

#### CONSTRUCTION FENCE INSTALLATION NOTES

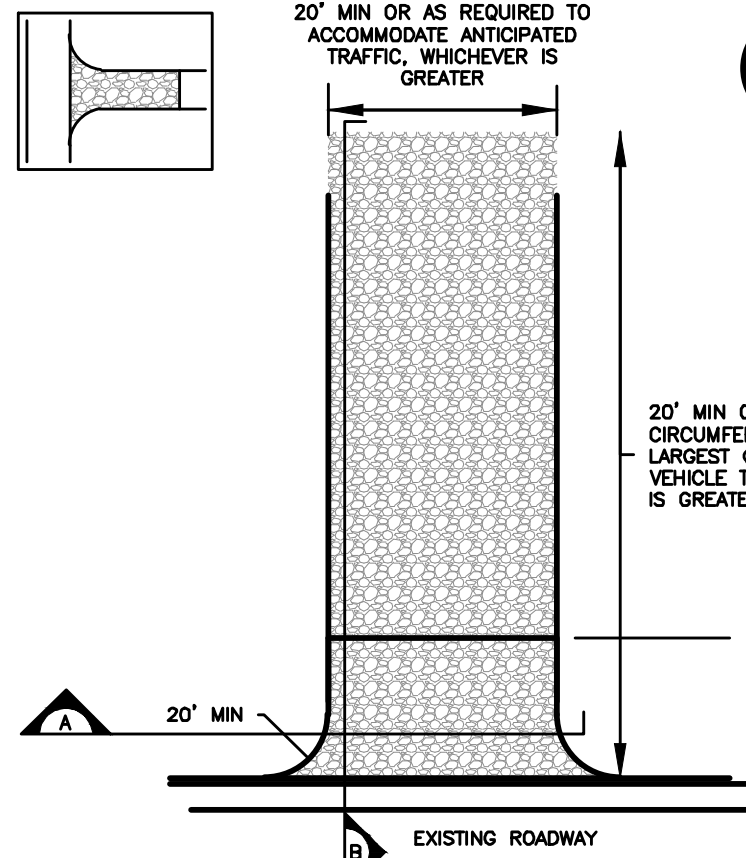
1. SEE PLAN VIEW FOR: -LOCATION OF CONSTRUCTION FENCE.
2. CONSTRUCTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
3. CONSTRUCTION FENCE SHALL BE COMPOSED OF ORANGE, CONTRACTOR-GRADE MATERIAL THAT IS AT LEAST 4' HIGH. METAL POSTS SHOULD HAVE A PLASTIC CAP FOR SAFETY.
4. STUDDED STEEL TEE POSTS SHALL BE UTILIZED TO SUPPORT THE CONSTRUCTION FENCE. MAXIMUM SPACING FOR STEEL TEE POSTS SHALL BE 10'.
5. CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO THE TOP, MIDDLE, AND BOTTOM OF EACH POST.

#### CONSTRUCTION FENCE MAINTENANCE NOTES

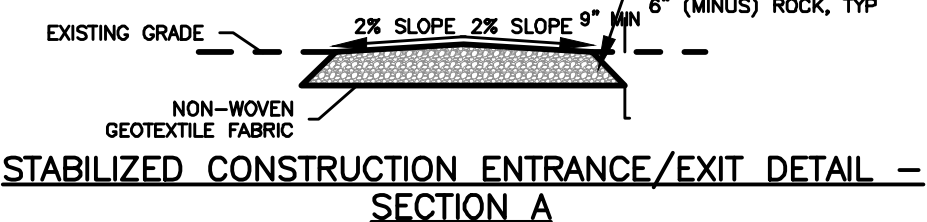
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. CONSTRUCTION FENCE SHALL BE REPAIRED OR REPLACED WHEN THERE ARE SIGNS OF DAMAGE SUCH AS RIPS OR SAGS. CONSTRUCTION FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
6. WHEN CONSTRUCTION FENCES ARE REMOVED, ALL DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE FENCE SHALL BE COVERED WITH TOPSOIL, SEED, AND MULCH, OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

### CF PLASTIC MESH CONSTRUCTION FENCE



#### STABILIZED CONSTRUCTION ENTRANCE/EXIT DETAIL



### VTC AGGREGATE VEHICLE TRACKING CONTROL

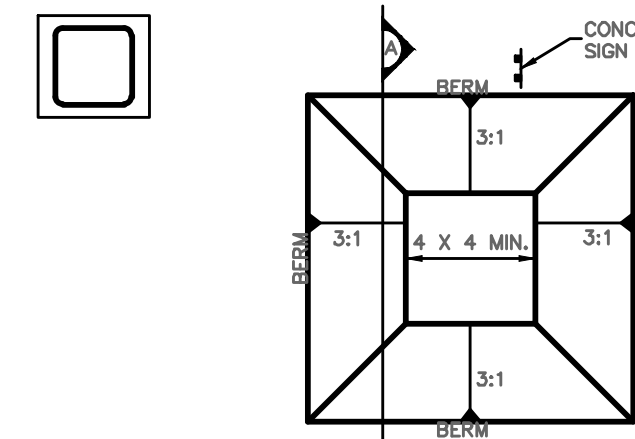
CALL UTILITY NOTIFICATION  
CENTER OF COLORADO

811

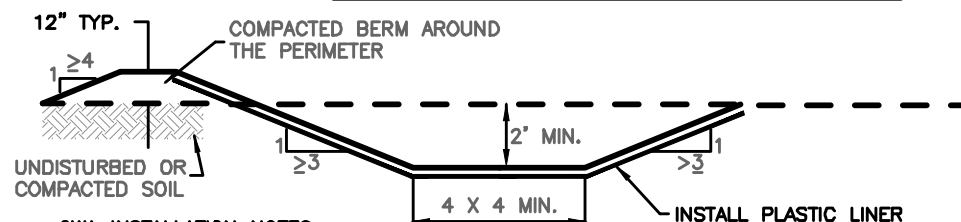
CALL 2 BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE OR EXCAVATE  
FOR THE MARKING OF UNDERGROUND  
MEMBER UTILITIES.

### STANDARD EROSION & SEDIMENT CONTROL NOTES:

1. The contractor must notify Town of Frisco at least 48 hours prior to starting construction.
2. All grading, erosion, and sediment control must conform with approved plans. Revisions to disturbance areas, slopes, and/or erosion and sediment control measures are not permitted without prior approval from the Town of Frisco.
3. Erosion control measures must be installed prior to grading activities.
4. All temporary and permanent soil erosion and sediment control practices must be maintained and repaired as needed to assure continued performance of their intended function. For example, erosion control blankets, straw bale dikes or silt fences may require periodic replacement. Sediment traps and basins will require periodic sediment removal.
5. All topsoil, where physically practicable, must be salvaged and not topsoil shall be removed from the site except as set forth in the approved plans. Topsoil and overburden must be segregated and stockpiled separately. Topsoil and overburden must be redistributed within the graded area after rough grading to provide a suitable base for areas, which must be seeded and planted. Runoff from the stockpiled area must be controlled to prevent erosion and resultant sedimentation of receiving water.
6. The landowner and/or contractor must immediately take all necessary steps to control increased sediment discharge.
7. The landowner and/or contractor is responsible for clean up and removal of all sediment and debris from all drainage infrastructure and other public facilities.
8. The landowner and/or contractor must take reasonable precautions to ensure that vehicles do not track or spill earth materials on to streets/roads and must immediately remove such material if this occurs.
9. The landowner and/or contractor is responsible for controlling waste such as discarded building materials, concrete truck washout, chemicals, litter, and sanitary waste, as applicable. In addition, spill prevention and containment BMP's for construction materials, waste and fuel must be provided, as applicable.
10. If it is necessary to move material in excess of 300 cubic yards and/or 10,000 square feet of land disturbance area to or from another Town of Frisco site, an approved grading and erosion control plan and is necessary for the off-site property. If the material is moved to a property located within another jurisdiction, evidence is required that the local government has approved the grading operation.
11. The storm water volume capacity of detention ponds must be restored and storm sewer lines will be cleaned upon completion of the project.
12. Soil stabilization measures must be applied within 30 days to the disturbed areas that may not be at final grade, but will be left dormant for longer than 60 days.
13. Fugitive dust emissions resulting from grading activities and/or wind shall be controlled using the best available control technology, as defined by the Colorado Department of Public Health and Environment, at the time of grading.
14. The erosion and sediment control plan may be modified by the Town of Frisco, or its authorized representative, as field conditions warrant.



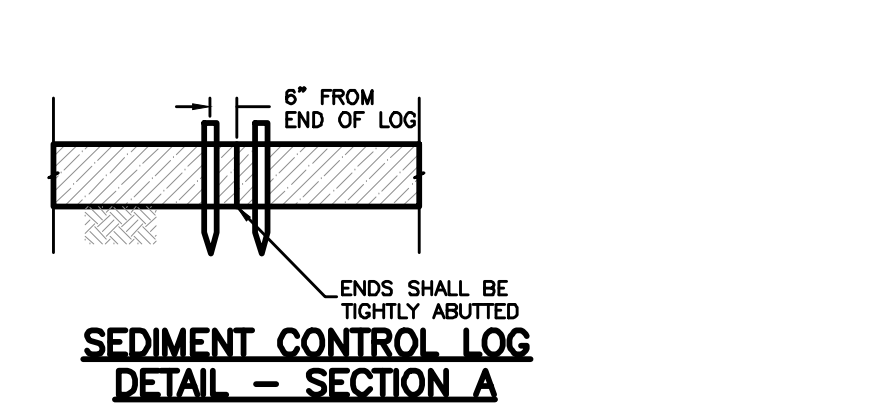
#### CONCRETE WASHOUT AREA PLAN



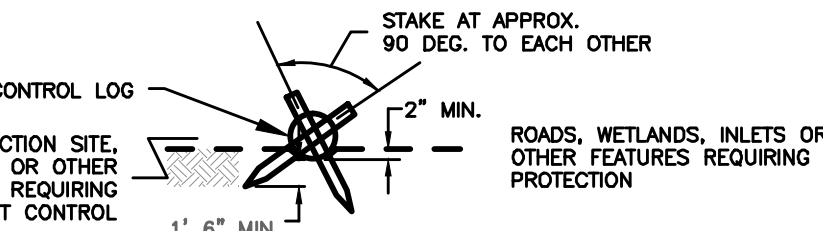
#### SECTION A

1. SEE PLAN VIEW FOR: -CWA INSTALLATION LOCATION.
2. DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 6" BY 6" SLOPES LEADING OUT OF THE SURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.

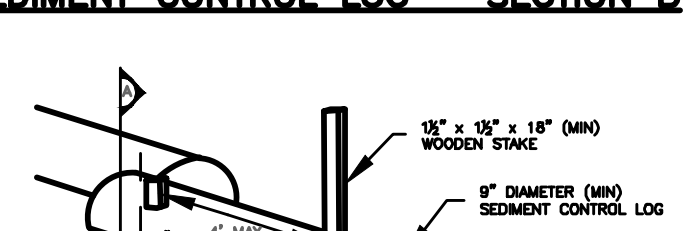
### CWA-1. CONCRETE WASHOUT AREA



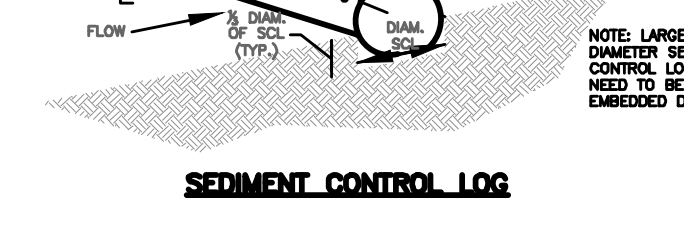
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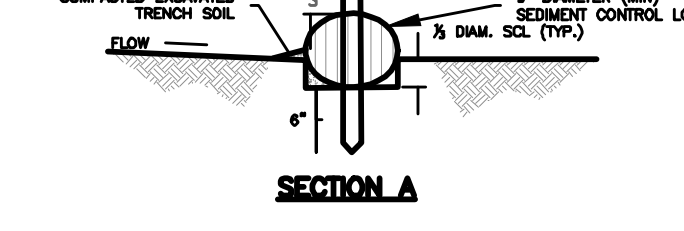
#### SECTION A



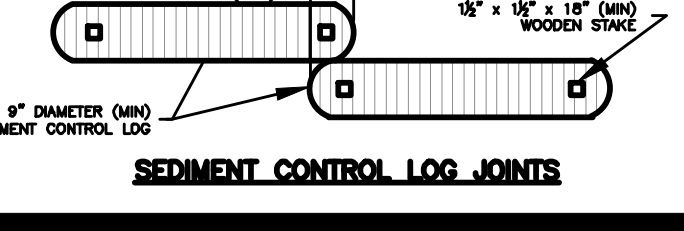
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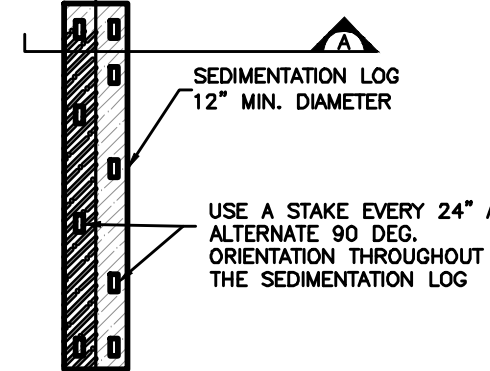
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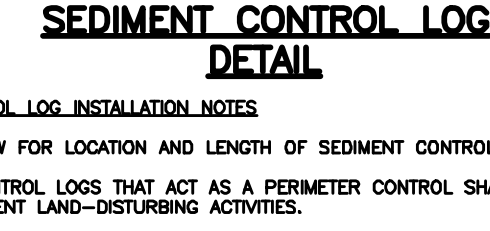
#### CWA MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
5. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
6. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
7. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

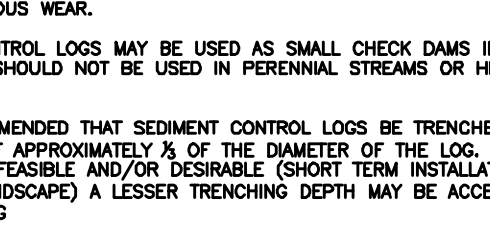
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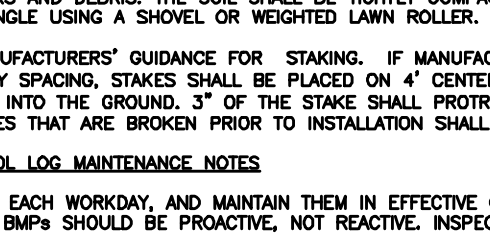
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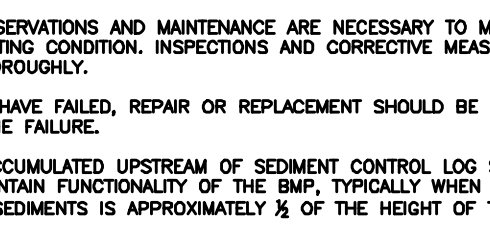
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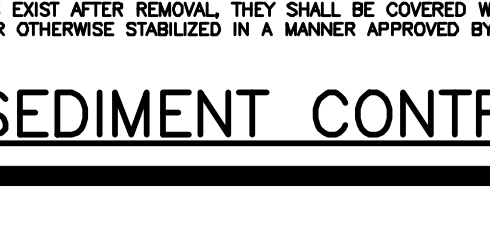
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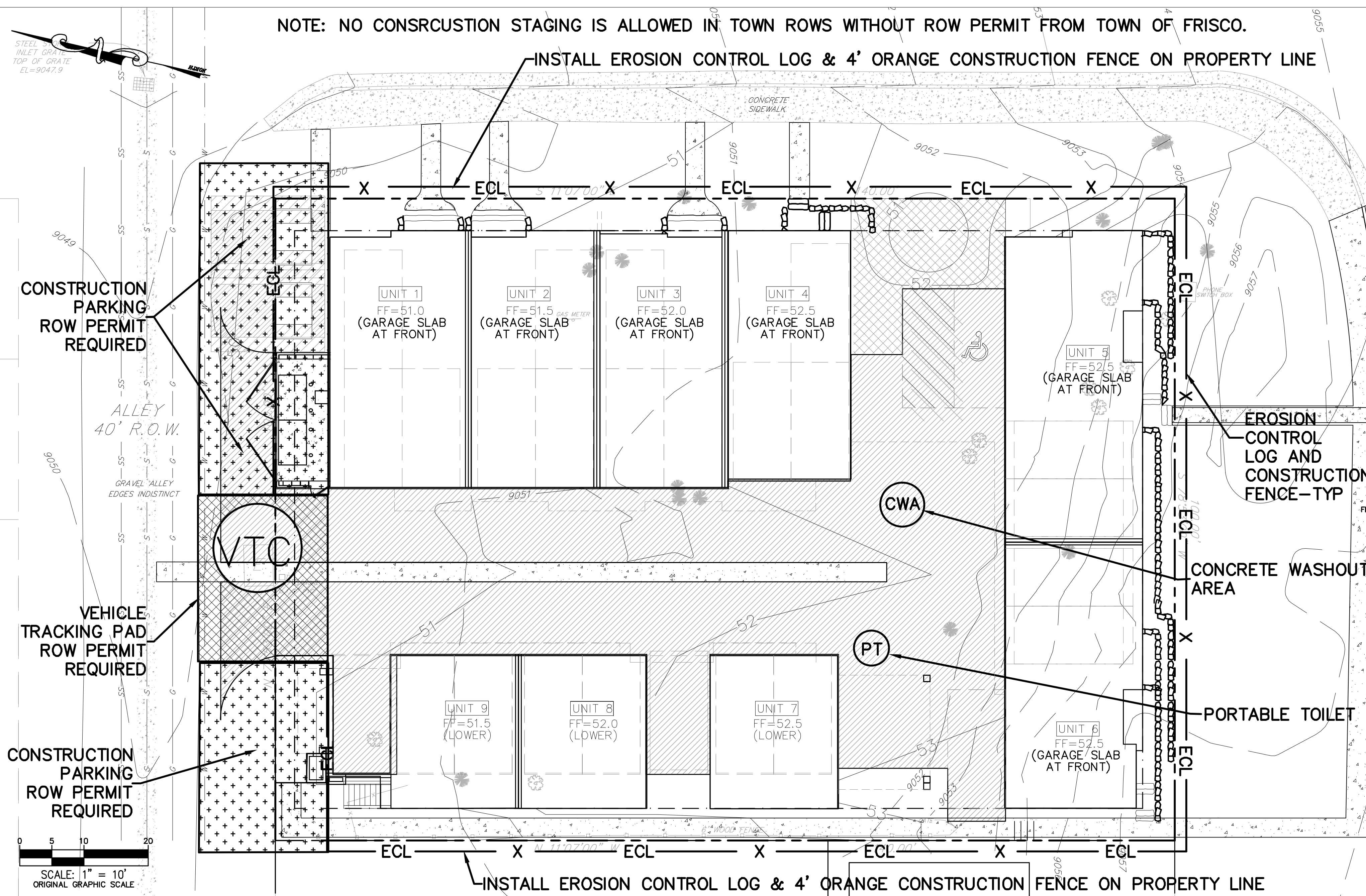
#### SECTION A



#### SECTION A



### SCL-1. SEDIMENT CONTROL LOG



SCALE: 1" = 10'  
ORIGINAL GRAPHIC SCALE

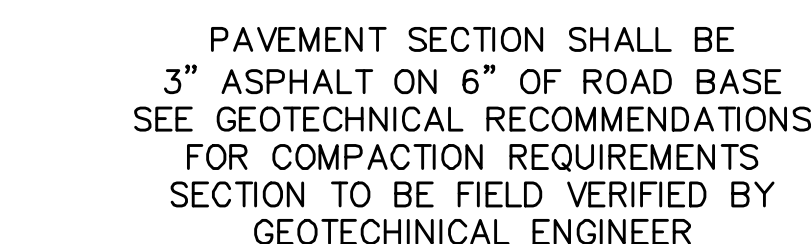


Revised	Per	Comments	Revised	Per	Comments
7/21/20	REVISED	PER TOF COMMENTS	6/21/20	REVISED	PER ARCH COMMENTS
5/22/20	FINAL	SUBMITTAL	1/17/20	TOF PRELIMINARY	SUBMITTAL
No.					

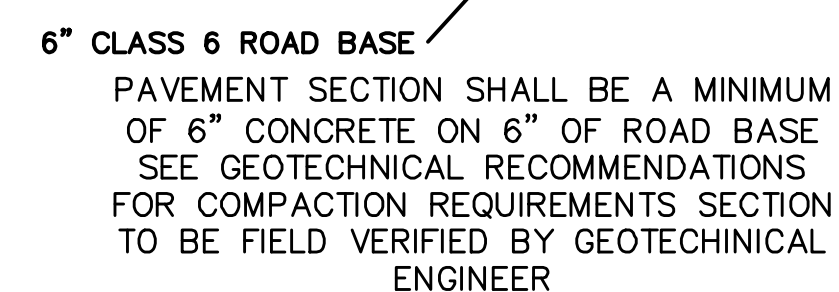
TEN MILE  
ENGINEERING, INC.  
Professional Civil Engineer's  
Po Box 1785  
Frisco, CO 80443  
970.485.5773  
tenmileengineer@aol.com

4TH AND GRANITE TOWNHOMES  
LOTS 21-24, BLOCK 9  
FRISCO TOWNSITE AMENDED  
TOWN OF FRISCO, SUMMIT COUNTY, COLORADO  
EROSION CONTROL AND  
WATER QUALITY PLAN





TYPICAL PAVEMENT SECTION  
NO. SCALE



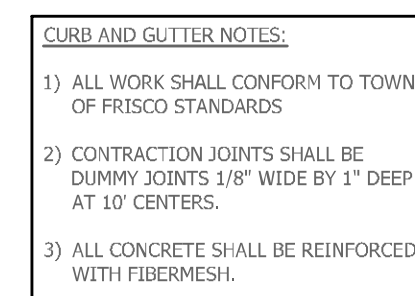
TYPICAL CONCRETE PAN SECTION  
NO. SCALE



A  
1

SIDEWALK DETAILS

NO SCALE



CONCRETE CURB AND GUTTER DETAILS

1) ALL COLLECTION SYSTEM WORK SHALL CONFORM TO THE FRISCO SANITATION DISTRICT "DESIGN STANDARDS AND SPECIFICATIONS FOR SEWER CONSTRUCTION".

2) EXISTING SEWER MAIN ELEVATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

3) ALL DOMESTIC WATER SERVICE INSTALLATIONS SHALL CONFORM TO THE TOWN OF FRISCO WATER CONSTRUCTION STANDARDS. CONTACT JEFF GOBLE 970 668 0836 WITH QUESTIONS.

4) SEE LANDSCAPE PLAN FOR INFORMATION ON IRRIGATION SYSTEM DESIGN.

5) SEE MECHANICAL AND FIRE PROTECTION PLANS FOR INFORMATION ON WATER METER, BACKFLOW ASSEMBLY LOCATION AND SIZE REQUIREMENTS.

6) SEE SITE PLAN FOR INFORMATION ON SNOW STORAGE.  
7) ALL WATER FROM ROOF DRAINS AND GUTTERS SHALL BE  
PIPED TO THE INFILTRATION GALLERY. SEE ARCHITECTURAL  
PLANS FOR DETAILS AND PIPE LOCATIONS.

8) LANDOWNER/CONTRACTOR TO COORDINATE THE RELOCATION OF EXISTING ELECTRIC, GAS, CATV AND PHONE LINES WITH UTILITY COMPANIES.

9) ALL ROAD AND CONCRETE CUTS SHALL BE BROUGHT BACK TO CURRENT TOWN STANDARDS.

10) ALL ROOF DRAINAGE SHALL BE CAPTURED IN ROOF DRAIN AND/OR GUTTERS. NO DIRECT DISCHARGE ALLOWED ON TO TOWN ROW. SEE ARCHITECTURAL PLANS FOR DETAILS.

11) ALL WATER INSPECTIONS REQUIRE 24 HOUR NOTICE.

12) CONTACT TOWN OF FRISCO PUBLIC WORKS TO DETERMINE IF ADDITIONAL TAP FEES ARE REQUIRED.

13) ALL WATER LINE INSTALLATION AND CONNECTIONS MUST COMPLY WITH TOWN OF FRISCO CONSTRUCTION STANDARDS IN EFFECT AT TIME OF BUILDING PERMIT ISSUANCE.

14) SEE MECHANICAL PLANS FOR DETAILS OF WATERLINE CONNECTION INTO BUILDING, METER AND BACKFLOW PREVENTION PIPING AND REMOTE METER READOUT LOCATION. REQUIRED BEFORE BUILDING PERMIT IS ISSUED.

15) SEE MECHANICAL PLANS FOR DETAILS OF SUMP PUMP AND ASSOCIATED PIPING. ALL SUMP PUMP CONNECTIONS TO STORM DRAINAGE SYSTEM MUST BE DOWN STREAM OF PERFORATED MANHOLE AND INFILTRATION AREA.

16) SEE MECHANICAL PLANS FOR DETAILS OF GREASE TRAP AND ASSOCIATED PIPING WITHIN AND OUTSIDE OF BUILDING.

17) ALL CONSTRUCTION STAGING AND MANAGEMENT MUST COMPLY WITH IBC CHAPTER 33 – SAFEGUARDS DURING CONSTRUCTION

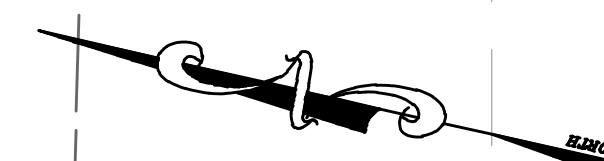
**NOTE:**

1. OWNER RESPONSIBLE FOR THE INSTALLATION OF HEAT TAPE IN ALL NEW 6" AND 12" DRAINAGE CULVERTS. CONTRACTOR TO INSTALL PULL STRINGS.
2. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR DETERMINING ACTUAL VERTICAL & HORIZONTAL LOCATIONS PRIOR TO START OF CONSTRUCTION. REPORT ALL CONFLICTS TO ENGINEER. ACTUAL LOCATION ON PROPOSED IMPROVEMENTS MAY VARY.
3. NO PARKING - FIRE LANE SIGNS SHALL BE INCORPORATED INTO THE PLANS ARE DIRECTED BY THE FIRE DEPARTMENT AND TOWN OF FRISCO.

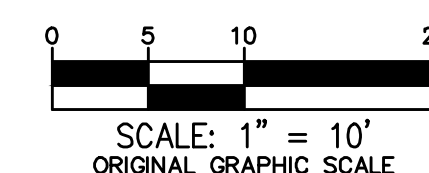
CALL UTILITY NOTIFICATION  
CENTER OF COLORADO

81-

CALL 2 BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE OR EXCAVATE  
FOR THE MARKING OF UNDERGROUND  
MEMBER UTILITIES



PROPOSED CURB AND GUTTER AND  
CONCRETE SIDEWALK-SEE DETAIL

[illegible]TEN MILE  
ENGINEERING, INC.

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970.485.5773  
jenmilleengineer@aol.com

# 4TH AND GRANITE TOWNHOMES

LOTS 21-24, BLOCK 9  
FRISCO TOWNSITE AMENDED  
TOWN OF FRISCO, SUMMIT COUNTY, COLORADO

## GRADING PLAN

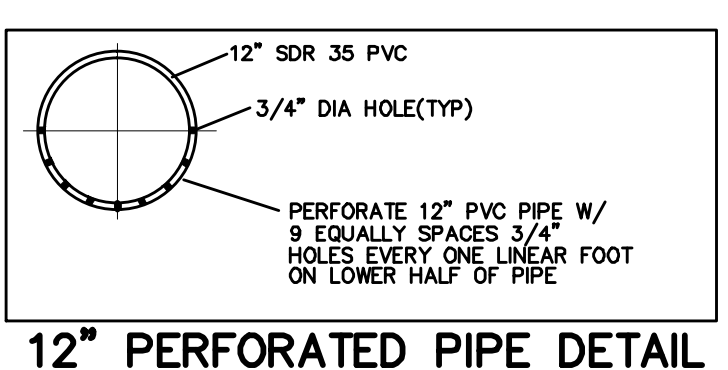
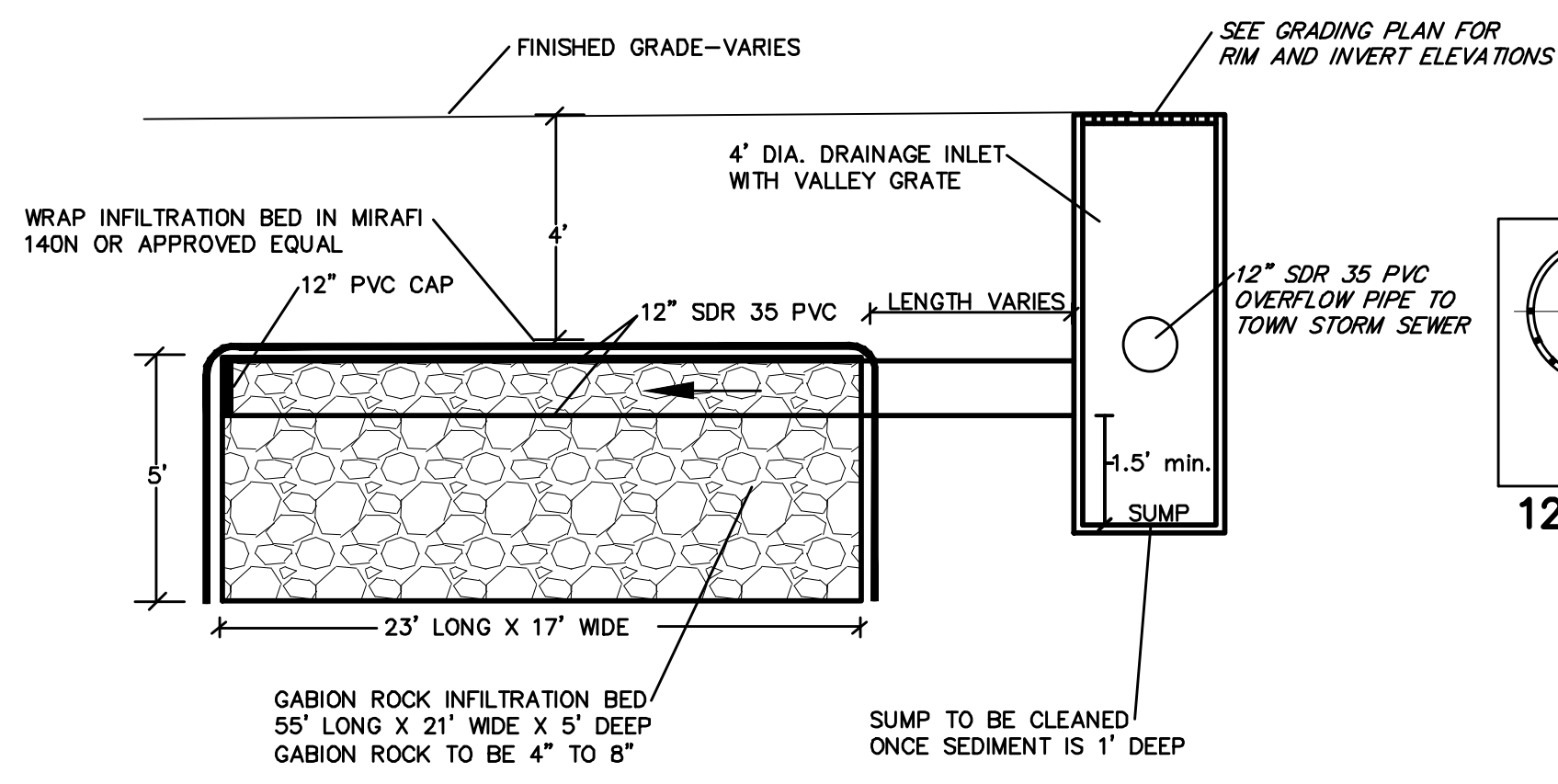
Project  
4TH & GRANITE TOWNHOMES

Date  
1/03/20

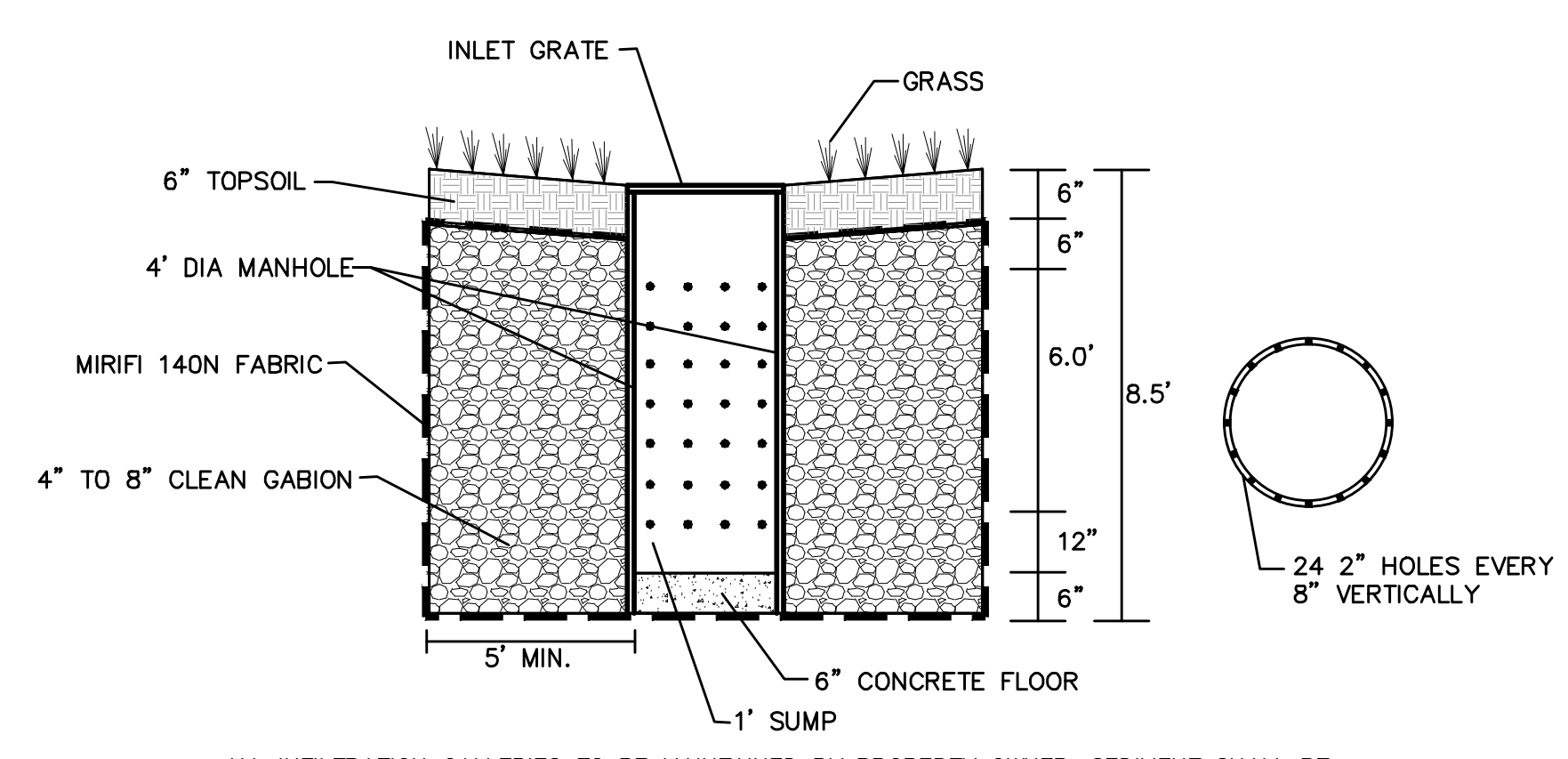
Scale  
1"=10'

Sheet  
3





NOTE: ACTUAL CONFIGURATION OF INFILTRATION BED CAN VARY W/ APPROVAL OF ENGINEER



ALL INFILTRATION GALLERIES TO BE MAINTAINED BY PROPERTY OWNER. SEDIMENT SHALL BE REMOVED FROM SUMP VIA VACUUM TRUCK ONCE SEDIMENT HAS FILLED SUMP 2/3 FULL.

TYPICAL INFILTRATION AREA DETAIL

NTS

# GENERAL AND UTILITY NOTES:

- 1) ALL COLLECTION SYSTEM WORK SHALL CONFORM TO THE FRISCO SANITATION DISTRICT "DESIGN STANDARDS AND SPECIFICATIONS FOR SEWER CONSTRUCTION".
- 2) EXISTING SEWER MAIN ELEVATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- 3) ALL DOMESTIC WATER SERVICE INSTALLATIONS SHALL CONFORM TO THE TOWN OF FRISCO WATER CONSTRUCTION STANDARDS. CONTACT JEFF GOBLE 970 668 0836 WITH QUESTIONS.
- 4) SEE LANDSCAPE PLAN FOR INFORMATION ON IRRIGATION SYSTEM DESIGN.
- 5) SEE MECHANICAL AND FIRE PROTECTION PLANS FOR INFORMATION ON WATER METER, BACKFLOW ASSEMBLY LOCATION AND SIZE REQUIREMENTS.
- 6) SEE SITE PLAN FOR INFORMATION ON SNOW STORAGE.
- 7) ALL WATER FROM ROOF DRAINS AND GUTTERS SHALL BE PIPED TO THE INFILTRATION BED. SEE ARCHITECTURAL PLANS FOR DETAILS AND PIPE LOCATIONS.
- 8) LANDOWNER/CONTRACTOR TO COORDINATE THE RELOCATION OF EXISTING ELECTRIC, GAS, CATV AND PHONE LINES WITH UTILITY COMPANIES.
- 9) ALL ROAD AND CONCRETE CUTS SHALL BE BROUGHT BACK TO CURRENT TOWN STANDARDS.
- 10) ALL ROOF DRAINAGE SHALL BE CAPTURED IN ROOF DRAIN AND/OR GUTTERS. NO DIRECT DISCHARGE ALLOWED ON TO TOWN ROW. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 11) ALL WATER INSPECTIONS REQUIRE 24 HOUR NOTICE.
- 12) CONTACT TOWN OF FRISCO PUBLIC WORKS TO DETERMINE IF ADDITIONAL TAP FEES ARE REQUIRED.
- 13) ALL WATER LINE INSTALLATION AND CONNECTIONS MUST COMPLY WITH TOWN OF FRISCO CONSTRUCTION STANDARDS IN EFFECT AT TIME OF BUILDING PERMIT ISSUANCE.
- 14) SEE MECHANICAL PLANS FOR DETAILS OF WATERLINE CONNECTION INTO BUILDING, METER AND BACKFLOW PREVENTION PIPING AND REMOTE METER READOUT LOCATION. REQUIRED BEFORE BUILDING PERMIT IS ISSUED.
- 15) SEE MECHANICAL PLANS FOR DETAILS OF SUMP PUMP AND ASSOCIATED PIPING. ALL SUMP PUMP CONNECTIONS TO STORM DRAINAGE SYSTEM MUST BE DOWN STREAM OF PERFORATED MANHOLE AND INFILTRATION AREA.
- 16) SEE MECHANICAL PLANS FOR DETAILS OF GREASE TRAP AND ASSOCIATED PIPING WITHIN AND OUTSIDE OF BUILDING.
- 17) ALL CONSTRUCTION STAGING AND MANAGEMENT MUST COMPLY WITH IBC CHAPTER 33 - SAFEGUARDS DURING CONSTRUCTION

## NOTES

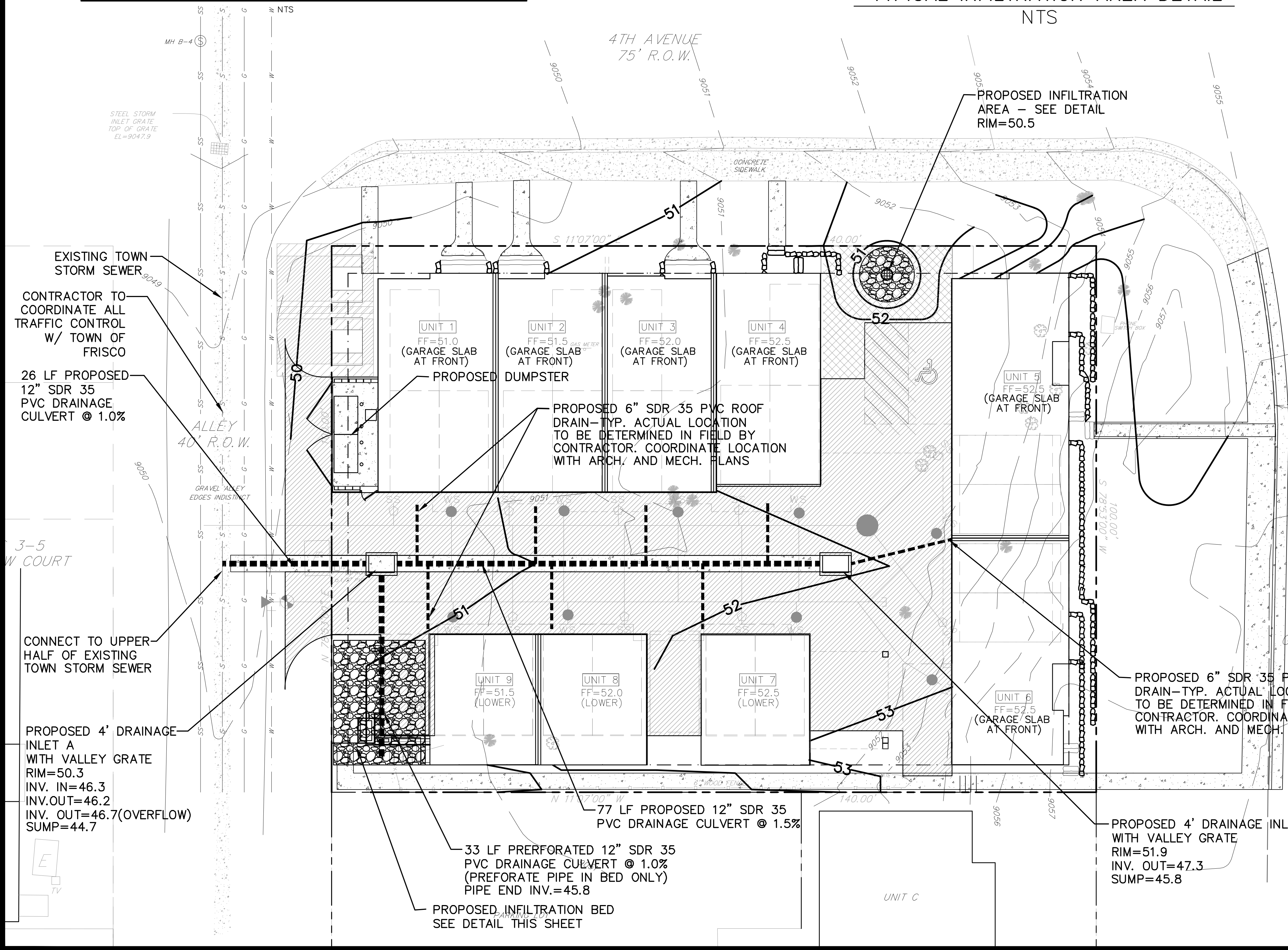
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2. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR DETERMINING ACTUAL VERTICAL & HORIZONTAL LOCATIONS PRIOR TO START OF CONSTRUCTION. REPORT ALL CONFLICTS TO ENGINEER. ACTUAL LOCATION ON PROPOSED DRAINAGE CULVERTS MAY VARY.
3. VERIFY EXISTING STORM SEWER CONNECTION INVERT PRIOR TO CONSTRUCTION. CONTACT ENGINEER WITH ANY CONFLICTS.



CALL UTILITY NOTIFICATION CENTER OF COLORADO

811

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



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4TH AND GRANITE TOWNHOMES  
LOTS 21-24, BLOCK 9  
FRISCO TOWNSHIP, AMENDED  
TOWN OF FRISCO, SUMMIT COUNTY, COLORADO

## DRAINAGE PLAN

Project 4TH & GRANITE TOWNHOMES	
Date 1/03/20	Sheet 4
Scale 1"=10'	





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2. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR DETERMINING ACTUAL VERTICAL & HORIZONTAL LOCATIONS PRIOR TO START OF CONSTRUCTION. REPORT ALL CONFLICTS TO ENGINEER. ACTUAL LOCATION OF PROPOSED UTILITIES VERTICALLY MAY VARY.
3. INSTALL INSULATION OVER SEWER MAINLINE AND SERVICES WHERE DEPTH IS LESS THAN 8'.
4. CONTRACTOR TO OBTAIN A ROW PERMIT FROM TOWN OF FRISCO PRIOR TO INSTALLATION OF UTILITIES.

