

101 WEST MAIN STREET



ALLEN-GUERRA ARCHITECTURE
711 B GRANITE STREET
PO BOX 5540
FRISCO, COLORADO 80443
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101 WEST MAIN STREET
LOT B-1, AMENDED WEST FRISCO 70, FILING #2
TOWN OF FRISCO, COLORADO
COVER SHEET

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PROJECT CODE STUDY

JURISDICTION
ZONE DISTRICT
ALLOWABLE DENSITY
MAXIMUM LOT COVERAGE
FRONT YARD SETBACK
SIDE YARD SETBACK
REAR YARD SETBACK
MAXIMUM BUILDING HEIGHT
CONSTRUCTION TYPE
FIRE SPRINKLER

TOWN OF FRISCO
101 W MAIN HOUSING PUD
45 UNITS MINIMUM
80% MAX
5'
10'
49'-6"
V
YES

LOCATION MAP



PROJECT DIRECTORY

OWNER NHP FOUNDATION 122 EAST 42 STREET, SUITE 4900 NEW YORK, NEW YORK . 10168 T: 832.280.7554	GENERAL CONTRACTOR TBD
ARCHITECT ALLEN-GUERRA ARCHITECTURE 711 B GRANITE ST PO BOX 5540 FRISCO, COLORADO . 80443 T: 970.453.7002	CIVIL ENGINEER ALPINE ENGINEERING, INC 34510 HWY 6 / UNIT A9 / PO BOX 97 EDWARDS, COLORADO . 81632 T: 970.926.3373
LANDSCAPE ARCHITECT NORRIS DESIGN 409 EAST MAIN STREET PO BOX 2320 FRISCO, COLORADO . 80443 T: 970.368.7068	GEOTECHNICAL ENGINEER KUMAR & ASSOCIATES, INC. 240 ANNIE ROAD PO DRAWER 1887 SILVERTHORNE, COLORADO . 80498 T: 970.468.1989
SURVEYOR RANGE WEST ENGINEERS & SURVEYORS, INC PO BOX 589 SILVERTHORNE, COLORADO . 80498 T: 970.468.6261	

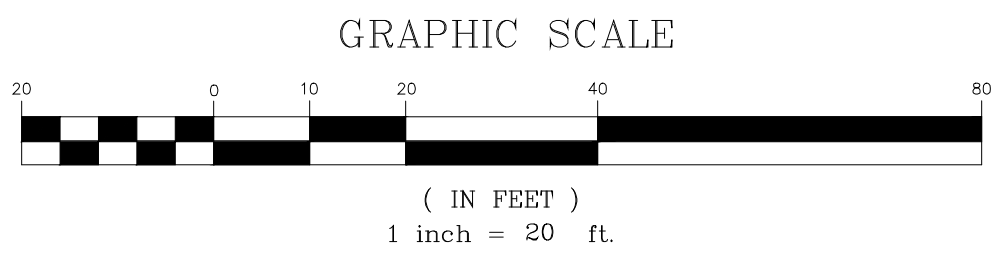
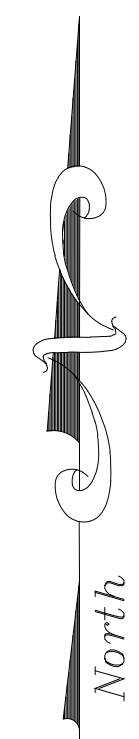
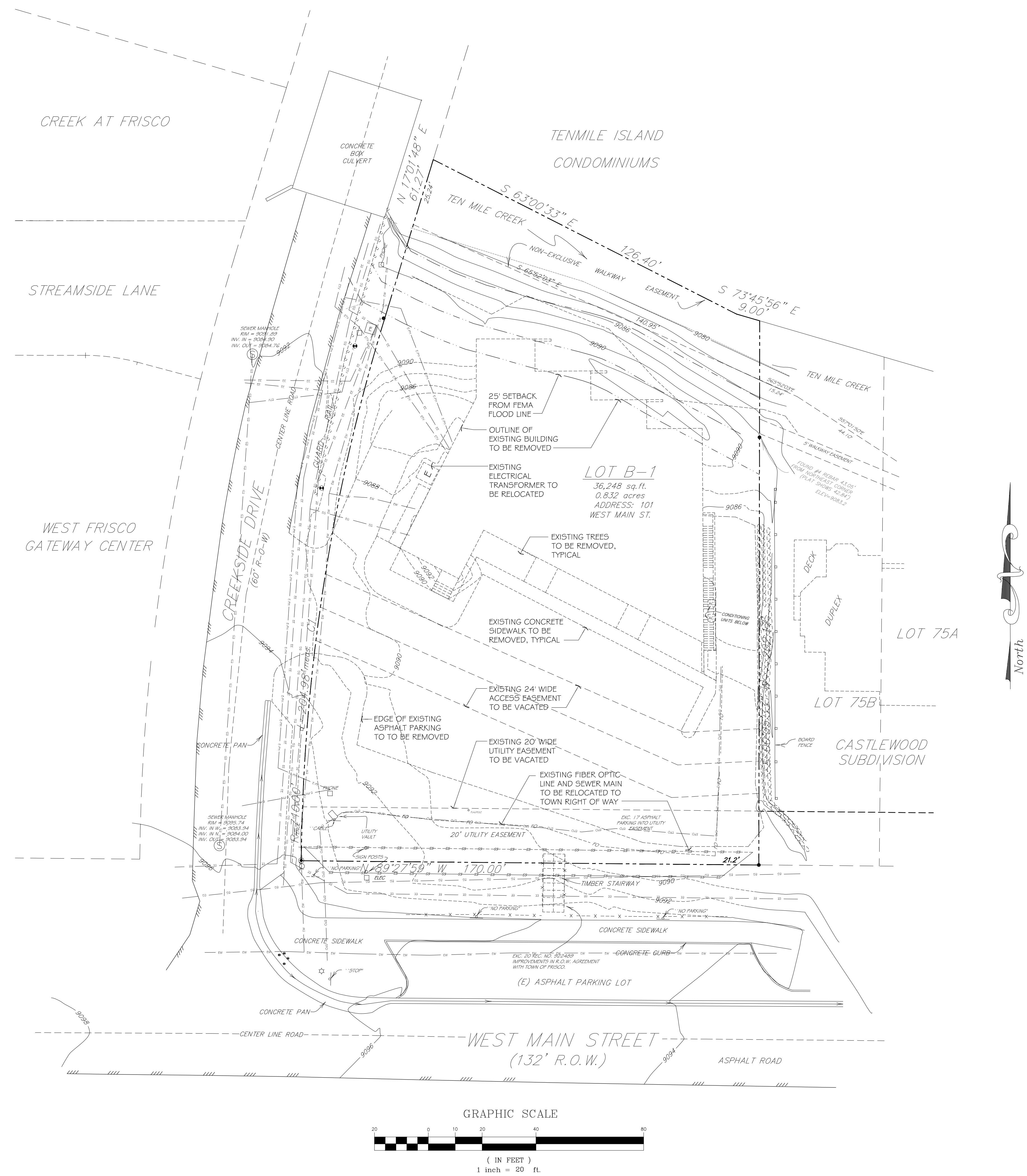
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ISSUE:	DATE:
DRC	7 DEC 2022
SKETCH	9 JAN 2023
SKETCH	3 MAY 2023
UPDATE	8 AUG 2023
DRC	26 OCT 2023
SKETCH	3 NOV 2023
PLANNING	12 DEC 2023

PROJECT #: 22105

INFO

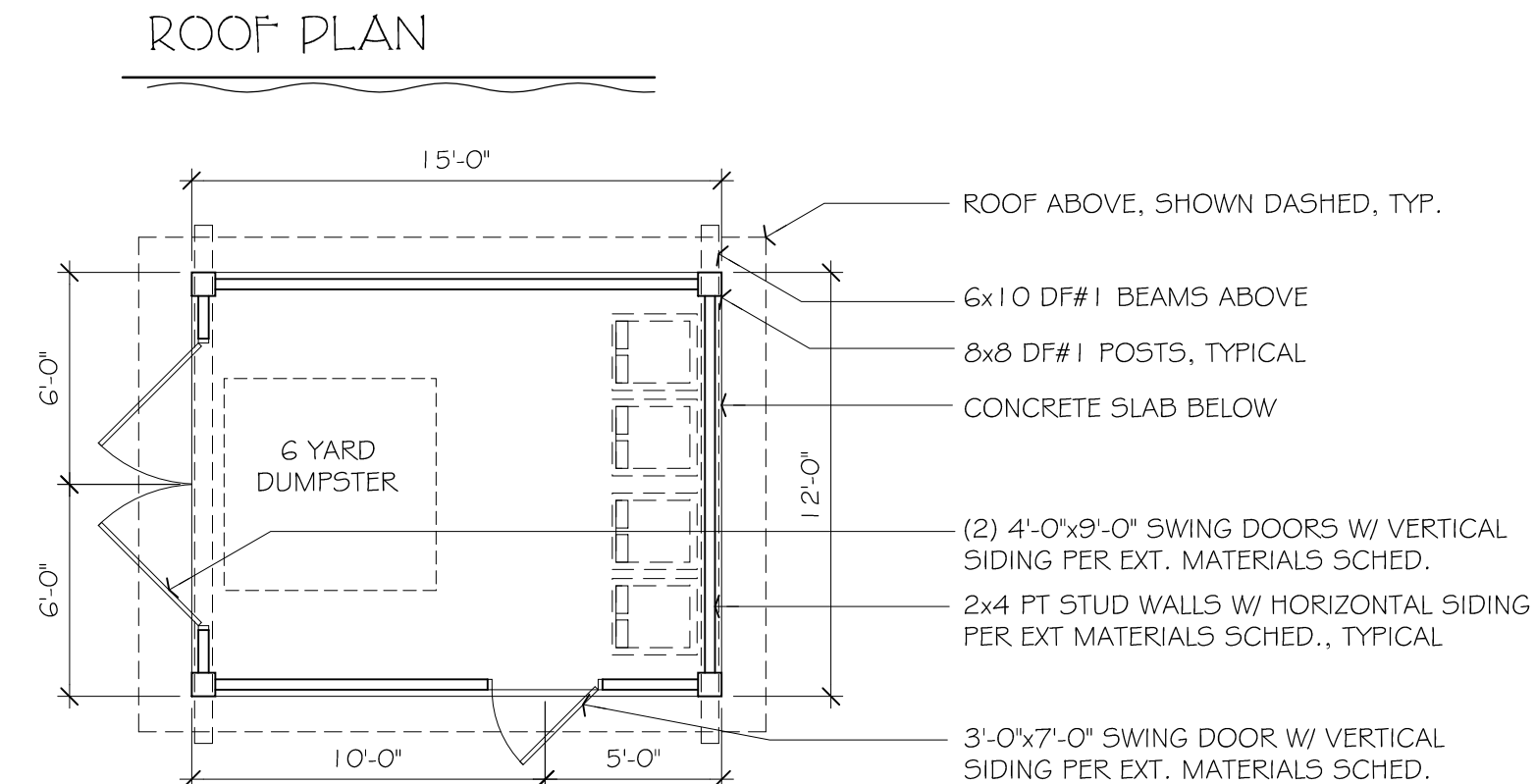
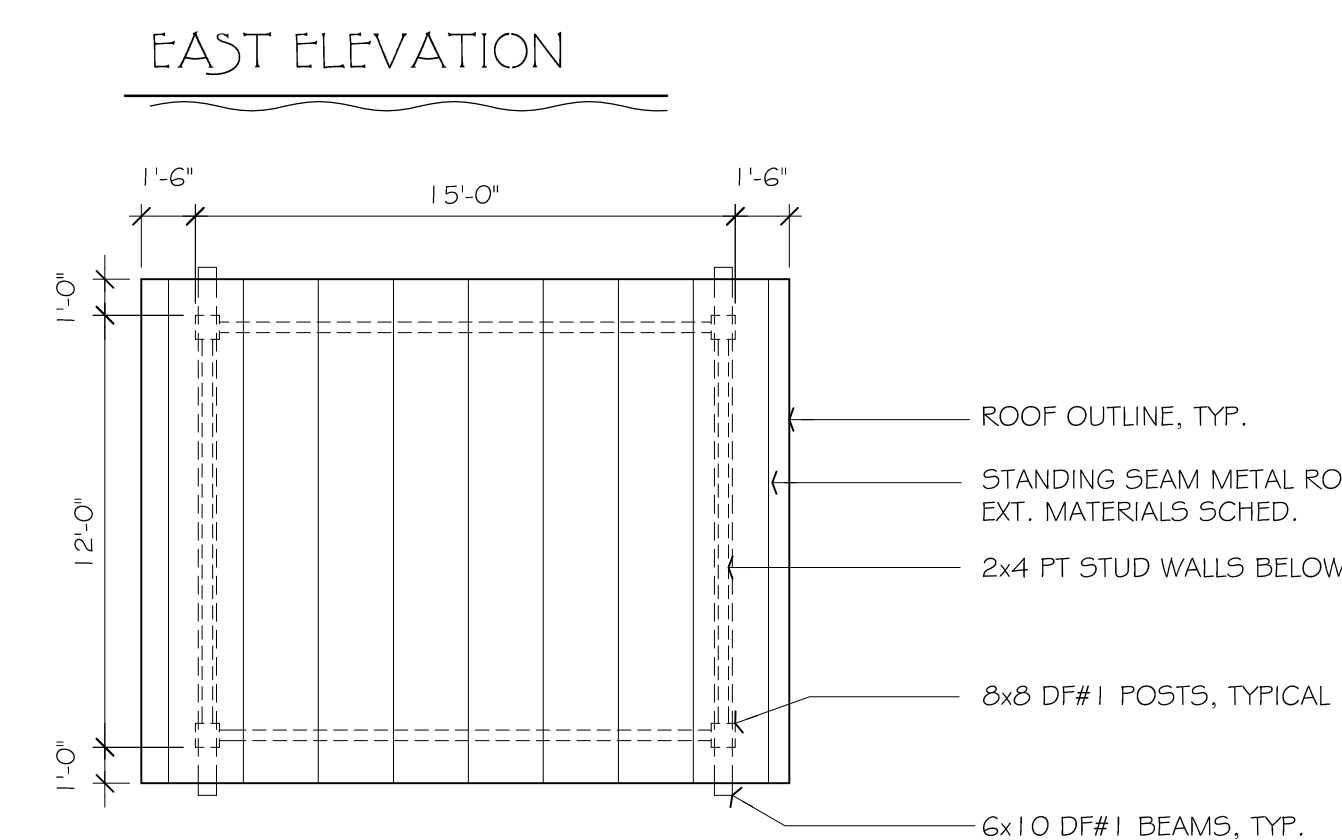
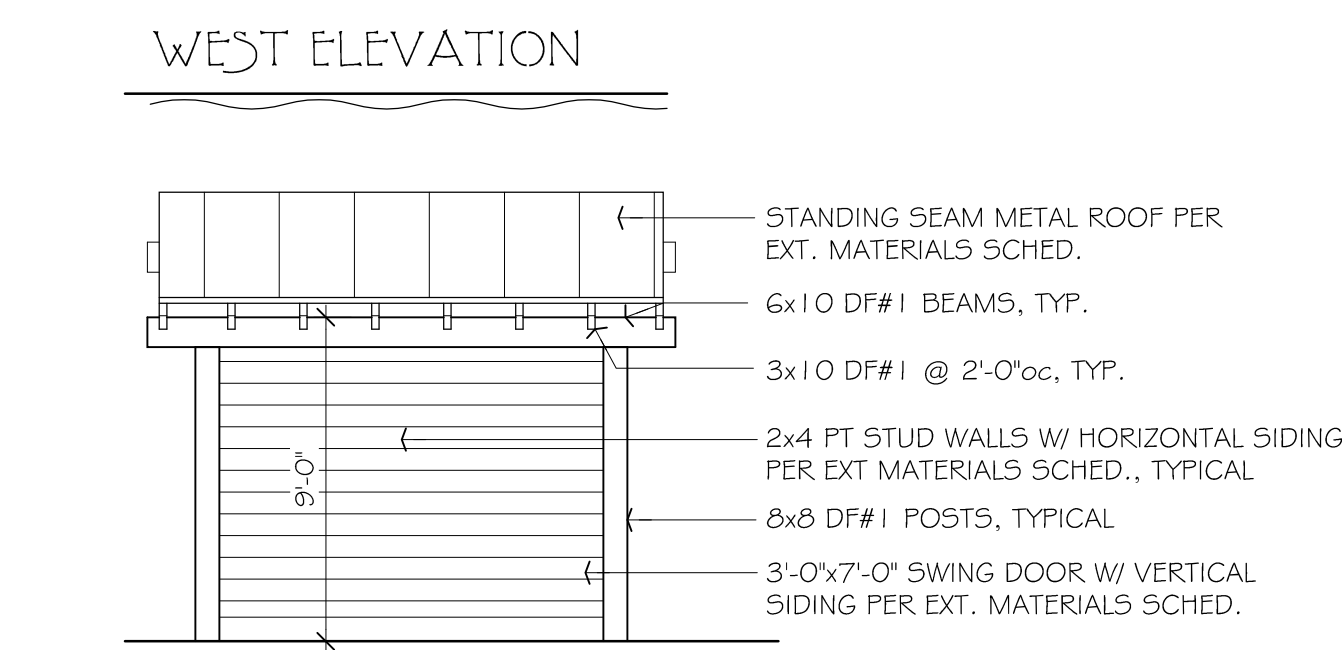
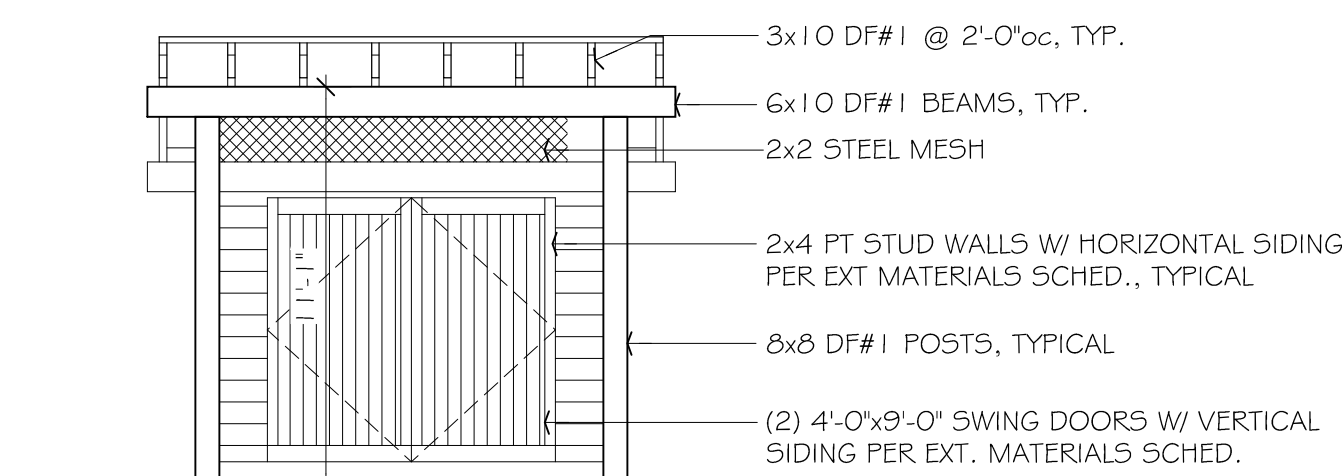
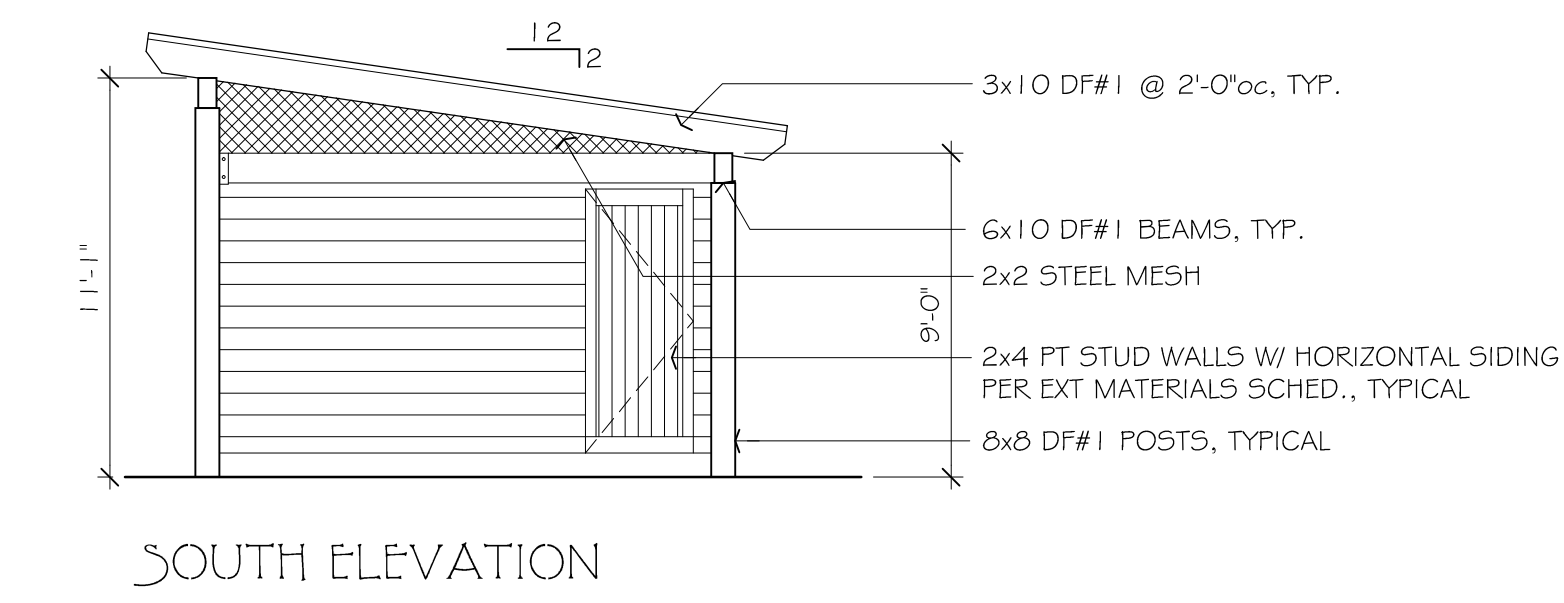
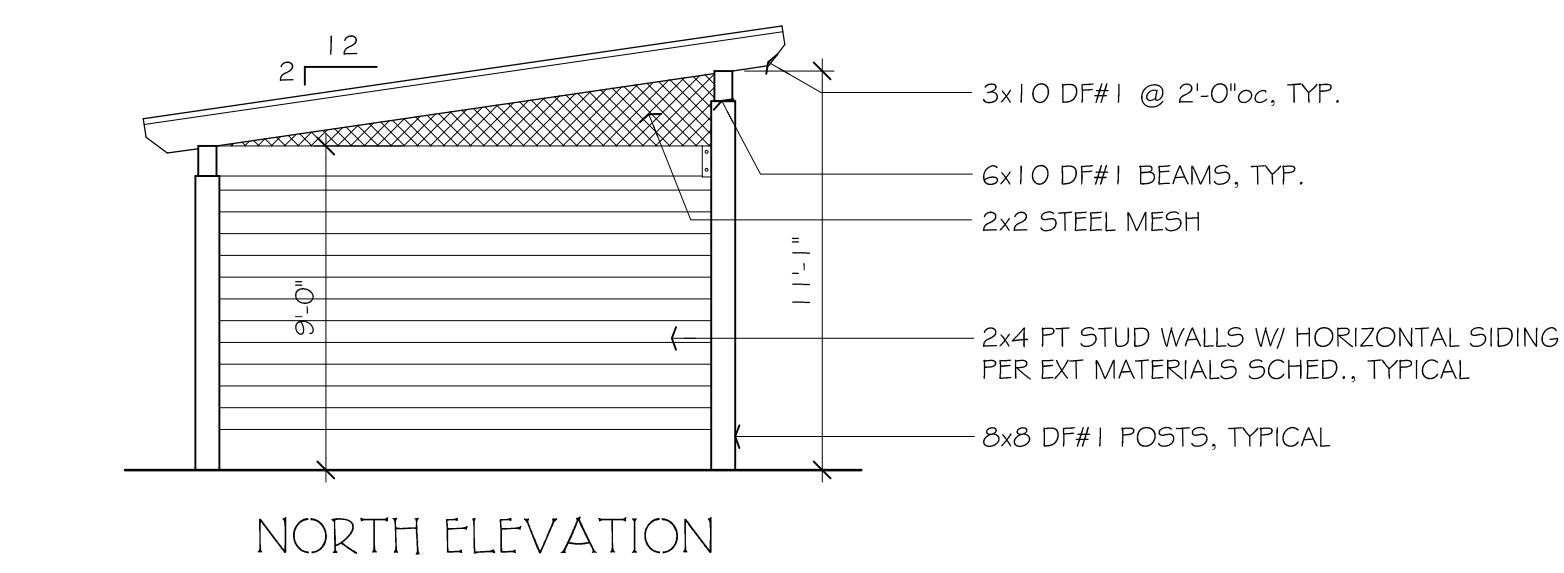


101 WEST MAIN STREET
LOT B-1, AMENDED WEST FRISCO 70, FILING #2
TOWN OF FRISCO, COLORADO
EXISTING SITE & DEMO PLAN

ISSUE:	DATE:
DRC	7 DEC 2022
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RIDGE HEIGHT CALCULATIONS

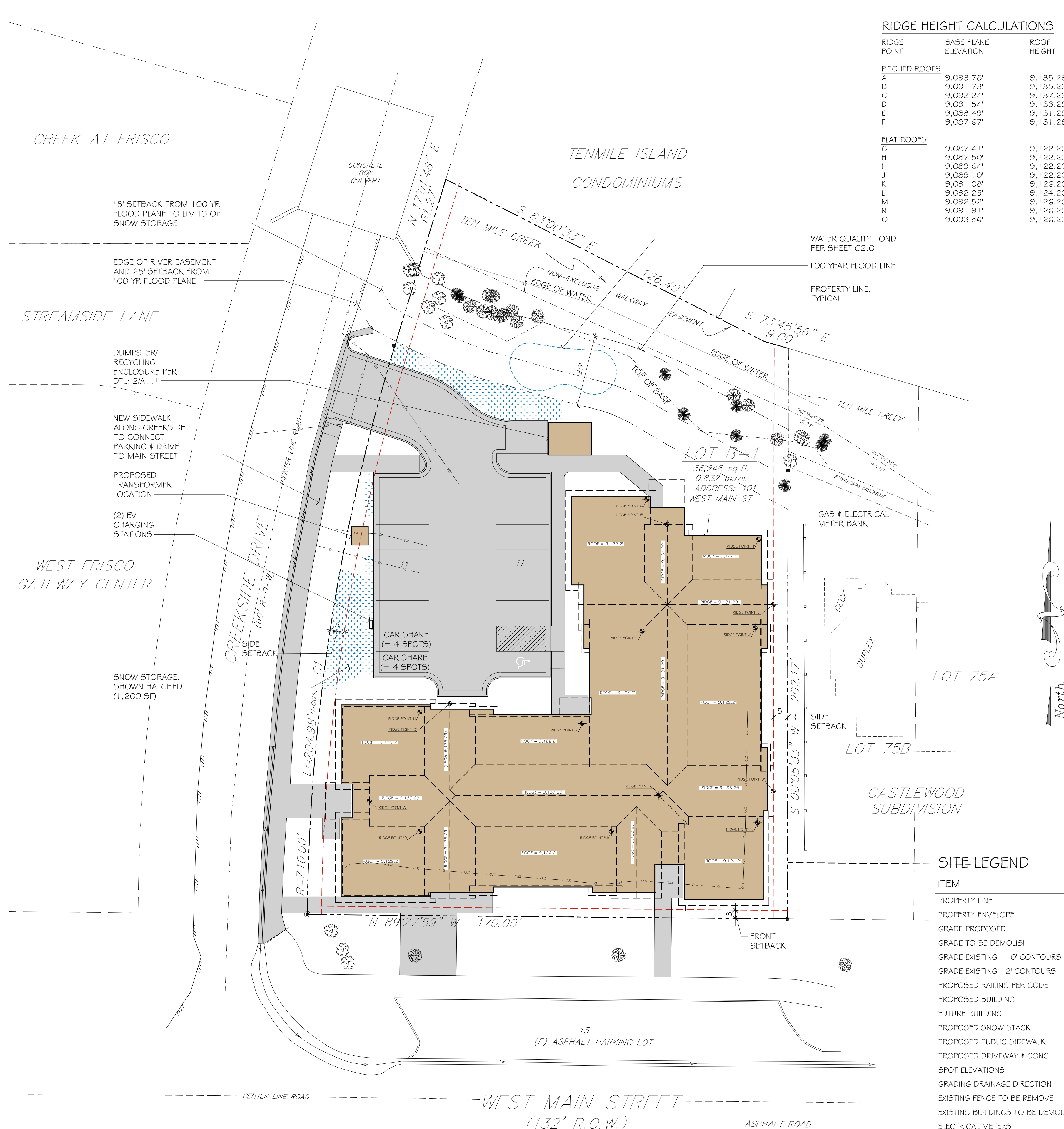
RIDGE POINT	BASE PLANE ELEVATION	ROOF HEIGHT	HEIGHT ABOVE BASE PLANE
PITCHED ROOFS			
A	9,093.78'	9,135.29'	41.51'
B	9,091.73'	9,135.29'	43.56'
C	9,092.24'	9,137.29'	45.05'
D	9,091.54'	9,133.29'	41.75'
E	9,088.49'	9,131.29'	42.80'
F	9,087.67'	9,131.29'	43.62'
FLAT ROOFS			
G	9,087.41'	9,122.20'	34.79'
H	9,087.50'	9,122.20'	34.70'
I	9,089.64'	9,122.20'	32.56'
J	9,089.10'	9,122.20'	33.10'
K	9,091.08'	9,126.20'	34.86'
L	9,092.25'	9,124.20'	31.95'
M	9,092.52'	9,126.20'	33.68'
N	9,091.91'	9,126.20'	34.29'
O	9,093.86'	9,126.20'	32.34'



FLOOR PLAN

DUMPSTER ENCLOSURE DETAILS

SCALE: 3/16" = 1'-0"



SITE LEGEND

ITEM	LINE TYPE
PROPERTY LINE	---
PROPERTY ENVELOPE	---
GRADE PROPOSED	---
GRADE TO BE DEMOLISH	---
GRADE EXISTING - 10' CONTOURS	---
GRADE EXISTING - 2' CONTOURS	---
PROPOSED RAILING PER CODE	---
PROPOSED SNOW STACK	---
PROPOSED PUBLIC SIDEWALK	---
PROPOSED DRIVEWAY & CONC	---
SPOT ELEVATIONS	+00.0'
GRADING DRAINAGE DIRECTION	---
EXISTING FENCE TO BE REMOVE	---
EXISTING BUILDINGS TO BE DEMOLISH	---
ELECTRICAL METERS	---
DOWNSPOUT LOCATIONS (VIF)	---
EXTERIOR LIGHT LOCATION (VIF)	---
WATER SERVICE LINE (RE: UTILITY PLAN)	---
TV SERVICE LINE (RE: UTILITY PLAN)	---
ELECT. SERVICE LINE (RE: UTILITY PLAN)	---
GAS SERVICE LINE (RE: UTILITY PLAN)	---
SEWER SERVICE LINE (RE: UTILITY PLAN)	---

PROPOSED SITE PLAN

SCALE: 1" = 20'-0"

101 WEST MAIN STREET LOT B-1, AMENDED WEST FRISCO 70, FILING #2 TOWN OF FRISCO, COLORADO

PROPOSED SITE PLAN

TITLE

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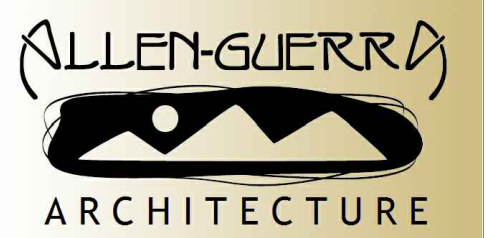
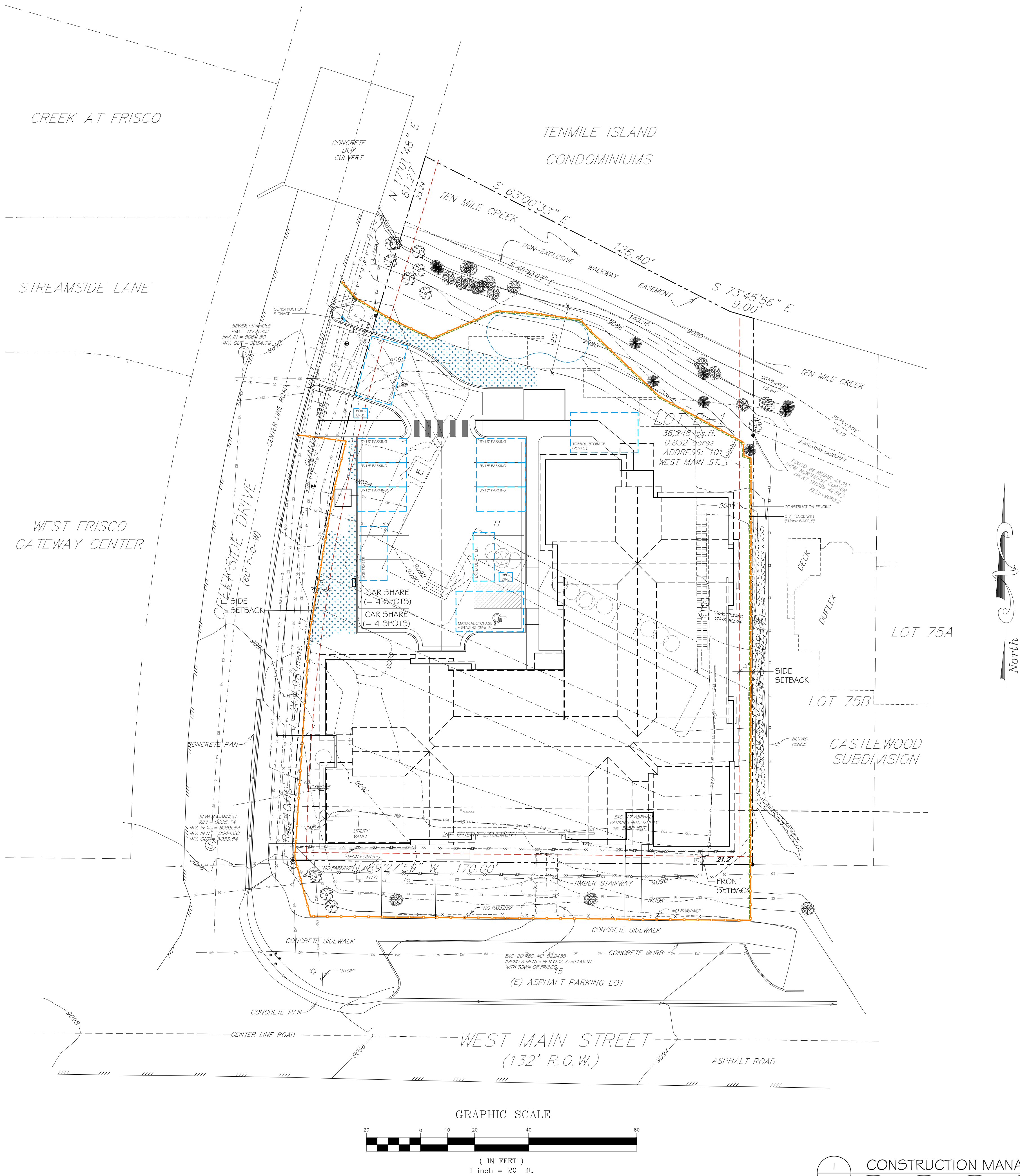
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A11

CONST. MANAGEMENT LEGEND

ITEM	LINE TYPE
PROPERTY LINE	---
PROPERTY ENVELOPE	- - - - -
CONSTRUCTION FENCE	- - - - -
SILT FENCE (AS REQUIRED)	- - - - -
CONSTRUCTION PHASE ELEMENTS	- - - - -
PROPOSED BUILDING	- - - - -
FUTURE BUILDING	- - - - -
WATER SERVICE LINE (RE: UTILITY PLAN)	- - - - -
TV SERVICE LINE (RE: UTILITY PLAN)	- - - - -
ELECT. SERVICE LINE (RE: UTILITY PLAN)	- - - - -
GAS SERVICE LINE (RE: UTILITY PLAN)	- - - - -
SEWER SERVICE LINE (RE: UTILITY PLAN)	- - - - -
EXISTING FENCE TO BE REMOVE	- - - - -
ELECTRICAL METERS (RE: UTILITY PLAN)	- - - - -



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LOT D-1, AMENDED WEST FRISCO 70, FILING #2
TOWN OF FRISCO, COLORADO

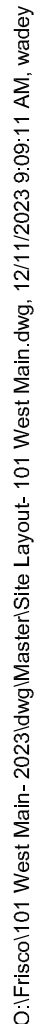
CONSTRUCTION MANAGEMENT PLAN

ISSUE:	DATE:
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SKETCH	3 MAY 2023
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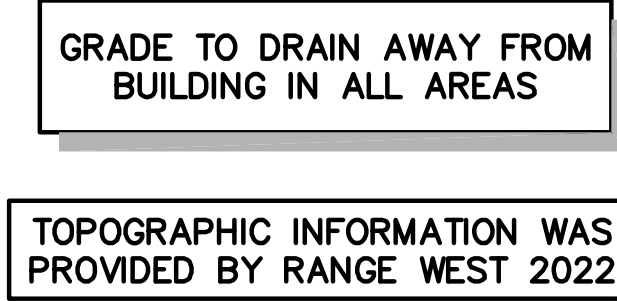
PROJECT #: 22105



TOPOGRAPHIC INFORMATION WAS
PROVIDED BY RANGE WEST 2022



DESIGNED	NO.	DATE	REVISIONS	BY
MCW		05/12/2023	PRELIMINARY PLAN	MCW
DRAWN		12/12/2023	FINAL SITE PLAN	MCW
MCW, TSL				
CHECKED				
MCW, TSL				
JOB NO.				
--				
DATE				
05/11/2023				



TOPOGRAPHIC INFORMATION WAS PROVIDED BY RANGE WEST 2022

CONTRACTOR SHALL DEVELOP A MEANS AND METHODS TO CONTROL SEDIMENT DURING CONSTRUCTION TO ASSURE THAT NO SEDIMENT IS DISCHARGED OFF-SITE.

LEGEND

- PROPERTY LINE
EXISTING CONTOUR
EASEMENT
PROPOSED CONTOUR
PROPOSED GRADING, SLOPE/SPOT
EXISTING GRADING, SLOPE/SPOT
PROPOSED STORM SEWER
PROPOSED BOULDER RETAINING
PROPOSED CONCRETE/ASPHALT



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

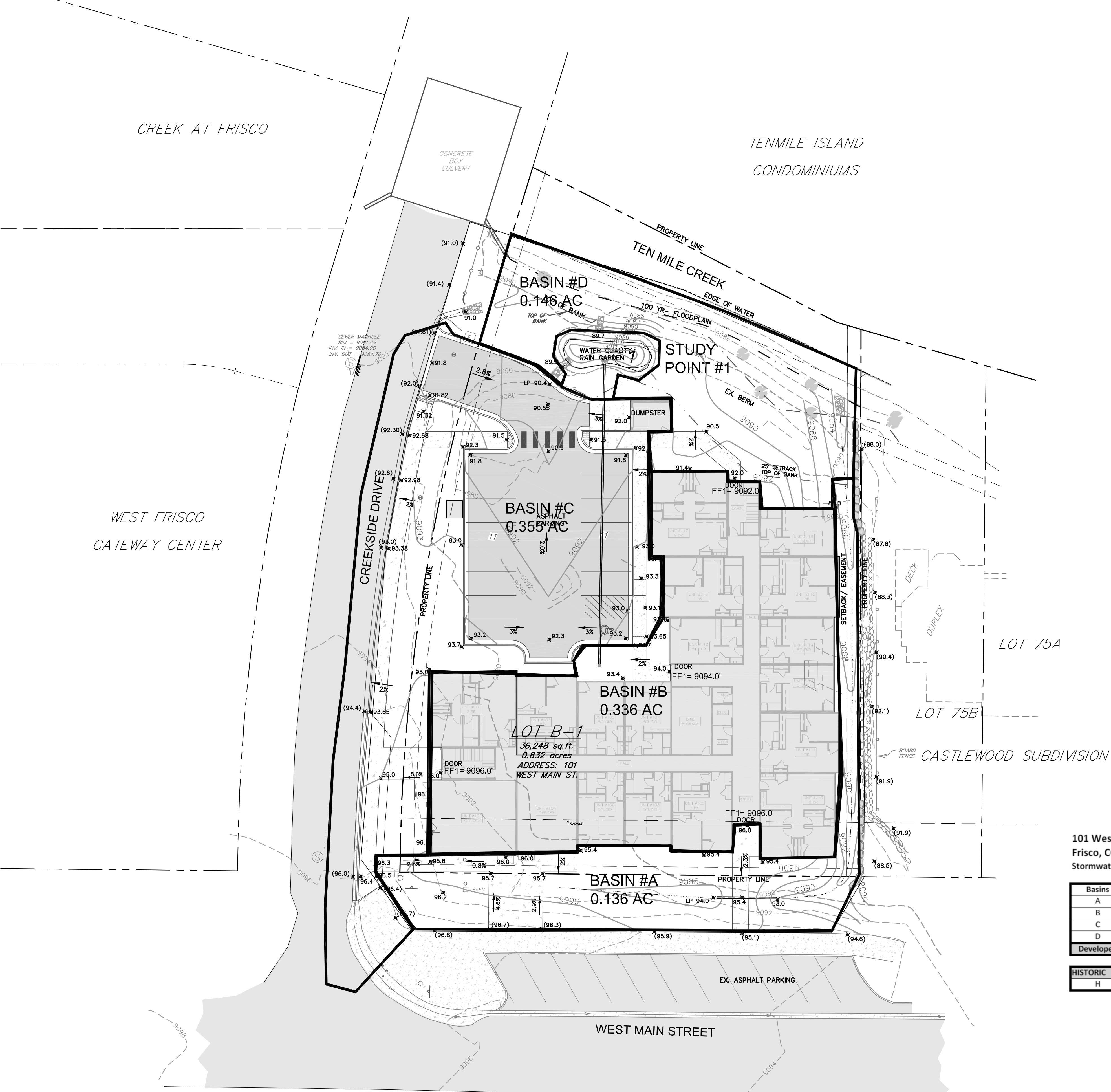


101 WEST MAIN STREET
FRISCO, CO
DRAINAGE AREA MAP

NO.	DATE	REVISIONS	BY	PRELIMINARY PLAN	
				MCW	MCW
				05/12/2023	12/12/2023

DESIGNED	MCW	
DRAWN	MCW	
CHECKED	MCW, TSL	
JOB NO.	--	
DATE	05/11/2023	

SHEET
C3.0



HISTORIC vs. DEVELOPED STORM RUNOFF

STUDY POINT	HISTORIC		DEVELOPED	
	25 YEAR (cfs)	100 YEAR (cfs)	25 YEAR (cfs)	100 YEAR (cfs)
1	1.45	2.65	2.91	4.13

Total Area = 0.945 AC (historic)
= 0.973 AC (developed)
Impervious (Roofs/Paving) = 0.642 AC
Grass open space (good) = 0.331 AC

101 West Main Street
Frisco, CO
Stormwater Runoff

Basins	Area (Acre)	Area (sqft)	Area Impervious	Area Grass	RCN	TC (hours)	Q10 (cfs)	Q25 (cfs)	Q100 (cfs)
A	0.136	5,924	0.026	0.11	68	0.10	0.00	0.00	0.11
B	0.336	14,636	0.328	0.008	97	0.10	0.73	0.91	1.24
C	0.355	15,464	0.282	0.073	91	0.10	0.54	0.72	1.08
D	0.146	6,360	0.006	0.14	63	0.10	0.00	0.00	0.07
Developed	0.97						1.27	1.63	2.50

HISTORIC									
H	0.945	41,164	0	0.945	69	0.185	0.10	0.28	0.74

TABLE 1

101 West Mains St, Frisco

DETENTION POND - DETENTION STORAGE VOLUME

POND

Elevation	Area (ft ²)	Avg. Area (ft ²)	Depth (ft)	Volume (ft ³)	Cumulative Volume (ft ³)	Cumulative Volume (Ac-ft)	Cumulative Volume (Gallons)
9087	56	56	0	0	0	0.000	0
9088	199	128	1	128	128	0.003	954
9089	353	276	1	276	404	0.009	3,018
9089.7	518	436	0.7	305	708	0.016	5,298

TOTAL PROVIDED 708 cuft

TOTAL REQUIRED 488 cuft



Hydrologic Soil Group—Summit County Area, Colorado

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
7C	Grenadier gravelly loam, 0 to 5 percent slopes	B	0.9	100.0%
Totals for Area of Interest			0.9	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified



NOAA Atlas 14, Volume 8, Version 2
Location name: Frisco, Colorado, USA*
Latitude: 39.5752° Longitude: -106.1024°
Elevation: 9076 ft**
* source: ESRIMaps
** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Thyspauk, Dale Unruh, Michael Yekta, Geoffrey Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

PF tabular | PF graphical | Maps & aerials

PF tabular

Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.134 (0.105-0.174)	0.175 (0.137-0.225)	0.246 (0.191-0.321)	0.308 (0.239-0.404)	0.398 (0.299-0.551)	0.471 (0.345-0.662)	0.548 (0.389-0.793)	0.630 (0.427-0.941)	0.743 (0.484-1.15)	0.832 (0.527-1.30)
10-min	0.186 (0.133-0.255)	0.256 (0.202-0.333)	0.360 (0.282-0.470)	0.450 (0.349-0.592)	0.583 (0.435-0.790)	0.690 (0.509-0.959)	0.803 (0.589-1.15)	0.922 (0.625-1.38)	1.08 (0.708-1.68)	1.22 (0.771-1.91)
15-min	0.239 (0.167-0.311)	0.312 (0.244-0.407)	0.439 (0.342-0.573)	0.549 (0.426-0.722)	0.710 (0.535-0.964)	0.842 (0.617-1.18)	0.979 (0.693-1.42)	1.12 (0.762-1.68)	1.33 (0.864-2.05)	1.49 (0.941-2.32)
30-min	0.328 (0.267-0.427)	0.412 (0.323-0.537)	0.562 (0.438-0.734)	0.698 (0.541-0.917)	0.903 (0.683-1.25)	1.08 (0.791-1.62)	1.26 (0.894-1.83)	1.46 (0.992-2.19)	1.74 (1.14-2.70)	1.97 (1.25-3.08)
60-min	0.422 (0.331-0.545)	0.505 (0.395-0.655)	0.658 (0.513-0.860)	0.802 (0.622-1.05)	1.02 (0.776-1.43)	1.22 (0.897-1.72)	1.42 (1.01-2.08)	1.65 (1.12-2.45)	1.98 (1.30-3.07)	2.25 (1.42-3.52)
2-hr	0.516 (0.409-0.654)	0.598 (0.473-0.770)	0.755 (0.595-0.975)	0.906 (0.710-1.18)	1.15 (0.882-1.59)	1.36 (1.01-1.90)	1.59 (1.14-2.29)	1.84 (1.27-2.75)	2.22 (1.47-3.42)	2.53 (1.62-3.92)
3-hr	0.584 (0.465-0.745)	0.659 (0.524-0.843)	0.806 (0.639-1.04)	0.952 (0.751-1.23)	1.19 (0.921-1.64)	1.40 (1.05-1.95)	1.63 (1.18-2.34)	1.89 (1.31-2.80)	2.27 (1.51-3.45)	2.58 (1.66-3.97)
6-hr	0.709 (0.571-0.896)	0.799 (0.643-1.01)	0.968 (0.776-1.23)	1.13 (0.901-1.44)	1.39 (1.08-1.88)	1.61 (1.22-2.21)	1.85 (1.36-2.62)	2.12 (1.49-3.11)	2.52 (1.69-3.80)	2.84 (1.85-4.33)
12-hr	0.870 (0.708-1.09)	0.999 (0.813-1.25)	1.23 (1.00-1.55)	1.45 (1.17-1.83)	1.78 (1.40-2.38)	2.06 (1.58-2.79)	2.36 (1.74-3.30)	2.70 (1.90-3.85)	3.17 (2.15-4.72)	3.55 (2.33-5.35)
24-hr	1.08 (0.889-1.33)	1.24 (1.02-1.54)	1.54 (1.26-1.91)	1.81 (1.48-2.26)	2.22 (1.77-2.93)	2.57 (1.99-3.44)	2.94 (2.20-4.05)	3.35 (2.39-4.77)	3.93 (2.69-5.75)	4.40 (2.92-6.55)
2-day	1.34 (1.11-1.63)	1.53 (1.26-1.86)	1.85 (1.54-2.27)	2.15 (1.79-2.66)	2.63 (2.11-3.42)	3.02 (2.37-4.00)	3.45 (2.60-4.71)	3.92 (2.83-5.53)	4.59 (3.18-6.69)	5.14 (3.44-7.56)
3-day	1.50 (1.26-1.82)	1.72 (1.44-2.08)	2.09 (1.75-2.55)	2.44 (2.02-2.98)	2.95 (2.39-3.82)	3.39 (2.67-4.45)	3.86 (2.93-5.21)	4.36 (3.17-6.10)	5.08 (3.54-7.34)	5.66 (3.82-8.28)
4-day	1.64 (1.38-1.98)	1.88 (1.58-2.26)	2.29 (1.92-2.77)	2.66 (2.22-3.24)	3.21 (2.60-4.12)	3.67 (2.90-4.78)	4.16 (3.26-5.59)	4.69 (3.42-6.51)	5.43 (3.80-7.80)	6.02 (4.09-8.78)
7-day	2.02 (1.72-2.41)	2.27 (1.93-2.72)	2.72 (2.30-3.26)	3.12 (2.62-3.76)	3.71 (3.03-4.70)	4.20 (3.34-5.40)	4.71 (3.62-6.25)	5.26 (3.87-7.23)	6.04 (4.26-8.55)	6.65 (4.55-9.61)
10-day	2.34 (2.00-2.77)	2.61 (2.23-3.10)	3.09 (2.63-3.68)	3.51 (2.94-4.20)	4.13 (3.39-5.18)	4.64 (3.72-5.93)	5.18 (4.00-6.83)	5.75 (4.25-7.85)	6.59 (4.65-9.03)	7.20 (4.95-10.3)
20-day	3.21 (2.78-3.76)	3.56 (3.08-4.18)	4.17 (3.59-4.90)	4.69 (4.02-5.55)	5.45 (4.52-6.74)	6.06 (4.91-7.63)	6.70 (5.23-8.71)	7.37 (5.51-9.92)	8.30 (5.95-11.5)	9.04 (6.29-12.8)
30-day	3.94 (3.44-4.58)	4.38 (3.81-5.10)	5.12 (4.44-5.98)	5.75 (4.95-6.75)	6.63 (5.53-8.12)	7.34 (5.97-9.15)	8.06 (6.32-10.4)	8.81 (6.61-11.7)	9.83 (7.08-13.5)	10.6 (7.44-15.0)
45-day	4.88 (4.29-5.64)	5.45 (4.78-6.30)	6.38 (5.57-7.39)	7.14 (6.20-8.33)	8.19 (6.86-9.92)	9.12 (7.36-11.1)	9.82 (7.74-12.5)	10.6 (8.03-14.1)	11.7 (8.50-16.1)	12.6 (8.86-17.6)
60-day	5.72 (5.04-6.56)	6.39 (5.63-7.35)	7.48 (6.57-8.63)	8.37 (7.30-9.71)	9.56 (8.03-11.5)	10.5 (8.59-12.8)	11.3 (8.97-14.3)	12.2 (9.24-16.0)	13.3 (9.69-18.1)	14.2 (10.0-19.7)

1 Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates for a given duration and average recurrence interval will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

Back to Top

TR55— HISTORIC RUNOFF

WinTR-55 Current Data Description

--- Identification Data ---

User: MW
Project: 101 West Main St
SubTitle: Historic
State: Colorado
County: Summit
Filename: <new file>

Date: 12/5/2023
Units: English
Areal Units: Acres

--- Sub-Area Data ---

Name	Description	Reach	Area (ac)	RCN	Tc
historic	Outlet		0.95	69	.185

Total area: .95 (ac)

--- Storm Data ---

Rainfall Depth by Rainfall Return Period					
2-Yr (in)	5-Yr (in)	10-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)
1.24	1.54	1.81	2.2	2.57	2.94

0

Storm Data Source: User-provided custom storm data
Rainfall Distribution Type: Type II
Dimensionless Unit Hydrograph: <standard>

MW 101 West Main St
Summit County, Colorado
Historic
Watershed Peak Table

Sub-Area or Reach Identifier	Peak Flow by Rainfall Return Period (cfs)	10-Yr (cfs)	25-Yr (cfs)	100-Yr (cfs)
SUBAREAS historic	0.10	0.28	0.74	
REACHES				
OUTLET	0.10	0.28	0.74	

MW 101 West Main St
Summit County, Colorado
Historic
WinTR-55, Version 1.00.10 Page 1 12/5/2023 4:30:18 PM

TR55— HISTORIC RUNOFF (sheet 2)

Summit County, Colorado					
Sub-Area Summary Table					
Sub-Area Identifier	Drainage Area (ac)	Time of Concentration (hr)	Curve Number	Receiving Reach	Sub-Area Description
historic	.95	0.185	69	Outlet	
Total Area: .95 (ac)					

MW 101 West Main St Summit County, Colorado Historic					
Sub-Area Time of Concentration Details					
Sub-Area Identifier/	Flow Length (ft)	Slope (ft/ft)	Manning's n	End Area (sq ft)	Wetted Perimeter (ft)
Travel Time (hr)	Velocity (ft/sec)	Time of Concentration (hr)			
historic	100	0.0400	0.130		0.177
SHALLOW	120	0.0600	0.090		0.008
Time of Concentration .185					

MW 101 West Main St Summit County, Colorado Historic					
Sub-Area Land Use and Curve Number Details					
Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number	
historic	Open space: grass cover 50% to 75% (fair)	B	.945	69	
Total Area / Weighted Curve Number				.95	69
				===	===

WinTR-55, Version 1.00.10 Page 2 12/5/2023 4:30:18 PM					

TR55— DEVELOPED RUNOFF (sheet 1)

WinTR-55 Current Data Description					
--- Identification Data ---					
User: MW	Date: 12/5/2023	Units: English	Areal Units: Acres		
Project: 101 West Main St					
SubTitle: Developed Basins					
State: Colorado					
County: Summit					
Filename: G:\Frisco\101 West Main- 2023\dwg\Drainage\TR-55\historic.w55					

--- Sub-Area Data ---					
Name	Description	Reach	Area (ac)	RCN	Tc
basin A	Outlet	0.14	68	0.100	
basin B	Outlet	0.34	97	0.100	
basin C	Outlet	0.35	91	0.100	
basin D	Outlet	0.15	69	0.100	
Total area: .98 (ac)					

--- Storm Data ---					
Rainfall Depth by Rainfall Return Period					
2-Yr (in)	5-Yr (in)	10-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)
1.24	1.54	1.81	2.2	2.57	2.94
0					
Storm Data Source: User-provided custom storm data					
Rainfall Distribution Type: Type II					
Dimensionless Unit Hydrograph: <standard>					

MW 101 West Main St Summit County, Colorado Developed Basins					
Watershed Peak Table					
Sub-Area or Reach Identifier	Peak Flow by Rainfall Return Period (cfs)	10-Yr (cfs)	25-Yr (cfs)	100-Yr (cfs)	
SUBAREAS					
basin A	.00	.00	0.11		
basin B	0.73	0.91	1.24		
basin C	0.54	0.72	1.08		
basin D	.00	.00	0.07		

WinTR-55, Version 1.00.10 Page 1 12/5/2023 4:47:48 PM					

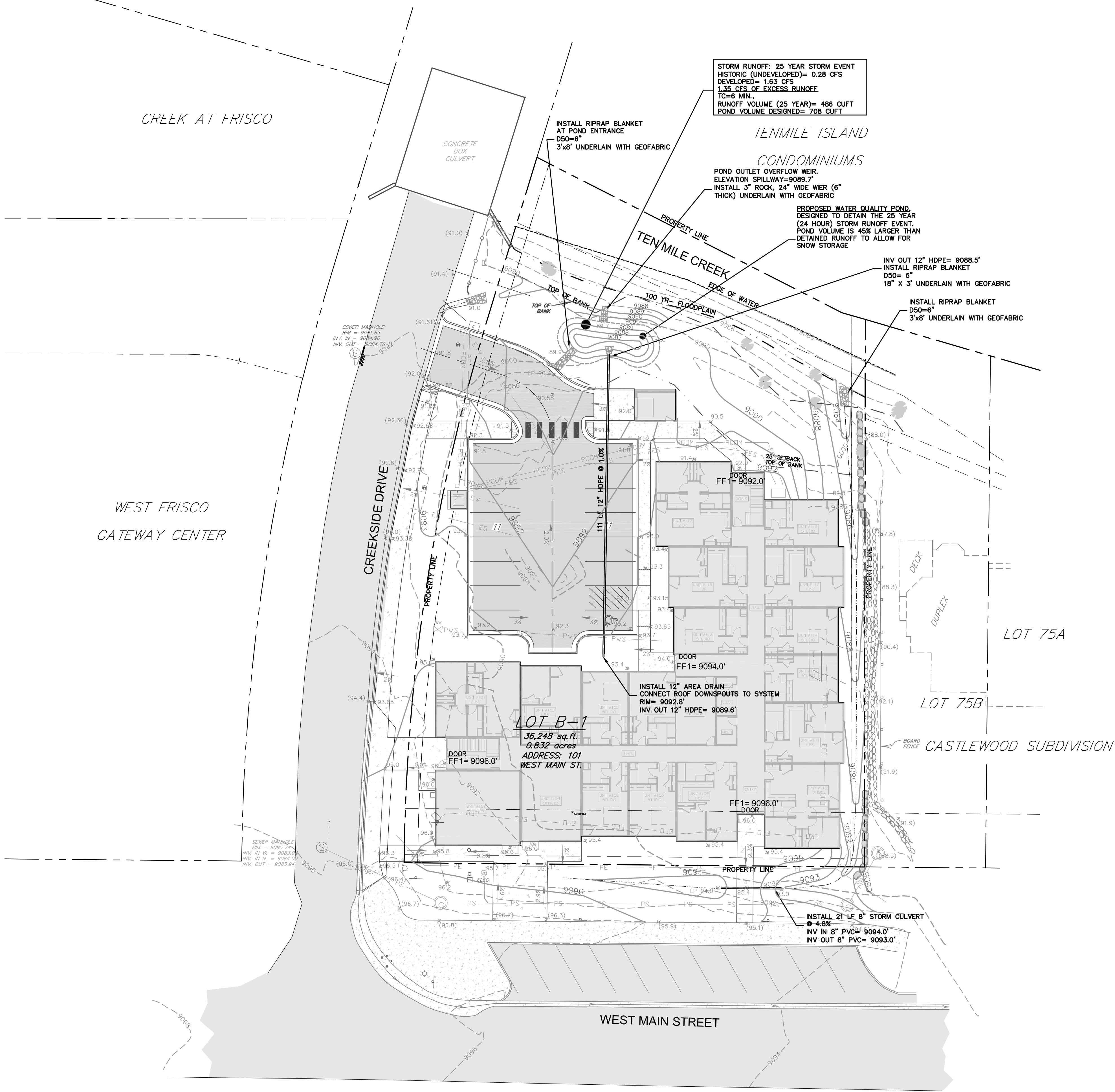
TR55— DEVELOPED RUNOFF (sheet 2)

OUTLET	1.27	1.63	2.47			
=====						
MW	101 West Main St Developed Basins Summit County, Colorado					
Sub-Area Summary Table						
Sub-Area Identifier	Drainage Area (ac)	Time of Concentration (hr)	Curve Number Receiving Reach Sub-Area Description			

basin A	.14	0.100	68 Outlet			
basin B	.34	0.100	97 Outlet			
basin C	.35	0.100	91 Outlet			
basin D	.15	0.100	69 Outlet			
Total Area: .98 (ac)						
=====						
MW	101 West Main St Developed Basins Summit County, Colorado					
Sub-Area Time of Concentration Details						
Sub-Area Identifier/ Length (ft)	Flow Slope (ft/ft)	Mannings's n	End Area (sq ft)	Wetted Perimeter (ft)	Velocity (ft/sec)	Travel Time (hr)

basin A	User-provided					0.100
				Time of Concentration		0.100
						=====
basin B	User-provided					0.100
				Time of Concentration		0.100
						=====
basin C	User-provided					0.100
				Time of Concentration		0.100
						=====
basin D	User-provided					0.100
				Time of Concentration		0.100
						=====
=====						
MW	101 West Main St Developed Basins					
WinTR-55, Version 1.00.10						
Page 2						
12/5/2023 4:47						

O:\Fiscot\01 West Main- 2023\dwg\Master\Storm- 101 West Main.dwg, 12/11/2023 9:13:11 AM, wadey



GRADE TO DRAIN AWAY FROM BUILDING IN ALL AREAS

TOPOGRAPHIC INFORMATION WAS PROVIDED BY RANGE WEST 2022

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- EASEMENT
- PROPOSED CONTOUR
- PROPOSED GRADING, SLOPE/SPOT
- EXISTING GRADING, SLOPE/SPOT
- PROPOSED STORM SEWER
- PROPOSED BOULDER RETAINING
- PROPOSED CONCRETE/ASPHALT

GRAPHIC SCALE

0 10 20 40

(IN FEET)

1 inch = 20 ft

ALPINE ENGINEERING INC.

34510 HWY 6 / UNIT A9 P.O. BOX 97
EDWARDS CO 81622 / 970.286.3373
WWW.ALPINECIVIL.COM

101 WEST MAIN STREET

FRISCO, CO

STORM SEWER PLAN

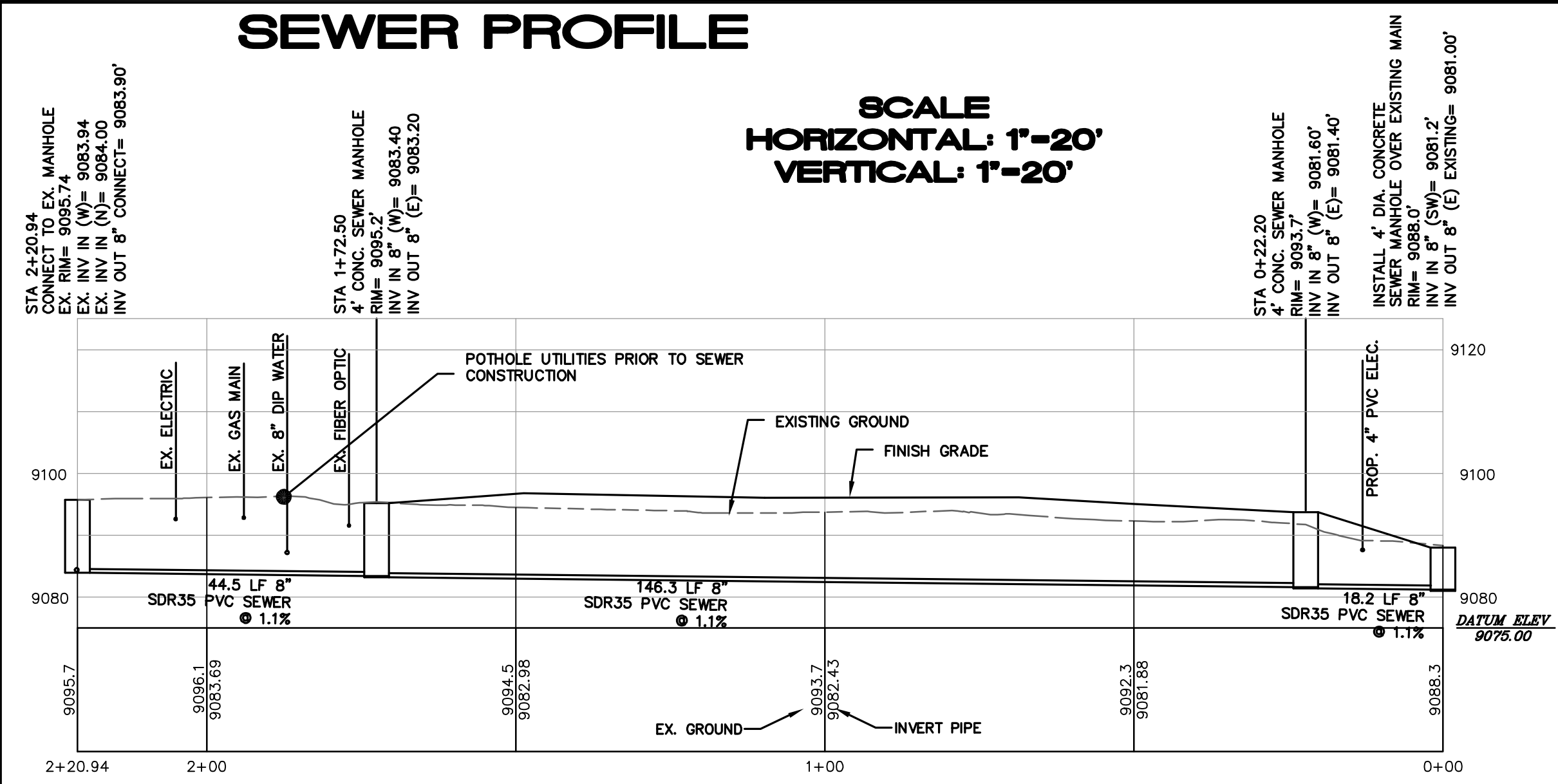
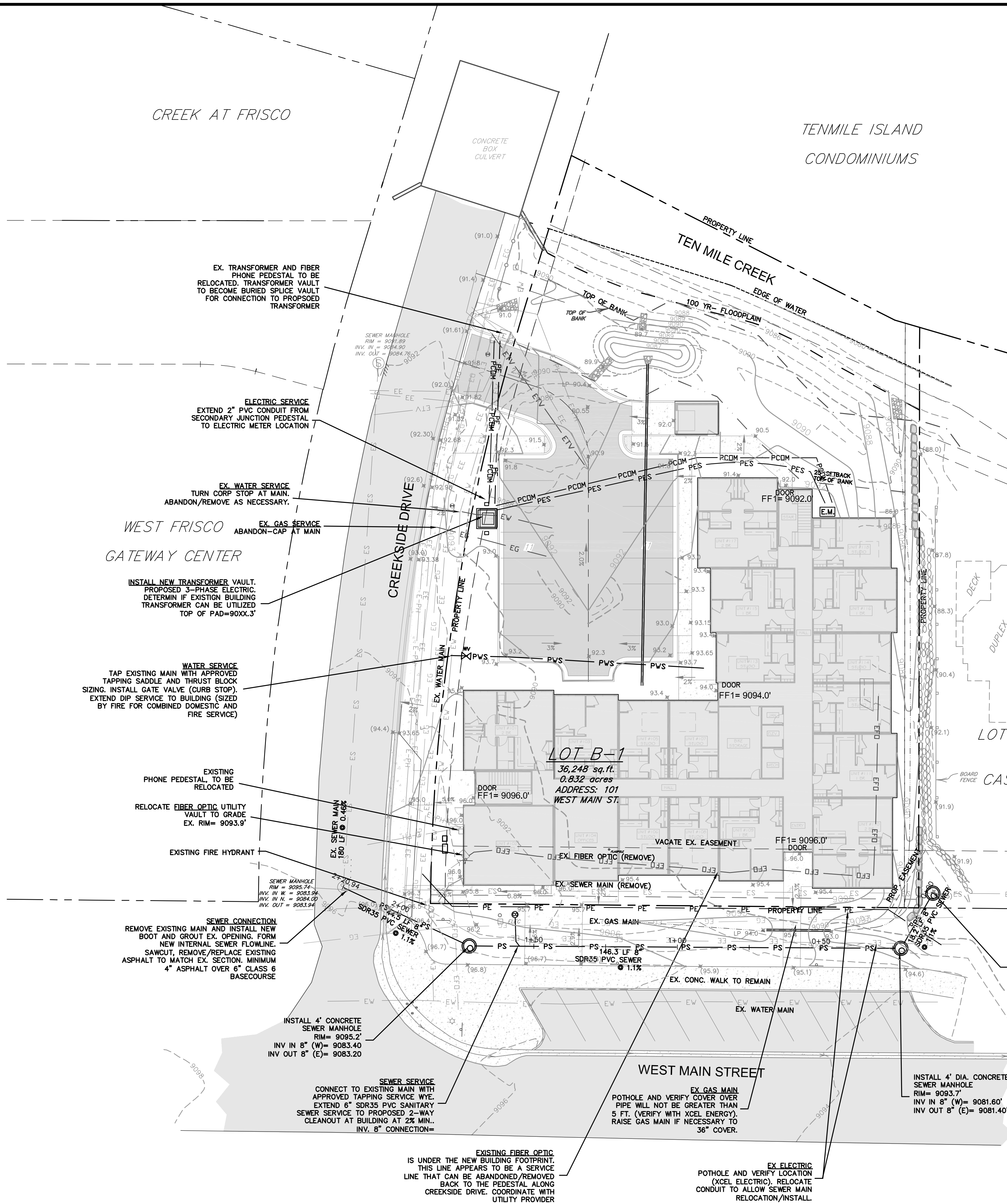
DETENTION POND SIZING

TABLE 1							
101 West Mains St, Frisco							
DETENTION POND - DETENTION STORAGE VOLUME							
POND	Elevation	Area (ft ²)	Avg. Area (ft ²)	Depth (ft)	Volume (ft ³)	Cumulative Volume (ft ³)	Cumulative Volume (Ac-ft)
	9087	56	56	0	0	0	0.000
	9088	199	128	1	128	128	0.003
	9089	353	276	1	276	404	0.009
	9089.7	518	436	0.7	305	708	0.016

TOTAL PROVIDED 708 cuft

TOTAL REQUIRED 486 cuft

DESIGNED	DRAWN	CHECKED	JOB NO.	DATE
MCW	MCW	MCW_TSL	--	05/11/2023
NO.	DATE	REVISIONS	BY	
	05/12/2023	PRELIMINARY PLAN	MCW	
	12/12/2023	FINAL SITE PLAN	MCW	



TOPOGRAPHIC INFORMATION WAS PROVIDED BY RANGE WEST 2022

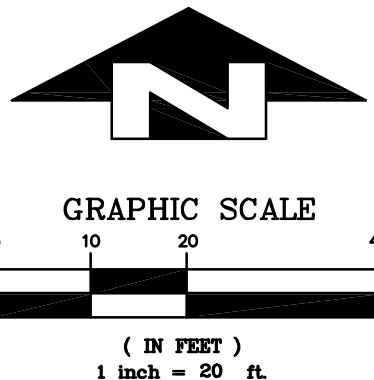
REFER TO TOWN OF FRISCO WATER CONSTRUCTION STANDARDS

ALL WATER MAIN FITTINGS SHALL HAVE MEGALUG RESTRAINED JOINTS AND CONCRETE THRUST BLOCKS

MAINTAIN 8.5' BURY ON ALL WATER MAINS AND SERVICES

REFER TO FRISCO SANITATION DISTRICT SEWER CONSTRUCTION STANDARDS

SEWER MAIN/SERVICES. MAINTAIN 7.0 FT COVER IN UNPLOWED AREAS AND 9.0 FT COVER IN SNOW PLOWED AREAS. INSTALL INSULATION IF THESE DEPTHS ARE NOT ACHIEVED.



LEGEND	
PE	PROPOSED ELECTRIC
PES	PROPOSED ELECTRIC SERVICE
PCDM	PROPOSED COMM. SERVICE TV/PHONE
PG	PROPOSED GAS
PGS	PROPOSED GAS SERVICE
PW	PROPOSED WATER
PS	PROPOSED SEWER
PWS	PROPOSED WATER SERVICE
PSS	PROPOSED SEWER SERVICE
PV	PROPOSED FIRE HYDRANT W/GV
SS	PROPOSED STORM SEWER
TS	PROPOSED TRANSFORMER & SECONDARY PEDESTALS
CP	PROPOSED COMM. PEDS
PL	PROPERTY LINE



101 WEST MAIN STREET
FRISCO, CO
UTILITY PLAN

BY		REVISIONS	
NO.	DATE	NO.	DATE
		05/12/2023	PRELIMINARY PLAN
		12/12/2023	FINAL SITE PLAN

SHEET
C4.0

TOPOGRAPHIC INFORMATION WAS PROVIDED BY RANGE WEST 2022

CONTRACTOR SHALL DEVELOP A MEANS AND METHODS TO CONTROL SEDIMENT DURING CONSTRUCTION TO ASSURE THAT NO SEDIMENT IS DISCHARGED OFF-SITE.

LEGEND

- PROPERTY LINE
EXISTING CONTOUR
EASEMENT
PROPOSED CONTOUR
PROPOSED GRADING, SLOPE/SPOT
EXISTING GRADING, SLOPE/SPOT
PROPOSED STORM SEWER
PROPOSED BOULDER RETAINING
PROPOSED CONCRETE/ASPHALT



GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft

GENERAL NOTES FOR SEDIMENT CONTROL

- CONTRACTOR SHALL SUBMIT A CONSTRUCTION STAGING & MANAGEMENT PLAN IDENTIFYING CONSTRUCTION FENCING, STAGING, STORAGE & CONSTRUCTION TRAILER LOCATION PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- INSTALL AND MAINTAIN SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THESE PLANS AND AS NEEDED TO PREVENT SEDIMENT FROM DISCHARGING OFF-SITE OR ENTERING THE RIVER.
- ALL PROPOSED SEDIMENT CONTROL MEASURES ARE TEMPORARY MEASURES UNLESS SPECIFIED OTHERWISE ON PLANS.
- SEDIMENT CONTROL MEASURES MAY REQUIRE FIELD ADJUSTMENTS AT THE TIME OF CONSTRUCTION TO INSURE THAT THEIR INTENDED PURPOSE IS ACCOMPLISHED.
- PROVIDE REGULAR INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES TO INSURE THAT SEDIMENT CONTROL EFFICIENCY IS OBTAINED UNTIL FINAL STABILIZATION OF SITE HAS TAKEN PLACE.
- INSTALL SEDIMENT CONTROL MEASURES AT THE ONSET OF GRADING OPERATIONS SO THAT EFFECTIVE SEDIMENT CONTROL CAN BE ACHIEVED DURING THE ENTIRE CONSTRUCTION PERIOD.
- STABILIZE ALL POINTS OF INGRESS AND EGRESS WITH TRACKING PAD DURING CONSTRUCTION TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS.
- FOR TEMPORARY STOCKPILES APPLY SEED, HYDROMULCH AND TACKIFIER IMMEDIATELY AFTER THEY ARE CONSTRUCTED FOR STABILIZATION. IF EROSION OCCURS AFTER APPLICATION OF THE TACKIFIER, USE EXCELSIOR C2 EROSION CONTROL FABRIC. INSTALL SILT FENCE BELOW STOCKPILES TO CAPTURE SEDIMENT.
- THE TERM 'REVEGETATION' ON THIS PLAN MEANS THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDBED CONTAINING THE SPECIFIED AMOUNTS OF FERTILIZER IN ACCORDANCE WITH APPLICABLE 'STANDARDS AND SPECIFICATIONS'. REFER TO LANDSCAPE PLANS FOR SEED MIX, FERTILIZER TYPE, MULCH, TACKIFIER AND APPLICATION RATES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE APPROPRIATE MEASURES TO INSURE THAT NO SEDIMENT LADEN WATER IS DISCHARGED FROM THE SITE.
- APPROVAL SHALL BE REQUESTED UPON FINAL STABILIZATION OF ALL SITES BEFORE REMOVAL OF SEDIMENT CONTROLS.
- CONTRACTOR SHALL OBTAIN AND CONFORM TO STORMWATER DISCHARGE PERMIT AND AND ALL ENVIRONMENTAL PERMITS AND KEEP STREETS CLEAN AND FREE OF SEDIMENT.
- REMOVAL AND CLEANUP OF ANY SEDIMENT THAT LEAVES THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR

CONSTRUCTION SEQUENCE OF EROSION/SEDIMENT CONTROL MEASURES

BEFORE COMMENCING GRADING OR CONSTRUCTION

- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES AT ALL POINTS OF INGRESS AND EGRESS.
- CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ASSURE THAT NO SEDIMENT LEAVES THE SITE.
- CONSTRUCT SILT FENCE AND WATTLES AND ALL SEDIMENT CONTROL DEVICES.
- BEGIN DEMOLITION, EXCAVATION AND CONSTRUCTION.
- INSTALL EROSION CONTROL MEASURES AFTER DITCHES AND SWALES HAVE BEEN CONSTRUCTED AND TOPSOIL AND SEED HAVE BEEN PLACED. INSTALL INLET PROTECTION IN ALL INLETS AS THEY ARE CONSTRUCTED.
- TOPSOIL AND REVEGETATE ALL DISTURBED AREAS WITH APPROVED SEED MIX PER LANDSCAPE PLAN.
- CONTRACTOR SHALL REMOVE SEDIMENT CONTROL FACILITIES AFTER FINAL STABILIZATION.

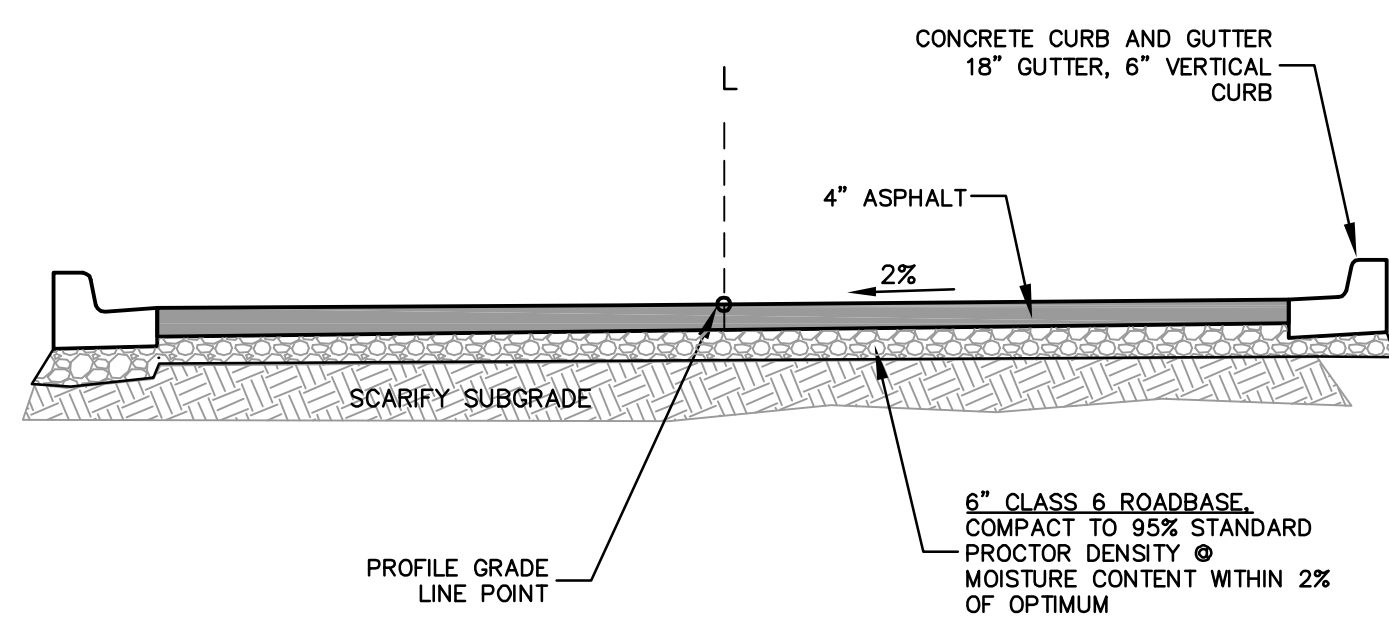
FUGITIVE DUST CONTROL

THE CONTRACTOR IS RESPONSIBLE TO CONTROL FUGITIVE DUST AND TO INCORPORATE THE FOLLOWING:

- ALL UNPAVED ROADS AND OTHER DISTURBED AREAS ON SITE SHALL BE WATERED TO MINIMIZE FUGITIVE DUST.
- HAUL ROADS SHALL BE TREATED WITH MAGNESIUM CHLORIDE IF WATER IS NOT CONTROLLING THE DUST.
- ALL DISTURBED SURFACE AREAS SHALL BE REVEGETATED OR SURFACED PER THE LANDSCAPE PLAN AS SOON AS POSSIBLE.
- MUD AND DIRT CARRYOUT ONTO PAVED SURFACES SHALL BE PREVENTED. ANY MUD AND DIRT CARRYOUT ONTO PAVED SURFACES SHALL BE CLEANED UP DAILY.

101 WEST MAIN STREET
FRISCO, CO
EROSION CONTROL PLAN

DESIGNED	DRAWN	CHECKED	JOB NO.	DATE
MCW	MCW	MCW, TSL	--	05/11/2023
NO.	DATE	REVISIONS	BY	
	05/12/2023	PRELIMINARY PLAN	MCW	
	12/12/2023	FINAL SITE PLAN	MCW	



CHECKED BY: ARMT
DRAWN BY: EGAR

LANDSCAPE NOTES

1. REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
2. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
3. ALL SEED, SOD AND SHRUB BED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION IN ACCORDANCE WITH THE SOILS REPORT OR AT A MINIMUM OF 3.5 CU.YDS./1000 SF EVENLY TILLED INTO SOIL AT A DEPTH OF 6".
4. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 3 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 3 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
5. ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
6. SHRUB, GROUNDCOVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY 4" PERFORATED GALVANIZED ROLL TOP EDGING WHERE SHOWN ON PLANS. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, CONCRETE WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
7. ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH. LANDSCAPE MULCH AS CALLED OUT IN THE MATERIAL SCHEDULE OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC UNLESS SHOWN/NOTED AS ROCK MULCH. ROCK MULCH AREAS ARE TO BE MULCHED WITH MIN. 3" DEPTH ROCK MULCH AS CALLED OUT IN THE MATERIAL SCHEDULE. ALL GROUND COVER AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 3" DEPTH LANDSCAPE MULCH AS CALLED OUT IN THE MATERIAL SCHEDULE. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS.
8. AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
9. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
10. ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
11. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8' OF FINISHED GRADES AS SHOWN ON THE PLANS.
12. SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH 6" PERFORATED PLASTIC BENDA BOARD EDGER.
13. PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.
14. THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL IMPROVEMENTS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT.

SITE CALCULATIONS

LOT:	36,248 SF
LOT COVERAGE AREA:	21,641 SF
BUILDING AREA:	14,086 SF

SNOW STORAGE REQUIRMENTS

TOTAL PAVED SURFACE	REQ. (50 SF STORAGE / 350 SF TOTAL PAVED SURFACE - 50% REDUCTION)	PROVIDED
7,375 SF	1,054 SF	1,194 SF

COMMUNITY AMENITY REQUIREMENTS

1. DEVELOPMENT WITH OVER 10,000 SQUARE FEET OF GROSS FLOOR AREA SHALL PROVIDE COMMUNITY SPACES,INCLUDING BUT NOT LIMITED TO, PUBLIC BENCHES, WATER FEATURES, PUBLIC KIOSK/GAZEBO, PUBLIC PATIO/SEATING AREAS, PUBLIC PLAZAS, OR PUBLIC ART.
- 1.1. MINIMUM OF 1 COMMUNITY SPACE SHALL BE PROVIDED FOR ANY DEVELOPMENT WITH BETWEEN10,000 AND 25,000 SQUARE FEET OF GROSS FLOOR AREA.
- 1.2. MINIMUM OF 3 COMMUNITY SPACES SHALL BE PROVIDED FOR ANY DEVELOPMENT WITH OVER 25,000 SQUARE FEET OF GROSS FLOOR AREA.
- 1.3. 3 COMMUNITY SPACE PROVIDED
2. ALL MIXED-USE AND NON-RESIDENTIAL DEVELOPMENT SHALL PROVIDE BICYCLE PARKING FACILITIES, IN AN APPROPRIATE LOCATION, WITH BICYCLE SPACES IN THE AMOUNT OF NOT LESS THAN 20 PERCENT OF THE TOTAL NUMBER OF PARKING SPACES REQUIRED FOR THE PROJECT, WITH A MINIMUM OF FIVE BICYCLE SPACES.
- 2.1. 8 SPACES HAVE BEEN PROVIDED, 20% OF THE PARKING REQUIRED

LANDSCAPE REQUIREMENTS

REQUIREMENTS

1 TREE PER 1,000 SF OF DEVELOPMENT LOT AREA (37 TREES)
1 SHRUB PER 1,500 SF OF DEVELOPMENT LOT AREA (25 SHRUBS)
MINIMUM SPECIES DIVERSITY: 50% OF ANY ONE TREE PER 20-39 TREES

MAXIMUM LAWN AREA: 1,333 SF (10% OF UNDEVELOPED AREA OF THE SITE)
NO LAWN AREA PROVIDED.

BREAK DOWN	REQ.	EXISTING	PROVIDED	TOTAL
TREES	37	23	19	42
DECIDUOUS		4	11	15
2" CAL (REDUCED)	50%	4	4	8
1.5" CAL (REDUCED)	50%	0	7	7
MULTI-STEM			3	3
EVERGREEN		19	8	27
10 HT.	25%	19	0	19
8' HT.	25%	0	2	2
6' HT.	50%	0	6	6
SHRUBS	25	0	25	25
DECIDUOUS	N/A	0	24	24
EVERGREEN	N/A	0	1	1
SHRUBS IN ROW	18	0	18	18
DECIDUOUS	N/A	0	16	16
EVERGREEN	N/A	0	4	4

SUBSTITUTIONS AND AMENDMENTS

1. FOR EVERY 1,000 SQUARE FEET OF PROJECT LOT AREA OR FRACTION THEREOF, A MINIMUM OF ONE TREE MUST BE PLANTED ON THE SITE. ONE SHRUB SHALL BE REQUIRED FOR EVERY 1,500 SQUARE FEET OF PROJECT LOT AREA OR FRACTION THEREOF.
2. EXISTING HEALTHY TREES (INCLUDING LODGE POLE PINE) MAY BE SUBSTITUTED FOR UP TO 50 PERCENT OF THE TREE LANDSCAPING REQUIRED BY THIS ARTICLE, ON A TREE-FOR-TREE BASIS, IN CASES WHERE THE EXISTING TREES MEET OR EXCEED THE STANDARDS FOR REQUIRED VEGETATION AND MINIMUM PLANT SIZES.
- 2.1. 23 EXISTING TREES ON SITE ARE BEING COUNTED TOWARDS LANDSCAPE REQUIREMENTS.
3. ADDITIONAL LANDSCAPING, NOT TO EXCEED 20 PERCENT OF THE LANDSCAPING OTHERWISE REQUIRED MAY BE REQUIRED IN AREAS INCLUDING BUT NOT LIMITED TO:
- 3.1. AT THE EDGES (PERIMETER) OF A PARKING LOT AND BETWEEN PARKING LOTS.
- 3.2. BETWEEN BUILDING DEVELOPMENT AND RECREATIONAL TRAILS OR OPEN SPACE.
- 3.3. BETWEEN MULTI-FAMILY OR COMMERCIAL DEVELOPMENT AND A ROAD OR OTHER PUBLIC SPACES.
- 3.4. BETWEEN COMMERCIAL AND RESIDENTIAL AREAS.
- 3.5. ON SLOPES OF OVER 15 PERCENT.
- 3.6. SITE DESIGN INCLUDES 8 TREES (20%) BETWEEN THE PROPOSED DEVELOPMENT AND THE ADJACENT RESIDENTIAL USE. PROJECT EXCEEDS MINIMUM REQUIREMENTS.

SHEET LIST

- L-001 LANDSCAPE NOTES
- L-002 LANDSCAPE SCHEDULE
- L-101 LANDSCAPE PLAN
- L-501 LANDSCAPE DETAILS
- L-502 LANDSCAPE DETAILS

NORRIS
DESIGN

PEOPLE + PLACEMAKING

409 MAIN STREET
SUITE 207
P.O. BOX 2320
FRISCO, CO 80443
P 970.368.7068

NORRIS-DESIGN.COM

101 WEST MAIN

101 WEST MAIN
FRISCO, COLORADO
SKETCH PLAN

OWNER:
NHP FOUNDATION

122 EAST 42ND STREET
SUITE 4900
NEW YORK, NY 10168

NOT FOR
CONSTRUCTION

811

Know what's below.
Call before you dig.

DATE:
12/11/2023 MSP

SHEET TITLE:
LANDSCAPE
NOTES

L-001

CHECKED BY: ARMT
DRAWN BY: EGAR

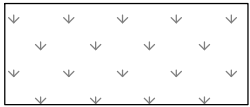
PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES
	PO AC	4	POPULUS TREMULOIDES	QUAKING ASPEN	B & B	1.5" CAL	MULTI-STEM
	PO TE	4	POPULUS TREMULOIDES	QUAKING ASPEN	B & B	2" CAL	
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES
	PI PU	2	PICEA PUNGENS	COLORADO SPRUCE	B & B	8' HT.	
	PI AR	6	PINUS ARISTATA	BRISTLECONE PINE	B & B	6' HT.	
ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES
	MA SS	3	MALUS X 'SPRING SNOW'	SPRING SNOW CRAB APPLE	B & B	1.5" CAL	
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	
	AM AL	4	AMELANCHIER ALNIFOLIA	SASKATOON SERVICEBERRY	CONT.	#5	
	PH MO	12	PHYSOCARPUS MONOGYNUS	MOUNTAIN NINEBARK	CONT.	#5	
	PR CH	7	PRUNUS X VIRGINIANA 'P002'	SUCKER PUNCH CANADA CHOKECHERRY	CONT.	#5	
	RO WO	6	ROSA WOODSII	MOUNTAIN ROSE	CONT.	#5	
	SY MI	9	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	CONT.	#5	
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	
	CO CO	5	COTONEASTER DAMMERI 'CORAL BEAUTY'	CORAL BEAUTY COTONEASTER	CONT.	#5	
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	
	CA KA	33	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CONT.	#1	
	SP HE	30	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	CONT.	#1	

SHORT DRY GRASS SEED MIXTURE

COMMON NAME	% OF TOTAL	LBS. PER 1,000 S.F.
HARD FESCUE, VNS	30%	0.6 LBS.
CREEPING RED FESCUE, VNS	30%	0.6 LBS.
SHEEP FESCUE, VNS	25%	0.5 LBS.
CANADA BLUEGRASS, RUBENS	10%	0.2 LBS.
CANBY BLUGRASS, CANBAR	5%	0.1 LBS.
TOTAL	100%	2.0 LBS.

- SLOPES OVER 3:1 SHALL BE HAYED AND TACKIFIED OR NETTED
- SPREAD SEED AT A RATE OF 2 LBS PER 1,000 SF

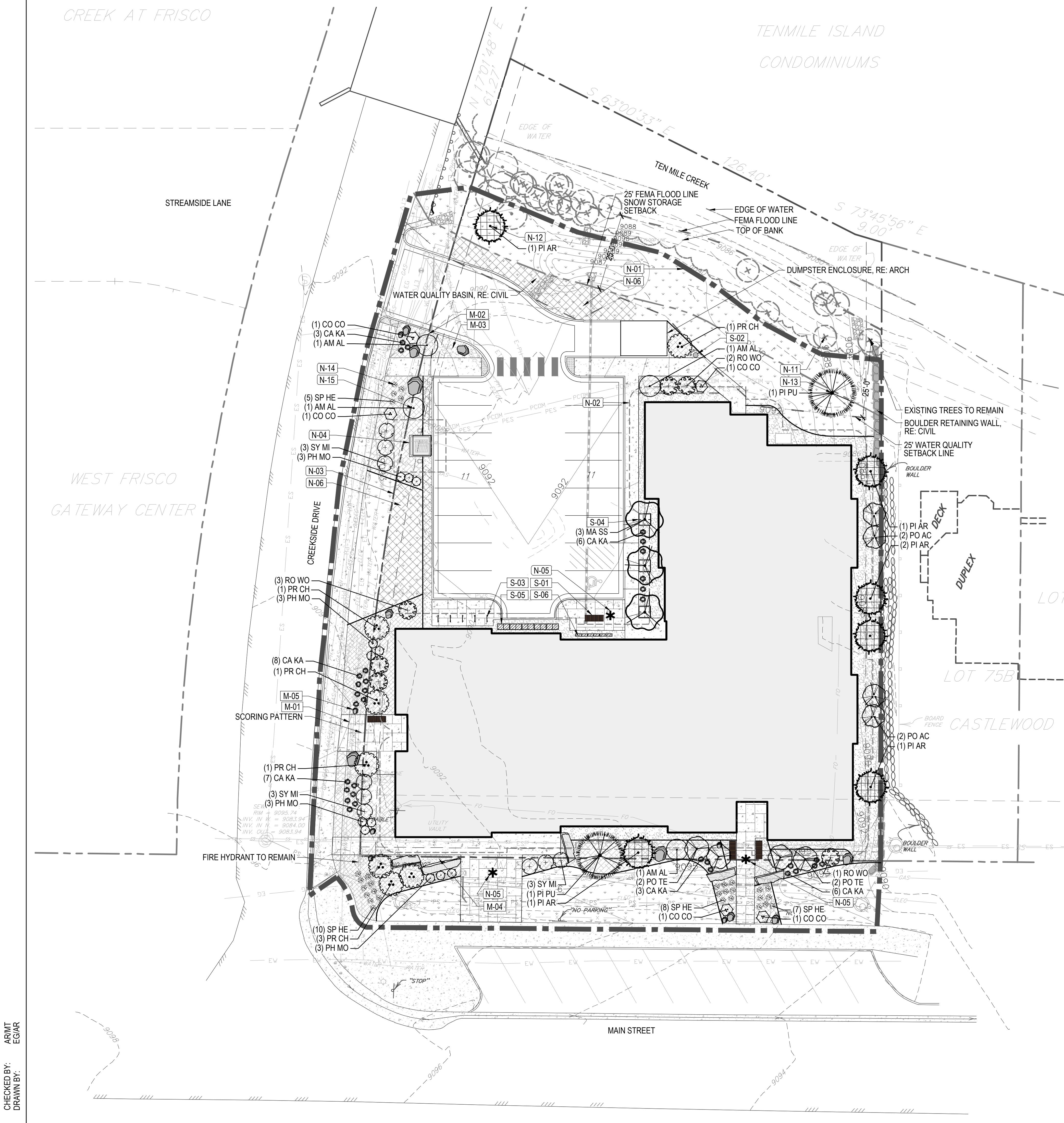


LANDSCAPE MATERIAL SCHEDULE

SYMBOL	DESCRIPTION	PRODUCT NAME	MANUFACTURER	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
<div>M-01</div>	STANDARD CONCRETE	READY MIXED CONCRETE	N/A	STANDARD GREY, BROOM FINISH	SEE PLANS		INSTALL PER TOWN'S SPECIFICATIONS. ALL CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF 4,500 LBS AT 28 DAYS.
<div>M-02</div>	LANDSCAPE MULCH	WASHINGTON CEDAR MULCH	PIONEER (GOLDEN)	NATURAL	N/A		REFER TO DETAILS AND SPECIFICATIONS FOR INSTALLATION AND MAINTENANCE.
<div>M-03</div>	ROCK MULCH	DECORATIVE ROCK	PIONEER (GOLDEN)	CLEAR CREEK GRANITE	1 1/2"		REFER TO DETAILS AND SPECIFICATIONS FOR INSTALLATION AND MAINTENANCE.
<div>M-04</div>	CRUSHER FINES	FINES	PIONEER (GOLDEN)	MOUNTAIN GRANITE BREEZE	1/4" MINUS	3-4/L-502	REFER TO DETAILS AND SPECIFICATIONS FOR INSTALLATION AND MAINTENANCE. APPLY SPECIFIED BINDER PER MANUFACTURER'S SPECIFICATIONS. AGGREGATE PATH TO BE INSTALLED AND COMPACTED TO MEET ADA REQUIREMENTS.
<div>M-05</div>	BOULDERS	RECLAIMED BOULDERS FROM SITE	RECLAIMED	NATURAL	2'X2'X2' UP TO 5'X4'X2'	7/L-502	CONTRACTOR TO COLLECT AND STORE BOULDERS FOUND ON SITE. LANDSCAPE ARCHITECT SHALL TAG BOULDERS TO BE REUSED AND FIELD VERIFY INSTALLATION LOCATIONS.
<div>M-302</div>	NATIVE SEED						REFER TO SHORT DRY GRASS SEED MIXTURE, L-002
<div>M-401</div>	PLASTIC EDGER	BENDA BOARD; 100059387	EPIC PLASTICS	TEAK	1" X 6" X 20"	1/L-502	INSTALL PER MANUFACTURER SPECIFICATIONS WITH MATCHING COLOR STEEL J STAKES.
<div>M-502</div>	SEATING SLAB	QUARRY BLOCKS & THICK SLABS	SILOAM STONE, INC.	NATURAL	12"-48" X 18"-8" X 3'-12"	8/L-502	CONTRACTOR TO COORDINATE LOCATION OF BOULDERS WITH LANDSCAPE ARCHITECT ON SITE. SEAT SLABS SHALL BE PLACED TO PROVIDE A LEVEL SEATING SIDE.

AMENITY SCHEDULE

SYMBOL	DESCRIPTION	PRODUCT NAME	MANUFACTURER	MODEL #	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
<div>S-01</div>	BENCH	INFINITY BENCH	ANOVA	PINF24L6R	CEDAR SLAT, TEXTURED PEWTER FRAME	19"H X 24"W X 72"L		INSTALL PER MANUFACTURER RECOMMENDATIONS. COORDINATE INSTALLATION WITH ARCHITECT FOR INSTALLATION OVER STRUCTURE. ENSURE THAT INSTALLATION OVER STRUCTURE DOES NOT INTERFERE WITH BUILDING WATERPROOFING.
<div>S-02</div>	DOG WASTE STATION	DOG WASTE STATION	MUTT MITT	1005	GREEN RUSTPROOF ALUMINUM, SINGLES	72"H X 13"W X 15"D		INSTALL PER MANUFACTURER SPECIFICIATIONS.
<div>S-03</div>	BIKE RACK	BIKE RACK	DUMOR	292-S2	ARGENTO	6"W X 41"D X 32"H		INSTALL PER MANUFACTURER RECOMMENDATIONS. COORDINATE INSTALLATION WITH ARCHITECT FOR INSTALLATION OVER STRUCTURE. ENSURE THAT INSTALLATION OVER STRUCTURE DOES NOT INTERFERE WITH BUILDING WATERPROOFING.
<div>S-04</div>	LARGE SQUARE PLANTER	WILSHIRE COLLECTION	TOURNESOL	WR-4800	PUDDLE	48" X 48" X 36"	4/L-502	INSTALL PER MANUFACTURER RECOMMENDATIONS. COORDINATION INSTALLATION WITH ARCHITECT FOR INSTALLATION OVER STRUCTURE.
<div>S-05</div>	MEDIUM RECTANGLE PLANTER	WILSHIRE COLLECTION	TOURNESOL	WR-482424	PUDDLE	48" X 24" X 24"	4/L-502	INSTALL PER MANUFACTURER RECOMMENDATIONS. COORDINATION INSTALLATION WITH ARCHITECT FOR INSTALLATION OVER STRUCTURE.
<div>S-06</div>	SMALL RECTANGLE PLANTER	WILSHIRE COLLECTION	TOURNESOL	WR-481012	PUDDLE	48" X 10" X 12"	4/L-502	INSTALL PER MANUFACTURER RECOMMENDATIONS. COORDINATION INSTALLATION WITH ARCHITECT FOR INSTALLATION OVER STRUCTURE.



PLANT SCHEDULE

DECIDUOUS TREES	COMMON NAME
PO AC	QUAKING ASPEN
PO TE	QUAKING ASPEN
EVERGREEN TREES	COMMON NAME
PI PU	COLORADO SPRUCE
PI AR	BRISTLECONE PINE
ORNAMENTAL TREES	COMMON NAME
MA SS	SPRING SNOW CRAB APPLE
DECIDUOUS SHRUBS	COMMON NAME
AM AL	SASKATOON SERVICEBERRY
PH MO	MOUNTAIN NINEBARK
PR CH	SUCKER PUNCH CANADA CHOKECHERRY
RO WO	MOUNTAIN ROSE
SY MI	MISS KIM LILAC
EVERGREEN SHRUBS	COMMON NAME
CO CO	CORAL BEAUTY COTONEASTER
ORNAMENTAL GRASSES	COMMON NAME
CA KA	KARL FOERSTER FEATHER REED GRASS
SP HE	PRAIRIE DROPSEED

NOTES

1. RESEED ALL DISTURBANCE WITH SPECIFIED SEED MIX UNLESS OTHERWISE DESIGNATED.
2. THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
3. EROSION CONTROL BLANKETS SHALL BE USED ON DISTURBED SLOPES STEEPER THAN 3:1.
4. PLANT SYMBOLS ARE SHOWN AT APPROXIMATELY MATURE SIZE.
5. ALL PLANT SYMBOLS SHOWN IN SNOW STORAGE AREAS SHALL BE PLANTS TOLERANT OF SNOW LOAD.
6. ALL PLANTINGS SHALL BE PLANTED TO AVOID CONFLICTS WITH SIGHT TRIANGLES AND EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
7. FINAL PLANT LOCATION SHALL BE FIELD VERIFIED.
8. PRESERVE AND PROTECT EXISTING TREES AS POSSIBLE.

IRRIGATION:

1. ALL INSTALLED LANDSCAPE SHALL BE IRRIGATED.
2. ALL TURF, NATIVE REVEGETATION, PERENNIAL AND ANNUAL PLANTINGS SHALL BE SPRAY IRRIGATED.
3. ALL TREES AND SHRUB AREAS SHALL BE DRIP IRRIGATED.
4. ALL MAINLINES SHALL HAVE CONDUIT UNDER CONCRETE SURFACES.
5. IRRIGATION SHALL COMPLY WITH TOWN STANDARDS.

LANDSCAPE MATERIAL SCHEDULE

SYMBOL	DESCRIPTION
M-01	STANDARD CONCRETE
M-02	LANDSCAPE MULCH
M-03	ROCK MULCH
M-04	CRUSHER FINES
SYMBOL	DESCRIPTION
M-05	BOULDERS
SYMBOL	DESCRIPTION
M-302	NATIVE SEED
M-401	PLASTIC EDGER
M-502	SEATING SLAB

AMENITY SCHEDULE

SYMBOL	DESCRIPTION
S-01	BENCH
S-02	DOG WASTE STATION
S-03	BIKE RACK
S-04	LARGE SQUARE PLANTER
S-05	MEDIUM RECTANGLE PLANTER
S-06	SMALL RECTANGLE PLANTER

KEY NOTES

SYMBOL	DESCRIPTION
N-01	LIMIT OF WORK
N-02	5' BUILDING SETBACK
N-03	PROPERTY LINE
N-04	EXISTING AND PROPOSED UTILITIES, REFER TO CIVIL
N-05	COMMUNITY SPACE
SYMBOL	DESCRIPTION
N-06	SNOW STORAGE PAVED SURFACES: 7,375 SF REQUIRED SNOW STORAGE: 1,054 SF PROVIDED SNOW STORAGE: 1,194 SF

N-11	TREE PROTECTION
N-12	TREE PLANTING
N-13	TREE PLANTING ON A SLOPE
N-14	ORNAMENTAL GRASS AND PERENNIAL PLANTING
N-15	SHRUB PLANTING

KEY NOTES

CODE	DESCRIPTION	DETAIL
N-01	LIMIT OF WORK	
N-02	5' BUILDING SETBACK	
N-03	PROPERTY LINE	
N-04	EXISTING AND PROPOSED UTILITIES, REFER TO CIVIL	
N-05	COMMUNITY SPACE	
N-06	SNOW STORAGE	
N-11	TREE PROTECTION	1/L-501
N-12	TREE PLANTING	2/L-501
N-13	TREE PLANTING ON A SLOPE	3/L-501
N-14	ORNAMENTAL GRASS AND PERENNIAL PLANTING	4/L-501
N-15	SHRUB PLANTING	5/L-501

OWNER:

NHP FOUNDATION

122 EAST 42ND STREET
SUITE 4900
NEW YORK, NY 10168

NOT FOR CONSTRUCTION



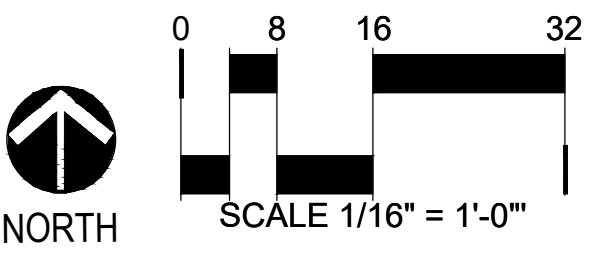
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DATE:

12/11/2023 MSP

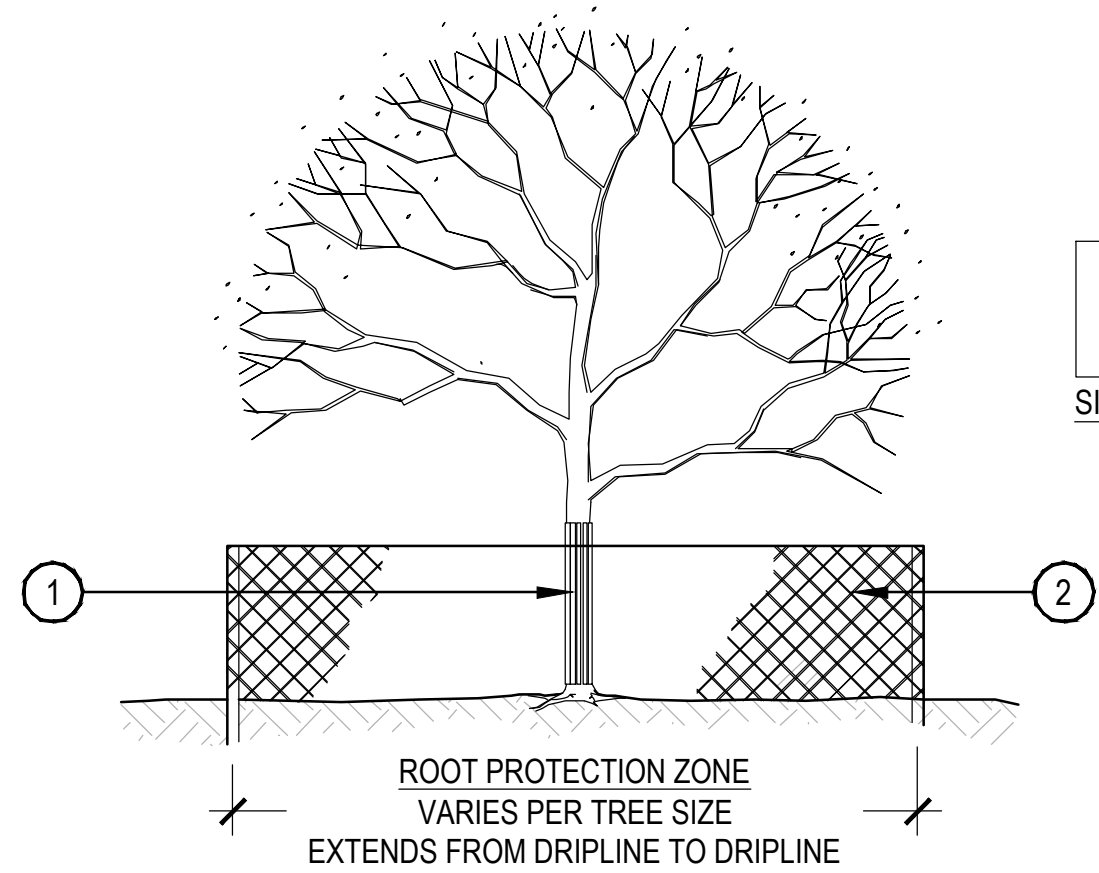
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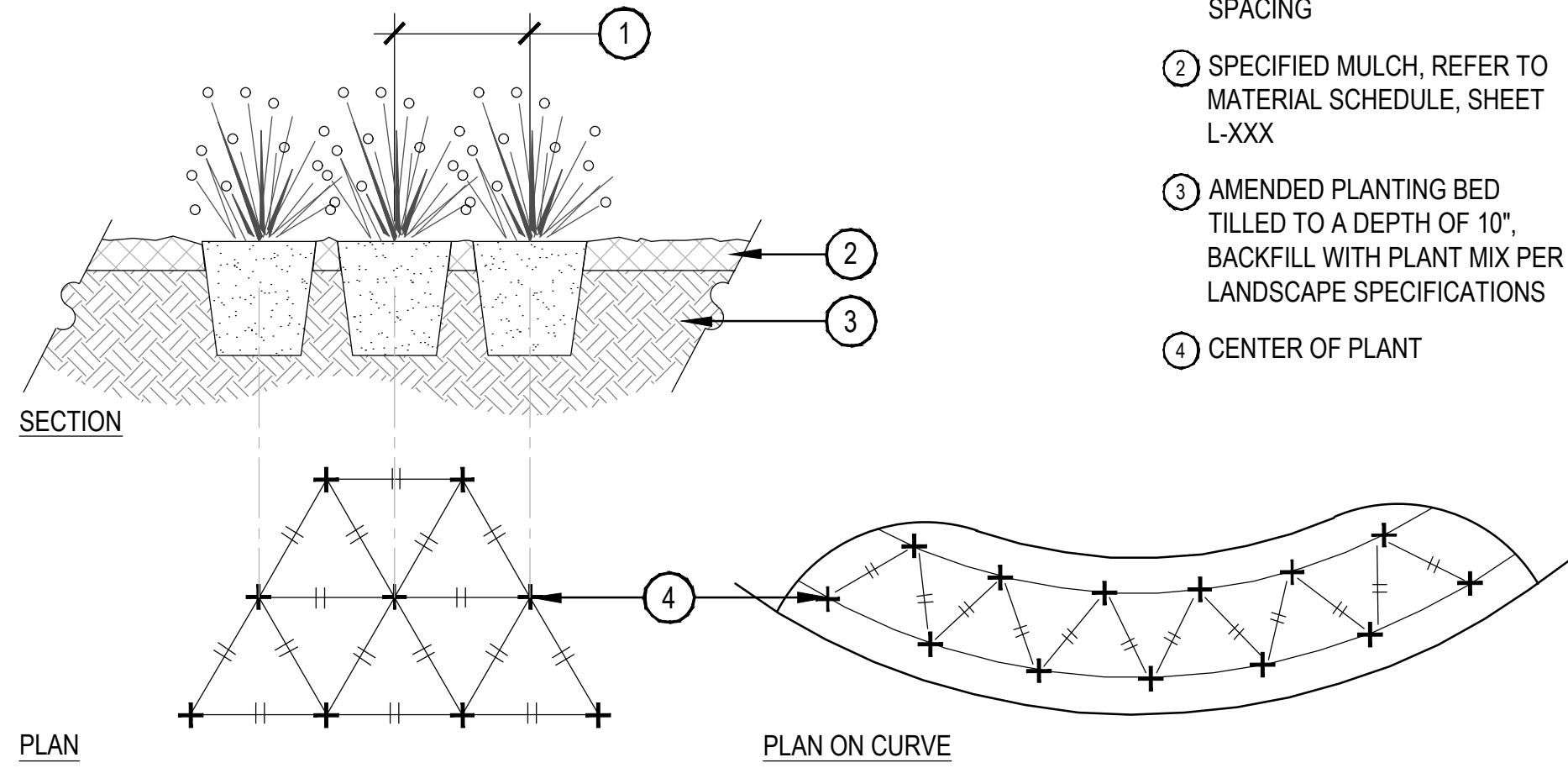


NOTES:

1. TREES TO BE PROTECTED AND PRESERVED SHALL BE IDENTIFIED ON THE TRUNK WITH WHITE SURVEY TAPE. GROUPING OF MORE THAN ONE TREE MAY OCCUR.
2. TO PREVENT ROOT SMOTHERING, SOIL STOCKPILES, SUPPLIES, EQUIPMENT OR ANY OTHER MATERIAL SHALL NOT BE PLACED OR STORED WITHIN THE DRIP LINE OR WITHIN 15 FEET OF A TREE TRUNK, WHICHEVER IS GREATER.
3. FENCING MATERIAL SHALL BE SET AT THE DRIP LINE OR 15 FEET FROM TREE TRUNK, WHICHEVER IS GREATER, AND MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
4. FENCING MATERIAL SHALL BE BRIGHT, CONTRASTING COLOR, DURABLE, AND A MINIMUM OF FOUR FEET IN HEIGHT.
5. TREE ROOTS SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.
6. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. ROOTS SHALL BE CUT NO MORE THAN 1/3 OF THE RADIUS FROM DRIPLINE TO TRUNK. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, DURING DORMANCY PERIOD. ROOT STIMULATOR SHALL BE APPLIED TO CUT ROOTS. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
7. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, DURING DORMANCY PERIOD. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
8. ANY GRADE CHANGES (SUCH AS THE REMOVAL OF TOPSOIL OR ADDITION OF FILL MATERIAL) WITHIN THE DRIP LINE SHOULD BE AVOIDED FOR EXISTING TREES TO REMAIN. RETAINING WALLS AND TREE WELLS ARE ACCEPTABLE ONLY WHEN CONSTRUCTED PRIOR TO GRADE CHANGE.



1. **TRUNK PROTECTION** - 1" BOARDS NO LESS THAN 5' LONG OR TO REACH FIRST SCAFFOLD BRANCH. WIRE TO HOLD BOARDS IN PLACE, NO NAILS PERMITTED. INCLUDE WRAPPING OF BURLAP UNDER BOARDS.
2. **BRANCH PROTECTION** - PROTECT LOWER BRANCHES OF TREE CANOPY. PROVIDE CONSTRUCTION FENCING OR EQUAL AT DRIPLINE MINIMUM.
3. PLACE SIGNS EVERY 50', PLACE SIGNS WHERE VISIBLE, ATTACH TO FENCING.



- NOTES:
1. WHEN PLANTED ON A CURVE, ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSES.

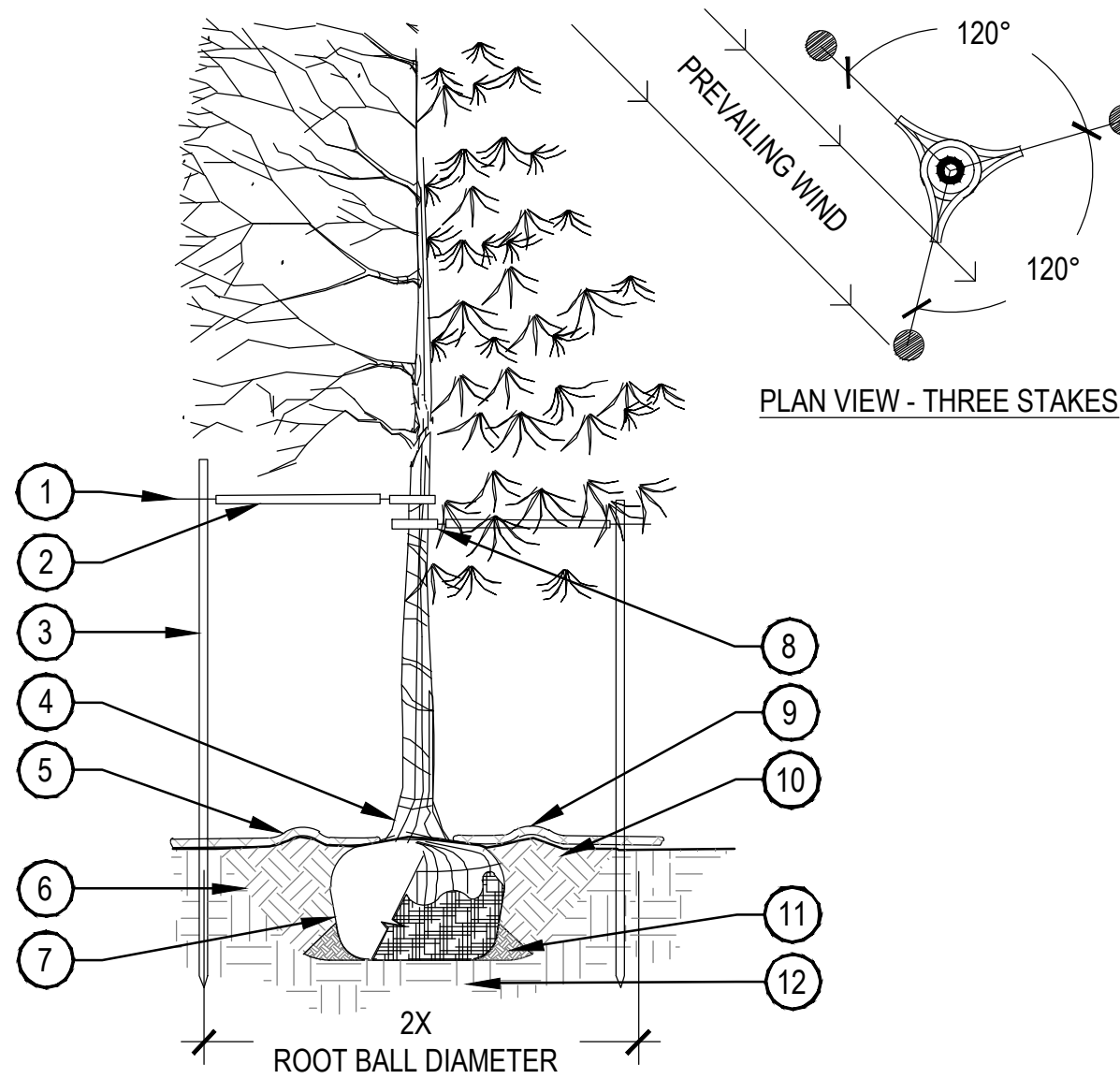
1. REFER TO PLANT SCHEDULE FOR PLANT ON CENTER SPACING
2. SPECIFIED MULCH, REFER TO MATERIAL SCHEDULE, SHEET L-XXX
3. AMENDED PLANTING BED TILLED TO A DEPTH OF 10", BACKFILL WITH PLANT MIX PER LANDSCAPE SPECIFICATIONS
4. CENTER OF PLANT

PRUNING NOTES:

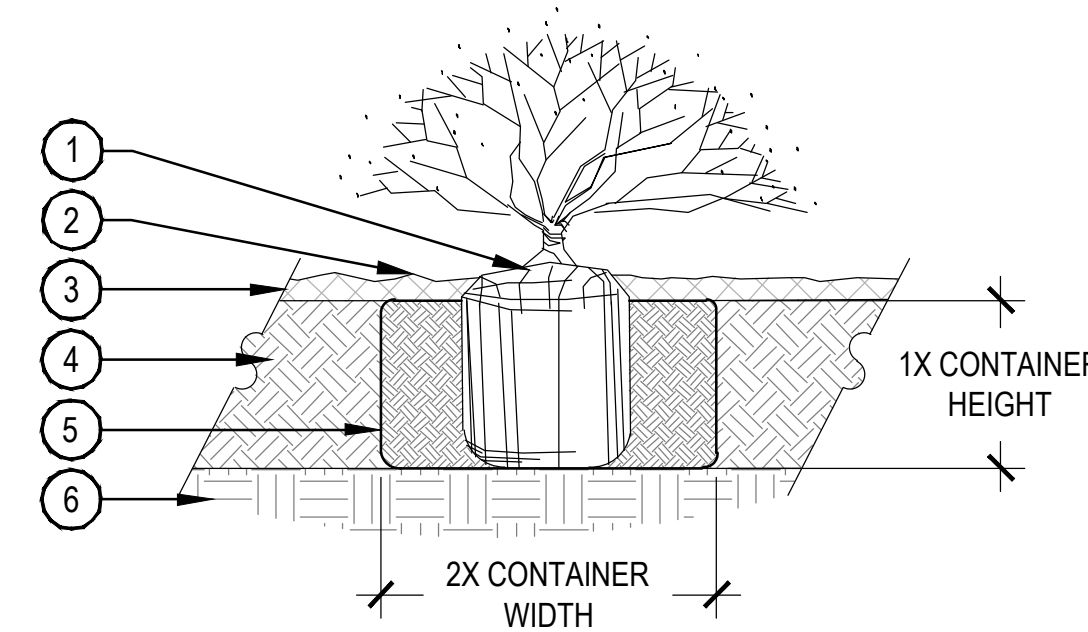
1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
2. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:

1. STAKE TREES PER DIAGRAM. AFTER A MINIMUM OF (3) THREE YEARS CONFIRM TREE IS ESTABLISHED. CHECK FOR ROOTBALL STABILITY. APPLY HAND PRESSURE TO TRUNK OF TREE, WHEN ROOTBALL DOES NOT MOVE, REMOVE STAKING.
 - a. 2" CALIPER SIZE AND UNDER DECIDUOUS AND ASPEN TREES - MINIMUM 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).
 - b. EVERGREEN TREES - 3 STAKES PER DIAGRAM.
 - c. 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.
2. WIRE OR CABLE SHALL BE MINIMUM 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.
3. ADJUST STAKING, STRAPS AND GUY WIRES ANNUALLY.
4. TREATED WOOD POST PREFERRED. METAL T STAKES WITH PLASTIC SAFETY CAPS ACCEPTABLE WITH APPROVAL FROM OWNER.



1. GALVANIZED WIRE
2. PLACE MINIMUM 1/2" PVC PIPE AROUND EACH WIRE, EXPOSED WIRE SHALL BE MAXIMUM 2" EACH SIDE
3. INSTALL STAKING PER SPECIFICATIONS
4. PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE
5. 2'-0" RADIUS MULCH RING, CENTERED ON TRUNK, 3" DEPTH, ON TOP OF WEED FABRIC, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK, FINISHED GRADE REFERENCES TOP OF MULCH
6. 1:1 SLOPE ON SIDES OF PLANTING HOLE
7. REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM THE ENTIRE ROOTBALL AND TRUNK
8. GROMMETED NYLON STRAPS
9. 4-6" HIGH WATER SAUCER IN NON-TURF AREAS
10. BACKFILL AROUND ROOTBALL WITH PLANT MIX, PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST, EXCAVATED SOIL, PLUS MYCORRHIZAL INOCULANT PER SPECIFICATIONS
11. PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP, SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS
12. PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT



- NOTE:
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.
 2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
 3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER.
 4. DIG PLANT PIT TWICE AS WIDE AND AS HIGH AS THE CONTAINER.
 5. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING, DO NOT PRUNE MORE THAN 20% OF LIMBS.

1. SET SHRUB ROOT-BALL 1" HIGHER THAN FINISH GRADE
2. FINISH GRADE (TOP OF MULCH)
3. SPECIFIED MULCH, REFER TO MATERIAL SCHEDULE, SHEET L-XXX
4. TILL IN SPECIFIED SOIL AMENDMENT TO A DEPTH OF 8" IN BED
5. BACKFILLED AMENDED SOIL
6. UNDISTURBED SOIL

TREE PLANTING DETAIL

NOTES:

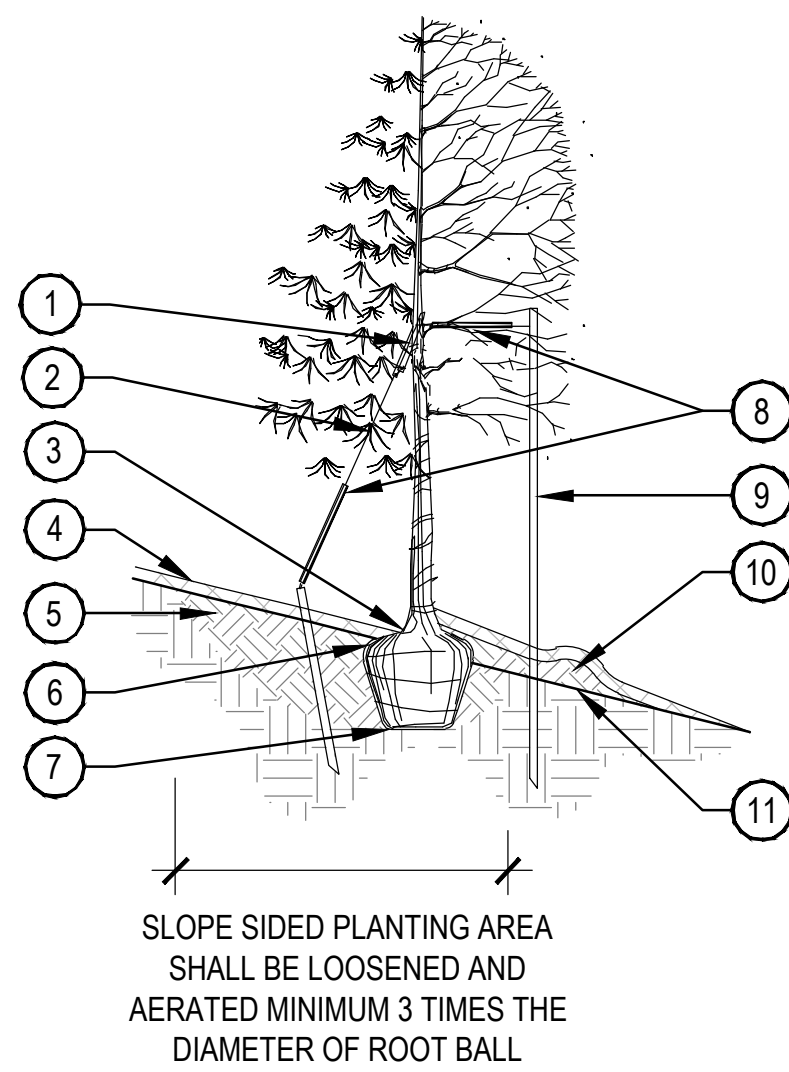
1. EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND LESS THAN THE DISTANCE FROM THE TOP MOST ROOT AND THE BOTTOM OF THE ROOT BALL. THE PLANTING AREA SHALL BE LOOSENED AND AERATED AT LEAST THREE TO FIVE TIMES THE DIAMETER OF THE ROOT BALL. REFERENCE TREE PLANTING DETAIL FOR BACKFILL NOTES.
2. TREES SHALL BE PLANTED WITH THE TOP MOST ROOT IN THE ROOT BALL 3" TO 5" HIGHER THAN THE FINISHED LANDSCAPE GRADE. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED.
3. FORM SOIL INTO A 3" TO 5" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 3" TO 4" DEPTH OF SPECIFIED MULCH INSIDE WATERING RING.

PRUNING NOTES:

1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
2. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:

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3. ADJUST STAKING, STRAPS AND GUY WIRES ANNUALLY.
4. USE GUY ASSEMBLIES FOR EVERGREENS AND TREES OVER 3" CALIPER. ALL WIRE TO BE MINIMUM 12 GAUGE GALVANIZED.



1. GROMMETED NYLON STRAP
2. GALVANIZED WIRE
3. TOP MOST ROOT IN ROOTBALL: 1"-2" ABOVE EXISTING GRADE, UPHILL SIDE
4. 2-4" OF ORGANIC MULCH APPLIED OVER PLANTING AREA AND AWAY FROM THE TRUNK, REFER TO MATERIAL SCHEDULE, SHEET L-XXX, FINISHED GRADE REFERENCES TOP OF MULCH
5. BACKFILL WITH PLANT MIX, PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST, EXCAVATED SOIL, PLUS MYCORRHIZAL INOCULANT PER SPECIFICATIONS, WATER THOROUGHLY WHEN BACKFILLING
6. REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOTBALL AND TRUNK
7. PLACE ROOTBALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT, IF SOIL HAS BEEN IMPORTED, PROVIDE MODERATE FOOT PACKING OF SOIL DIRECTLY UNDER LOCATION OF ROOTBALL
8. 24" X 3/4" P.V.C. MARKERS (TYPICAL) OVER WIRES
9. TREATED WOOD POST, OR METAL T STAKE WITH CAP, WITH GROMMETED NYLON STRAPS, USE 2 GUY WIRES
10. UNAMENDED TOPSOIL ADDED TO EXISTING GRADE ON DOWN HILL SIDE, REFER TO SPECIFICATIONS
11. EXISTING GRADE

TREE PLANTING ON SLOPE

SCALE: 1/4" = 1'-0"

SHRUB PLANTING

SCALE: 1 1/2" = 1'-0"

OWNER:

NHP FOUNDATION

122 EAST 42ND STREET

SUITE 4900

NEW YORK, NY 10168

NOT FOR
CONSTRUCTION



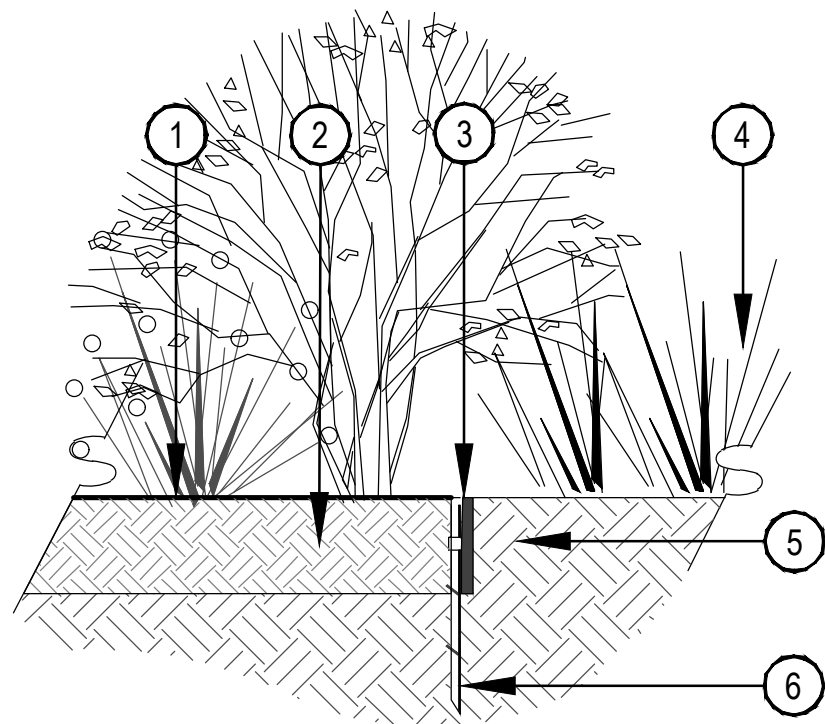
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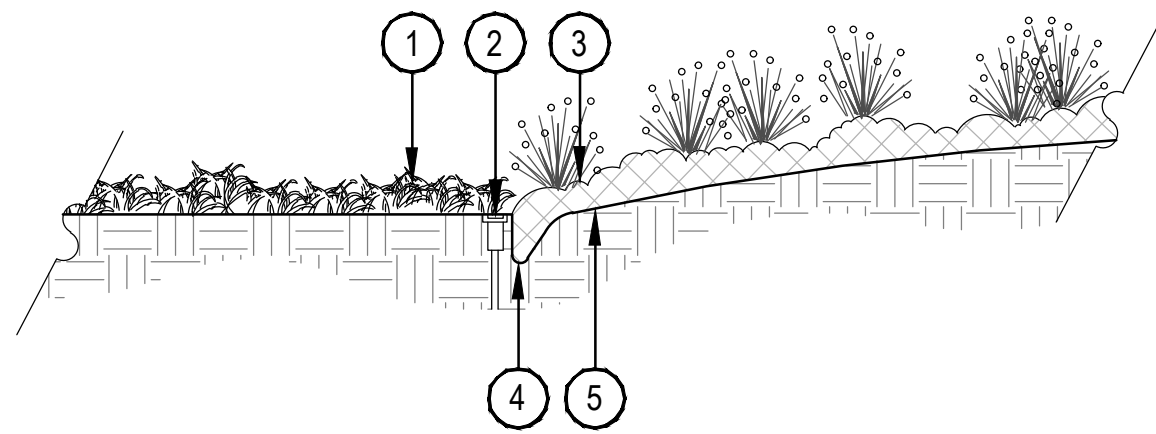
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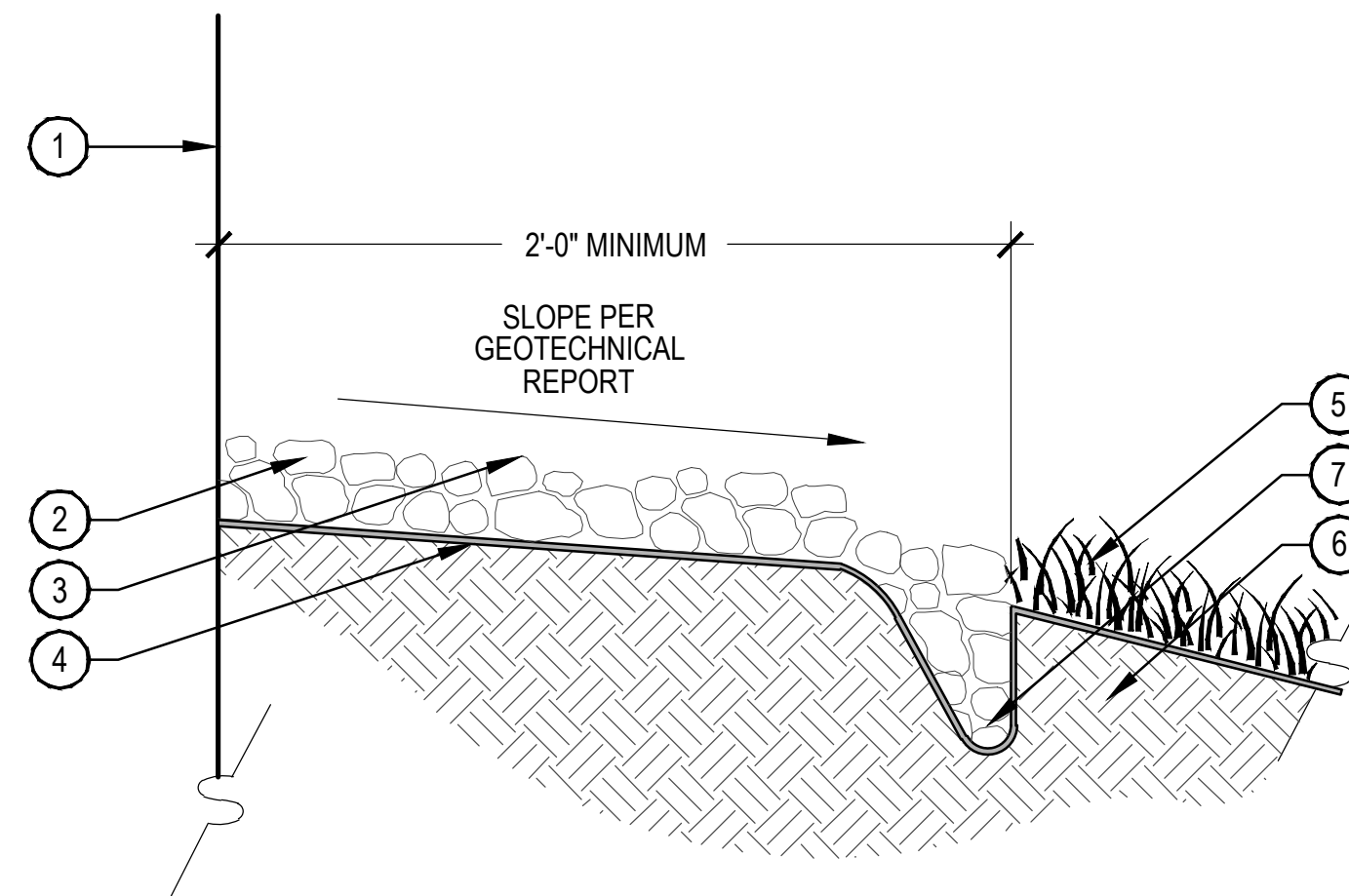
LANDSCAPE
DETAILS



- 1 FINISH GRADE
- 2 ADJACENT LANDSCAPE, SEE LANDSCAPE PLANS FOR TYPE
- 3 1X6 BENDA BOARD EDGER BY EPIC PLASTICS, COLOR TO BE TEAK
- 4 NATIVE SEED OR ADJACENT LANDSCAPE, REFER TO LANDSCAPE PLANS
- 5 SUBGRADE
- 6 EDGER STAKE, INSTALL PER MANUFACTURER SPECIFICATIONS



- 1 TURFGRASS OR DYLAND SEED
- 2 IRRIGATION HEADS SHOULD BE LOCATED ADJACENT TO MULCH BEDS, OFFSET HEAD INTO GRASS AREA TO ENSURE STABLE SUPPORT
- 3 PLANTING BED
- 4 VERTICAL SPADE CUT EDGE FILLED WITH SPECIFIED MULCH, TAPER EDGE OF BED SO MULCH IS DEEPER AGAINST SPADED EDGE
- 5 SPECIFIED DEPTH OF MULCH, TYPICALLY WOOD MULCH 3"-4" DEEP



- 1 ADJACENT BUILDING
- 2 RIVER ROCK COBBLE; REFER TO MATERIAL SCHEDULE
- 3 FINISHED GRADE
- 4 WEED BARRIER FABRIC; 24" MINIMUM LAP JOINT
- 5 ADJACENT NATIVE GRASS OR LANDSCAPE BED, REFER TO LANDSCAPE PLANS FOR ADJACENT TREATMENT TYPE
- 6 UNDISTURBED SUBGRADE
- 7 SPADE CUT EDGE OF DRIP LINE

NOTES:
1. COBBLE DRIP LINE TO BE INCLUDED AROUND PERIMETER OF ALL BUILDINGS WHERE ROOF LINE EXTENDS AND SHEDS WATER / SNOW.

1 BENDA BOARD EDGER

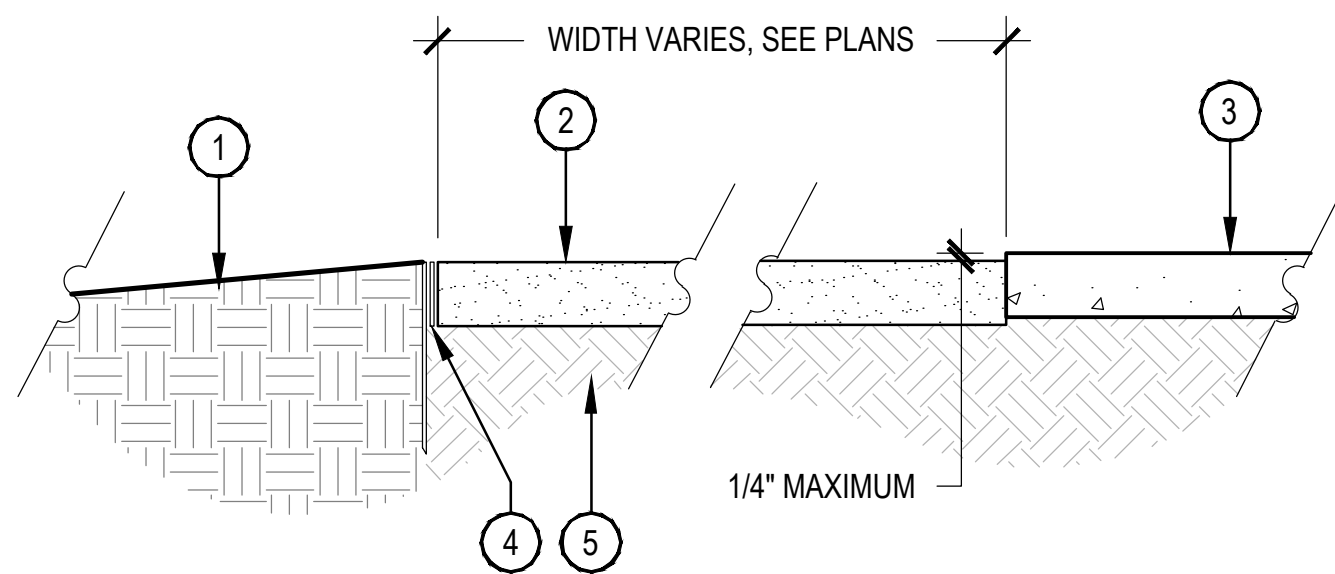
N.T.S.

2 SPADE CUT EDGE

SCALE: 1/2" = 1'-0"

3 COBBLE DRIP LINE

SCALE: 1 1/2" = 1'-0"



- 1 ADJACENT LANDSCAPE, REFER TO PLAN
- 2 COMPACTED, STABILIZED CRUSHER FINES, RE: MATERIAL SCHEDULE, SHEET L-002
- 3 ADJACENT HARDSCAPE, REFER TO PLAN
- 4 PLASTIC EDGING
- 5 SUBGRADE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY

NOTES:
1. SLOPE ADJACENT LANDSCAPE AWAY FROM CRUSHER FINES PAVING.
2. PAVING AREAS SHALL NOT DRAIN TOWARDS STRUCTURES.
3. COMPACT CRUSHER FINES WET, COMPACT TO 95% STANDARD PROCTOR DENSITY.
4. USE A RIDING ROLLER TO COMPACT TRAIL.
5. CROWN OF 2% IN FLAT AREAS AS SHOWN.
6. CROSS SLOPE TRAIL AT 1-2% WITH GRADE WHERE TOPOGRAPHY DICTATES.
7. APPLY STABILIZER/TACKIFIER TO CRUSHER FINES SURFACE PER MATERIALS SCHEDULE AND SPECIFICATIONS.

4 CRUSHER FINES PAVING

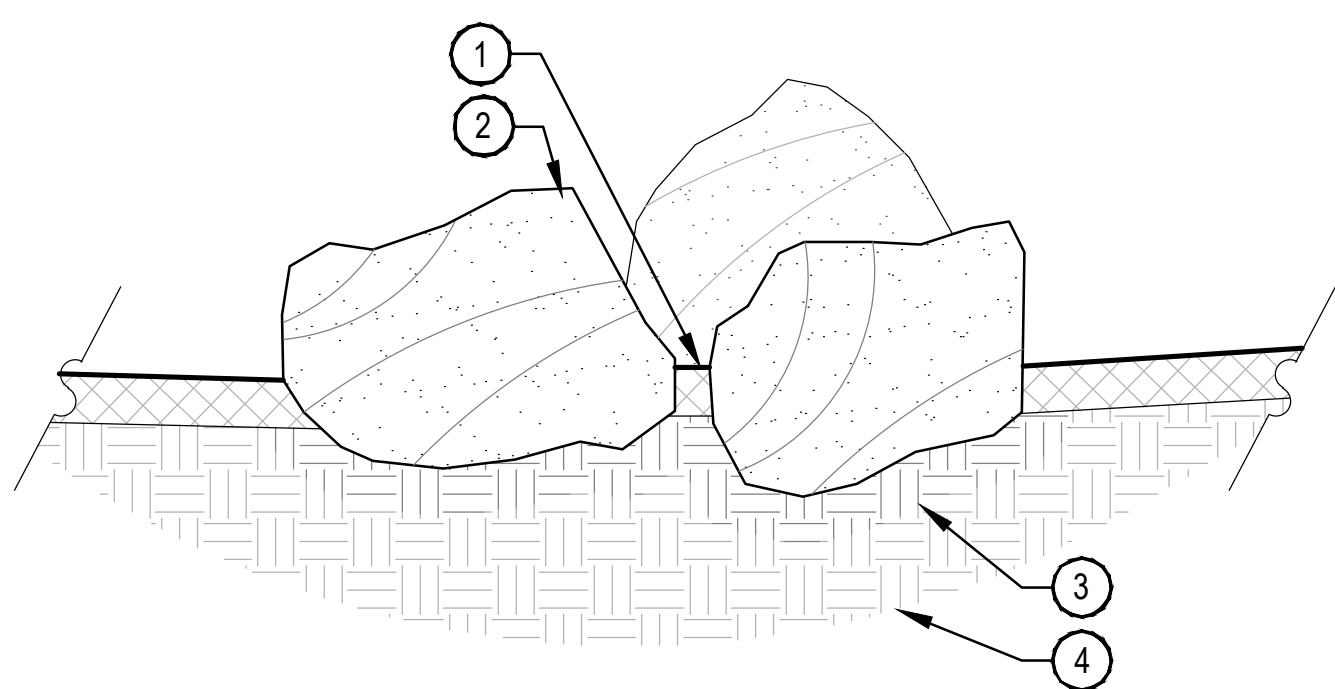
SCALE: 1" = 1'-0"

5 CRUSHER FINES TRAIL WITH EDGER

SCALE: 3/4" = 1'-0"

6 TYPICAL POT PLANTING DETAIL

SCALE: 3/4" = 1'-0"



- 1 MULCH TO BOULDERS, NO GAPS
- 2 BOULDER, NATURALLY SET BOULDER SO THAT A MINIMUM 1/4 OF BOULDER IS BELOW FINISH GRADE
- 3 COMPACTED SUBGRADE
- 4 UNDISTURBED GRADE

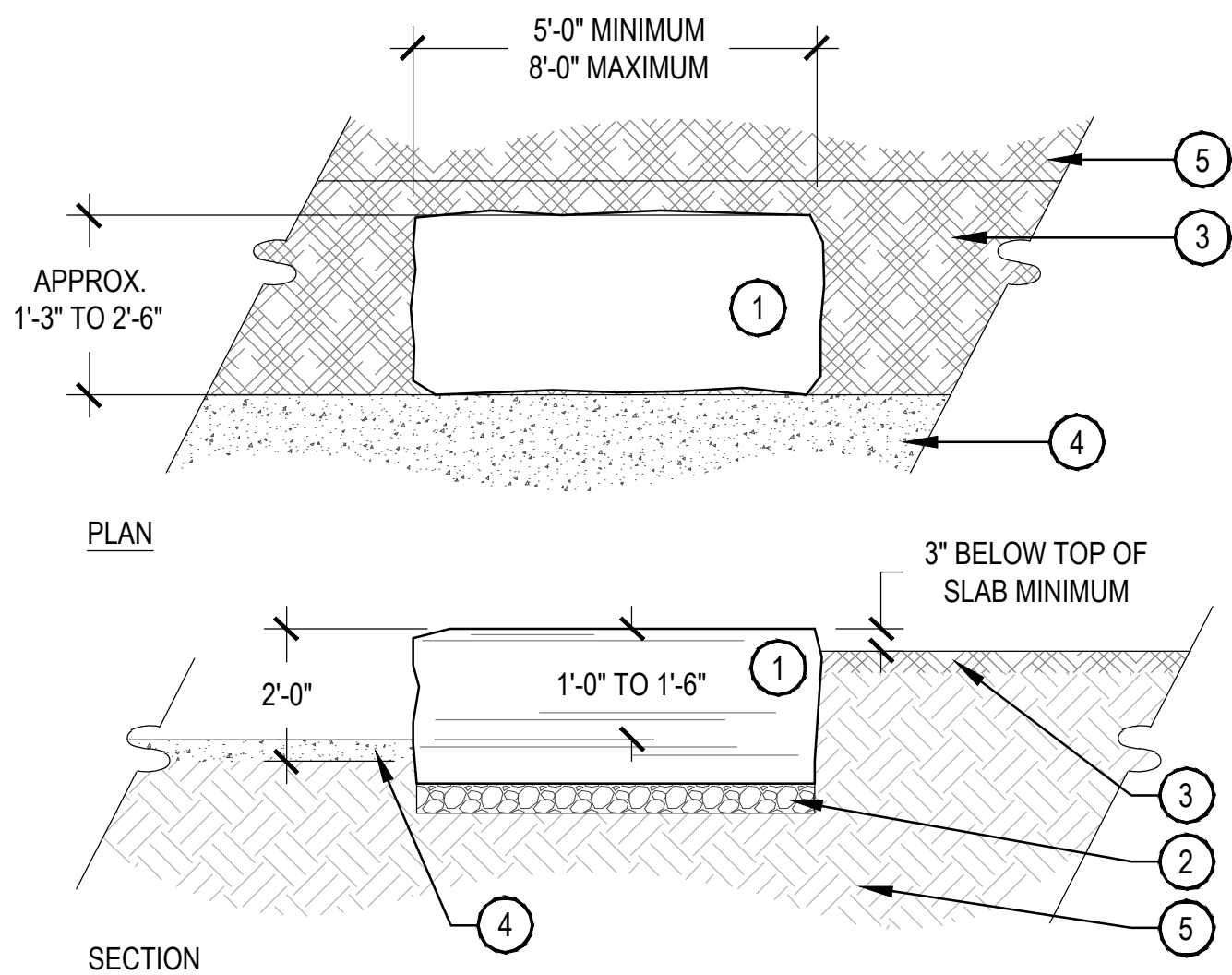
NOTES:
1. THE OWNERS REPRESENTATIVE SHALL APPROVE LOCATIONS AND SIZES OF ALL BOULDERS PRIOR TO PLACING.

7 BOULDER CROPPING

SCALE: 1" = 1'-0"

5 CRUSHER FINES TRAIL WITH EDGER

SCALE: 3/4" = 1'-0"



- 1 SILOAM STONE BEAM SLAB WITH NATURAL CLEFT FACE, 5'-8" W x 1'-6" - 2'-0" H x 1'-3" - 2'-6" D SAW CUT FINISH ON TOP, ALL OTHER SIDES SHALL HAVE A NATURAL CLEFT FACE. STONE SLAB SHALL BE SET TO BE AS LEVEL AS POSSIBLE. BURY BOULDER SLAB 6" DEPTH MINIMUM.
- 2 4" DEPTH COMPACTED ROAD BASE
- 3 ADJACENT PLANTING BED, REFER TO LANDSCAPE PLANS
- 4 ADJACENT PAVING REFER TO PLANS
- 5 UNDISTURBED SUBGRADE

8 STONE SLAB BENCH

SCALE: 1/2" = 1'-0"



1 FIRST LEVEL FLOOR PLAN
A2.1 SCALE: 1"=10.0'



101 WEST MAIN STREET
LOT D-1, AMENDED WEST FRISCO 70, FILING #2
TOWN OF FRISCO, COLORADO
TITLE FIRST LEVEL FLOOR PLAN

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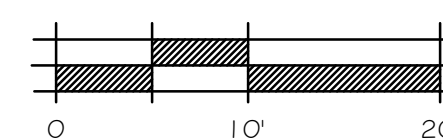
ISSUE:	DATE:
DRC	7 DEC 2022
SKETCH	9 JAN 2023
SKETCH	3 MAY 2023
UPDATE	8 AUG 2023
DRC	26 OCT 2023
SKETCH	3 NOV 2023
PLANNING	12 DEC 2023

PROJECT #: 22105

A2.1



1
A2.2 SECOND LEVEL FLOOR PLAN
SCALE: 1"=10.0'



101 WEST MAIN STREET
LOT D-1, AMENDED WEST FRISCO 70, FILING #2
TOWN OF FRISCO, COLORADO

SECOND LEVEL FLOOR PLAN

TITLE

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PROJECT #: 22105

A2.2



101 WEST MAIN STREET
LOT D-1, AMENDED WEST FRISCO 70, FILING #2
TOWN OF FRISCO, COLORADO

TITLE
THIRD LEVEL FLOOR PLAN
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PROJECT #: 22105

A2.3

101 WEST MAIN STREET
LOT B-I, AMENDED WEST FRISCO 70 . FILING #2
TOWN OF FRISCO . COLORADO

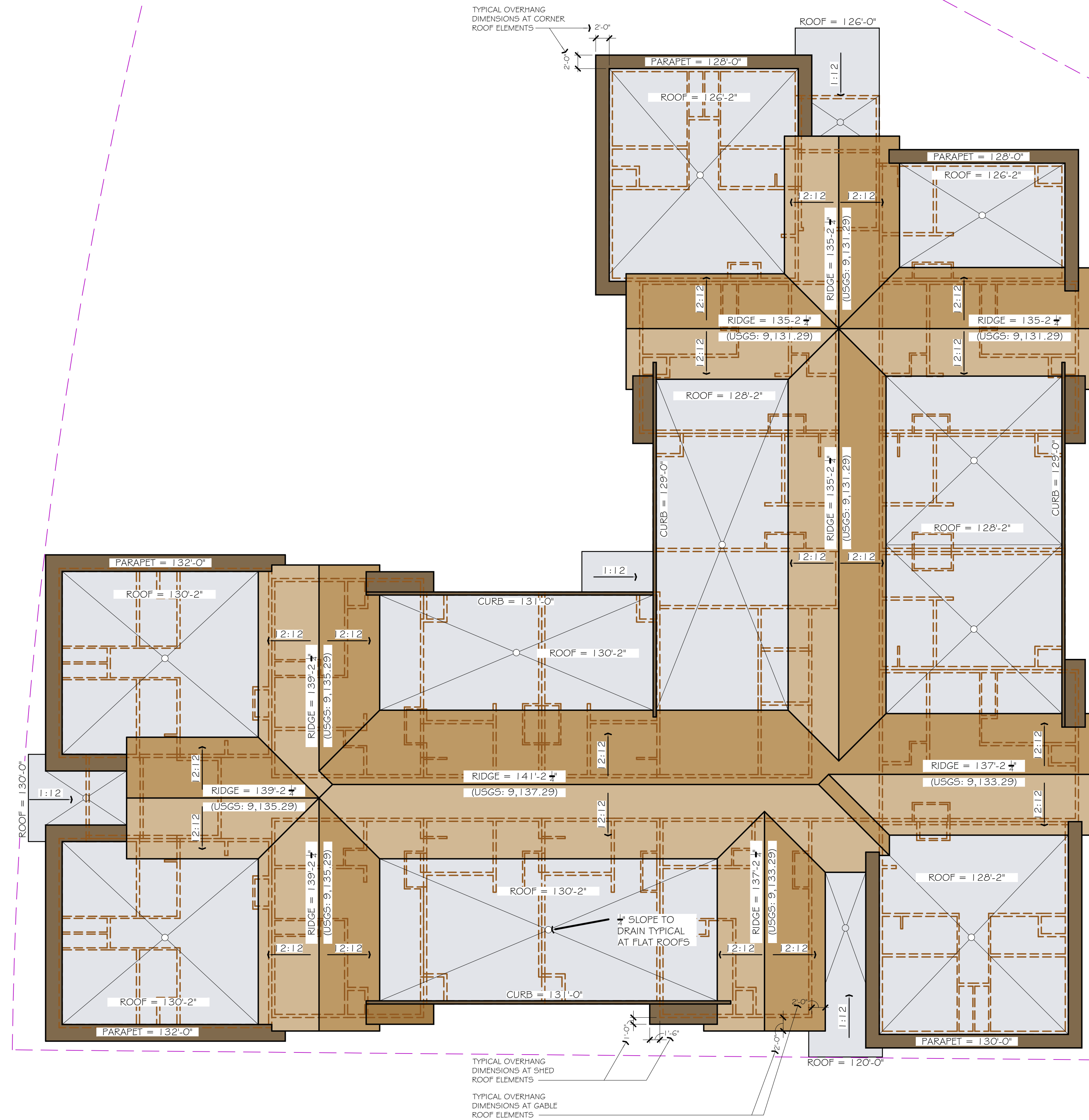
ROOF PLAN

ROOF PLAN

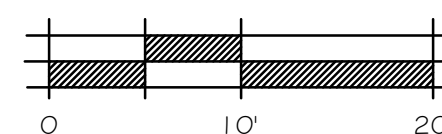
ISSUE:	DATE:
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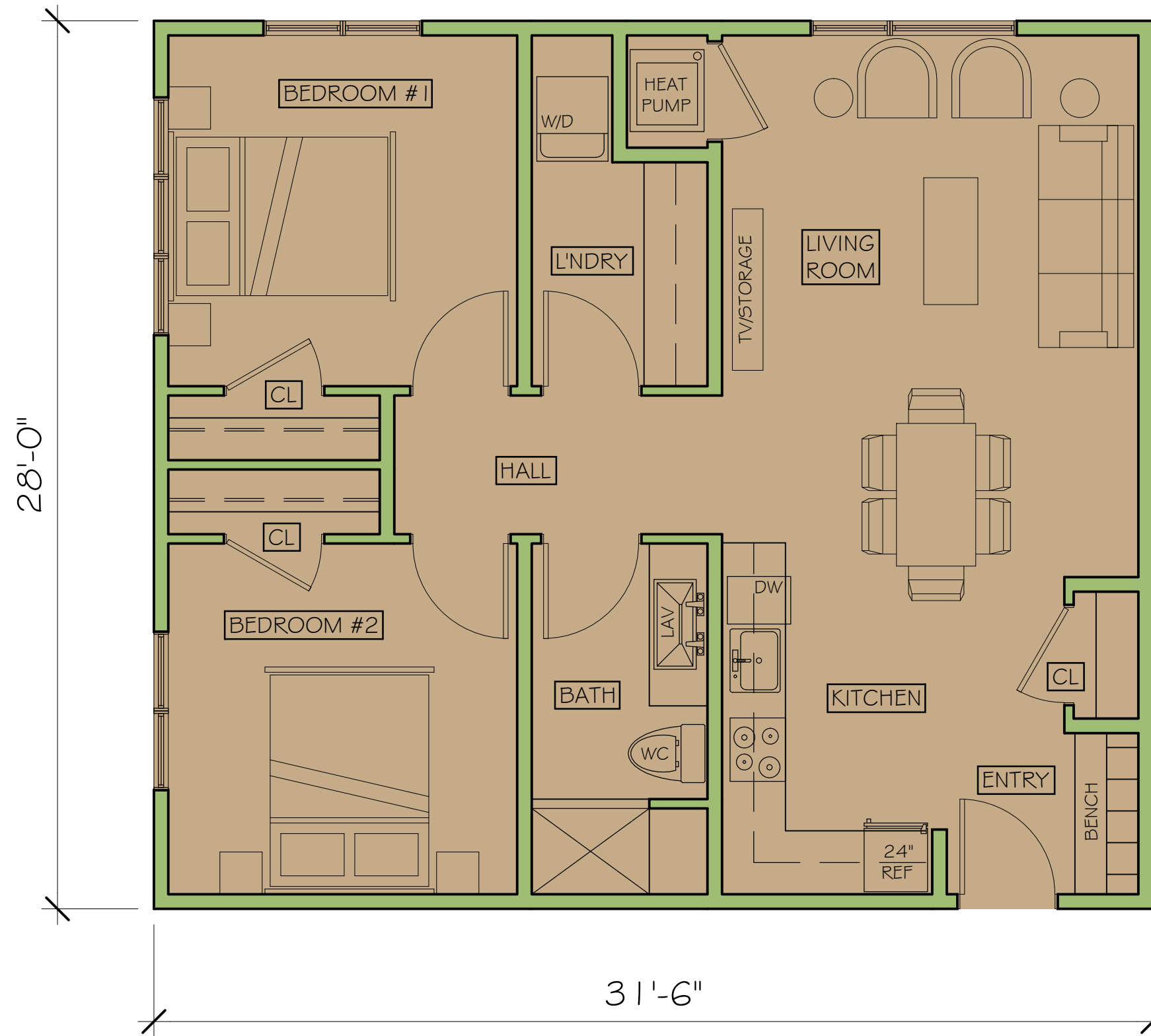
PROJECT #: 22105

A2.4

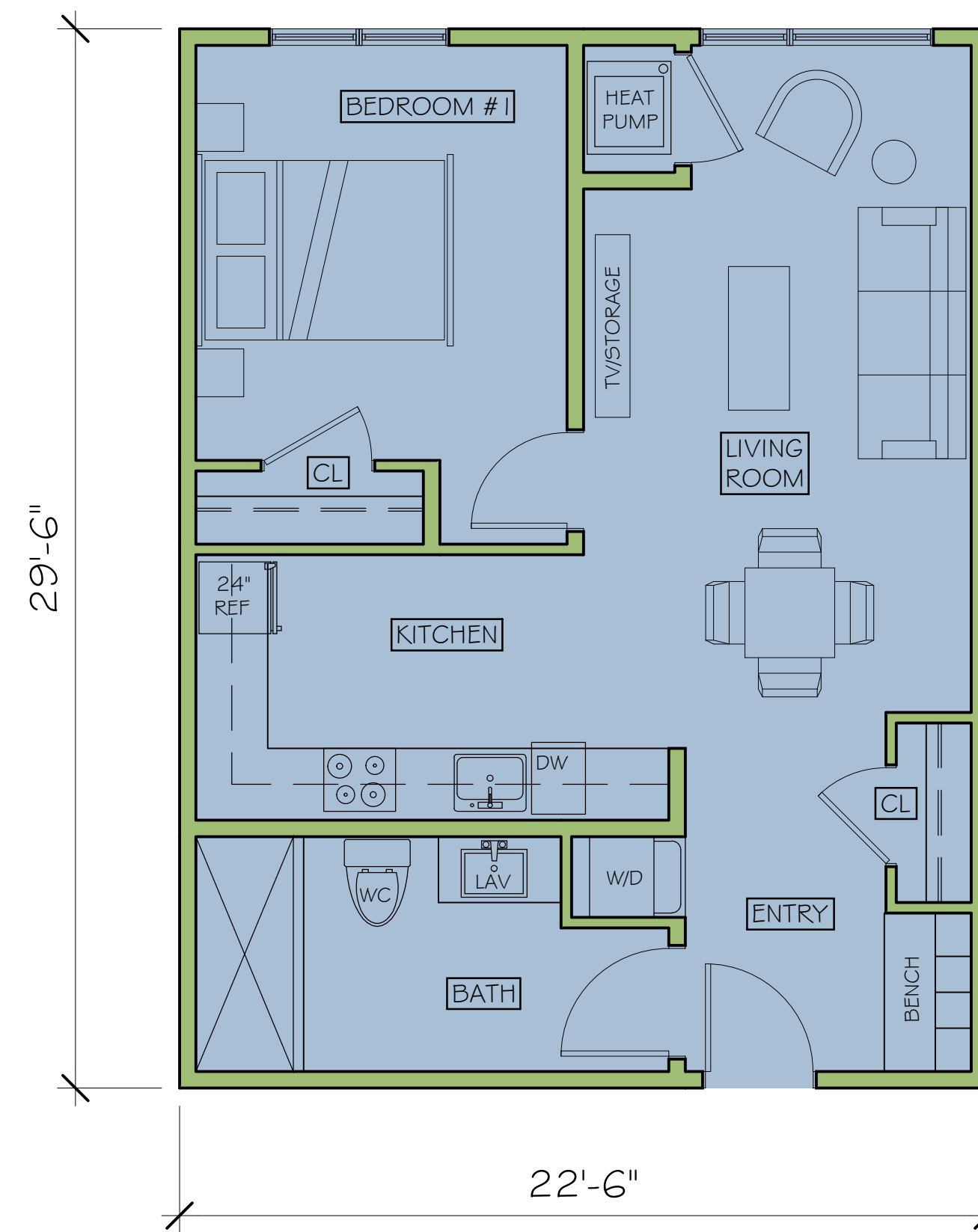


1 ROOF PLAN
A2.4 SCALE: 1"=10.0'

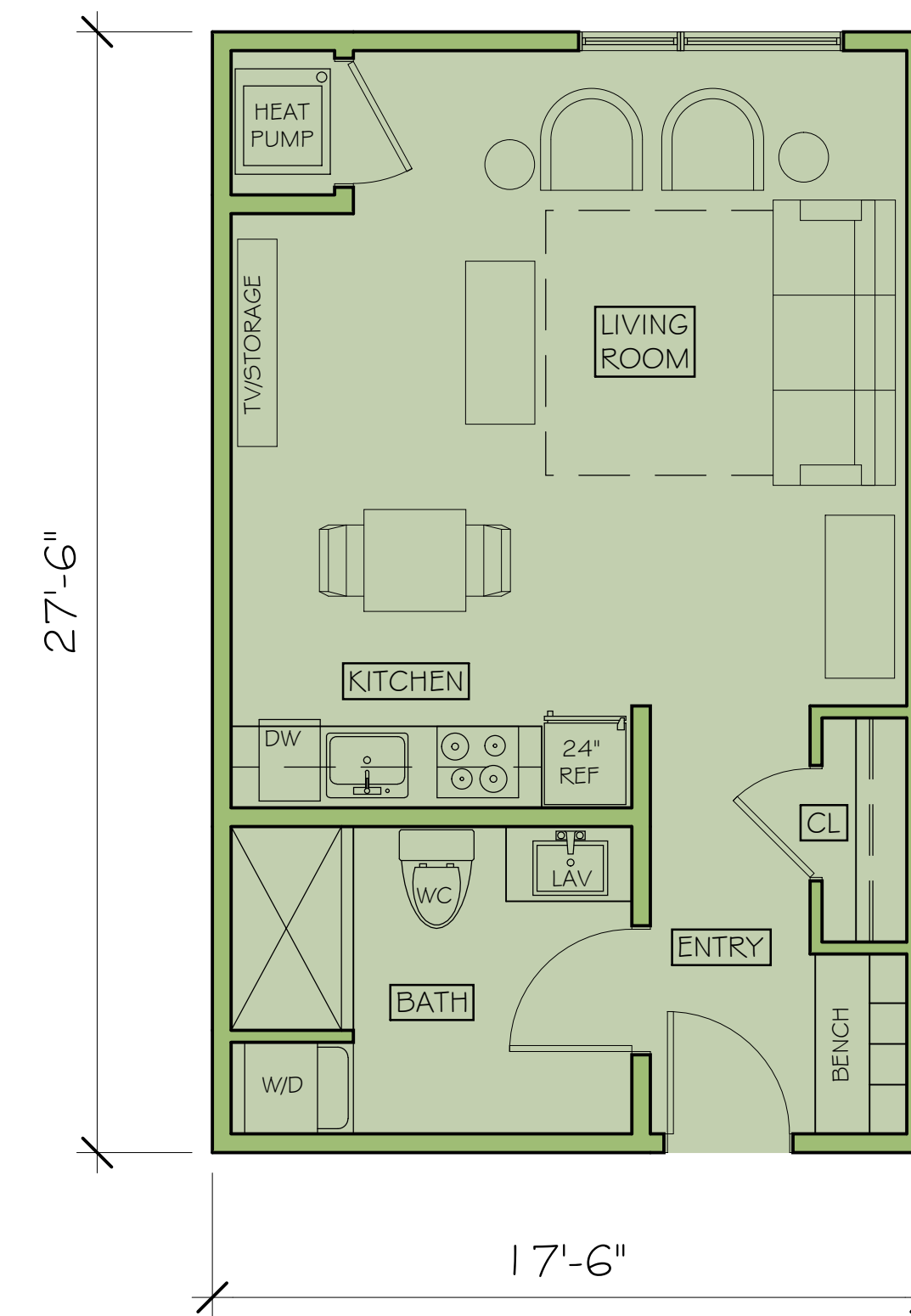




3 2- BEDROOM UNIT PLAN (882 SF)
A2.5 SCALE: 1/4" = 1'-0"
0 1' 2' 4' 8'

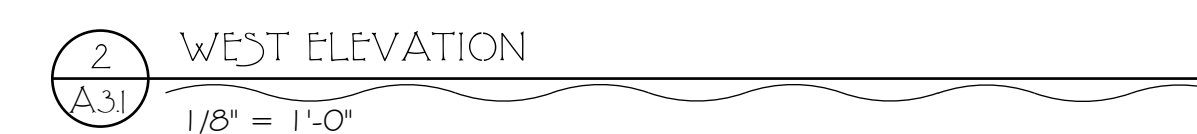


2 1- BEDROOM UNIT PLAN (664 SF)
A2.5 SCALE: 1/4" = 1'-0"
0 1' 2' 4' 8'



1 STUDIO UNIT PLAN (481 SF)
A2.5 SCALE: 1/4" = 1'-0"
0 1' 2' 4' 8'

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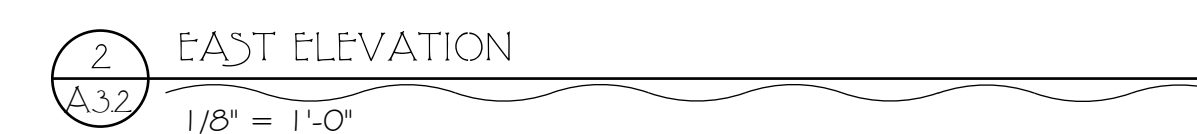
101 WEST MAIN STREET
LOT B-1, AMENDED WEST FRISCO 70, FILING #2
TOWN OF FRISCO, COLORADO

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PROJECT# 2161

A3.1



ISSUE	DATE
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PLANNING	12 DEC 2023



1 MAIN STREET VIEW
A3.3
N.T.S.



3 SOUTHERN PERSPECTIVE (FROM MAIN STREET)
A3.3
N.T.S.



2 SOUTHEAST PERSPECTIVE (FROM MAIN STREET)
A3.3
N.T.S.



5 NORTHEAST PERSPECTIVE (FROM TENMILE CREEK)
A3.3
N.T.S.



4 NORTHWEST PERSPECTIVE (FROM CREEKSIDE DRIVE)
A3.3
N.T.S.

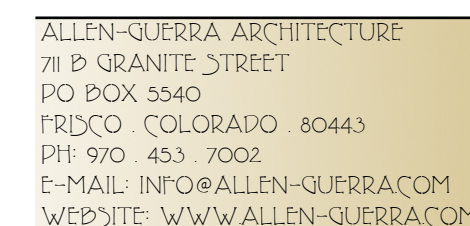
101 WEST MAIN STREET
LOT B-1, AMENDED WEST FRISCO TO FILING #2
TOWN OF FRISCO, COLORADO
TITLE
PERSPECTIVE RENDERINGS

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PROJECT# 2161

A3.3



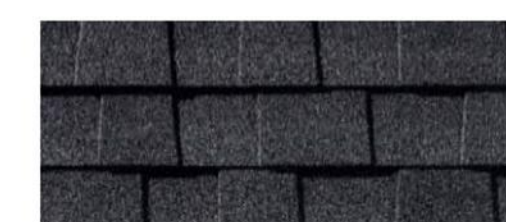
ITEM

ASPHALT SHINGLE
ROOFING

COLOR

DESCRIPTION

---GAF TIMBERLINE HD (LIFETIME):
'CHARCOAL'



M2

STANDING SEAM
METAL ROOFING

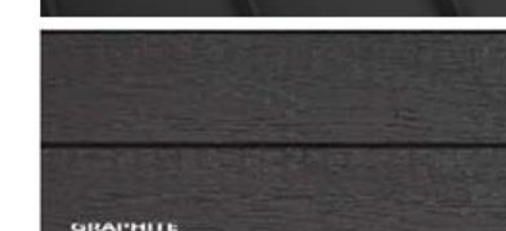
---BRIDGER STEEL TRU SNAP:
16" W PANELS, 1.5" RIB
KYNAR 500 'MATTE BLACK'



M3

FASCIA

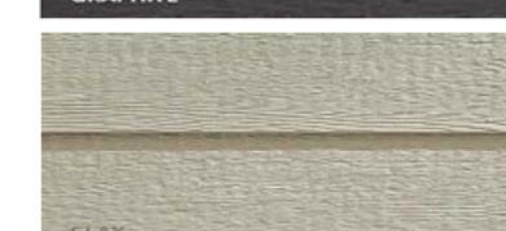
---DIAMOND KOTE:
FASCIA
'GRAPHITE'



M4

SOFFIT

---DIAMOND KOTE:
VENTED SOFFIT
'CLAY'



M5

HORIZONTAL SIDING

---DIAMOND KOTE:
HORIZONTAL SIDING
'COFFFF'



MC

VERTICAL SIDING

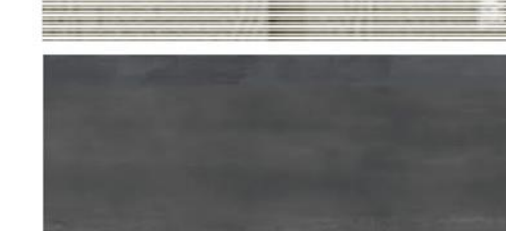
---DIAMOND KOTE:
VERTICAL SIDING
'TERRA BRONZE'



M7

ACCENT SIDING

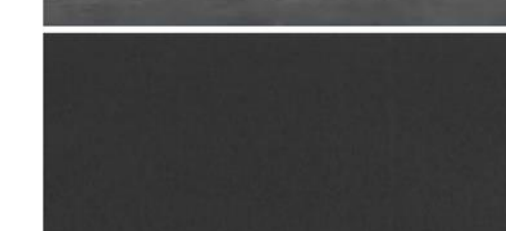
---CUSTOM METAL PANELS:
BLACKENED STEEL W/
MATTE PERMALAC FINISH



M8

DOORS + WINDOWS

---ALUMINUM CLAD WOOD:
JELD-WEN 'BLACK'



EVROGED TIMBERG

---STAIN WITH
SUPERDECK
2318 "TEAK"



M10

STONE VENEER

---GALLEGOS CORPORATION
"TIMBER RIDGE"
DRY STACKED



EXTERIOR MATERIALS LEGEND

5 N.T.S.

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A3.5



E01