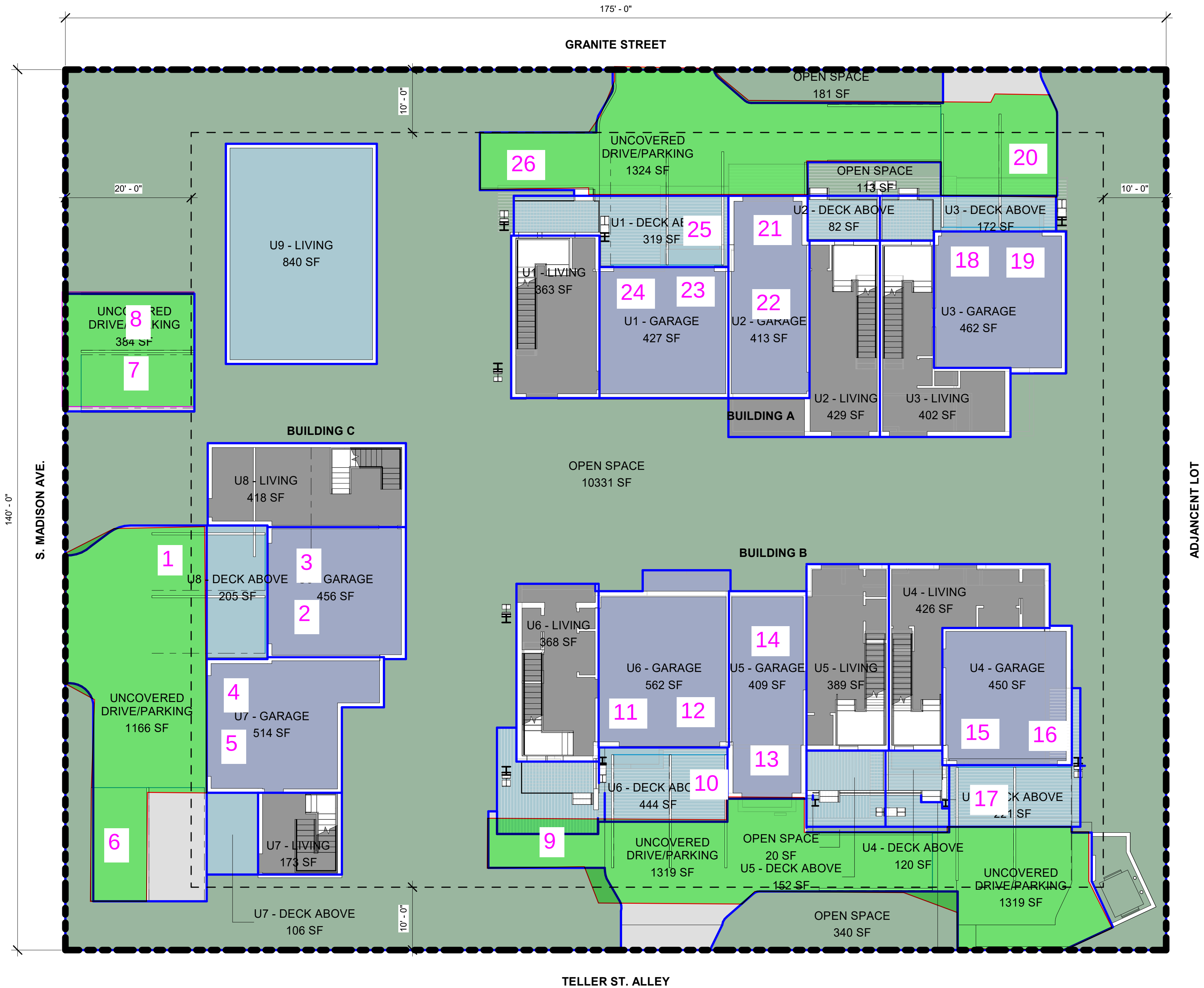




AREA SCHEDULE LEVEL 1		
NAME	AREA	LEVEL
U4 - DECK ABOVE	120 SF	LEVEL 1
UNCOVERED DRIVE/PARKING	1166 SF	LEVEL 1
UNCOVERED DRIVE/PARKING	1324 SF	LEVEL 1
UNCOVERED DRIVE/PARKING	1319 SF	LEVEL 1
UNCOVERED DRIVE/PARKING	384 SF	LEVEL 1
OPEN SPACE	4192 SF	
OPEN SPACE	10331 SF	LEVEL 1
OPEN SPACE	340 SF	LEVEL 1
OPEN SPACE	181 SF	LEVEL 1
OPEN SPACE	113 SF	LEVEL 1
OPEN SPACE	20 SF	LEVEL 1
U1 - LIVING	363 SF	LEVEL 1
U1 - DECK ABOVE	319 SF	LEVEL 1
	681 SF	

AREA SCHEDULE LEVEL 1		
NAME	AREA	LEVEL
U1 - GARAGE	427 SF	LEVEL 1
U2 - LIVING	429 SF	LEVEL 1
U2 - DECK ABOVE	82 SF	LEVEL 1
U2 - GARAGE	511 SF	
U2 - GARAGE	413 SF	LEVEL 1
U3 - LIVING	402 SF	LEVEL 1
U3 - DECK ABOVE	172 SF	LEVEL 1
U3 - GARAGE	574 SF	
U3 - GARAGE	462 SF	LEVEL 1
U4 - LIVING	426 SF	LEVEL 1
U4 - DECK ABOVE	221 SF	LEVEL 1
U4 - GARAGE	647 SF	
U4 - GARAGE	450 SF	LEVEL 1
U5 - LIVING	389 SF	LEVEL 1
U5 - DECK ABOVE	152 SF	LEVEL 1

AREA SCHEDULE LEVEL 1		
NAME	AREA	LEVEL
U5 - GARAGE	541 SF	
U5 - GARAGE	409 SF	LEVEL 1
U6 - LIVING	368 SF	LEVEL 1
U6 - DECK ABOVE	444 SF	LEVEL 1
U6 - GARAGE	813 SF	
U6 - GARAGE	562 SF	LEVEL 1
U7 - LIVING	562 SF	
U7 - DECK ABOVE	173 SF	LEVEL 1
U7 - GARAGE	106 SF	LEVEL 1
U7 - GARAGE	280 SF	
U7 - GARAGE	514 SF	LEVEL 1
U8 - LIVING	514 SF	
U8 - LIVING	418 SF	LEVEL 1
U8 - DECK ABOVE	205 SF	LEVEL 1
U8 - GARAGE	623 SF	
U8 - GARAGE	456 SF	LEVEL 1
U9 - LIVING	456 SF	
U9 - LIVING	840 SF	LEVEL 1
	840 SF	
	24499 SF	

TABLE 6-K BULK PLANE STANDARDS						
DIMENSION ON FIGURE 1-1	Applicability (District or Development Type)	Central Core District		Residential Districts		
		Height ≤ 28' [1]	Height ≥ 28' [1]	RS/RL	RM/RH, Height ≤ 28'	RM/RH, Height ≥ 28'
STREET / FRONT PROPERTY LINE						
A	Feet inside property line	0 ft.		20 ft.		
B	Starting height above grade	24 ft.		20 ft.		
C	Extend at angle			45°		
SIDE PROPERTY LINE						
A	Feet inside property line	0 ft.		15 ft.	10 ft.	
B	Starting height above grade	24 ft.	20 ft.	25 ft.	20 ft.	
C	Extend at angle			45°		
REAR PROPERTY LINE						
A	Feet inside property line	--			10 ft.	
B	Starting height above grade	--			25 ft.	
C	Extend at angle	--			45°	
MAXIMUM HEIGHT						
D	Maximum height	28 ft.	35 ft. flat 40 ft. pitched	30 ft.	28 ft.	35 ft.
[1] Side Property Line Bulk Plane does not apply to properties located between Main Street and between Main Street and the Galena Street Alley. [2] Applies to Mixed Use District properties fronting on Summit Boulevard. [3] Applies to properties within 100 feet of Main Street right-of-way, east of Summit Boulevard. [4] Applies to properties fronting on Main Street, west of Madison Avenue.						

180-3.16 Summary Tables of Dimensional Standards

180-3.16.1. DIMENSIONAL TABLE: RESIDENTIAL

TABLE 3-5 SUMMARY OF RESIDENTIAL DIMENSIONAL STANDARDS					
	RS	RN	RL	RM	RH
PROJECT STANDARDS					
Maximum density	4 du/acre	0.6	8 du/acre	12 du/acre	16 du/acre
LOT STANDARDS					
Minimum lot area	10,500 sf		10,500 sf	10,500 sf	10,500 sf
Minimum lot area single-household		3,000 sf			
Maximum lot area single-household		7,000 sf			
Minimum lot area per duplex		4,000 sf			
Maximum lot area per duplex		6,000 sf			
Cabin housing minimum lot area		8,000 sf			
Minimum lot frontage	60 ft.	40 ft.	50 ft.	60 ft.	60 ft.
Maximum lot coverage		70%	50%	50%	55%
Minimum open space		30%			
SETBACKS					
Front yard setback (minimum)	20 ft.	10 ft.	20 ft.	10 ft.	20 ft.
Side yard setback (minimum)	15 ft.		15 ft.	10 ft.	10 ft.
Side yard setback lot size 2,000-4,000 SF		5 ft.			
Side yard setback lot size 4,001-7,000 SF		5 ft.			
Total of both side yards, lot size 2,000-4,000 SF		10 ft.			
Total of both side yards, lot size 4,001-7,000 SF		10 ft. (1)			
Rear yard setback (minimum)	10 ft.	10 ft.	10 ft.	10 ft.	10 ft.
Rear yard setback for accessory building, detached garages and/or carriage house (minimum)		5 ft.			
BUILDING STANDARDS					
Maximum building height	30 ft.	30 ft.	30 ft.	35 ft.	35 ft.
See Section 180-3.17 for additional standards and exceptions. Notes: (1) The minimum total of both side yards for lot sizes 4,001-7,000 sf is ten feet plus one foot for each additional 300 feet of lot area over 4,000 sf to a maximum of 20 feet of total side yard.					

180-3.7 Residential High Density (RH) District

180-3.7.1. PURPOSE

To allow for high density residential development that is in close proximity to commercial activity, and to provide for a broad mix in the housing type and cost for all residents.

180-3.7.2. DISTRICT STANDARDS

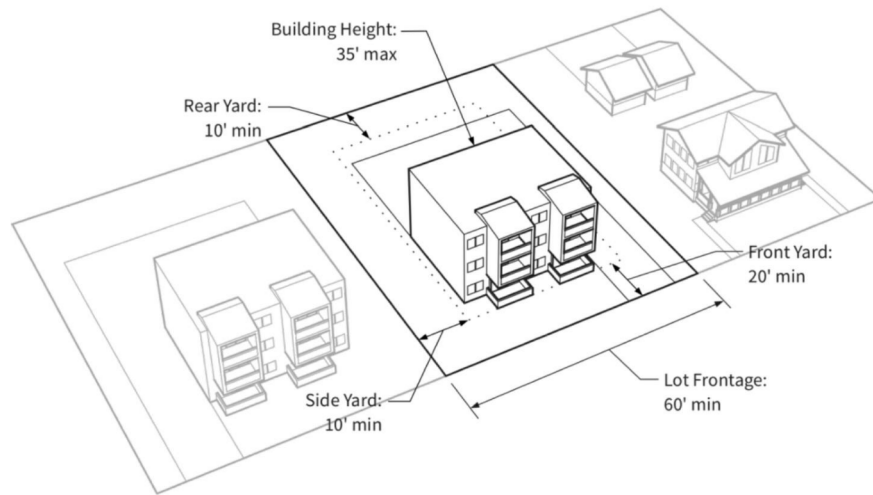
A. Dimensions

See Figure 3-E and Sections 180-3.16 and 180-3.17.

B. Development Standards

- All residential development is subject to the Residential Development Standards in Section 180-6.2.2.
- All non-residential development is subject to the Non-Residential Development Standards in Section 180-6.2.1.

Figure 3-E: Illustration of RH District Dimensional Standards



ADDRESS: MADISON AND GRANITE, FRISCO, CO.
OWNER: XXX
ZONING: RH
CONSTRUCTION TYPE: IRC
OCCUPANCY: R3
REFERENCE CODE: IRC 2018, 2018 IECC AS AMENDED BY THE TOWN OF FRISCO
SNOW LOAD: 80psf
LOT SIZE (SUBDIVISION SIZE) 24,500 SF = 0.562 ACRES
0.562 Acres X 16 DPA = 8.99 = 9 UNITS

BUILDING AREA FOOTPRINT: UNHEATED UNCOVERED DRIVEWAY AREA:
SNOW STORAGE AREA: DRIVEWAY 1: 240/3.5: ## SF
DRIVEWAY 2: 240/3.5: ## SF
REQUIRED: 70 X 2: ## SF
SNOW STORAGE PROVIDED: ## SF

LEGAL DESCRIPTION	
LOTS 6, 7, 8, 9, 10, 11, 12, BLOCK 3 AMENDED MAP OF FRISCO TOWNSITE SUMMIT COUNTY, COLORADO XXXX	
PROJECT DESCRIPTION	
BUILDING USE: RESIDENTIAL NO. OF RESIDENTIAL UNITS = 9 UNITS NUMBER OF WOOD BURNING FIREPLACES = 18	
BUILDING, CODE AND LOT DATA	
ADDRESS: MADISON AND GRANITE, FRISCO, CO. CONSTRUCTION TYPE: IRC REFERENCE CODE: IRC 2018, 2018 IECC AS AMENDED BY THE TOWN OF FRISCO ZONING CODE: RH	
PROJECT AND LOT DATA	
INSULATION IECC REQUIREMENTS: (PRESCRIPTIVE) FRAMED WALLS R23 CEILINGS R49 OVERHANGS R23 FOUNDATIONS R10 UNDER SLAB R10 (R20 TOTAL) FRAMED WALLS BELOW GRADE R15	
ALLOWABLE LOT COVERAGE = 55% = 13,475 SF 11,025 OPEN	
BALANCE OF LOT TO BE RESEEDDED WITH INDIGENOUS GROUND COVER, STRUCTURE, DRIVEWAYS, WALKS.	
BUILDING TO BE A MAXIMUM HEIGHT OF 35' FOR ROOF OVER ### SLOPE AND ##' FOR FLAT ROOFS - BASED ON EXISTING USGS GRADE ELEVATIONS AND FRISCO TOWN ZONING CODE.	
BUILDING MAX. HT. USGS ELEV. 35'	
(18) GAS BURNING FIREPLACES # PER UNIT EACH UNIT TO HAVE A STAND PIPE AND FDC	
PARKING REQUIREMENTS	
NUMBER OF PARKING SPACES REQUIRED:	1 PER BRM, MAX PER UNIT: 4, MIN FOR DUPLEX: 2
UNITS:	9 UNITS 23 BR = 23 SPACES / VISITING = 2 SPACE
NUMBER OF PARKING SPACES PROVIDED:	25 SPACES

NOT FOR CONSTRUCTION

MADISON 9-PLEX

MADISON AND GRANITE
FRISCO, COLORADO, 80498

PROJ. NO. PROJECT #
DATE: PROJECT ISSUE DATE

© DRUMBEAT

MADISON 9-PLEX

ISSUED FOR:
PROJECT STATUS

SHEET TITLE:
ARCHITECTURAL SITE PLAN

SCALE: As indicated
SHEET NUMBER

A-100



AREA SCHEDULE LEVEL 1		
NAME	AREA	LEVEL
U4 - DECK ABOVE	120 SF	LEVEL 1
	120 SF	
UNCOVERED DRIVE/PARKING	1004 SF	LEVEL 1
UNCOVERED DRIVE/PARKING	1237 SF	LEVEL 1
UNCOVERED DRIVE/PARKING	1257 SF	LEVEL 1
UNCOVERED DRIVE/PARKING	384 SF	LEVEL 1
	3881 SF	
UNIT 9 LIVING	Not Enclosed	LEVEL 1
	0 SF	
OPEN SPACE	10895 SF	LEVEL 1
OPEN SPACE	267 SF	LEVEL 1
OPEN SPACE	113 SF	LEVEL 1
OPEN SPACE	20 SF	LEVEL 1
	11295 SF	
U1 - LIVING	363 SF	LEVEL 1

AREA SCHEDULE LEVEL 1		
NAME	AREA	LEVEL
U1 - DECK ABOVE	319 SF	LEVEL 1
	681 SF	
U1 - GARAGE	427 SF	LEVEL 1
	427 SF	
U2 - LIVING	429 SF	LEVEL 1
U2 - DECK ABOVE	82 SF	LEVEL 1
	511 SF	
U2 - GARAGE	413 SF	LEVEL 1
	413 SF	
U3 - LIVING	402 SF	LEVEL 1
U3 - DECK ABOVE	172 SF	LEVEL 1
	574 SF	
U3 - GARAGE	462 SF	LEVEL 1
	462 SF	
U4 - LIVING	426 SF	LEVEL 1
U4 - DECK ABOVE	221 SF	LEVEL 1
	647 SF	
U4 - GARAGE	450 SF	LEVEL 1
	450 SF	

AREA SCHEDULE LEVEL 1		
NAME	AREA	LEVEL
U5 - LIVING	389 SF	LEVEL 1
U5 - DECK ABOVE	152 SF	LEVEL 1
	541 SF	
U5 - GARAGE	409 SF	LEVEL 1
	409 SF	
U6 - LIVING	368 SF	LEVEL 1
U6 - DECK ABOVE	444 SF	LEVEL 1
	813 SF	
U6 - GARAGE	562 SF	LEVEL 1
	562 SF	
U7 - LIVING	173 SF	LEVEL 1
U7 - DECK ABOVE	106 SF	LEVEL 1
	280 SF	
U7 - GARAGE	514 SF	LEVEL 1
	514 SF	
U8 - LIVING	418 SF	LEVEL 1
U8 - DECK ABOVE	205 SF	LEVEL 1
	623 SF	
U8 - GARAGE	456 SF	LEVEL 1
	456 SF	
U9 - LIVING	840 SF	LEVEL 1
	840 SF	
	24499 SF	

DIMENSION ON FIGURE 3-1	Applicability (District or Development Type)	Central Core District		Residential Districts		
		Height ≤ 28' [a]	Height > 28' [a]	RS/RL	RM/RH, Height ≤ 28'	RM/RH, Height > 28'
STREET / FRONT PROPERTY LINE						
A	Feet inside property line	0 ft.				20 ft.
B	Starting height above grade	24 ft.				20 ft.
C	Extend at angle				45°	
SIDE PROPERTY LINE						
A	Feet inside property line	0 ft.		15 ft.		10 ft.
B	Starting height above grade	24 ft.	20 ft.	25 ft.		20 ft.
C	Extend at angle				45°	
REAR PROPERTY LINE						
A	Feet inside property line	--				10 ft.
B	Starting height above grade	--				25 ft.
C	Extend at angle	--				45°
MAXIMUM HEIGHT						
D	Maximum height	28 ft.	35 ft. flat 40 ft. pitched	30 ft.	28 ft.	35 ft.
[1] Side Property Line Bulk Plane does not apply to properties located between Main Street and the Galena Street Alley. [2] Applies to Mixed Use District properties fronting on Summit Boulevard. [3] Applies to properties within 100 feet of Main Street right-of-way, east of Summit Boulevard. [4] Applies to properties fronting on Main Street, west of Madison Avenue.						

180-3.16 Summary Tables of Dimensional Standards

180-3.16.1. DIMENSIONAL TABLE: RESIDENTIAL

	RS	RN	RL	RM	RH
PROJECT STANDARDS					
Maximum density	4 du/ac		8 du/ac	12 du/ac	16 du/ac
Maximum Floor Area Ratio (FAR)		0.6			
LOT STANDARDS					
Minimum lot area	10,500 sf		10,500 sf	10,500 sf	10,500 sf
Minimum lot area single-household		3,000 sf			
Maximum lot area single-household		7,000 sf			
Minimum lot area per duplex		4,000 sf			
Maximum lot area per duplex		6,000 sf			
Cabin housing minimum lot area		8,000 sf			
Minimum lot frontage	60 ft.	40 ft.	50 ft.	60 ft.	60 ft.
Maximum lot coverage		70%	50%	50%	55%
Minimum open space		30%			
SETBACKS					
Front yard setback (minimum)	20 ft.	10 ft.	20 ft.	20 ft.	20 ft.
Side yard setback (minimum)	15 ft.		15 ft.	10 ft.	10 ft.
Side yard setback lot size 2,000-4,000 SF		5 ft.			
Side yard setback lot size 4,001-7,000 SF		5 ft.			
Total of both side yards, lot size 2,000-4,000 SF		10 ft.			
Total of both side yards, lot size 4,001-7,000 SF		10 ft. (1)			
Rear yard setback (minimum)	10 ft.	10 ft.	10 ft.	10 ft.	10 ft.
Rear yard setback for accessory building, detached garages and/or carriage house (minimum)		5 ft.			
BUILDING STANDARDS					
Maximum building height	30 ft.	30 ft.	30 ft.	35 ft.	35 ft.
See Section 380-3-17 for additional standards and exceptions.					
Notes:					
(1) The minimum total of both side yards for lot sizes 4,001-7,000 sf is ten feet plus one foot for each additional 300 feet of lot area over 4,000 sf.					

180-3.7 Residential High Density (RH) District

180-3.7.1. PURPOSE

To allow for high density residential development that is in close proximity to commercial activity, and to provide for a broad mix in the housing type and cost for all residents.

180-3.7.2. DISTRICT STANDARDS

A. Dimensions

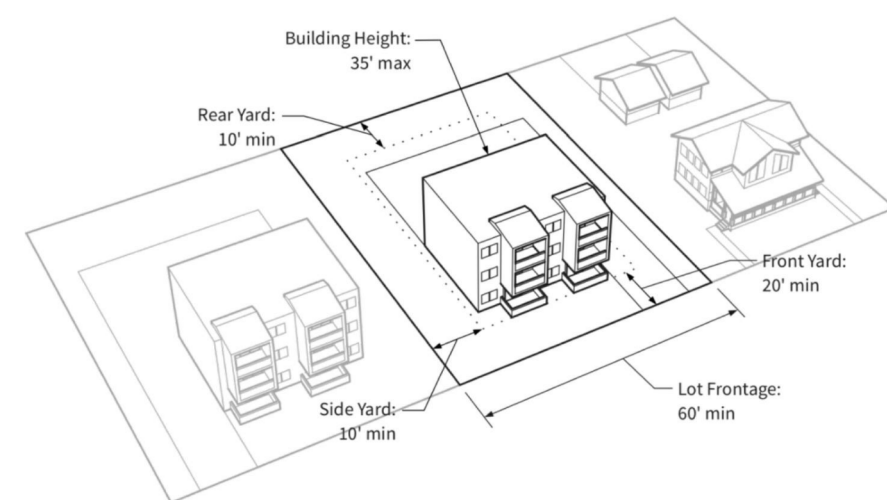
See Figure 3-E and Sections 180-3.16 and 180-3.17.

B. Development Standards

1. All residential development is subject to the Residential Development Standards in Section 180-6.22.
2. All non-residential development is subject to the Non-Residential Development Standards in Section 180-6.21.

	PROJECT STANDARDS
Maximum density	16 du/acre
	LOT STANDARDS
Minimum lot area	10,500 SF
Minimum lot frontage	60 ft.
Maximum lot coverage	55%
	SETBACKS
Minimum front yard setback	20 ft.
Minimum side yard setback	10 ft.
Minimum rear yard setback	10 ft.
	BUILDING STANDARDS
Maximum building height	35 ft.

Figure 3-E: Illustration of RH District Dimensional Standards



ADDRESS: MADISON AND GRANITE, FRISCO, CO.
OWNER: XXX
ZONING: RH
CONSTRUCTION TYPE: IRC
OCCUPANCY: R3
REFERENCE CODE: IRC 2018, 2018 IECC AS AMENDED BY THE TOWN OF FRISCO
SNOW LOAD: 80psf
LOT SIZE (SUBDIVISION SIZE) 24,500 SF = 0.562 ACRES
0.562 Acres X 16 DPA = 8.99 = 9 UNITS

BUILDING AREA FOOTPRINT:
UNHEATED UNCOVERED DRIVEWAY AREA:
SNOW STORAGE AREA:

	DRIVEWAY 1: 240'x35':	## SF
	DRIVEWAY 2: 240'x35':	## SF
	REQUIRED: 70' X 2':	## SF
	SNOW STORAGE PROVIDED:	## SF

LEGAL DESCRIPTION	
LOTS 6, 7, 8, 9, 10, 11, 12, BLOCK 3 AMENDED MAP OF FRISCO TOWNSITE SUMMIT COUNTY, COLORADO XXXX	
PROJECT DESCRIPTION	
BUILDING USE: RESIDENTIAL NO. OF RESIDENTIAL UNITS = 9 UNITS NUMBER OF WOOD BURNING FIREPLACES = 18	
BUILDING, CODE AND LOT DATA	
ADDRESS: MADISON AND GRANITE, FRISCO, CO.	
CONSTRUCTION TYPE: IRC	
REFERENCE CODE: IRC 2018, 2018 IECC AS AMENDED BY THE TOWN OF FRISCO	
ZONING CODE: RH	
PROJECT AND LOT DATA	
INSULATION IECC REQUIREMENTS: (PRESCRIPTIVE)	
FRAMED WALLS	R23
CEILINGS	R49
OVERHANGS	R23
FOUNDATIONS	R10 UNDER SLAB R10 (R20 TOTAL)
FRAMED WALLS BELOW GRADE	R15
ALLOWABLE LOT COVERAGE = 55% = 13,475 SF 11,025 OPEN	
BALANCE OF LOT TO BE RESEEDDED WITH INDIGENOUS GROUND COVER, STRUCTURE, DRIVEWAYS, WALKS.	
BUILDING TO BE A MAXIMUM HEIGHT OF 35' FOR ROOF OVER ### SLOPE AND ##' FOR FLAT ROOFS - BASED ON EXISTING USGS GRADE ELEVATIONS AND FRISCO TOWN ZONING CODE.	
BUILDING MAX. HT. USGS ELEV. 35'	
(18) GAS BURNING FIREPLACES # PER UNIT EACH UNIT TO HAVE A STAND PIPE AND FDC	
PARKING REQUIREMENTS	
NUMBER OF PARKING SPACES REQUIRED:	1 PER BRM, MAX PER UNIT: 4, MIN FOR DUPLEX: 2
UNITS: 9 UNITS 23 BR = 23 SPACES / VISITING = 2 SPACE	
NUMBER OF PARKING SPACES PROVIDED:	25 SPACES



NOT FOR CONSTRUCTION

MADISON 9-PLEX

MADISON AND GRANITE
FRISCO, COLORADO, 80498

PROJ. NO. PROJECT #
DATE: PROJECT ISSUE
DATE

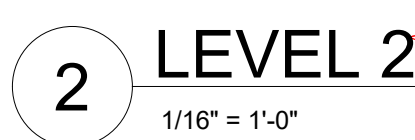
MADISON 9-PLEX

ISSUED FOR:
PROJECT STATUS

SHEET TITLE:
ARCHITECTURAL S
PLAN

SCALE: As indicated
SHEET NUMBER

A-100



TOTAL = 16,70

Area Schedule (Gross Building)				
Name	Area	Level	Comments	
L ABOVE	405.5F	LEVEL 1	DRIVEWAY	
L ABOVE	405.5F	LEVEL 1	DRIVEWAY	
L ABOVE	375.5F	LEVEL 1	DRIVEWAY	
L ABOVE	361.5F	LEVEL 1	DRIVEWAY	
L ABOVE	361.5F	LEVEL 1	DRIVEWAY	
L ABOVE	481.5F	LEVEL 1	DRIVEWAY	
L ABOVE	315.5F	LEVEL 1	DRIVEWAY	
DRIVEWAY	3602.5F	LEVEL 1	DRIVEWAY	
DRIVEWAY	409.5F	LEVEL 1	DRIVEWAY	
OPEN SPACE	19742.5F	LEVEL 1	OPEN	
OPEN SPACE	263.5F	LEVEL 1	OPEN	
OPEN	11650.5F	LEVEL 1		
U1-GAR	399.5F	LEVEL 1	U1- GAR	
U1- GAR	399.5F	LEVEL 1	U1- GAR	
U1- GAR	179.5F	LEVEL 2	U1-U	
U1-DECK	109.5F	LEVEL 3	U1-U	
U1-D	207.5F	LEVEL 3	U1-U	
U2-GAR	292.5F	LEVEL 1	U2- GAR	
U2- GAR	292.5F	LEVEL 1	U2- GAR	
U2-DECK	113.5F	LEVEL 2	U2-D	
U2-DECK	131.5F	LEVEL 3	U2-D	
U2-D	265.5F	LEVEL 3	U2-D	
U3-GAR	416.5F	LEVEL 1	U3- GAR	
U3- GAR	416.5F	LEVEL 1	U3- GAR	
U3-DECK	105.5F	LEVEL 2	U3-U	
U3-DECK	77.5F	LEVEL 3	U3-U	
U3-D	235.5F	LEVEL 3	U3-U	
U4-GAR	660.5F	LEVEL 1	U4- GAR	
U4- GAR	660.5F	LEVEL 1	U4- GAR	
U4-DECK	104.5F	LEVEL 2	U4-D	
U4-DECK	104.5F	LEVEL 3	U4-D	
U4-D	208.5F	LEVEL 3	U4-D	
U4-GAR	451.5F	LEVEL 1	U5- GAR	
U5- GAR	451.5F	LEVEL 1	U5- GAR	
U5-DECK	143.5F	LEVEL 2	U5-D	
U5-DECK	204.5F	LEVEL 2	U5-D	
U5-D	349.5F	LEVEL 1	U5-D	
U6-GAR	416.5F	LEVEL 1	U6- GAR	
U6- GAR	416.5F	LEVEL 1	U6- GAR	
U6-DECK	122.5F	LEVEL 3	U6-D	
U6-DECK	115.5F	LEVEL 3	U6-D	
U6-D	238.5F	LEVEL 1	U6-D	
U7-GAR	420.5F	LEVEL 1	U7- GAR	
U7- GAR	420.5F	LEVEL 1	U7- GAR	
U7-DECK	161.5F	LEVEL 3	U7-D	
U7-DECK	202.5F	LEVEL 3	U7-D	
U7-D	362.5F	LEVEL 1	U7-D	
U8-GAR	399.5F	LEVEL 1	U8- GAR	
U8- GAR	399.5F	LEVEL 1	U8- GAR	
U8-DECK	124.5F	LEVEL 3	U8-D	
U8-DECK	116.5F	LEVEL 3	U8-D	
U8-D	254.5F	LEVEL 1	U8-D	

NOT FOR CONSTRUCTION

MADISON 9-PLEX

MADISON AND GRANITE
FRISCO, COLORADO, 80498

PROJ. NO. PROJECT #
DATE: 1/21/23

© DRUMBEAT

MADISON 9-PLEX

ISSUED FOR:
PROJECT STATUS

SHEET TITLE:
SF ANALYSIS

SCALE: As indicated
SHEET NUMBER

A-000

Drumbeat

650 S 500 W, SUITE 123
Salt Lake City, UT 84101
www.drumbeat.us