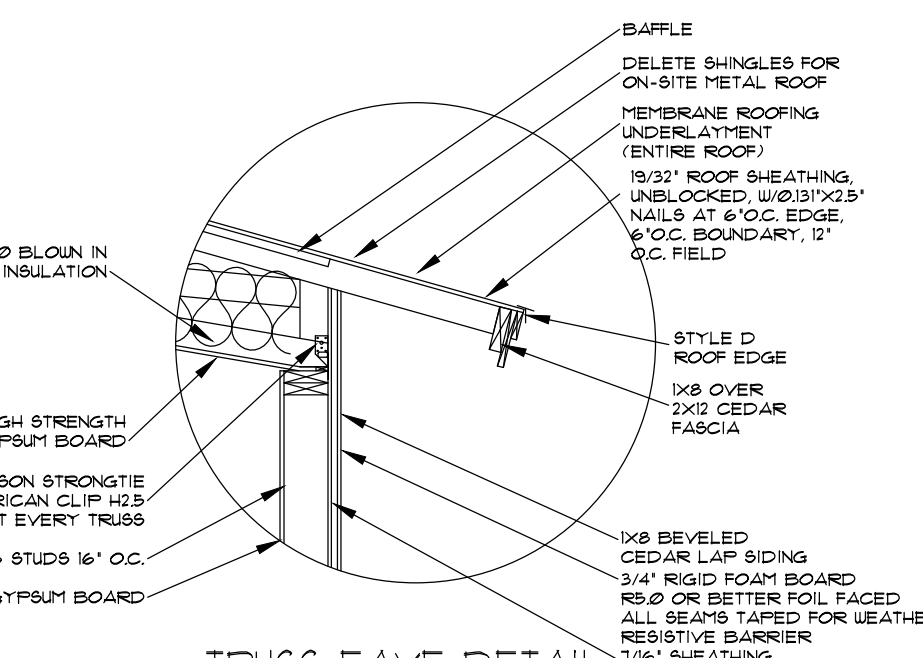
5 RIDGE DETAIL



6 SMALL CAP DETAIL



7 RAFTER EAVE DETAIL

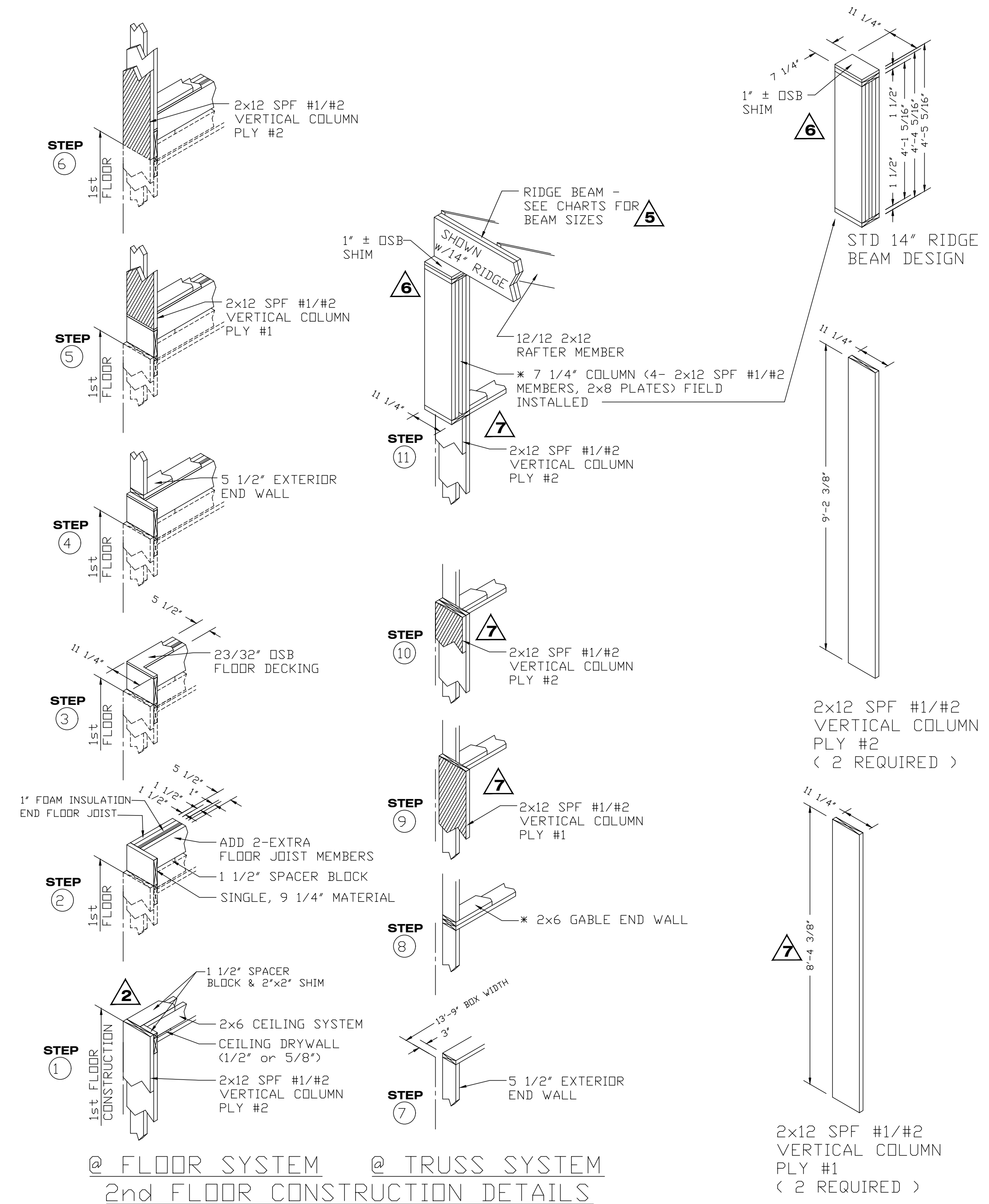
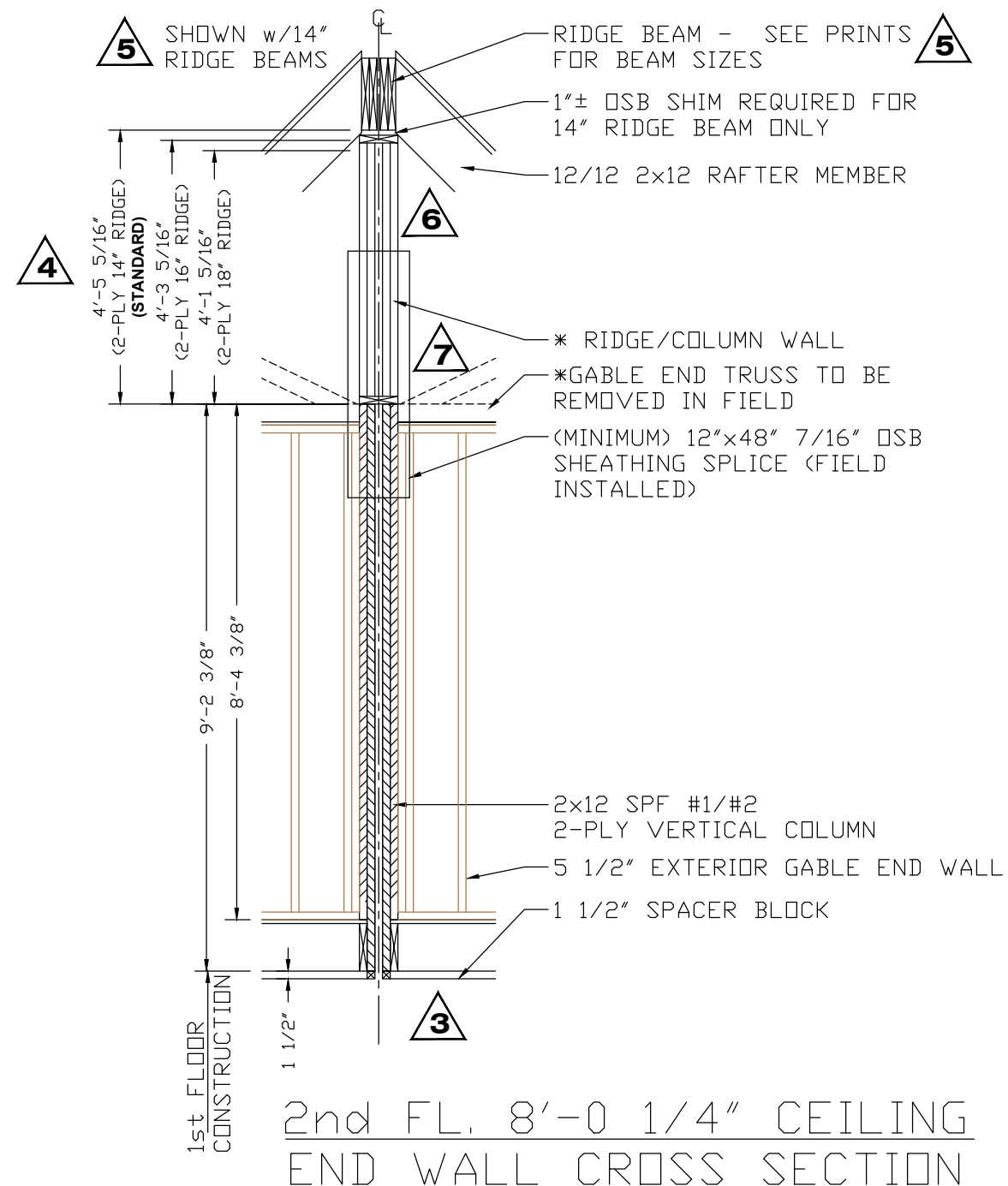
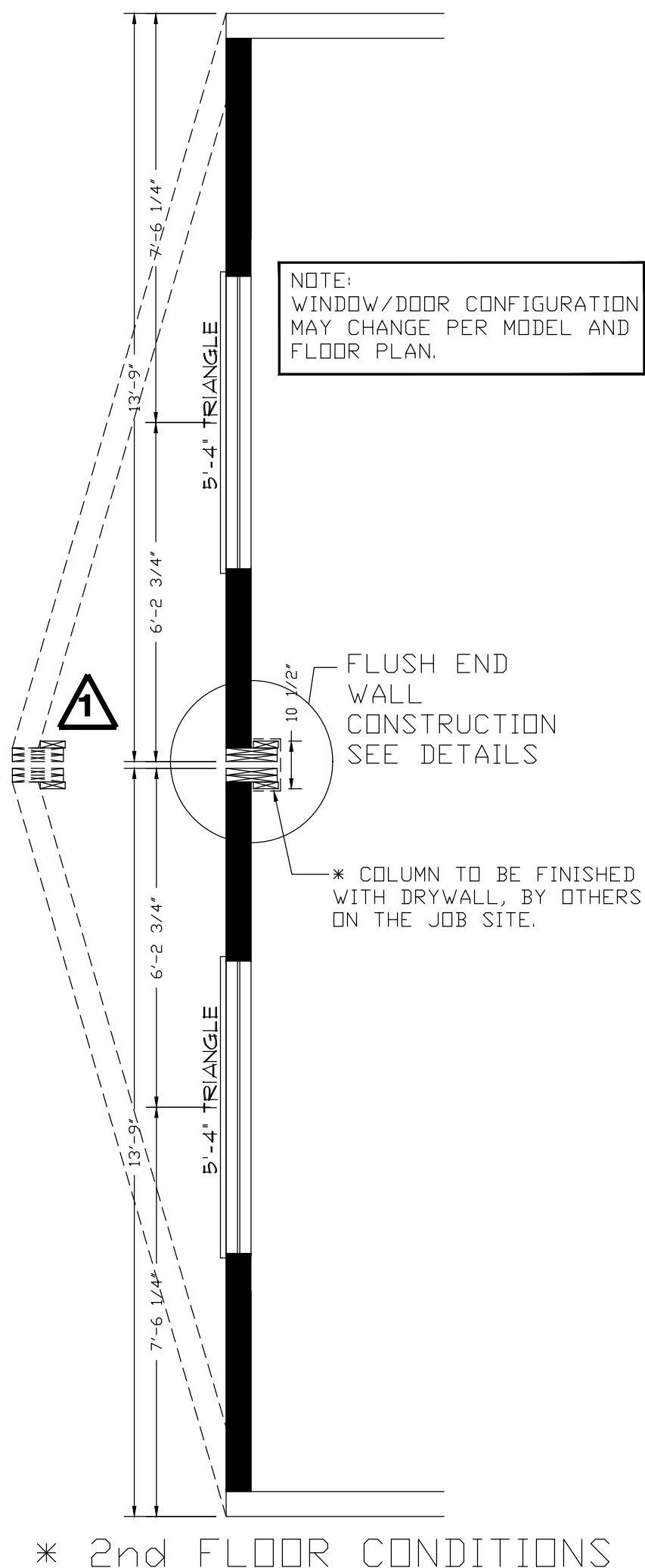


8 TRUSS EAVE DETAIL

9 CALLOUTS DETAIL SCALE: 1/2" = 1'-0"

A CROSS SECTION SCALE: 1/4" = 1'-0"

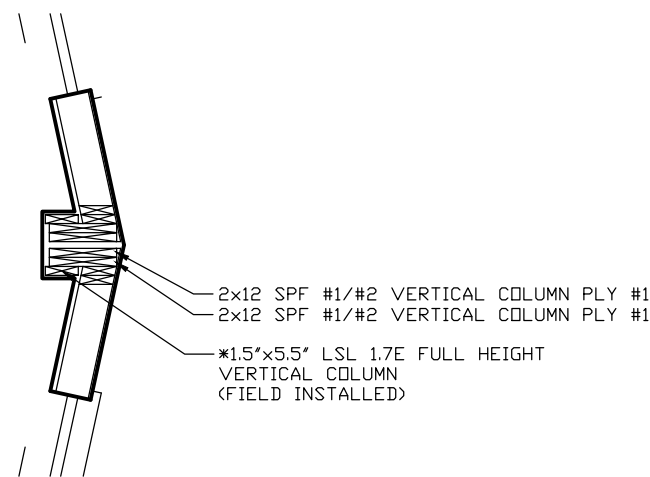
	PLAN RETURN NOTICE & SIGNATURES (CHECK ONE BOX ONLY) <input type="checkbox"/> REVISE & RESEND TO BUILDER <input type="checkbox"/> APPROVED AS FINAL BUILD PLAN	WE THE UNDERSIGNED RETURN THIS PLAN TO HERITAGEHOMES FOR THE EXPRESSED PURPOSE INDICATED AT THE IMMEDIATE LEFT. NOTE: INVALID IF MORE THAN ONE BOX IS CHECKED. BUILDER SIGNATURE _____ DATE _____ CUSTOMER SIGNATURE _____ DATE _____	DATE DRAWN/REVISED 5/30/18	HERITAGE HOMES BUILDER COLORADO MODULAR HOMES BUILDER LOCATION EVERGREEN, CO	DESIGNED FOR SHANE WAGNER NEW HOME LOCATION FRISCO, CO	JOB NO. 7201 SHEET NO. S2.1
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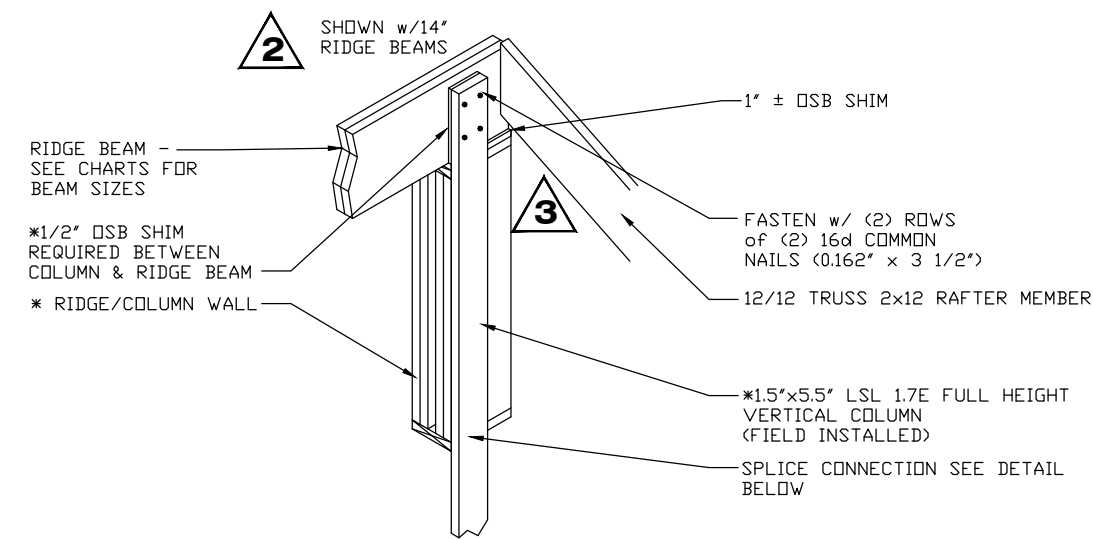
8/12 ROOF
4 BOX MODELS
8/9' 1st FL. CEILING

FLUSH ENDWALL DETAILS
STRUCTURAL FRAMING DETAIL

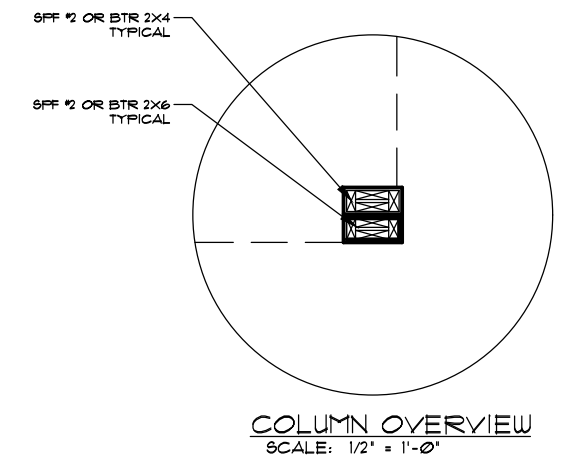
<p>HERITAGE HOMES</p>	PLAN RETURN NOTICE & SIGNATURES (CHECK ONE BOX ONLY)		WE THE UNDERSIGNED RETURN THIS PLAN TO HERITAGEHOMES FOR THE EXPRESSED PURPOSE INDICATED AT THE IMMEDIATE LEFT. NOTE: INVALID IF MORE THAN ONE BOX IS CHECKED.	DATE DRAWN/REVISED 5/30/18	HERITAGE HOMES BUILDER COLORADO MODULAR HOMES		DESIGNED FOR SHANE WAGNER		JOB NO. 7201	
	<input type="checkbox"/> REVISE & RESEND TO BUILDER				BUILDER SIGNATURE _____ DATE _____	BUILDER LOCATION EVERGREEN, CO		NEW HOME LOCATION FRISCO, CO		SHEET NO. S2.1
	<input type="checkbox"/> APPROVED AS FINAL BUILD PLAN				CUSTOMER SIGNATURE _____ DATE _____					



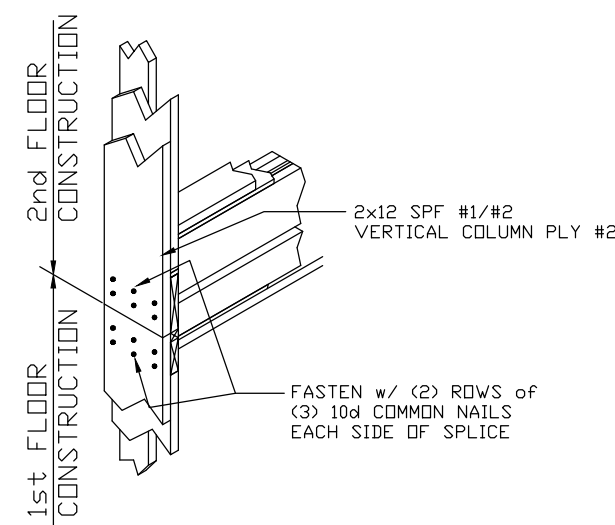
VERTICAL COLUMN OVERVIEW



VERTICAL COLUMN (5.5' LSL) TO RIDGE BEAM CONNECTION

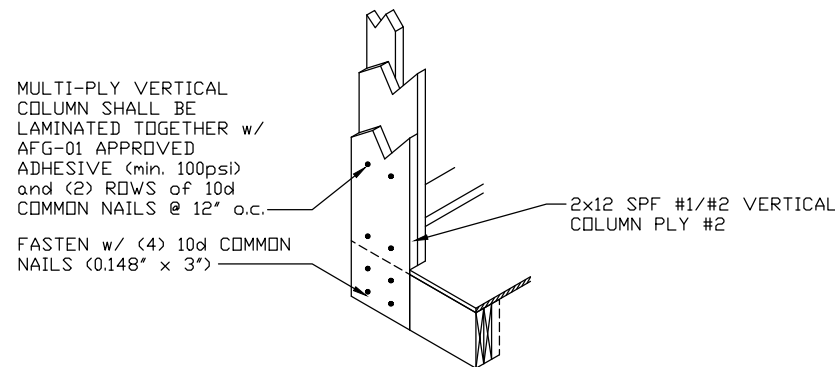


COLUMN OVERVIEW SCALE: 1/2" = 1'-0"

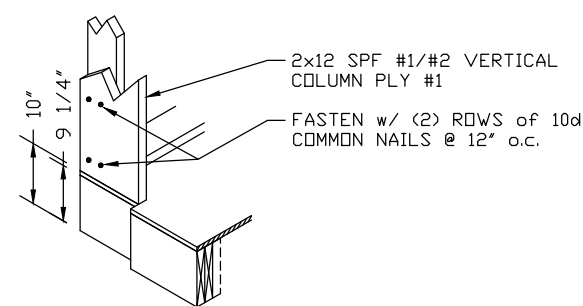


VERTICAL COLUMN CONNECTION @ 1st/2nd FLOOR SPLICE

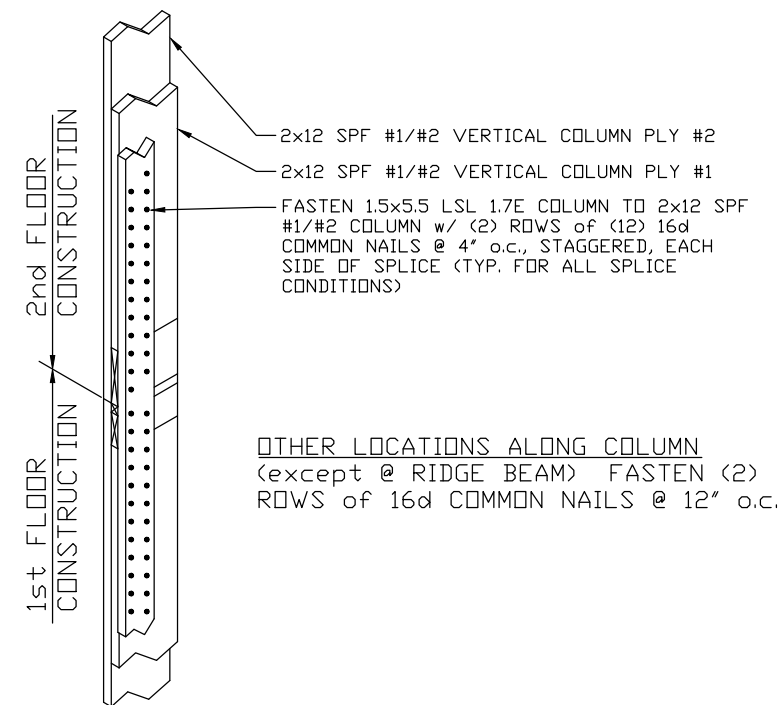
VERTICAL COLUMN MULTI-PLY FASTENING



VERTICAL COLUMN TO FLOOR BEAM CONNECTION

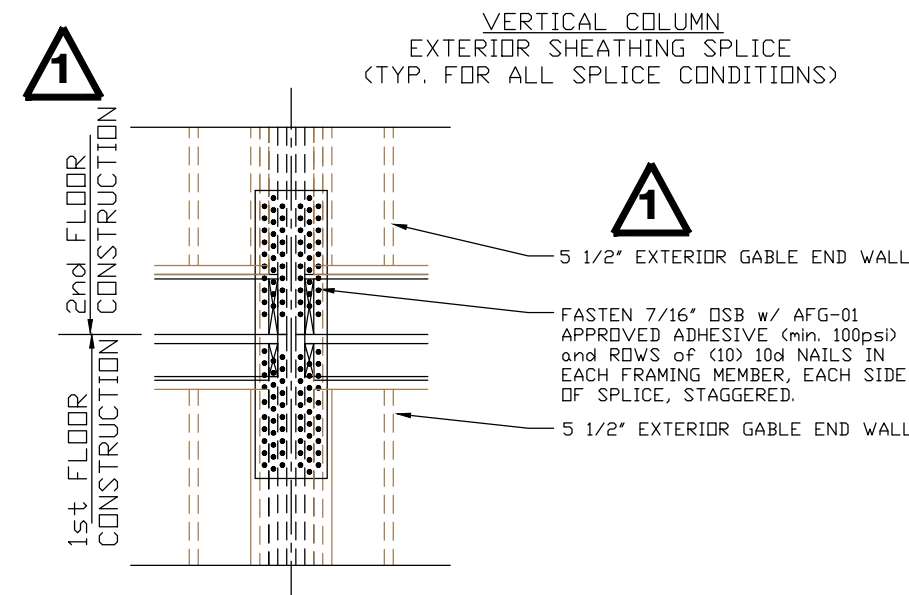
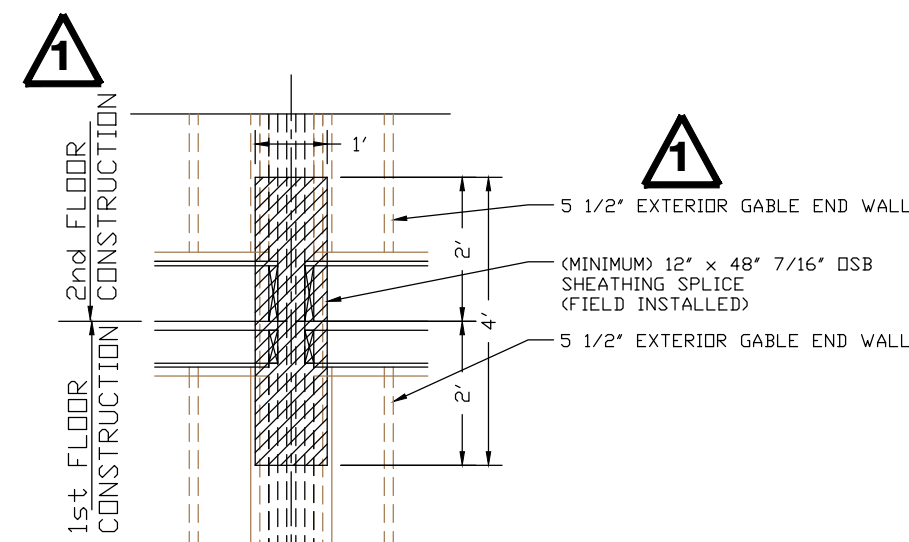


VERTICAL COLUMN (PLY#1) TO 2x6 WALL STUD

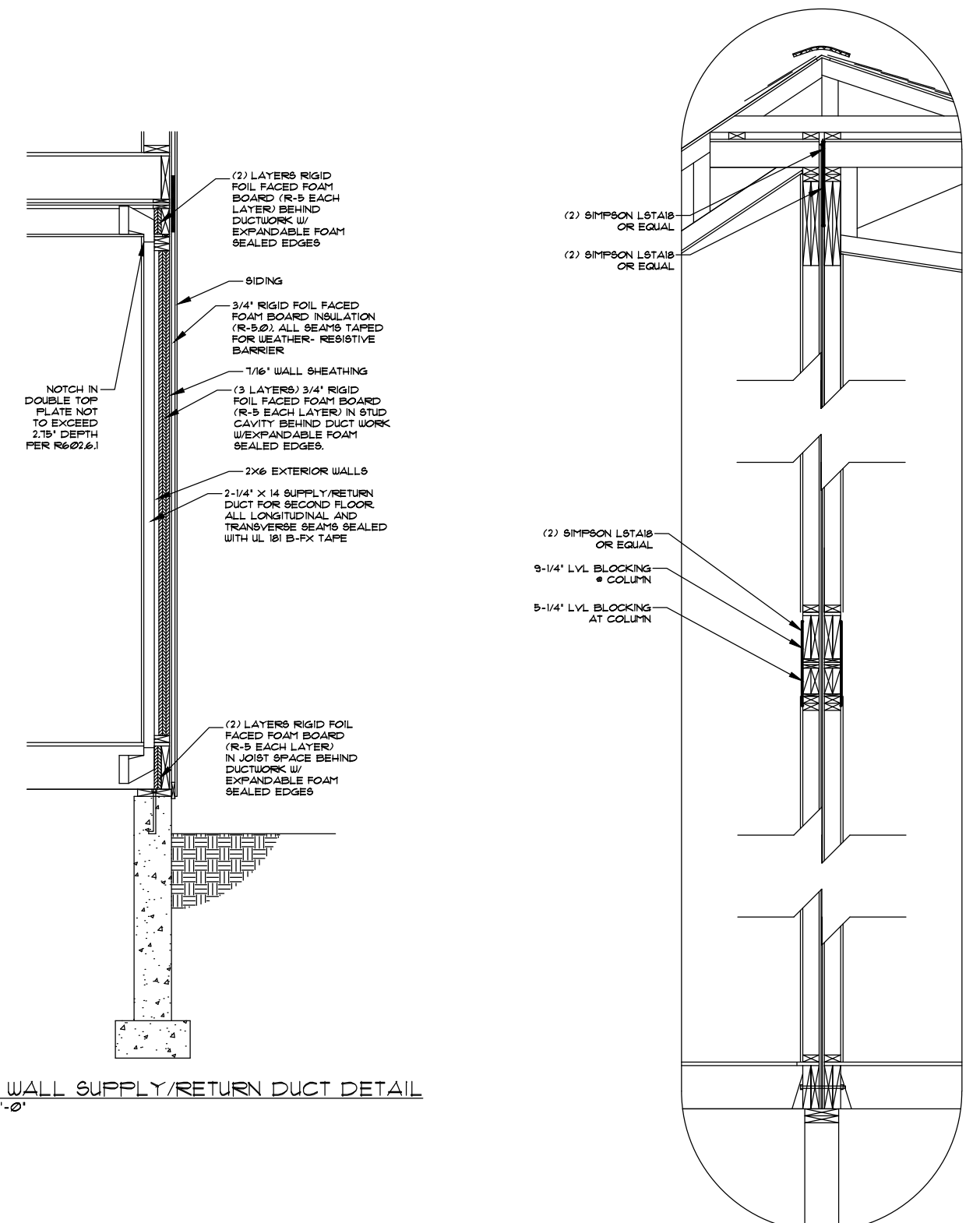


VERTICAL COLUMN (5.5' LSL) @ SPLICE CONNECTION

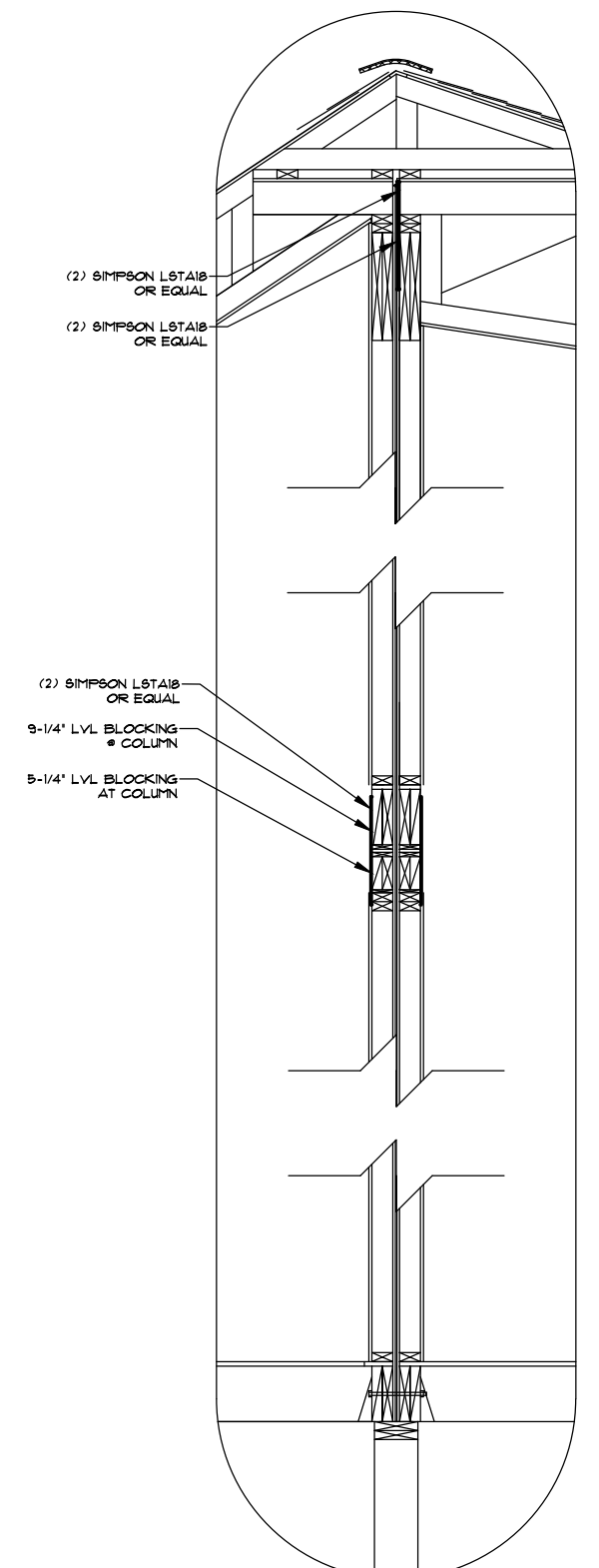
8/12 ROOF CAPE 4 BOX MODELS
8/9' 1st FL. CEILING



* FIELD WORK
FLUSH ENDWALL DETAILS
STRUCTURAL FRAMING DETAIL



EXTERIOR WALL SUPPLY/RETURN DUCT DETAIL SCALE: 1/2" = 1'-0"



COLUMN DETAIL SCALE: 1/2" = 1'-0"

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	BUILDER SIGNATURE _____ DATE _____ CUSTOMER SIGNATURE _____ DATE _____					