

GENERAL NOTES

- 1. CODES**
THIS PROJECT SHALL COMPLY WITH THE 2012 INTERNATIONAL CODES, AND AMENDMENTS, AS ADOPTED BY THE TOWN OF FRISCO, COLORADO. THE GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODE REQUIREMENTS.
- 2. EXISTING CONDITIONS**
FIELD VERIFY ALL DIMENSIONS, UTILITY LOCATIONS AND EXISTING CONDITIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR PROCURING ANY MATERIALS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES THAT ARISE.
- 3. DIMENSIONS**
ALL PLAN DIMENSIONS SHOWN ARE TO FACE OF FRAMING OR FACE OF FOUNDATION WALL UNLESS NOTED OTHERWISE. ALL SECTION AND ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, TOP OF WALL PLATE OR TOP OF BEAM UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.
- 4. CHANGES**
ANY PROPOSED CHANGES TO THE PLANS SHALL BE SUBMITTED TO THE ARCHITECT IN WRITING PRIOR TO COMMENCING WORK. UNAUTHORIZED CHANGES SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM SUCH CHANGES.
- 5. OMISSIONS OR DISCREPANCIES**
ALTHOUGH PROVINO ARCHITECTURE, LLC AND ITS CONSULTANTS HAVE PERFORMED THEIR DUTIES WITH CARE AND DILIGENCE, DESIGN AND CONSTRUCTION ARE COMPLEX PROCESSES IN WHICH OMISSIONS OR DISCREPANCIES MAY OCCUR. NOTIFY THE ARCHITECT IMMEDIATELY TO RESOLVE ANY SUCH ISSUE PRIOR TO COMMENCING WORK.
- 6. INDUSTRY STANDARDS**
THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL PROVIDE ALL MATERIALS, LABOR, SHIPPING, INSTALLATION, TOOLS AND EQUIPMENT TO PROVIDE A COMPLETE PROJECT MEETING THE RECOGNIZED INDUSTRY STANDARDS.
- 7. JOB SITE SAFETY**
THESE DOCUMENTS DO NOT CONTAIN ALL OF THE REQUIRED COMPONENTS FOR PROPER JOB SITE SAFETY. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO PERFORM ALL WORK IN COMPLIANCE WITH ALL REGULATORY AGENCY SAFETY REGULATIONS.
- 8. SOILS INVESTIGATION**
IT IS RECOMMENDED THAT THE OWNER RETAIN THE SERVICES OF A SOILS ENGINEER TO VERIFY THE SOIL BEARING CAPACITY AND SUBSURFACE CONDITIONS PRIOR TO PLACING ANY CONCRETE FOUNDATIONS.
- 9. AREA CALCULATIONS**
SQUARE FOOTAGE CALCULATIONS ARE FOR CODE PURPOSES ONLY AND SHOULD BE FIELD VERIFIED FOR ANY OTHER USE.
- 10. COPYRIGHT**
THESE DOCUMENTS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF PROVINO ARCHITECTURE, LLC. ANY DUPLICATION OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT FROM THE ARCHITECT IS STRICTLY PROHIBITED.

DEFERRED SUBMITTALS

THE FOLLOWING SYSTEMS ARE A DESIGN/BUILD SCOPE OF WORK AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR PRODUCT MANUFACTURER AND WILL REQUIRE THE DEFERRED SUBMITTAL OF DESIGN WORK TO THE TOWN OF FRISCO AND LAKE DILLON FIRE DISTRICT FOR PLAN REVIEW AND PERMITTING.

1. FIRE SPRINKLER SYSTEMS
2. FIRE ALARM SYSTEMS

SITE DATUM

9,025' USGS = 100'-0" ARCH'L.

CONTACT INFORMATION

OWNER: FRISCO DEPOT, LLC 1035 PEARL STREET SUITE 205 BOULDER, CO 80304 MICHAEL BOSMA 720.280.7569	ARCHITECT: PROVINO ARCHITECTURE, LLC 208 SOUTH RIDGE STREET P.O. BOX 8662 BRECKENRIDGE, CO 80424 970.453.2520	CONTRACTOR: AGR BUILDING, INC. 1035 PEARL STREET SUITE 205 BOULDER, CO 80304	STRUCTURAL ENG'R: JVA, INC. 1319 SPRUCE STREET BOULDER, CO 80302 303.444.1951	MEP ENGINEER: DMCE ENGINEERING 5737 W. 6TH AVE LAKEWOOD, CO 80214 303.421.3208	LANDSCAPE ARCH.: NORRIS DESIGN 310 MAIN STREET, SUITE F P.O. BOX 2320 FRISCO, CO 80443 970.368.7068	SURVEYOR / CIVIL: RANGE WEST P.O. BOX 589 SILVERTHORNE, CO 80498 970.468.6281
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WATER TOWER PLACE - PHASE 2



SHEET INDEX	
ID	Name
A-100	COVER & SITE PLAN
A-200	BASEMENT LEVEL
A-201	LEVEL 1 PLAN
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A-205	ROOF PLAN
A-300	NORTH & SOUTH ELEVATIONS
A-301	EAST & WEST ELEVATIONS
A-401	COURTYARD SECTIONS

provino ARCHITECTURE, LLC
208 SOUTH RIDGE STREET
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WATER TOWER PLACE PHASE-2

732 GRANITE STREET
FRISCO, CO 80443

MAR.16.15	PLANNING APPROVAL
JAN.30.15	D.D.
JAN.15.15	PRELIMINARY D.D.
DATE	DESCRIPTION

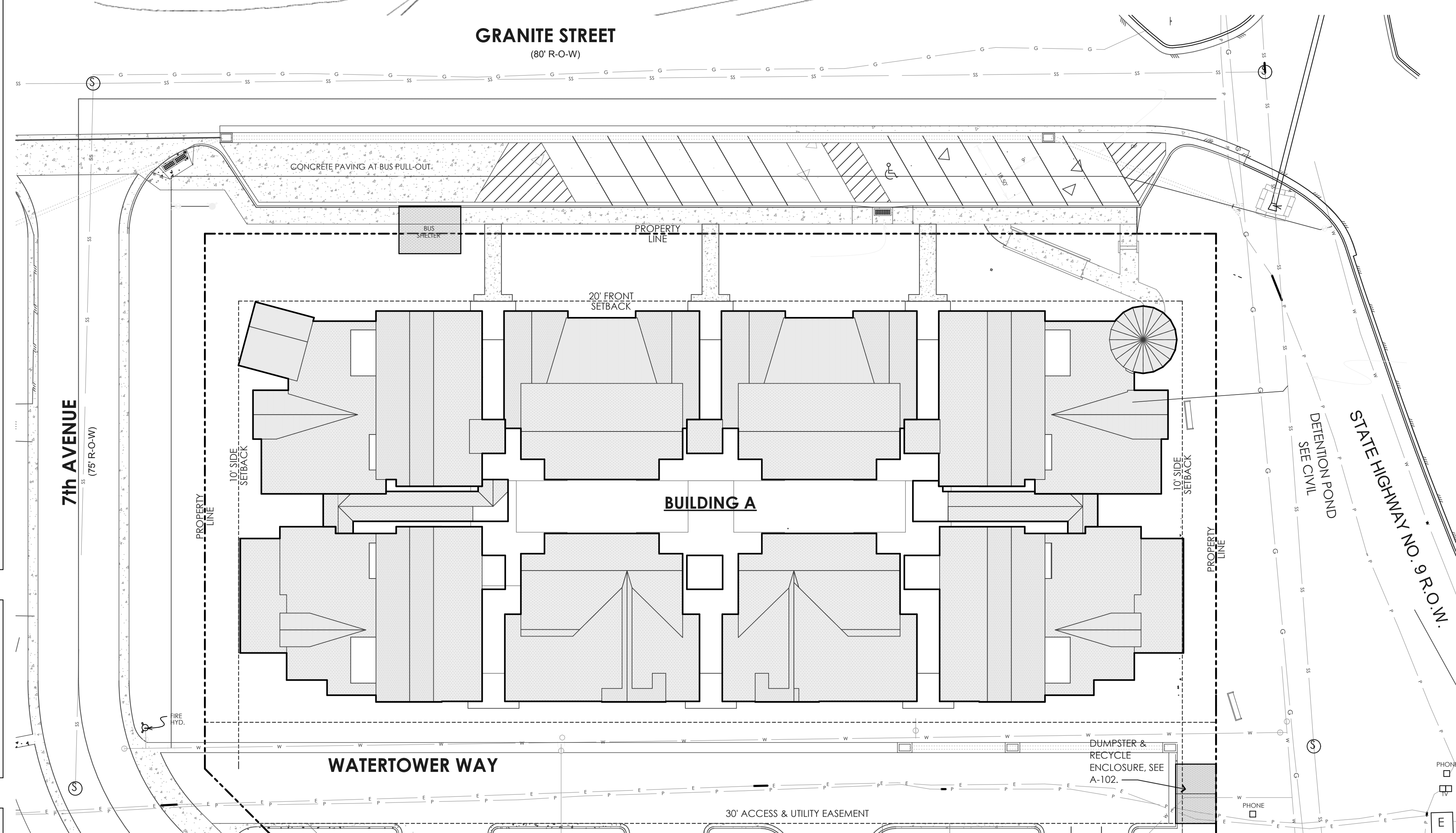
PROJECT NO: 2014-13
DRAWN BY: K.PEARSON / E.GRAAS
CHK'D BY: M.PROVINO

SHEET TITLE

COVER & SITE PLAN

A-100

SHEET 1 OF #



1 SITE PLAN
SCALE: 1" = 20'

LEGAL DESCRIPTION
WATER TOWER PLACE, LOTS 1-24, BLOCK 16
AMENDED FRISCO TOWNSITE,
TOWN OF FRISCO, SUMMIT COUNTY, COLORADO

KEY NOTES

- 1 AREA OF REFUGE: MUST BE 30X48 MIN., WILL HAVE APPROVED SIGNAGE INDICATING AREA. WILL HAVE APPROVED MEANS OF COMMUNICATION, MEET IFC AND NFPA 22 SPECIFICATIONS.
- 2 FIRE COMMAND: WILL BE LARGE ENOUGH FOR ALL KEYS, MUST MAINTAIN SIDEWALK TO FIRE COMMAND AT ALL TIMES.
- 3 ROOF DRAIN
- 4 ROOF OVERFLOW: SEE DETAIL 8/A-501
- 5 ADA AREA: PROVIDE 5'-0"X4'-8" IN FRONT OF DOORWAY FOR ADA ACCESSIBILITY.
- 6 DOWN SPOUT: 4" PREFINISHED SHEET METAL DOWN SPOUT, SEE DETAIL 7/A-501
- 7 STANDPIPE: 4" DIA. DRY STANDPIPE IN ALL STAIRWELLS. STANDPIPES WILL BE INTERCONNECTED IN GARAGE.
- 8 WATERPROOF DECK: SEE DETAIL 3/A-501
- 9 TRENCH DRAIN

KEY NOTES

- 10 WOOD DECK
- 11 CONCRETE PATIO

PLAN NOTES

- 1. COORDINATE ALL INTERIOR FINISHES, CABINETS, FIXTURES AND EQUIPMENT WITH THE OWNER / INTERIOR DESIGNER.
- 2. PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD AT ALL DAMP LOCATIONS.
- 3. PROVIDE CEMENTITIOUS BACKER BOARD AT ALL TILE LOCATIONS.
- 4. PROVIDE LOW V.O.C. FINISH COATINGS AND FORMALDEHYDE-FREE SUBSTRATES WHERE POSSIBLE.
- 5. PROVIDE BLOCKING IN WALLS FOR ALL SHELVING, CABINETS AND ACCESSORIES.
- 6. ALL NEW WINDOWS SHALL BE LOW-E, DUAL GLAZED INSULATED GLASS UNITS, MAX. U-FACTOR: 0.35
- 7. PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CODE.
- 8. PROVIDE EGRESS WINDOWS IN ALL BEDROOMS AS REQUIRED BY CODE.
- 9. INSULATE ALL GAPS AND SHIM SPACES IN EXTERIOR WALLS.

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WATER TOWER PLACE PHASE-2

732 GRANITE STREET
 FRISCO, CO 80443

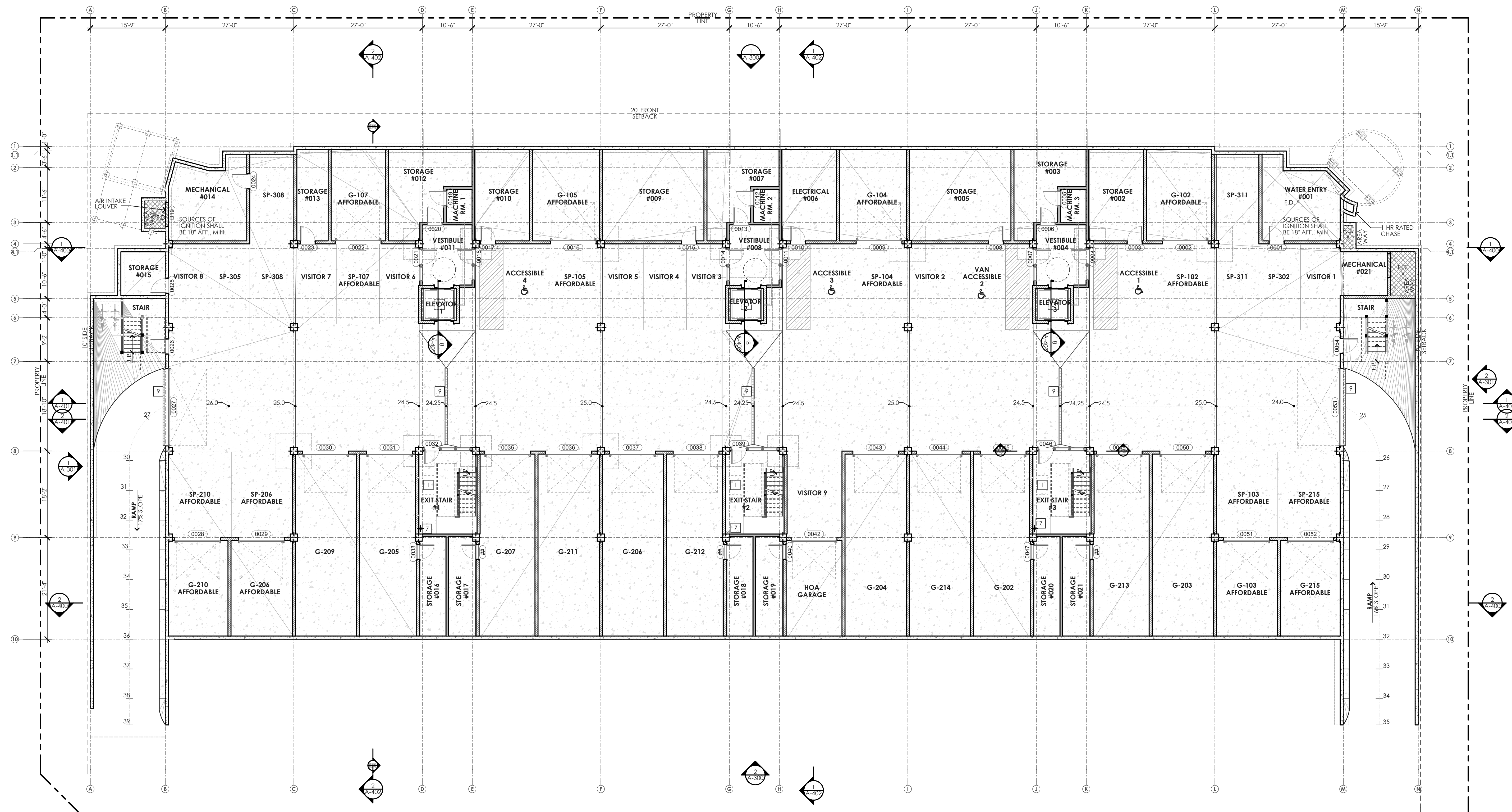
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 CHK'D BY: M.PROVINO

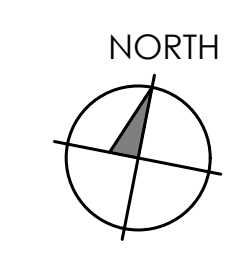
SHEET TITLE

BASEMENT LEVEL

A-200



1 BASEMENT LEVEL FLOOR PLAN
 SCALE: 3/32" = 1'-0"



KEY NOTES

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- 9 FRENCH DRAIN

KEY NOTES

- 10 WOOD DECK
- 11 CONCRETE PATIO

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WATER TOWER PLACE PHASE-2

732 GRANITE STREET
 FRISCO, CO 80443

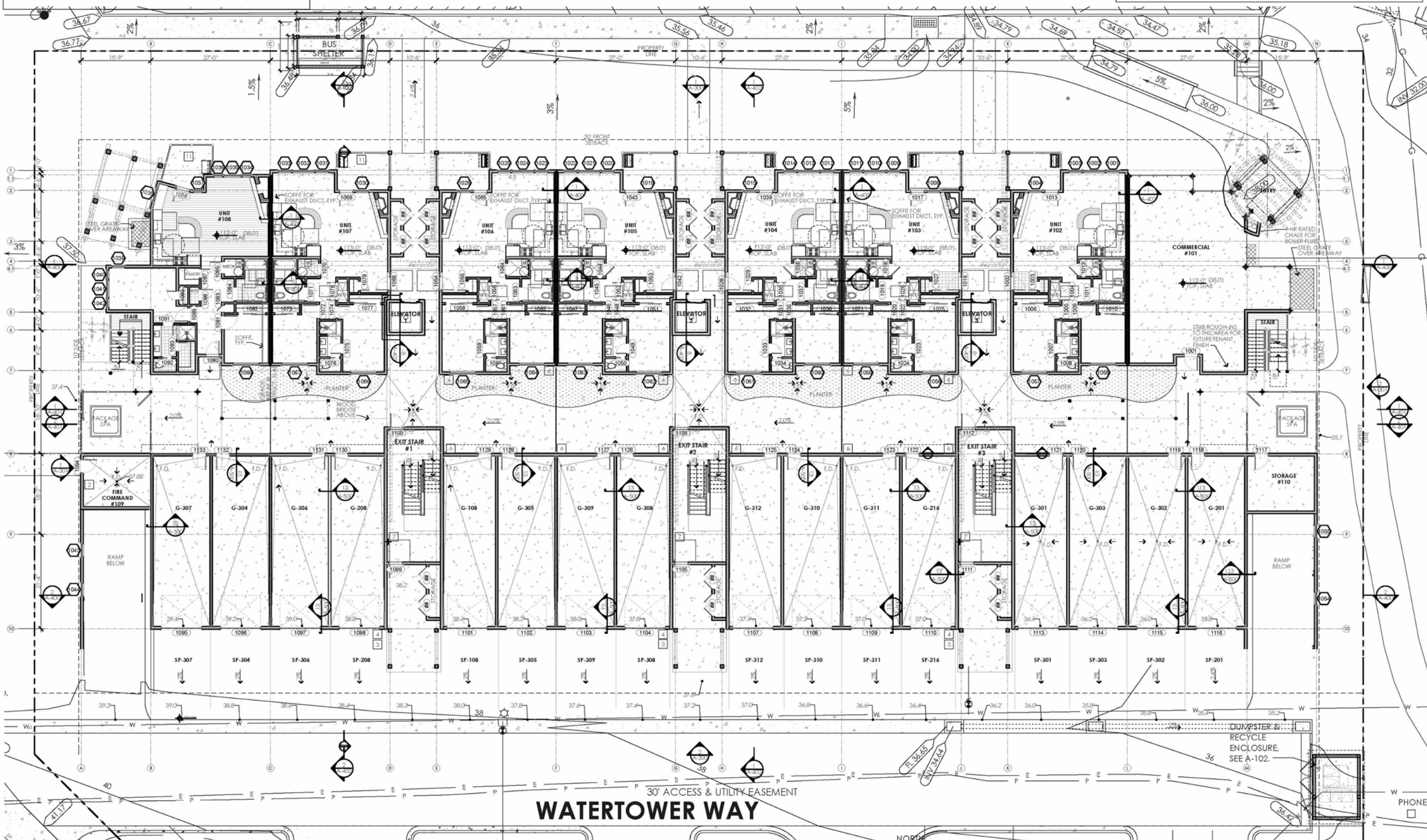
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JAN.30.15	D.D.
JAN.15.15	PRELIMINARY D.D.
DATE	DESCRIPTION

PROJECT NO: 2014-13
 DRAWN BY: K.PEARSON / E.GRAAS
 CHK'D BY: M.PROVINO

SHEET TITLE

LEVEL 1 PLAN

A-201



30' ACCESS & UTILITY EASEMENT
WATERTOWER WAY

1 LEVEL-1 PLAN
 SCALE: 3/32" = 1'-0"



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KEY NOTES

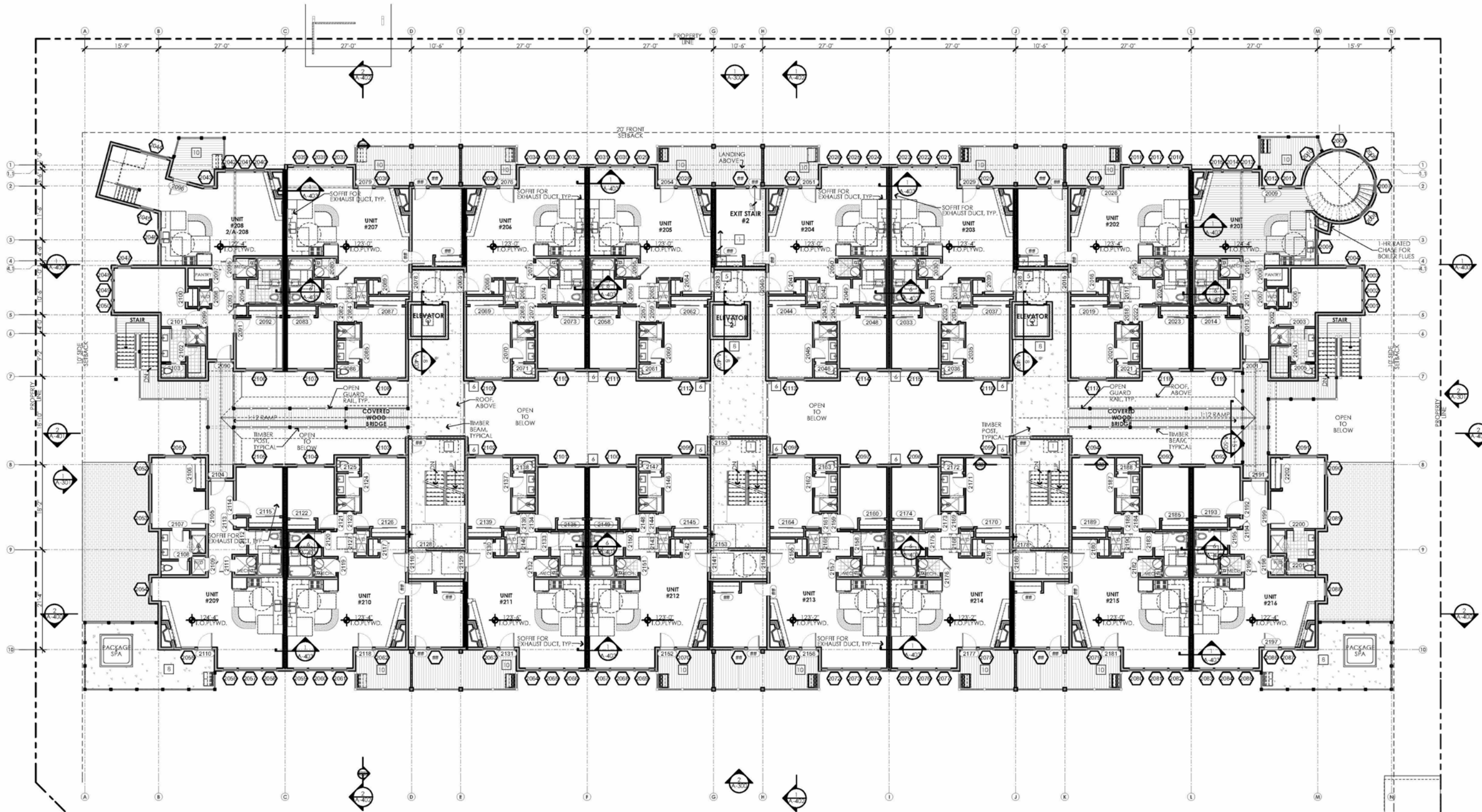
- 10 WOOD DECK
- 11 CONCRETE PATIO

PLAN NOTES

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WATER TOWER PLACE PHASE-2
 732 GRANITE STREET
 FRISCO, CO 80443



1 LEVEL-2 FLOOR PLAN
 SCALE: 3/32" = 1'-0"
 NORTH

MAR.16.15	PLANNING APPROVAL
JAN.30.15	D.D.
JAN.15.15	PRELIMINARY D.D.
DATE	DESCRIPTION

PROJECT NO: 2014-13
 DRAWN BY: K.PEARSON / E.GRAAS
 CHK'D BY: M.PROVINO

SHEET TITLE

LEVEL 2 PLAN

A-202

KEY NOTES

- 1 AREA OF REFUGE: MUST BE 30X48 MIN., WILL HAVE APPROVED SIGNAGE INDICATING AREA, WILL HAVE APPROVED MEANS OF COMMUNICATION, MEET IFC AND NFPA 22 SPECIFICATIONS.
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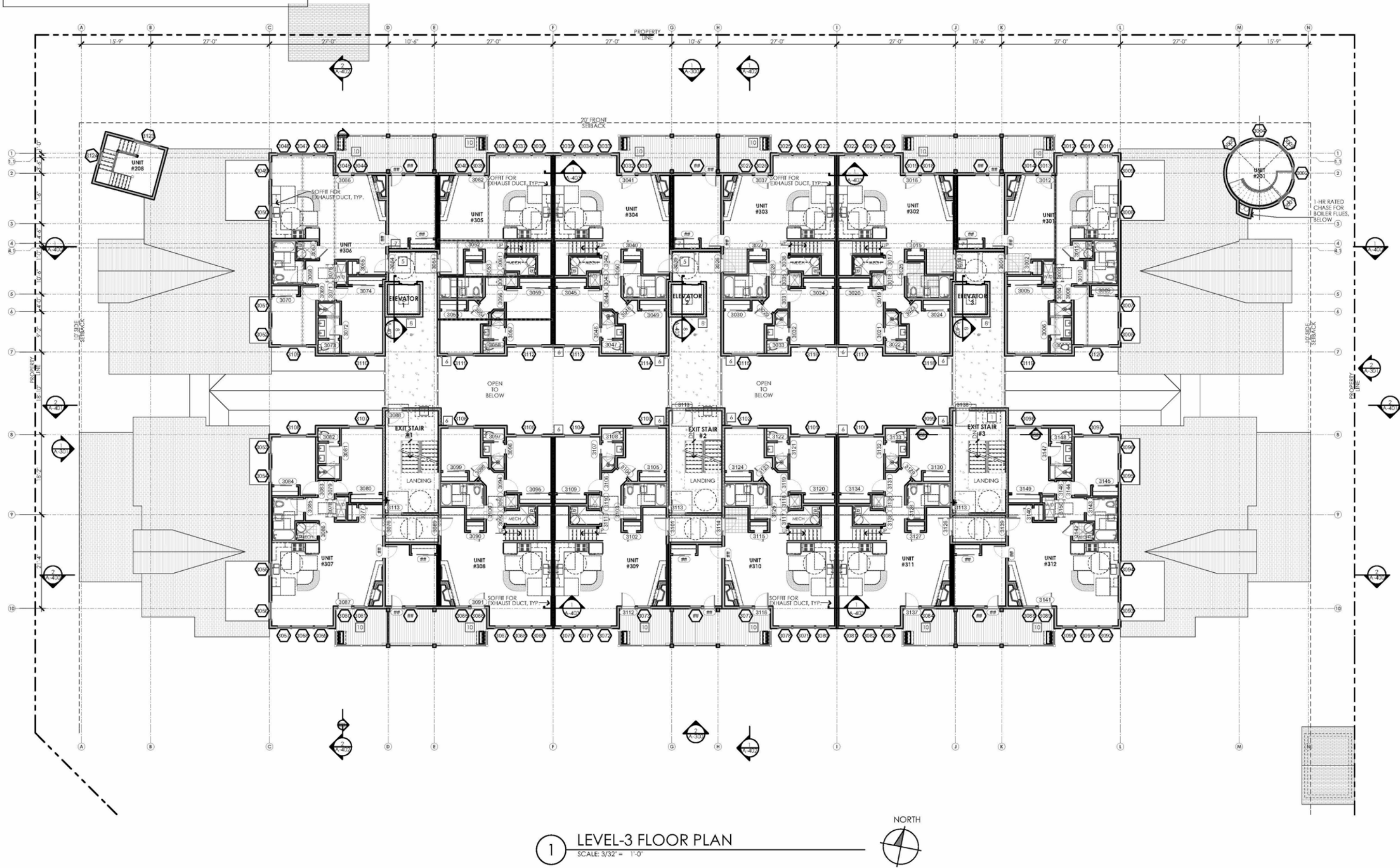
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WATER TOWER PLACE PHASE-2
 732 GRANITE STREET
 FRISCO, CO 80443

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JAN.30.15	D.D.
JAN.15.15	PRELIMINARY D.D.
DATE	DESCRIPTION

PROJECT NO: 2014-13
 DRAWN BY: K.PEARSON / E.GRAAS
 CHK'D BY: M.PROVINO

SHEET TITLE
LEVEL 3 PLAN
A-203



1 LEVEL-3 FLOOR PLAN
 SCALE: 3/32" = 1'-0"

KEY NOTES

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- 9 TRENCH DRAIN

KEY NOTES

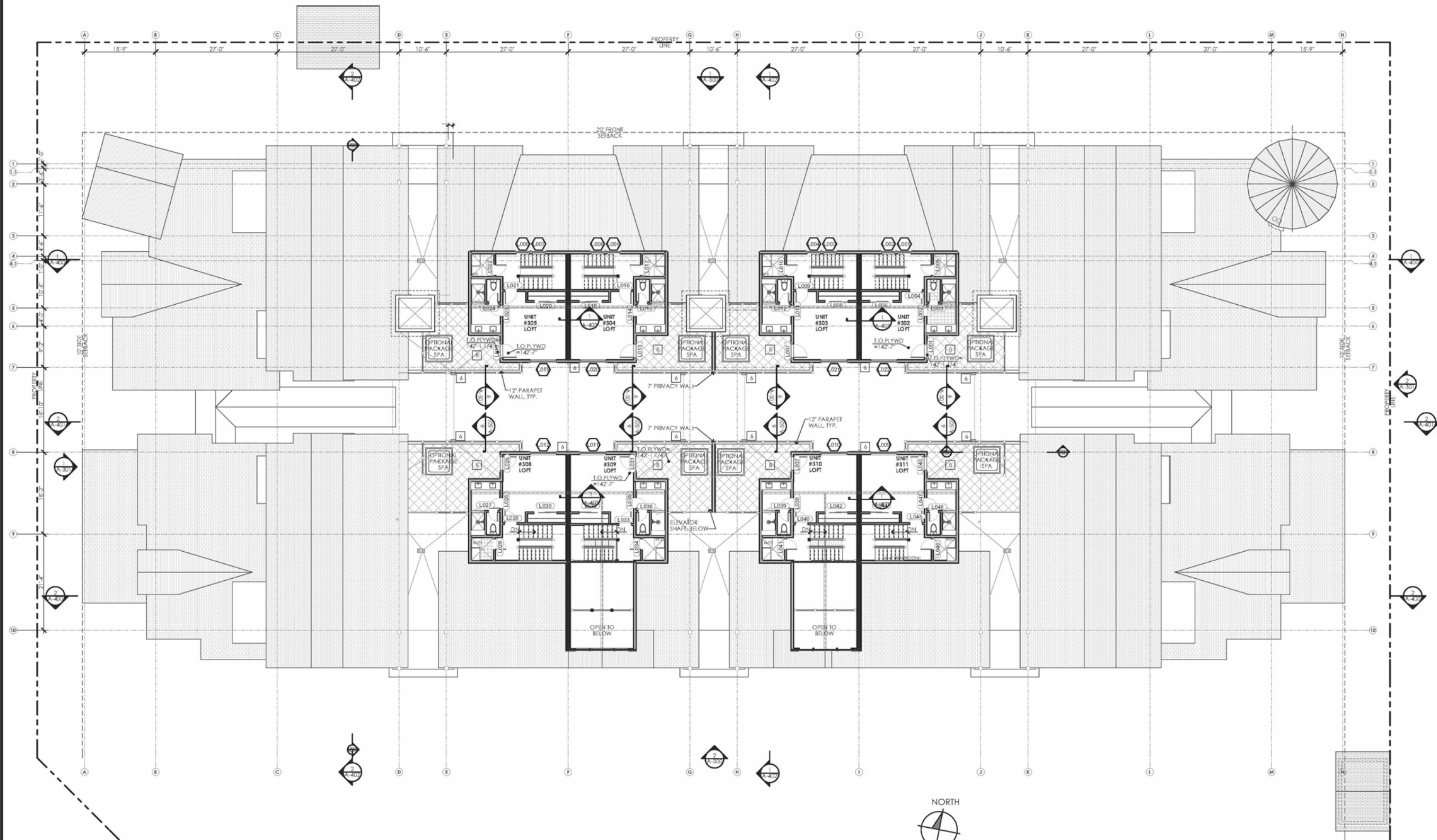
- 10 WOOD DECK
- 11 CONCRETE PATIO

PLAN NOTES

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WATER TOWER PLACE PHASE-2
 732 GRANITE STREET
 FRISCO, CO 80443



1 LOFT LEVEL FLOOR PLAN
 SCALE: 3/32" = 1'-0"

MAR.16.15	PLANNING APPROVAL
JAN.30.15	D.D.
JAN.15.15	PRELIMINARY D.D.
DATE	DESCRIPTION

PROJECT NO: 2014-13
 DRAWN BY: K.PEARSON / E.GRAAS
 CHK'D BY: M.PROVINO

SHEET TITLE

LOFT PLAN

A-204

KEY NOTES

- 1 AREA OF REFUGE: MUST BE 30X48 MIN., WILL HAVE APPROVED SIGNAGE INDICATING AREA. WILL HAVE APPROVED MEANS OF COMMUNICATION, MEET IFC AND NFPA 22 SPECIFICATIONS.
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- 9 TRENCH DRAIN

KEY NOTES

- 10 WOOD DECK
- 11 CONCRETE PATIO

ROOF PLAN NOTES

1. PROVIDE CLASS-A RATED ROOFING, INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2. PROVIDE WATERPROOF MEMBRANE UNDERLAYMENT OVER 100% OF ROOF DECK. INSTALL HIGH-TEMP COMPATIBLE MEMBRANE UNDER METAL ROOFING.
3. INSTALL GFCI J-BOXES AT GUTTER / DOWNSPOUT LOCATIONS FOR 220V HEAT TAPE.
4. PROVIDE CONTINUOUS VENT STRIP AT ALL EAVES. CONTINUOUS PRE-MANUFACTURED RIDGE VENTS AND CONTINUOUS PRE-MANUFACTURED SIDE WALL VENTS TO ALLOW FOR ROOF VENTILATION. MAINTAIN AIR FLOW ACROSS VALLEYS AND PITCH CHANGES, TYP.
5. ALL EXPOSED FLASHING AND DRIP EDGE SHALL BE PRE-FINISHED TO MATCH ADJACENT ROOFING.
6. PAINT ALL EXPOSED VENT STACKS, FLUE PIPES, ETC. TO MATCH ADJACENT ROOFING. PREPARE SURFACES WITH SUITABLE PRIMER TO ADHERE TO THE MATERIAL BEING PAINTED.

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WATER TOWER PLACE PHASE-2

732 GRANITE STREET
 FRISCO, CO 80443

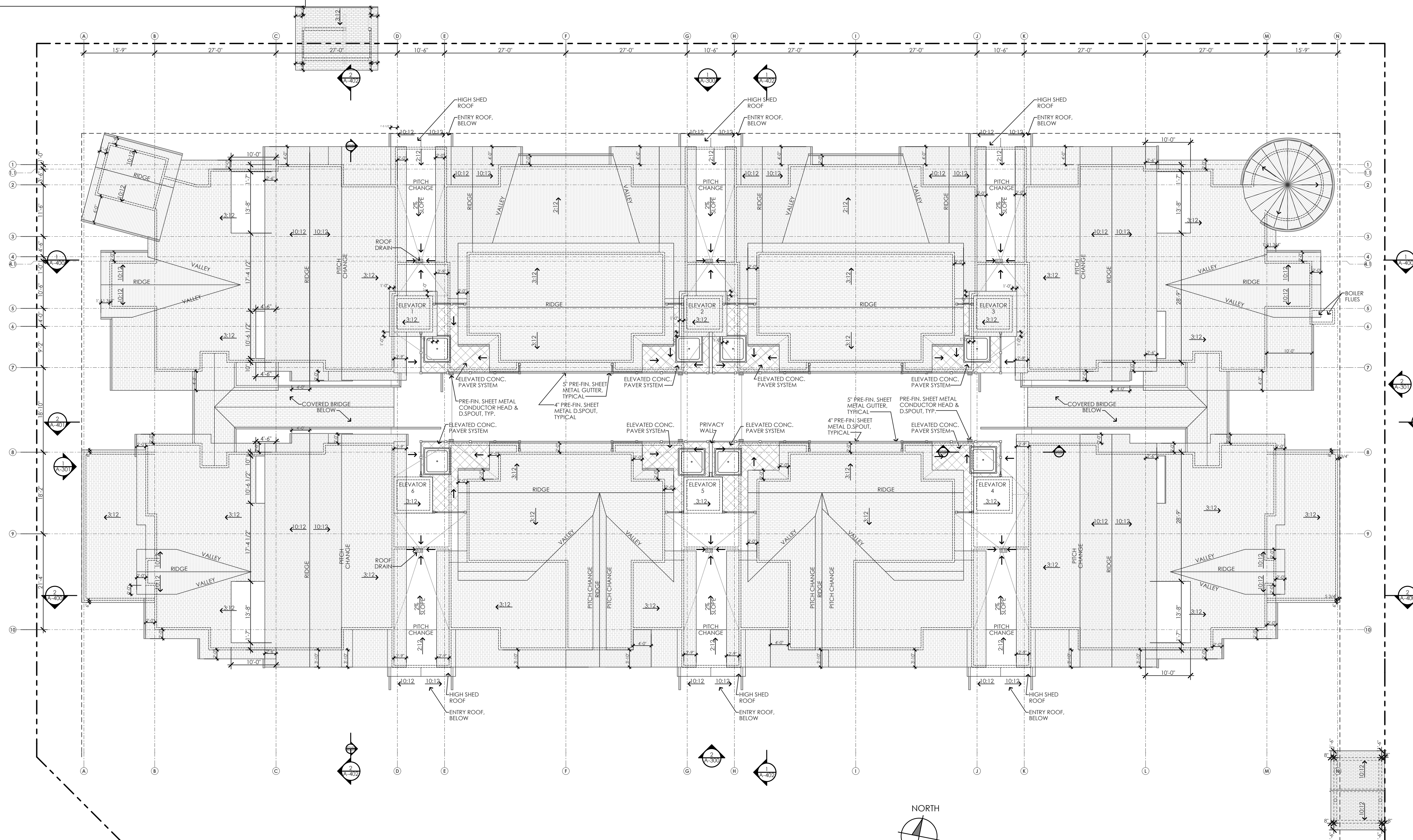
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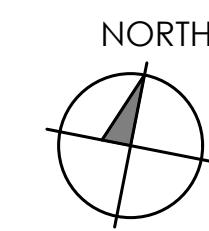
SHEET TITLE

ROOF PLAN

A-205



1 ROOF PLAN
 SCALE: 3/32" = 1'-0"



- EXTERIOR FINISH LEGEND**
- (A) ASPHALT SHINGLE ROOFING - "PRESIDENTIAL TL, WEATHERED WOOD"
 - (B) CORRUGATED METAL ROOFING -"BERRIDGE METALS, ROYCROFT PEWTER"
 - (C) VARIED WIDTH VERTICAL SIDING - "RECLAIMED BARNWOOD, BROWNS / GRAYS"
 - (D) BOARD & BATTEN CEDAR SIDING - "SHERWIN WILLIAMS, YANKEE BARN SW3505"
 - (E) 1X8 HORIZONTAL CEDAR SHIP-LAP SIDING - "SHERWIN WILLIAMS, WOODRIDGE SW3504"
 - (F) 2X CEDAR FASCIA, 2X CEDAR TRIM, BEAMS & COLUMNS - "SHERWIN WILLIAMS, CHESTNUT SW3504"
 - (G) CLAD WOOD WINDOWS & DOORS - "JELDWEN GARNET"
 - (H) TIMBER GUARDRAIL W/ POWDERCOATED METAL BALUSTERS - "SHERWIN WILLIAMS, CHESTNUT SW3524"
 - (I) PRE-FINISHED METAL FLASING - "BERRIDGE METALS, ROYCROFT PEWTER"

- BUILDING ELEVATION NOTES:**
1. REFER TO MATERIALS LEGEND FOR FINISH DESIGNATIONS.
 2. PROVIDE GLAZING THAT MEETS SUMMIT COUNTY ENERGY CODE REQUIREMENTS.
 3. VERIFY ROUGH OPENING DIMENSIONS AND REQUIREMENTS WITH WINDOW & DOOR MANUFACTURERS PRIOR TO FRAMING OPENINGS.
 4. PROVIDE WEATHERSTRIPPING AND ALUMINUM THRESHOLDS AT ALL EXTERIOR DOORS.
 5. VERIFY JAMB WIDTHS AND WALL THICKNESSES PRIOR TO ORDERING WINDOWS AND DOORS.
 6. PROVIDE SAFETY GLAZING IN COMPLIANCE WITH CURRENT BUILDING CODES.
 7. INSULATE ALL SHIM SPACES AT EXTERIOR DOORS & WINDOWS.
 8. WRAP ALL EXTERIOR OPENINGS WITH BUILDING WRAP PRIOR TO INSTALLING WINDOW OR DOOR.
 9. PROVIDE SELF-ADHESIVE FLASHING ALONG ALL NAIL FLANGES PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
 10. PROVIDE 26 GA. PRE-FINISHED METAL HEAD FLASHING TO AT ALL EXTERIOR DOORS & WINDOWS.
 11. ALL WINDOWS AND DOORS TO HAVE FIELD APPLIED TRIM. DO NOT SUPPLY WITH BRICK MOLD.
 12. PROVIDE SHOP DRAWINGS FOR OWNER & ARCHITECT APPROVAL PRIOR TO ORDERING CUSTOM WINDOWS AND DOORS .
 13. SEE FLOOR PLAN FOR WINDOW / DOOR OPERATION.
 14. PROVIDE 4' X 4' MINIMUM EXTERIOR MATERIAL MOCK-UP FOR OWNER APPROVAL PRIOR TO COMMENCING FINISHING WORK.

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2 SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



1 NORTH ELEVATION
 SCALE: 3/32" = 1'-0"

WATER TOWER PLACE PHASE-2
 732 GRANITE STREET
 FRISCO, CO 80443

DATE	DESCRIPTION
MAR.16.15	PLANNING APPROVAL
JAN.30.15	D.D.
JAN.15.15	PRELIMINARY D.D.

PROJECT NO: 2014-13
 DRAWN BY: K.PEARSON / E.GRAAS
 CHK'D BY: M.PROVINO

SHEET TITLE
 NORTH & SOUTH ELEVATIONS

A-300

EXTERIOR FINISH LEGEND

- (A) ASPHALT SHINGLE ROOFING - "PRESIDENTIAL TL, WEATHERED WOOD"
- (B) CORRUGATED METAL ROOFING - "BERRIDGE METALS, ROYCROFT PEWTER"
- (C) VARIED WIDTH VERTICAL SIDING - "RECLAIMED BARNWOOD, BROWNS / GRAYS"
- (D) BOARD & BATTEN CEDAR SIDING - "SHERWIN WILLIAMS, YANKEE BARN SW3505"
- (E) 1X8 HORIZONTAL CEDAR SHIP-LAP SIDING - "SHERWIN WILLIAMS, WOODRIDGE SW3504"
- (F) 2X CEDAR FASCIA, 2X CEDAR TRIM, BEAMS & COLUMNS - "SHERWIN WILLIAMS, CHESTNUT SW3524"
- (G) CLAD WOOD WINDOWS & DOORS - "JELDWEN GARNET"
- (H) TIMBER GUARDRAIL W/ POWDERCOATED METAL BALUSTERS - "SHERWIN WILLIAMS, CHESTNUT SW3524"
- (I) PRE-FINISHED METAL FLASING - "BERRIDGE METALS, ROYCROFT PEWTER"

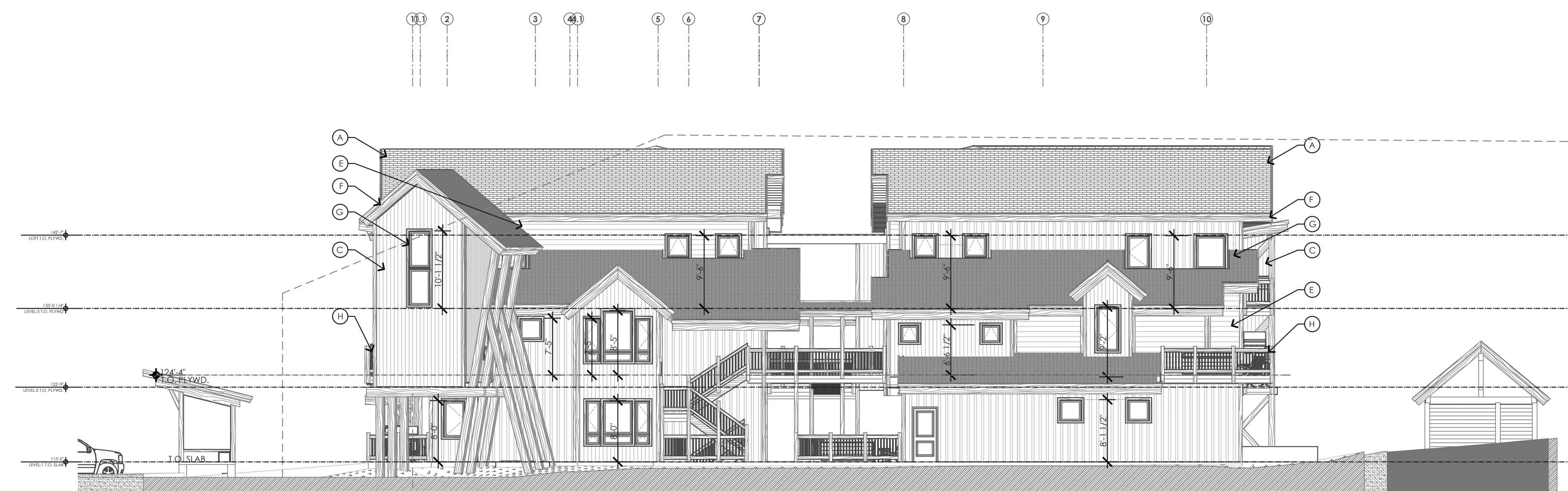
BUILDING ELEVATION NOTES:

1. REFER TO MATERIALS LEGEND FOR FINISH DESIGNATIONS.
2. PROVIDE GLAZING THAT MEETS SUMMIT COUNTY ENERGY CODE REQUIREMENTS.
3. VERIFY ROUGH OPENING DIMENSIONS AND REQUIREMENTS WITH WINDOW & DOOR MANUFACTURERS PRIOR TO FRAMING OPENINGS.
4. PROVIDE WEATHERSTRIPPING AND ALUMINUM THRESHOLDS AT ALL EXTERIOR DOORS.
5. VERIFY JAMB WIDTHS AND WALL THICKNESSES PRIOR TO ORDERING WINDOWS AND DOORS.
6. PROVIDE SAFETY GLAZING IN COMPLIANCE WITH CURRENT BUILDING CODES.
7. INSULATE ALL SHIM SPACES AT EXTERIOR DOORS & WINDOWS.
8. WRAP ALL EXTERIOR OPENINGS WITH BUILDING WRAP PRIOR TO INSTALLING WINDOW OR DOOR.
9. PROVIDE SELF-ADHESIVE FLASHING ALONG ALL NAIL FLANGES PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
10. PROVIDE 26 GA. PRE-FINISHED METAL HEAD FLASHING TO AT ALL EXTERIOR DOORS & WINDOWS.
11. ALL WINDOWS AND DOORS TO HAVE FIELD APPLIED TRIM. DO NOT SUPPLY WITH BRICK MOLD.
12. PROVIDE SHOP DRAWINGS FOR OWNER & ARCHITECT APPROVAL PRIOR TO ORDERING CUSTOM WINDOWS AND DOORS .
13. SEE FLOOR PLAN FOR WINDOW / DOOR OPERATION.
14. PROVIDE 4' X 4' MINIMUM EXTERIOR MATERIAL MOCK-UP FOR OWNER APPROVAL PRIOR TO COMMENCING FINISHING WORK.

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2 EAST ELEVATION
 SCALE: 3/32" = 1'-0"



1 WEST ELEVATION
 SCALE: 3/32" = 1'-0"

WATER TOWER PLACE PHASE-2

732 GRANITE STREET
 FRISCO, CO 80443

DATE	DESCRIPTION
MAR.16.15	PLANNING APPROVAL
JAN.30.15	D.D.
JAN.15.15	PRELIMINARY D.D.

PROJECT NO: 2014-13
 DRAWN BY: K.PEARSON / E.GRAAS
 CHK'D BY: M.PROVINO

SHEET TITLE

EAST & WEST
 ELEVATIONS

A-301



2 COURTYARD SECTION LOOKING SOUTH
 SCALE: 3/32" = 1'-0"



1 COURTYARD SECTION LOOKING NORTH
 SCALE: 3/32" = 1'-0"

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**WATER TOWER
 PLACE PHASE-2**
 732 GRANITE STREET
 FRISCO, CO 80443

DATE	DESCRIPTION
MAR.16.15	PLANNING APPROVAL
JAN.30.15	D.D.
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PROJECT NO: 2014-13
 DRAWN BY: K.PEARSON / E.GRAAS
 CHK'D BY: M.PROVINO

SHEET TITLE

SECTIONS

A-401