#### **OVERALL GENERAL NOTES:**

1. THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.

2. TRENCHES SHALL BE EXCAVATED AND THE PIPE EXPOSED FOR INSPECTION AT ANY LOCATION ON THE PROJECT IF SO ORDERED.

3. ALL STREET STATIONING IS ALONG THE CENTERLINE OF THE ROADWAY UNLESS OTHERWISE NOTED. FOR SEPARATE WATER & SANITARY SEWER PLANS THE STATIONING IS ALONG THE CENTERLINE OF THE PIPE.

4. THE PROFILE GRADE ON THE PLANS IS ALONG THE ROADWAY CENTERLINE UNLESS OTHERWISE NOTED.

- 5. THE CONTRACTOR SHALL HAVE ON HIS POSSESSION AT THE SITE A COPY OF THE APPROVED CONSTRUCTION PLANS.
- 6. LIMITS OF WORK: NO AREAS SHALL BE DISTURBED OUTSIDE OF THE TEMPORARY CONSTRUCTION EASEMENTS AND THE ROADWAY DISTURBANCE LIMITS.

7. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF FRISCO STANDARDS AND SPECIFICATIONS AS APPLICABLE. ALL WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DEVELOPER. SUMMIT COUNTY, OR THEIR REPRESENTATIVES. ONE OR ALL OF THE PARTIES HAS THE RIGHT TO REJECT MATERIALS AND WORKMANSHIP WHICH DO NOT CONFORM TO SPECIFICATIONS.

8. THE CONTRACTOR SHALL NOTIFY THE TOWN OF FRISCO AND THE PUBLIC UTILITY COMPANIES PRIOR TO PROCEEDING WITH ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY EXISTING UTILITY (INCLUDING DEPTHS) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION. ALL EXISTING UTILITIES SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. DAMAGED UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE. ALL ITEMS SHOWN ON THE PLANS AS EXISTING ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE ACTUAL LOCATIONS MAY VARY FROM THE PLANS, ESPECIALLY IN THE CASE OF UNDERGROUND UTILITIES. WHENEVER THE CONTRACTOR DISCOVERS A DISCREPANCY IN LOCATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY. ALL WORK PERFORMED IN THE AREA OF THE PUBLIC UTILITIES SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS OF THESE AGENCIES.

9. CONTRACTOR SHALL GIVE 48 HOURS NOTICE TO TOWN OF FRISCO PERSONNEL TO PERFORM REQUIRED NSPECTIONS AND PRIOR TO ANY CONSTRUCTION ON THIS SITE. 10. ALL EXCAVATION SHALL COMPLY WITH OSHA SAFETY REGULATIONS.

11. CONTRACTOR SHALL OBTAIN APPROVAL FOR ALL TRAFFIC CONTROL AND ROAD/ALLEY REQUIREMENTS NECESSARY FROM THE TOWN OF FRISCO. NO ROAD/ALLEY CLOSURES MAY OCCUR WITHOUT APPROVAL AND NOTIFICATION OF TOWN OF FRISCO AND THE FIRE DEPARTMENT. 12. CONTRACTOR SHALL OBTAIN APPROVAL FOR ALL CONSTRUCTION STAGING REQUIREMENTS OFF THE PROPERTY NECESSARY FROM THE TOWN OF FRISCO.

#### DISTURBED AREA SEEDING NOTES:

- All areas to be seeded will be properly prepared to provide a friable soil surface in the upper 6 inches, minimum.
- Areas to be seeded will be drill seeded with the appropriate mix (Table 2 or 3) at the rates specified. Seed may be broadcast or hydroseeded on steep slopes. The specified seeding rate will be doubled for broadcast seeding or increased by 50 percent for hydroseeding.
- seeded areas will be mulched at a rate of at least two tons per acre of certified, weed-free straw mulch, or one ton per acre of wood cellulose, if hydromulching is completed. Hydromulching will be completed as a separate step after seeding. Straw mulch will be secured by use of m-binder tackifier at a rate of 3
- pounds/1,000 square feet on slopes flatter than 2:1. Mulch will be secured with netting on slopes steeper than 3:1.

COMMON NAME	SCIENTIFIC NAME	% MIX	POUNDS PLS/ACR 3.9 1.7	
IDAHO FESCUE	FESTUCA IDAHOENSIS	20		
ALPINE BLUEGRASS	POA ALPINA	20		
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	20	15.8	
JUNE GRASS	KOELERIA CRISTATA	15	0.6	
ARIZONA FESCUE	FESTUCA ARIZONICA	20	3.2	
WHITE YARROW	ACHILLEA MILLEFOLIUM	5	0.2	
TOTAL			25.4	

- 1. Mix should be drill seeded, except on steep slopes where broadcast or hydroseeding are acceptable at 200 and 150 percent of rate shown, respectively.
- 2. The following wildflowers may also be seeded in certain areas. 0.8 Pounds PLS/Acre 4.4 Pounds PLS/Acre -Firecracker Penstemon 0.2 Pounds PLS/Acre 0.4 Pounds PLS/Acre -California Poppy
- 3. Divide Pounds PLS/Acre by 43.5 to obtain Pounds PLS/1,000 SQ.

	SEED MIX TYPE II			
COMMON NAME	SCIENTIFIC NAME	% MIX	POUNDS PLS/ACF	
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	20		
REDTOP	AGROSTIS ALBA	15	0.3	
TUFTED HAIRGRASS	DESCHAMPSIA CAESPITOSA	15	0.5	
IDAHO FESCUE	FESTUCA IDAHOENSIS	30	5.8	
ALPINE BLUEGRASS	POA ALPINA	20	1.7	
TOTAL			24.1	

1. Mix should be drill seeded, except on steep slopes where broadcast or hydroseeding are acceptable at 200 and 150 percent of rate shown, respectively. 2. Divide Pounds PLS/Acre by 43.5 to obtain Pounds PLS/1,000 SQ

**ROADWAY GENERAL NOTES:** 

1. EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT FOR

2. PAVING SHALL NOT START UNTIL SUBGRADE COMPACTING TESTS ARE TAKEN AND MEET THE REQUIREMENTS OF THE PLANS AND SPECS AND FINAL PAVEMENT DESIGN BY GEOTECHINCAL ENGINEER AND/OR TOWN OF FRISCO STANDARDS, WHICHEVER ARE MORE STRINGENT. THE PAVEMENT SECTION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT FOR THS PROJECT. THE MINIMUM DEPTH OF ASPHALT SHALL BE 3 INCHES.

3. THE CONTRACTOR SHALL SAW-CUT ALL EXISTING PAVEMENT WHERE MATCH LINES WITH EXISTING EDGE OF PAVEMENT OCCUR.

4. PORTLAND CEMENT CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS: SECTION TO END SECTION. THEREFORE, DISTANCES SHOWN ON THE PLANS ARE APPROXIMATE ONLY AND COULD VARY. END SECTIONS ARE INCLUDED IN THE PIPE LENGTH SHOWN ON THE A. COMPRESSIVE STRENGTH OF 4000 PSI AFTER 28 DAYS OF CURE TIME;

B. AIR CONTENT OF  $6.5\% \pm 1.5\%$ ; C. MAXIMUM SLUMP OF 3":

D. "FIBER MESH" FIBERS SHALL BE ADDED TO CONCRETE FOR STRENGTH, AT A RATE OF 1.5 POUNDS OF FIBER PER CUBIC YARD OF CONCRETE.

5. ROADWAY RETAINING WALL VERTICAL AND HORIZONTAL INFORMATION HAVE BEEN ESTABLISHED AS PART OF THESE ROADWAY PLANS. STRUCTURAL, GEOTECHNICAL, AND DRAINAGE ENGINEERING FOR THE WALLS IS BY OTHERS (SEE SEPARATE DESIGN DOCUMENTS). 6. COMPACTION TESTING FOR THE BASE COURSE IN THE ROADWAY SHALL MEET 95% OF MODIFIED PROCTOR (ASTM D-1557) THE MATERIAL BEING WITHIN 2.0 PERCENT OF OPTIMUM MOISTURE. EACH LIFT OF ASPHALT SHALL MEET THE MINIMUM DENSITY OF 92-96 PERCENT MAXIMUM THEORETICAL DENSITY AS DETERMINED BY THE RICE DENSITY METHOD (ASTM D-2041). TESTS SHALL BE MADE AT A FREQUENCY OF EVERY 200 LINEAR FEET AND AT EVERY 12" COMPACTED LIFT OF FILL PLACED, AND FOR EVERY LIFT OF ASPHALT PLACED OR ROLLED. ASPHALT DENSITY TESTING SHALL BE PERFORMED ON EACH LIFT AT INTERVALS OF ONE TEST PER EVERY 250 LINEAR FEET PER LANE. TEST LOCATIONS ON EACH LIFT AND

7. DURING EARTHWORK OPERATION GEOTECHNICAL ENGINEER SHALL ASSESS ACTUAL SUB-SURFACE CONDITIONS AND REQUEST ADDITIONAL REQUIREMENTS IF NECESSARY.

EACH LANE SHALL BE STAGGERED.

## STORM SEWER GENERAL NOTES

1. LOCATION AND ELEVATION OF EXISTING STORM SEWER AND CULVERTS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DIFFERENCES FROM DESIGN PLAN SHALL BE REPORTED TO DESIGN ENGINEER.

2. STORM SEWER SHALL BE HDPE (HIGH DENSITY POLYETHYLENE).

3. ALL CULVERTS SHALL HAVE END SECTIONS ON BOTH THE UPSTREAM AND DOWNSTREAM ENDS OF THE PIPE UNLESS OTHERWISE NOTED ON THE PLANS AND SHALL EXTEND 1 TO 3 FEET BEYOND EACH EDGE OF SHOULDERED PAVED DRIVE. 4. STORM SEWER BEDDING AND PIPE ZONE BACKFILL SHALL BE 3/4" TO 1" ROAD BASE OR

APPROVED ALTERNATE. 5. PIPE LENGTHS FOR STORM SEWER ARE APPROXIMATE HORIZONTAL DISTANCES FROM END PLANS. FINAL LENGTH OF STORM SEWER SHALL BE SUFFICIENT TO PROVIDE THE ROAD SHOULDERS AND SIDE SLOPES TO NOT BE STEEPER THAN SHOWN ON THE TYPICAL ROAD

#### SANITARY SEWER GENERAL NOTES:

 ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO FRISCO SANITATION DISTRICT "DESIGN STANDARDS AND SPECIFICATIONS FOR SEWER CONSTRUCTION

2. ALL SEWER MAINS AND SERVICES SHALL BE SDR 35 (UNLESS OTHERWISE NOTED). 3. ALL MANHOLE RIMS WITHIN THE 100-YEAR FLOOD PLAIN SHALL BE SET AT THE 100-YEAR FLOOD PLAIN ELEVATION AND SHALL HAVE GASKETTED BOLT DOWN LIDS.

4. MANHOLES SHALL BE WRAPPED WITH BITUTHENE. 5. SANITARY SEWER BEDDING AND PIPE ZONE BACKFILL GRADATION SHALL BE 1/4" TO 3/4"

6. PIPELINE FLUSHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A CLEANING COMPANY THAT WILL HIGH-PRESSURE JET CLEAN THE LINES TO INSURE THAT SAND, ROCKS, OR OTHER FOREIGN MATERIAL ARE NOT LEFT IN ANY OF THE PIPELINES. WHEN FLUSHING, CARE SHOULD BE TAKEN TO PREVENT DAMAGE TO PROPERTY OR ROADWAYS OR EROSION OF SURROUNDING SOILS. FLUSHING WATER AND FLUSHED DEBRIS SHALL NOT BE ALLOWED TO ENTER THE EXISTING SEWER SYSTEM.

7. SEWER LINE ALIGNMENT, AND GRADE VERIFICATION. ONCE THE SEWER PIPELINES HAVE BEEN FLUSHED, THE SEWER PIPELINES SHALL BE INSPECTED BY MEANS OF CLOSED CIRCUIT TELEVISION (CCTV). DOCUMENTATION SHALL CONSIST OF A COLOR, VHS-FORMAT VIDEOTAPE, LOG SHEETS, AND A WRITTEN REPORT DETAILING THE CONDITION OF THE PIPELINE AND LATERAL CONNECTIONS/OPENINGS. THE REPORT SHALL NOTE THE TIME AND DATE OF VIDEO INSPECTION. STREET NAME, UPSTREAM AND DOWNSTREAM MANHOLE, DIRECTION OF VIEW, DIRECTION OF FLOW. SURFACE MATERIAL, PIPELINE LENGTH, PIPE SECTION LENGTH, PIPE SIZE, PIPE MATERIAL. LATERAL CONNECTIONS, VIDEO TAPE NUMBER, COUNTER NUMBER, AND A DETAILED LOGGING OF DEFECTS ENCOUNTERED. ANY REJECTED WORK SHALL BE REPAIRED, THEN RE-TELEVISED. 8. LEAKAGE. ALL PIPELINES SHALL BE TESTED FOR LEAKAGE BY MEANS OF AN AIR PRESSURE TEST. THE TEST SHALL BE PERFORMED AS FOLLOWS:

- PREPARATION FOR TESTS: FLUSH AND CLEAN THE PIPELINE PRIOR TO TESTING IN ORDER TO WET THE PIPE SURFACES AND PRODUCE MORE CONSISTENT RESULTS. PLUG AND BRACE ALL OPENINGS IN THE PIPELINE AND THE UPPER CONNECTIONS. CHECK ALL PIPE PLUGS WITH A SOAP SOLUTION TO DETECT ANY AIR LEAKAGE. IF LEAKS ARE FOUND, RELEASE THE AIR PRESSURE, ELIMINATE THE LEAKS, AND START THE TEST PROCEDURE OVER
- PROCEDURE OF TEST: ADD AIR UNTIL THE INTERNAL PRESSURE OF THE PIPELINE IS RAISED TO APPROXIMATELY 4.0 PSI, AT WHICH TIME THE FLOW OF AIR SHALL BE REDUCED AND THE PRESSURE MAINTAINED BETWEEN 3.5 AND 4.5 PSI FOR A SUFFICIENT TIME TO ALLOW THE AIR TEMPERATURE TO COME TO EQUILIBRIUM WITH THE TEMPERATURE OF THE PIPE.
- AFTER THE TEMPERATURE HAS STABILIZED, PERMIT THE PRESSURE TO DROP TO 3.5 PSIG IN EXCESS OF THE GROUND WATER PRESSURE ABOVE THE TOP OF THE SEWER, AT WHICH TIME A STOP WATCH OR SWEEP SECOND HAND WATCH SHALL BE USED TO DETERMINE THE TIME LAPSE REQUIRED FOR THE AIR PRESSURE TO DROP TO 3.0 PSIG.
- THE TIME ELAPSED SHALL NOT BE LESS THAN THE FOLLOWING:

PIPE SIZE TIME (INCHES) (MINUTES)

- E. BRACE ALL PLUGS SUFFICIENTLY TO PREVENT BLOWOUTS AND VENT THE PIPELINE COMPLETELY BEFORE ATTEMPTING TO REMOVE PLUGS.
- PROVIDE PRESSURIZING EQUIPMENT WITH A RELIEF VALVE SET AT 5 PSI TO AVOID OVER-PRESSURIZING AND DAMAGING AN OTHERWISE ACCEPTABLE LINE.

9. MANHOLE VISUAL EXAMINATION. THE ENGINEER SHALL VISUALLY CHECK EACH MANHOLE. BOTH EXTERIOR AND INTERIOR, FOR FLAWS, CRACKS, HOLES, OR OTHER INADEQUACIES, WHICH INADEQUACIES BE FOUND, THE CONTRACTOR, AT ITS OWN EXPENSE, SHALL MAKE ANY REPAIRS DEEMED NECESSARY BY THE ENGINEER. CONTRACTOR TO NOTIFY ENGINEER 48 HOURS PRIOR TO

INSTALLATION OF MAN HOLES. 10. MANHOLE LEAKAGE TEST (VACUUM). ALL MANHOLES SHALL BE TESTED FOR LEAKAGE AND ALL TESTS SHALL BE WITNESSED BY THE ENGINEER. THE LEAKAGE TEST SHALL BE CONDUCTED PRIOR TO BACK-FILLING AROUND THE MANHOLE AND SHALL BE CARRIED OUT IN THE FOLLOWING

A. MANHOLES SHALL BE VACUUM TESTED AFTER ASSEMBLY AND PRIOR TO BACKFILLING.

B. CARE SHALL BE TAKEN LO EFFECT A SEAL BETWEEN THE VACUUM BASE AND THE MANHOLE RIM. PIPE PLUGS SHALL BE SECURED TO PREVENT MOVEMENT WHILE THE VACUUM IS

C. A VACUUM OF 10 INCHES OF MERCURY SHALL BE DRAWN. THE TIME FOR THE VACUUM TO DROP TO 9 INCHES OF MERCURY SHALL BE RECORDED.

ACCEPTANCE SHALL BE DEFINED AS WHEN THE TIME TO DROP TO 9 INCHES MEETS OR EXCEEDS THE FOLLOWING:

TIME TO DROP 1" HG 120 SECONDS 120 SECONDS

- E. IF THE MANHOLE FAILS THE TEST, MAKE NECESSARY REPAIRS. REPAIRS AND REPAIR PROCEDURES MUST BE ACCEPTABLE TO TOWN.
- IF PREFORMED PLASTIC GASKETS ARE PULLED OUT DURING THE VACUUM TEST, THE MANHOLE SHALL BE DISASSEMBLED AND THE GASKETS SHALL BE REPLACED. SEWER LINE WORK SHALL BE INSPECTED BY THE DESIGN ENGINEER DURING
- 12. AS BUILT DRAWINGS SHALL BE PROVIDED BY A PROFESSIONAL ENGINEER.
- 13. EXISTING SEWER MAIN ELEVATIONS MUST BE FIELD VERIFIED.

#### **WATER GENERAL NOTES:**

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE TOWN OF FRISCO WATER DISTRICT CURRENT RULES AND REGULATIONS. WATER SYSTEM SPECIFICATIONS AND TESTING PROCEDURES SHALL BE IN CONFORMANCE WITH TOWN OF FRISCO WATER DISTRICT STANDARDS.

2. ALL WATER MAINS SHALL BE AWWA, CLASS 52, PUSH ON JOINT, DUCTILE IRON PIPE (DIP) WITH RUBBER GASKET ..

3. SERVICE LINES SHALL BE 1" K COPPER. ALL SERVICE LINES SHALL HAVE A BACKFLOW

DAYS SHOULD BE EXPECTED.

PREVENTION DEVICE INSTALLED UPSTREAM OF THE WATER METER CONSISTING OF A DOUBLE CHECK VALVE ASSEMBLY SIMILAR OR EQUAL TO A WATTS REGULATOR NO. 7. 4. MINIMUM COVER WITHIN STREETS IS 9.5 FEET AND 8.5 FEET IN UNPAVED LOCATIONS. INSULATION REQUIRED AT DEPTHS BELOW 8.5'.

5. THE CONTRACTOR IS RESPONSIBLE FOR: A. NOTIFYING ALL CUSTOMERS POSSIBLY AFFECTED BY OUTAGE OF WATER DURING CONSTRUCTION.

B. THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL

APPLICABLE LICENSES, PERMITS, BONDS, ETC. REQUIRED FOR THE MAIN INSTALLATION/SYSTEM MODIFICATION. C. CONTACTING TOWN OF FRISCO WATER DISTRICT FOR PRE-CONSTRUCTION

MEETING AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

NOTE: BE ADVISED THAT OCCASIONALLY VALVES IN OUR SYSTEM MAY BE INOPERABLE. ON SUCH OCCASIONS IT MAY BECOME NECESSARY TO BACK UP AN ADDITIONAL BLOCK FOR THE SHUT OUT. IT WILL THEN BE NECESSARY TO MAKE THE ADDITIONAL NOTIFICATIONS TO GIVE THE AFFECTED CUSTOMERS THE MANDATORY 24 HOURS ADVANCE NOTICE. ALSO BE ADVISED THAT WHEN VALVE MAINTENANCE IS REQUIRED, A DELAY OF SEVERAL

- 6. ALL WATER LINE WORK SHALL BE INSPECTED BY THE DESIGN ENGINEER DURING
- 7. AS BUILT DRAWNGS SHALL BE PREPARED BY A COLORADO PROFESSIONAL ENGINEER PER THE TOWN OF FRISCO WATER DISTRICT REQUIREMENTS.
- 8. FOR DETAILS OF IRRIGATION REQUIREMENTS AND METER REQUIREMENTS SEE
- 9. CONTRACTOR IS RESPONSIBLE FOR VERIFING THE MECHINICAL DESIGN ACCOUNTS FOR FIRE PROTECTION AND CONFIRMING THE 4" WATER SERVICE SPECIFIED IS SIZE APPROPRIATELY.

### WATER GENERAL NOTES (CONTINUED):

10. VALVES SHALL BE RESILIENT SEAT NRS GATE VALVES AND SHALL OPEN-LEFT (MUELLER. US, WATEROUS OR CLOW BRAND RESILIENT WEDGE VALVES ONLY). CHECK WITH WATER SUPT. FOR VERIFICATION OF SPECIFIC MODEL NUMBERS. 11. VALVE BOXES SHALL BE OVAL BASE BOTTOM TYPE. CHECK WITH WATER SUPT. FOR VERIFICATION OF SPECIFIC MODEL NUMBERS. 12. ALL FIRE HYDRANTS SHALL BE WATEROUS "PACER" WITH 34-INCH MOUNTAIN STANDARD

FLANGE MEETING THE FOLLOWING REQUIREMENTS: 6 INCH FOR MECHANICAL JOINT INLET 9'-6" OR 8'-6" (AS REQUIRED TO MEET THE WATERLINE COVER) DEPTH OF BURY

OPERATING NUT1 1 INCH PENTAGON OPFN LEFT(CCW) TWO 2-1/2 INCH, ONE 5-1/4 INCH PUMPER NOZZLE OUTLETS (THREADS TO MATCH EXISTING)

THREADS NATIONAL STANDARD CAPS CAP WITH PENTAGON NUT COLOR RED (ALL ABOVE GROUND PARTS) BOTTOM THRUST BLOCK AND 2-3/4" TIE RODS FROM MAIN TEE THRUST RESTRAINT

TO HYDRANT BOTTOM. **ELEVATION OF NOZZLE** 42" ± 3" OPERATING NUT ABOVE FINISHED GROUND SURFACE AT TRAFFIC FLANGE ALL HYDRANTS TO BE SHOP PRIMED AND PAINTED RED. BOLLARDS AS SPECIFIED BY TOWN.

13. WATER METER KIT WILL BE PROVIDED BY TOWN. THE CHARGE FOR THE WATER METER KIT

WILL BE PAID BY THE DEVELOPER AT THE TIME OF THE BUILDING PERMIT ISSUANCE. THE METER KIT WILL HAVE REMOTE READOUT. 14. AIR RELEASE VALVES (ARV'S) SHALL BE APCO MODEL NO. 143 C COMBINATION AIR/VACUUM VALVE OR APPROVED EQUAL.

15. MECHANICAL JOINT RESTRAINT DEVICES SHALL BE: FOR DUCTILE IRON PIPE: FOR C900 PVC PIPE: IBEE IRON INC. SERIES 1500 MEGALUG 1700 SERIES

ROMAL ROM GRIP UNI-FLANGE 1400 SERIES STAR GRIP 3000 SERIES

16. PIPE JOINT RESTRAINT DEVICES, TIE RODS AND THRUST BLOCKS SHALL BE INSTALLED PER DETAILS. ALL RESTRAINT RODS AND HARDWARE ARE TO BE STAINLESS STEEL OR CORTEN. 17. CHLORINATION

ALL MAIN EXTENSIONS AND PRIVATE PIPE EXTENSIONS SHALL BE CHLORINATED IN ACCORDANCE WITH AWWA C651. THE CHLORINATING AGENT AND METHOD OF APPLICATION, SHALL BE APPROVED THE CHLORINATION OF THE FINISHED PIPELINE SHALL BE DONE PRIOR TO THE HYDROSTATIC TESTING. BEFORE FILLING THE PIPE WITH WATER, THE PIPE SHALL BE CLEAN AND FREE OF DEBRIS

TO THE SATISFACTION OF THE TOWN. TOS WILL NOT PROVIDE LABOR OR MATERIAL FOR DISINFECTION TO APPLICANT'S INSTALLING MAINS UNDER PRIVATE CONTRACT. CHLORINE TABLETS MAY BE USED FOR DISINFECTION IN 12-INCH AND SMALLER PIPE. SIXTEEN INCH AND LARGER PIPE REQUIRES A CHLORINE SLURRY FED INTO THE WATER USED IN FILLING THE PIPE. CHLORINE TABLETS SHALL BE ATTACHED TO THE INSIDE TOP OF THE PIPE WITH AN APPROVED ADHESIVE CERTIFIED TO NSF STANDARD 61 PRIOR TO THE PIPE INSTALLATION IN THE TRENCH. AN

APPROVED ADHESIVE IS DOW CORNING 732 MULTI-PURPOSE SEALANT. NUMBER OF HYPOCHLORITE TABLETS OF 5 GRAM STRENGTH REQUIRED FOR A DOSE OF 50 MILLIGRAMS/LITER\*

> PIPE LENGTH PIPE DIAMETER (INCHES) (FEET) <u>6 8 12</u> 13 OR LESS

SIGMA-LOCK

\*BASED ON 3 3/4" GRAM AVAILABLE CHLORINE PER TABLET

AFTER THE PIPE IS FILLED WITH WATER AND CHLORINE, THE CHLORINATED WATER SHALL BE HELD IN CONTACT WITH THE PIPE FOR 24 HOURS. AT THE END OF THE 24 HOUR PERIOD, THE WATER IN THE PIPELINE SHALL BE TESTED BY THE TOWN OF FRISCO TO INSURE A RESIDUAL CHLORINE CONTENT OF NOT LESS THAN 25 MILLIGRAMS PER LITTER. THE PIPE LINE THEN SHALL BE THOROUGHLY FLUSHED TO REMOVE THE HEAVILY CHLORINATED WATER. THE CONTRACTOR SHALL TAKE CARE IN FLUSHING THE PIPELINE TO PREVENT PROPERTY, ENVIRONMENTAL OR DANGER TO THE PUBLIC

SAMPLES OF WATER WILL BE COLLECTED FOR BACTERIOLOGICAL EXAMINATION AND RESIDUAL CHLORINE CONTENT TESTING BEFORE THE PIPE IS PUT INTO SERVICE. TESTING OF RESIDUAL CHLORINE AND SAMPLING WILL BE DONE BY THE LOCAL HEALTH AUTHORITY OR THEIR DESIGNATED

18. HYDROSTATIC TESTING NO HYDROSTATIC TESTS SHALL BE MADE ON ANY PORTION OF THE PIPELINE UNTIL FIELD PLACED CONCRETE HAS HAD ADEQUATE CURING TIME, DEFINED AS FOLLOWS: CONCRETE SHALL BE CURED BY A METHOD RECOMMENDED BY ACI 308. WHEN THE DAILY MEAN AMBIENT TEMPERATURE IS ABOVE 40°F, THE FINISHED CONCRETE SHALL BE CURED CONTINUOUSLY FOR A MINIMUM OF 7 DAYS OR FOR THE TIME NECESSARY TO ATTAIN 70% OF THE SPECIFIED COMPRESSIVE STRENGTH, WHICHEVER PERIOD IS LESS. WHEN THE MEAN DAILY AMBIENT TEMPERATURE IS 40°F OR LOWER, THE FINISHED CONCRETE SHALL BE CONTINUALLY CURED AT A MINIMUM TEMPERATURE OF 55° F FOR THE PERIOD RECOMMENDED BY ACI 306 TO PREVENT DAMAGE FROM EARLY-AGE FREEZING AND PROVIDE THE SERVICE CATEGORY STRENGTHS REQUIRED FOR EACH

PLACEMENT. TOF SHALL BE NOTIFIED 24 HOURS IN ADVANCE OF TESTING. ALL TESTING SHALL BE MADE IN THE PRESENCE OF TOF ONLY THE FOLLOWING METHODS ARE ACCEPTABLE FOR SUPPLYING POTABLE WATER FOR

HYDROSTATIC TESTING: WATER MAY BE TAKEN FROM A NEARBY PRESSURIZED WATER SOURCE WHICH HAS BEEN PREVIOUSLY CHLORINATED, TESTED AND ACCEPTED, SUCH AS A FIRE HYDRANT. WATER MAY BE DELIVERED TO THE SITE IN A CHLORINATED WATER TRUCK HAVING A MINIMUM CAPACITY OF 300 GALLONS. THE WATER TRUCK SHALL BE USED EXCLUSIVELY FOR THE

TRANSPORTATION OF POTABLE WATER. 3. ANY PREVIOUSLY TESTED, CHLORINATED AND ACCEPTED WATER MAIN, WHICH IS PRESSURIZED AND IS TO SERVE THE NEW MAIN EXTENSION, MAY BE TAPPED ON THE PRESSURIZED SIDE OF THE CLOSED VALVE.

IN ANY EVENT, THE METHOD OF SUPPLYING WATER AS WELL AS THE SOURCE OF WATER FOR

HYDROSTATIC TESTING MUST BE CERTIFIED AND APPROVED BY TOB. USE OF BARRELS, SANITARY OR OTHERWISE, TO SUPPLY WATER FOR HYDROSTATIC TESTING IS STRICTLY PROHIBITED. TOF WILL FURNISH ONLY THE CALIBRATED METER BUT NOT THE PUMP FOR TESTING. THE PIPELINE SHALL BE PROPERLY BACKFILLED AND SHALL BE IN A STATE OF READINESS FOR TESTING. ALL BULKHEADS. PUMPS. TAPS, AND APPURTENANCES NECESSARY TO FILL THE PIPELINE AND MAINTAIN THE REQUIRED PRESSURE SHALL BE IN PLACE. THE PIPELINE SHALL BE FILLED WITH WATER AND THE TEST PRESSURE OF 150 POUNDS PER SQUARE INCH SHALL BE APPLIED TO THE PIPELINE BY MEANS OF A CONTINUOUSLY OPERATING PUMP, EQUIPPED WITH A BYPASS VALVE FOR REGULATING PRESSURE. WHEN FILLING THE PIPELINE, IT SHALL BE FILLED AT A RATE, WHICH WILL NOT CAUSE ANY SURGES, NOR WILL IT EXCEED THE RATE AT WHICH THE AIR CAN BE RELEASED. ALL AIR IN THE LINE SHALL BE PROPERLY PURGED. WHERE BLOWOFFS OR HYDRANTS ARE NOT AVAILABLE OR ARE NOT EFFECTIVE IN PURGING AIR FROM THE LINE, TOF SHALL REQUIRE A TAP TO PURGE THE LINE. THE LOCATION AND SIZE OF TAP SHALL BE AT TOF'S DISCRETION. WHILE THE TEST PRESSURE IS MAINTAINED, AN EXAMINATION SHALL BE MADE OF THE PIPELINE IN GENERAL, AND ANY LEAKS SHALL BE REPAIRED. ANY PIPE OR FITTING FOUND TO BE FAULTY SHALL BE REMOVED AND REPLACED. NO LEAKAGE IS ALLOWED THROUGH THE BONNET OF THE LINE VALVE. ANY VALVE LEAKING THROUGH THE BONNET SHALL BE REPAIRED IN PLACE OR REMOVED AND REPLACED. CUTTING AND REPLACING PAVEMENT, EXCAVATING, AND BACKFILLING MAY ALL BE NECESSARY PARTS OF LOCATING AND REPAIRING LEAKS DISCOVERED BY PRESSURE TESTING OF

AFTER ALL VISIBLE LEAKS HAVE BEEN STOPPED, THE FULL TEST-PRESSURE SHALL BE MAINTAINED FOR 2 CONTINUOUS HOURS. ALLOWABLE LEAKAGE FOR EACH SECTION BETWEEN LINE VALVES SHALL NOT EXCEED THE FOLLOWING LEAKAGE RATES FOR 4-INCH THROUGH 20-INCH DISTRIBUTION AND TRANSMISSION MAINS:

ALLOWABLE LEAKAGE PIPE SIZE PER 1,000 FEET OF PIPE (INCHES) (GALLONS PER HOUR)

19. THE CONTRACTOR IS RESPONSIBLE FOR:

970-668-0836 (JEFF GOBLE)

SHOULD TESTING SHOW A LEAKAGE RATE IN EXCESS OF THE RATES SHOWN. THE PIPELINE SHALL NOT BE ACCEPTED. THE PIPELINE SHALL BE REPAIRED, RECHLORINATED AS DESCRIBED IN NOTE 12, AND RETESTED UNTIL IT MEETS THE TEST REQUIREMENTS.

A. NOTIFYING ALL CUSTOMERS POSSIBLY AFFECTED BY OUTAGE OF WATER DURING CONSTRUCTION. B. THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL APPLICABLE LICENSES, PERMITS, BONDS, ETC. REQUIRED FOR THE MAIN INSTALLATION/SYSTEM MODIFICATION. C. CONTACTING TOWN OF FRISCO FOR PRE—CONSTRUCTION MEETING AND INSPECTION. 970-XXX-XXXX, AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION. D. IN CASE OF AN EMERGENCY AFTER WORKING HOURS, CALL TOWN OF FRISCO AT

NOTE: BE ADVISED THAT OCCASIONALLY VALVES IN OUR SYSTEM MAY BE INOPERABLE. ON SUCH OCCASIONS IT MAY BECOME NECESSARY TO BACK UP AN ADDITIONAL BLOCK FOR THE SHUT OUT, IT WILL THEN BE NECESSARY TO MAKE THE ADDITIONAL NOTIFICATIONS TO GIVE THE AFFECTED CUSTOMERS THE MANDATORY 24 HOURS ADVANCE NOTICE. ALSO BE ADVISED

THAT WHEN VALVE MAINTENANCE IS REQUIRED, A DELAY OF SEVERAL DAYS SHOULD BE EXPECTED.

#### WATER GENERAL NOTES (CONTINUED):

PLASTIC CAP, TYP.

CF

STUDDED STEEL

CF PLASTIC MESH CONSTRUCTION FENCE

SF SILT FENCE

2. A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCEINSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.

6. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING

ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION, INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED

PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

7. WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE

3. COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING, COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND

5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
6. SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED

INDICUOSITION.

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS

CONSTRUCTION FENCE INSTALLATION NOTES

I. SEE PLAN VIEW FOR:
-LOCATION OF CONSTRUCTION FENCE.

2. CONSTRUCTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING

3. CONSTRUCTION FENCE SHALL BE COMPOSED OF ORANGE, CONTRACTOR—GRADE MATERIAL THAT IS AT LEAST 4' HIGH. METAL POSTS SHOULD HAVE A PLASTIC CAP FOR SAFETY.

4. STUDDED STEEL TEE POSTS SHALL BE UTILIZED TO SUPPORT THE CONSTRUCTION FENCE. MAXIMUM SPACING FOR STEEL TEE POSTS SHALL BE 10'.

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON A POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

4. CONSTRUCTION FENCE SHALL BE REPAIRED OR REPLACED WHEN THERE ARE SIGNS OF DAMAGE SUCH AS RIPS OR SAGS. CONSTRUCTION FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.

6. WHEN CONSTRUCTION FENCES ARE REMOVED, ALL DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE FENCE SHALL BE COVERED WITH

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

OPSOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED AS APPROVED BY LOCAL

SILT FENCE

STABILIZED AS APPROVED BY LOCAL JURISDICTION.

5. CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO THE TOP, MIDDLE, AND BOTTOM OF EACH POST.

20. WATER TRENCH BEDDING AND PIPE ZONE BACKFILL SHALL BE GRADED AS FOLLOWS:

TOTAL PASSING BY SIZE SIEVE SIZE (% BY WEIGHT) ¾" to 1½"

1' MIN.

SILT FENCE INSTALLATION NOTES

SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION

OR TOWN OF FRISCO APPROVED CONTRACTOR ALTERNATE. 21. IRRIGATION VAULT TO BE CONSTRUCTED PER TOWN OF FRISCO DETAILS. 22. CLAY CHECK DAMS MAY BE REQUIRED IF GROUNDWATER IS ENCOUNTERED. CALL UTILITY NOTIFICATION CENTER OF COLORADO

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



		REVISED PER TOF COMMENTS	REVISED PER ARCH COMMENTS	TOF FINAL SUBMITTAL	TOF PRELIMINARY SUBMITTAL	Description
		7/21/20	6/21/20	5/22/20	1/17/20	Date
		REVISED PER COMMENTS 7/21/20	REVISED PER COMMENTS 6/21/20	FINAL SUBMITTAL	PRELIM SUBMITTAL	Revision/Issue
		4	3	2	-	No.

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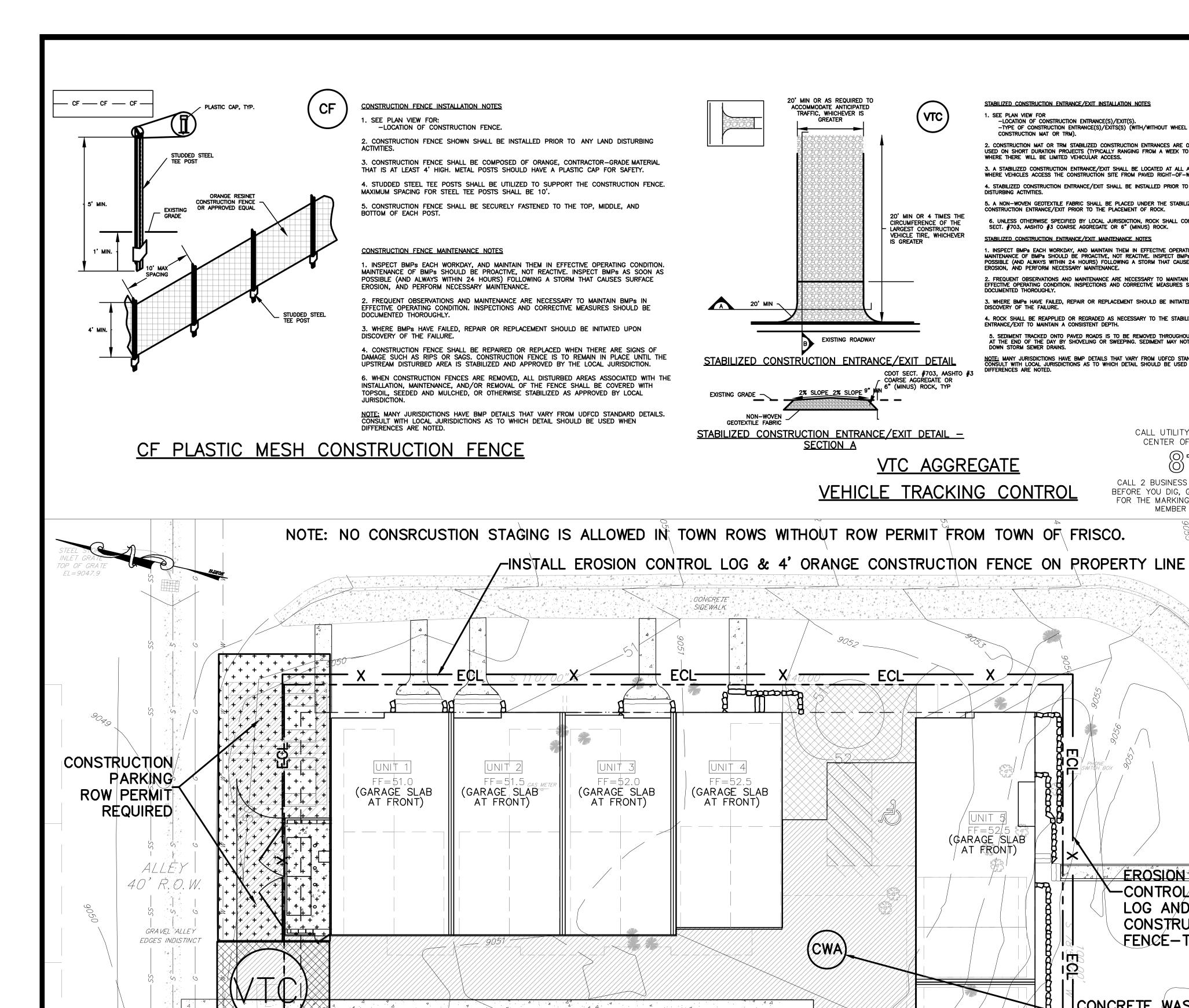
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4TH & GRANITE TOWNHOMES

1/03/20 NTS



UNIT

6' WOOD FFNAX

FF⊒52.

(LOWER)

LINSTALL EROSION CONTROL LOG & 4' ORANGE CONSTRUCTION FENCE ON PROPERTY LINE

IUNIT

 $FF^{I} = 52.0$ 

(LDWER)

LIOWER)

**VEHICLE** 

REQUIRED

TRACKING PAD

CONSTRUCTION

ROW PERMI

**PARKING** 

REQUIRED

ORIGINAL GRAPHIC SCALE

ROW PERMIT

# STANDARD EROSION & SEDIMENT CONTROL NOTES:

1. The contractor must notify Town of Frisco at least 48 hours prior to starting construction.

STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

-TYPE OF CONSTRUCTION ENTRANCE(S)/EXITS(S) (WITH/WITHOUT WHEEL WASH

2. CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.

3. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.

6. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.

5. SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

CALL UTILITY NOTIFICATION

CENTER OF COLORADO

이 < 1</p>

CALL 2 BUSINESS DAYS IN ADVANCE

BEFORE YOU DIG, GRADE OR EXCAVATE

FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**EROSION** 

LOG AND

CONSTRUCTION

WASHOU1

FENCE-TYP

-CONTROL

PORTABLE TOILE

CONCRETE

UNIT

(GARAGE/SLAB AT FRONT)

 $\underline{\text{NOTE}};$  many jurisdictions have BMP details that vary from udfCD standard details. Consult with local jurisdictions as to which detail should be used when

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs in effective operating condition. Inspections and corrective measures should be documented thoroughly.

3. WHERE BMP0 have failed, repair or replacement should be initiated upon discovery of the failure.

4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.

4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND

5. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.

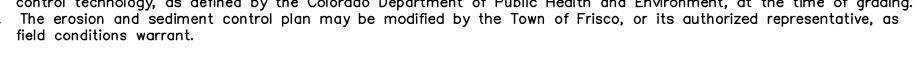
STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

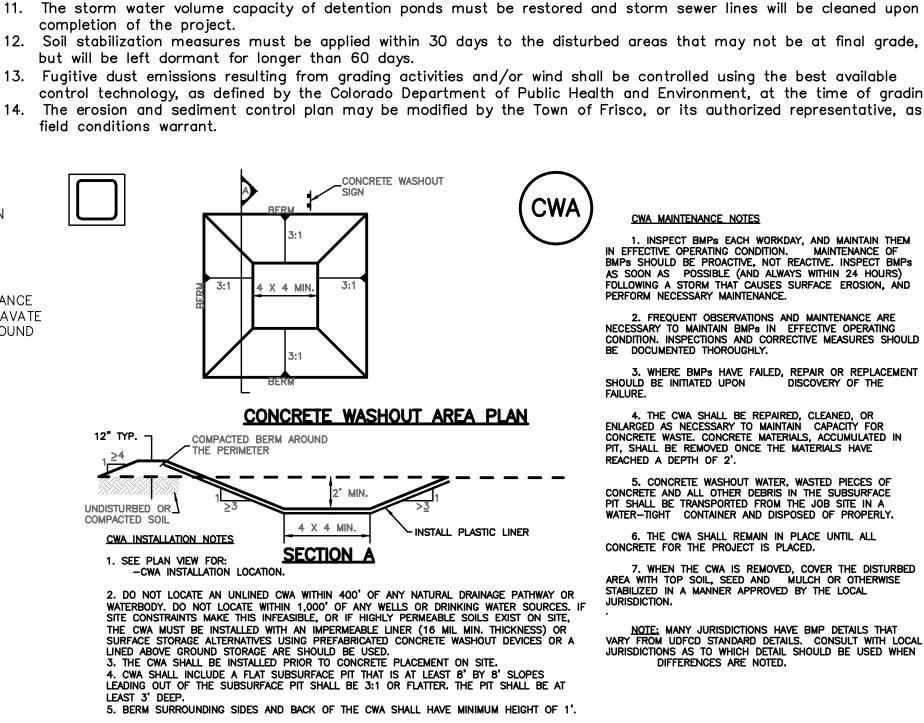
1. SEE PLAN VIEW FOR
-LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).

- 2. All grading, erosion, and sediment control must conform with approved plans. Revisions to disturbance areas, slopes, and/or erosion and sediment control measures are not permitted without prior approval from the Town of Frisco.
- Erosion control measures must be installed prior to grading activities. 4. All temporary and permanent soil erosion and sediment control practices must be maintained and repaired as needed
- to assure continued performance of their intended function. For example, erosion control blankets, straw bale dikes or silt fences may require periodic replacement. Sediment traps and basins will require periodic sediment removal. 5. All topsoil, where physically practicable, must be salvaged and not topsoil shall be removed from the site except as set forth in the approved plans. Topsoil and overburden must be segregated and stockpiled separately. Topsoil and
- overburden must be redistributed within the graded area after rough grading to provide a suitable base for areas, which must be seeded and planted. Runoff from the stockpiled area must be controlled to prevent erosion and resultant sedimentation of receiving water. The landowner and/or contractor must immediately take all necessary steps to control increased sediment discharge.
- 7. The landowner and/or contractor is responsible for clean up and removal of all sediment and debris from all drainage infrastructure and other public facilities. The landowner and/or contractor must take reasonable precautions to ensure that vehicles don not track or spill earth
- 9. The landowner and/or contractor is responsible for controlling waste such as discarded building materials, concrete truck washout, chemicals, litter, and sanitary waste, as applicable. In addition, spill prevention and containment BMP's for construction materials, waste and fuel must be provided, as applicable.

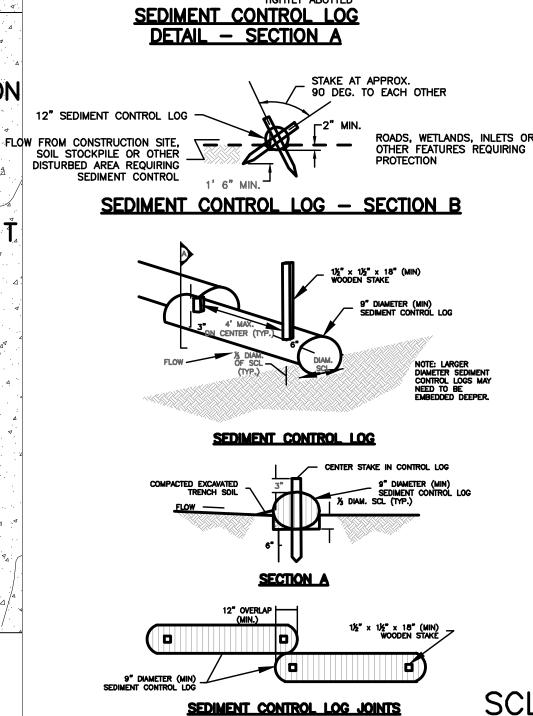
materials on to streets/roads and must immediately remove such material if this occurs.

- 10. If it is necessary to move material in excess of 300 cubic yards and/or 10,000 square feet of land disturbance area to or from another Town of Frisco site, an approved grading and erosion control plan and is necessary for the off—site property. If the material is moved to a property located within another jurisdiction, evidence is required that the local government has approved the grading operation.
- completion of the project.
- but will be left dormant for longer than 60 days.
- control technology, as defined by the Colorado Department of Public Health and Environment, at the time of grading. 14. The erosion and sediment control plan may be modified by the Town of Frisco, or its authorized representative, as

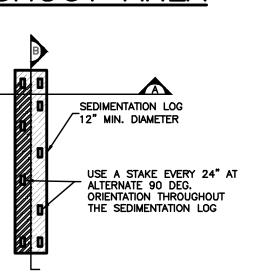




# CWA-1. CONCRETE WASHOUT AREA



END OF LOG



<u>SEDIMENT CONTROL LOG</u>

(SCL

TO A DEPTH OF APPROXIMATELY & OF THE DIAMETER OF THE LOG. IF TRENCHING TO THIS DEPTH IS NOT FEASIBLE AND/OR DESIRABLE (SHORT TERM INSTALLATION WITH DESIRE NOT O DAMAGE LANDSCAPE) A LESSER TRENCHING DEPTH MAY BE ACCEPTABLE WITH MORE

. THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL THAT FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED INTO THE SHAPE FARIGHT TRIANGLE USING A SHOVEL OR WEIGHTED LAWN ROLLER. 7. FOLLOW MANUFACTURERS' GUIDANCE FOR STAKING. IF MANUFACTURERS' INSTRUCTIONS DO NOT SPECIFY SPACING, STAKES SHALL BE PLACED ON 4' CENTERS AND EMBEDDED A MINIMUM OF 6" INTO THE GROUND. 3" OF THE STAKE SHALL PROTRUDE FROM THE TOP OF THE LOG. STAKES THAT ARE BROKEN PRIOR TO INSTALLATION SHALL BE REPLACED.

I. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE, INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE

EROSION, ÀND PERFORM NECESSARY MAINTENANCE

3. WHERE BMPs have failed, repair or replacement should be initiated upon discovery of the failure.

4. SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOG SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY ½ OF THE HEIGHT OF THE SEDIMENT CONTROL

5. SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION. IF DISTURBED AREAS EXIST AFTER REMOVAL, THEY SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL

SEDIMENT CONTROL

EN MIL **WOHNM** Z K AND 4TH & GRANITE TOWNHOME 1/03/20 1"=10'

