

# 6 MINERS CREEK ROAD

LOT 8 . WEST FRISCO 70 . FILING #1  
TOWN OF FRISCO . COLORADO



6 MINERS CREEK ROAD  
LOT 8 . WEST FRISCO 70 . FILING #1  
TOWN OF FRISCO . COLORADO

COVER SHEET

PROJECT AS AN INDUSTRY WORK. BE USE AS REFERENCE PROJECT WITHOUT WRITING CONSENT OF ARCHITECT.

DATE	ISSUE
9 JAN 2024	DESIGN
22 JAN 2024	REVIEW
9 MAR 2024	PERMIT

PROJECT # 343



ALLENQUERRA ARCHITECTURE  
1000 W. 10TH ST.  
DENVER, CO 80202  
PHONE: (303) 733-1100  
WWW.ALLENQUERRAARCHITECTURE.COM















## PLANT LEGEND

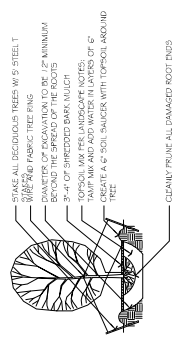
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	16	RIBES ALPINUM & ROSIA WOODSHI	ALPINE CURBANT & WOODS ROSE	5 GAL
	20	POPULUS TREMLAIDIOS	ASPEN	1(0) 1.5" CAL 1(0) 2" CAL
	4	PICEA FUNGENS	COLORADO SPRUCE	12'
		NO FLAMMABLE MATERIALS (PER SUMMIT COUNTY WILDFIRE MITIGATION PLAN)		
		DEFENSIBLE SPACE		

## LANDSCAPE NOTES

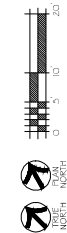
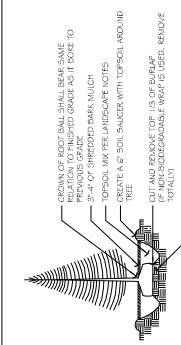
1. IRREGULAR CONTROL BOUNDARIES. CONTROL ALL BOUNDARIES WITH PER SUBDIVISION, STANDARDS AND COUNTY REQUIREMENTS BY UTILIZING STRIPS OR IN COMBINATION TO ROAD, INTERCEPT AND DIRECT RUNOFF WITHIN BUILDING FOOTPRINTS. REMOVE ALL LANDSCAPING AND PLANTINGS IN CONTACT WITH BUILDING FOOTPRINTS TO BE PROTECTED FROM DAMAGE BY ICE, DEW, OR OTHER CONDITIONS. MAINTAIN PROTECTED AREAS TO GRADE OF RECORD SURFACE LINE.
2. ALL WATER RUNOFF SHALL BE PROTECTED AS MUCH AS POSSIBLE TO PROMOTE RECHARGEING OF GROUNDWATER AND TO PREVENT EROSION. MAINTAIN PROTECTED AREAS TO GRADE OF RECORD SURFACE LINE.
3. PER COUNTY OF COLORADO'S COMPT SECTION 302.01.3, AS MUCH AS POSSIBLE TO PROMOTE RECHARGEING OF GROUNDWATER AND TO PREVENT EROSION. MAINTAIN PROTECTED AREAS TO GRADE OF RECORD SURFACE LINE.
4. REMOVE ALL EXISTING BATTLE AX TREES (PER ICA GUIDELINES).
5. REMOVE ALL EXISTING TREES, PER ICA GUIDELINES.
6. TREE PLANTING SHALL BE PERFORMED IN ACCORDANCE WITH THE COUNTY OF COLORADO, ICA, AND TOWN OF FRISCO, COLORADO, TREE PLANTING REQUIREMENTS. PLANTINGS SHALL BE PERFORMED IN ACCORDANCE WITH THE COUNTY OF COLORADO, ICA, AND TOWN OF FRISCO, COLORADO, TREE PLANTING REQUIREMENTS. PLANTINGS SHALL BE PERFORMED IN ACCORDANCE WITH THE COUNTY OF COLORADO, ICA, AND TOWN OF FRISCO, COLORADO, TREE PLANTING REQUIREMENTS.
7. ALL PLANTINGS SHALL BE PERFORMED IN ACCORDANCE WITH THE COUNTY OF COLORADO, ICA, AND TOWN OF FRISCO, COLORADO, TREE PLANTING REQUIREMENTS. PLANTINGS SHALL BE PERFORMED IN ACCORDANCE WITH THE COUNTY OF COLORADO, ICA, AND TOWN OF FRISCO, COLORADO, TREE PLANTING REQUIREMENTS.

- 30% SUNKER VIBRATORS
  - 10% SUNKER VIBRATORS
  - 10% WESTERN WATERS
  - 5% SUNKER VIBRATORS
  - 5% SUNKER VIBRATORS
  - 5% SUNKER VIBRATORS
  - 5% SUNKER VIBRATORS
  - 5% SUNKER VIBRATORS
  - 5% SUNKER VIBRATORS
  - 5% SUNKER VIBRATORS
- ALONG WITH A MIXTURE OF PERENNIALS & GRASS COVER. PER SUMMIT COUNTY DEVELOPMENT PERMITS, ALL PLANTINGS SHALL BE INSTALLED TO ALL NEW TYPES OF TREES AND SHRUBS. PER THE TOWN REQUIREMENTS.

## DECIDUOUS TREE PLANTING



## CONIFEROUS TREE PLANTING



## LANDSCAPE PLAN

SCALE: 1"=10'-0"

NORTH

ALLEN GUERRA ARCHITECTURE  
715 QUARITE STREET  
FRISCO, CO 80440  
TEL: 970-597-3000 FAX: 970-597-3001  
WWW.ALLENGUERRA.COM

PROJECT # 2363

LANDSCAPE PLAN  
6 MINERS CREEK ROAD  
TOWN OF FRISCO, COLORADO

DATE: 22 OCT 2023  
PREPARED BY: ALLEN GUERRA ARCHITECTURE  
DATE: 12 JUN 2024  
REVISED BY: ALLEN GUERRA ARCHITECTURE

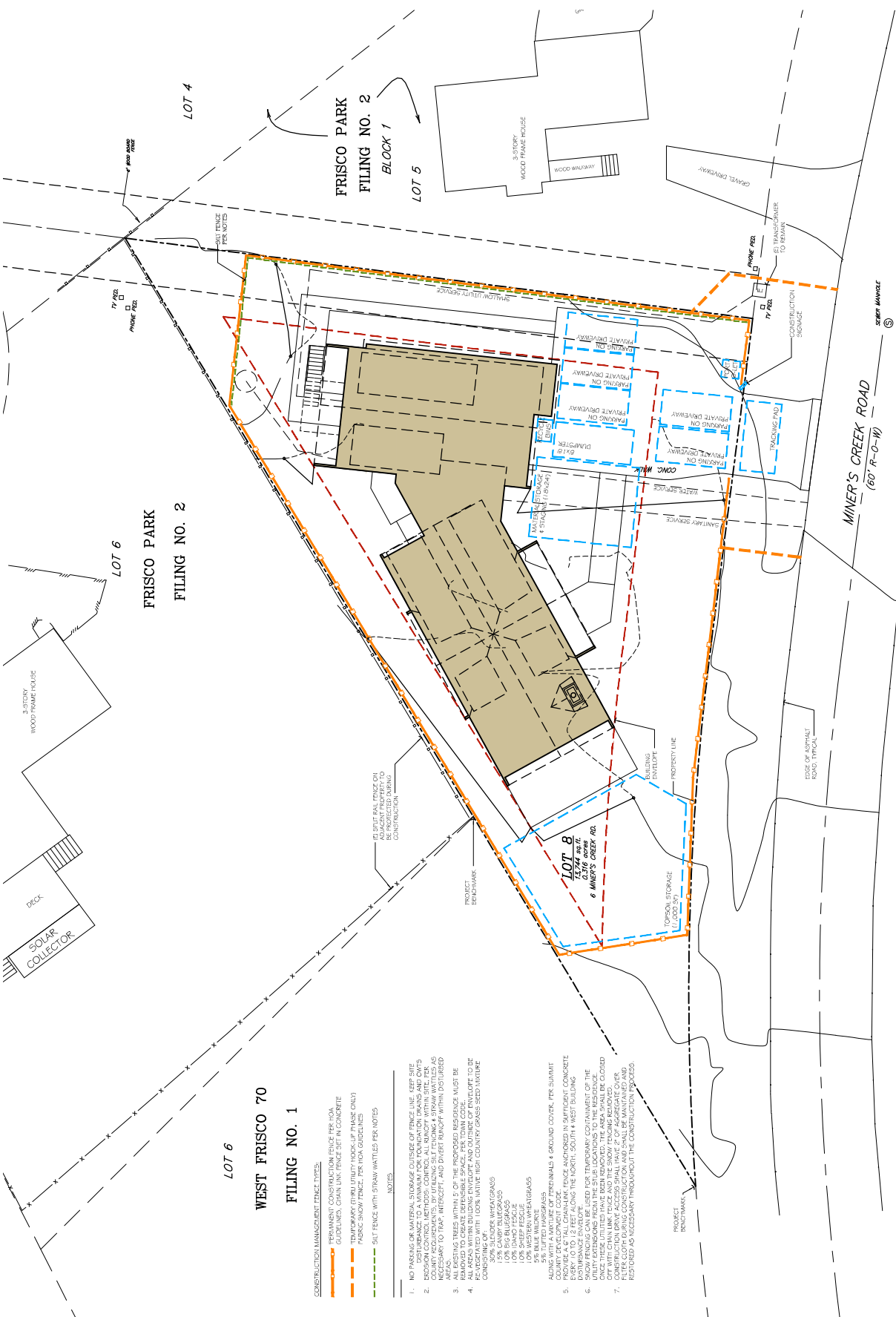
DATE	DESCRIPTION
22 OCT 2023	PREPARED BY ALLEN GUERRA ARCHITECTURE
12 JUN 2024	REVISED BY ALLEN GUERRA ARCHITECTURE
12 MAR 2024	REVISED BY ALLEN GUERRA ARCHITECTURE

PROJECT # 2363

LANDSCAPE PLAN

DATE	DESCRIPTION
22 OCT 2023	PRELIM
10 JUN 2024	PERM
2 MAR 2024	PERM

PROJECT # 2363



WEST FRISCO 70  
 FILING NO. 1

CONSTRUCTION FENCE TYPES:

- PERMANENT CONSTRUCTION FENCE PER HOA GUIDELINES, CHAIN LINK FENCE SET IN CONCRETE
- TEMPORARY FIBER OPTIC LOCK-UP PHASE ONLY
- FRISCO HIGH FENCE, PER HOA GUIDELINES
- SILT FENCE WITH STRAW MATS PER NOTES

NOTES

1. NO PARKING OR MATERIAL STORAGE OUTSIDE OF FENCE LINE. KEEP SITE EROSION CONTROL METHODS CONTROL ALL RUNOFF WITHIN SITE PER HOA GUIDELINES. ALL MATERIALS TO BE STORED WITHIN FENCE LINE. NECESSARY TO TOP, INTERCUT, AND DIVERT RUNOFF WITHIN DESIGNATED AREAS.
2. ASBESTOS TREES WITHIN OF THE PROPOSED RESERVE MUST BE REMOVED TO CREATE DEFENSIBLE SPACE, PER TOWN CODE.
3. ALL ASPHALT DRIVEWAYS AND DRIVEWAYS OUTSIDE OF FENCE LINE TO BE REPAVEMENT WITH 1.5" ASPHALT PER HOA GUIDELINES. GRASS SEED MIXTURE CONSISTING OF: 5% BIRD SEEDS, 15% CRYSTAL BURGESS, 10% BIG BLUEGRASS, 10% SHEEP FESCUE, 10% FESCUE, 50% BLUE WHEATGRASS, 5% BLUE WHEATGRASS.
4. 5% SLOTTED IMPERMEABLE & GROUND COVER, PER SUBMIT COUNTY DEVELOPMENT CODE.
5. PROVIDE A 6" TALL CHAIN LINK FENCE SCHEDULED IN SUFFICIENT CONCRETE FOUNDATION. PROVIDE A 6" TALL CHAIN LINK FENCE SCHEDULED IN SUFFICIENT CONCRETE FOUNDATION. PROVIDE A 6" TALL CHAIN LINK FENCE SCHEDULED IN SUFFICIENT CONCRETE FOUNDATION. PROVIDE A 6" TALL CHAIN LINK FENCE SCHEDULED IN SUFFICIENT CONCRETE FOUNDATION. PROVIDE A 6" TALL CHAIN LINK FENCE SCHEDULED IN SUFFICIENT CONCRETE FOUNDATION.
6. ONCE THESE UTILITIES HAVE BEEN REMOVED, THE AREA SHALL BE CLOSED TO ALL VEHICLES AND PEDESTRIANS. THE AREA SHALL BE CLOSED TO ALL VEHICLES AND PEDESTRIANS. THE AREA SHALL BE CLOSED TO ALL VEHICLES AND PEDESTRIANS. THE AREA SHALL BE CLOSED TO ALL VEHICLES AND PEDESTRIANS.
7. CONSTRUCTION DRIVE ACCESS SHALL HAVE 2" OF AGGREGATE OVER 1/2" SAND. CONSTRUCTION DRIVE ACCESS SHALL HAVE 2" OF AGGREGATE OVER 1/2" SAND. CONSTRUCTION DRIVE ACCESS SHALL HAVE 2" OF AGGREGATE OVER 1/2" SAND.

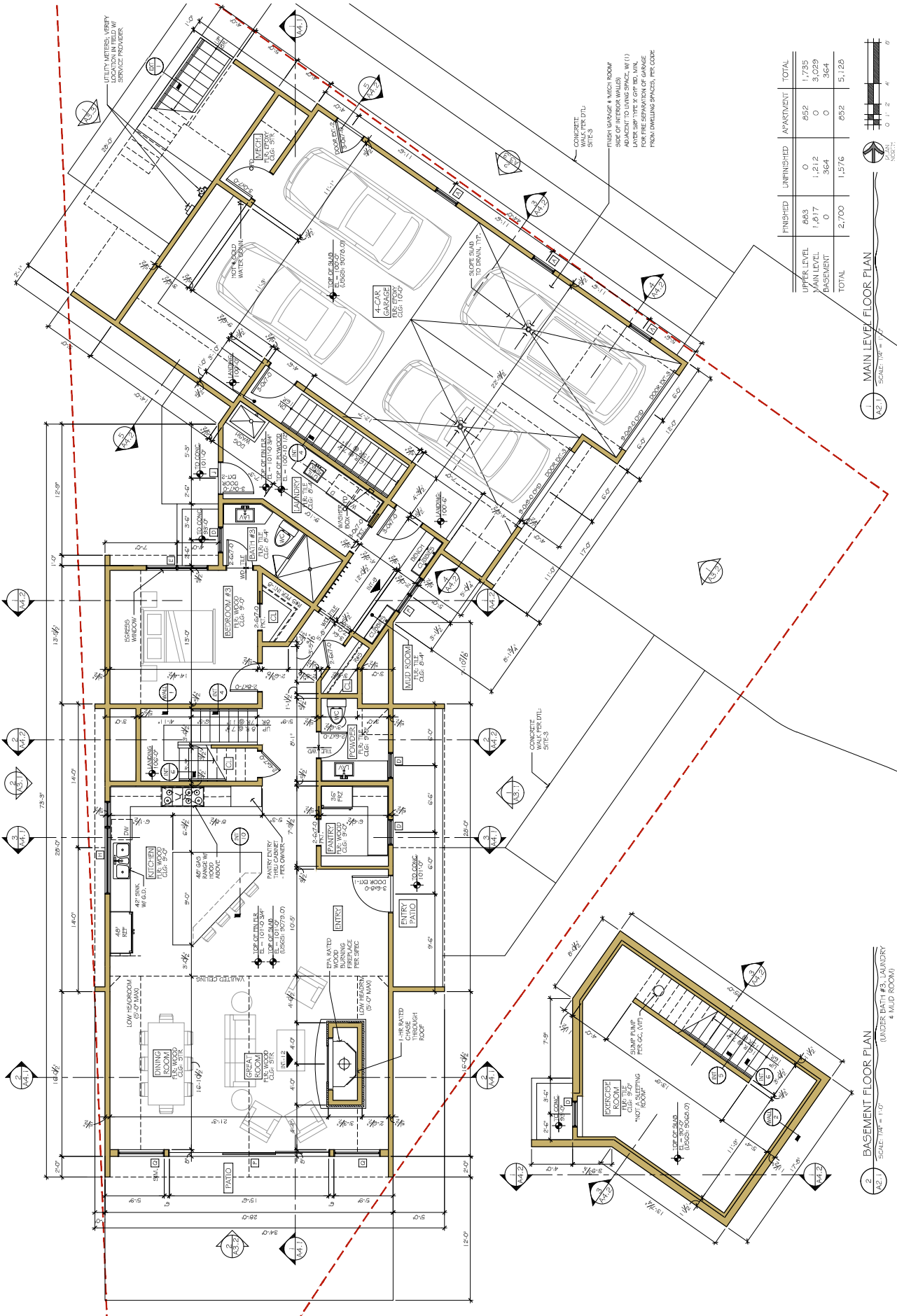


CONSTRUCTION MANAGEMENT PLAN

SCALE: 1"=10'-0"



DATE	DESCRIPTION
25 OCT 2023	PRELIM
10 JUN 2024	PERM
2 MAR 2024	PERM



	FINISHED	UNFINISHED	APARTMENT	TOTAL
UPPER LEVEL	883	0	852	1,735
MAIN LEVEL	1,017	0	0	3,029
BASEMENT	0	584	0	584
TOTAL	2,700	1,576	852	5,128



**2. BASEMENT FLOOR PLAN**  
 (INCLUDES BATH, LAUNDRY & MUD ROOM)

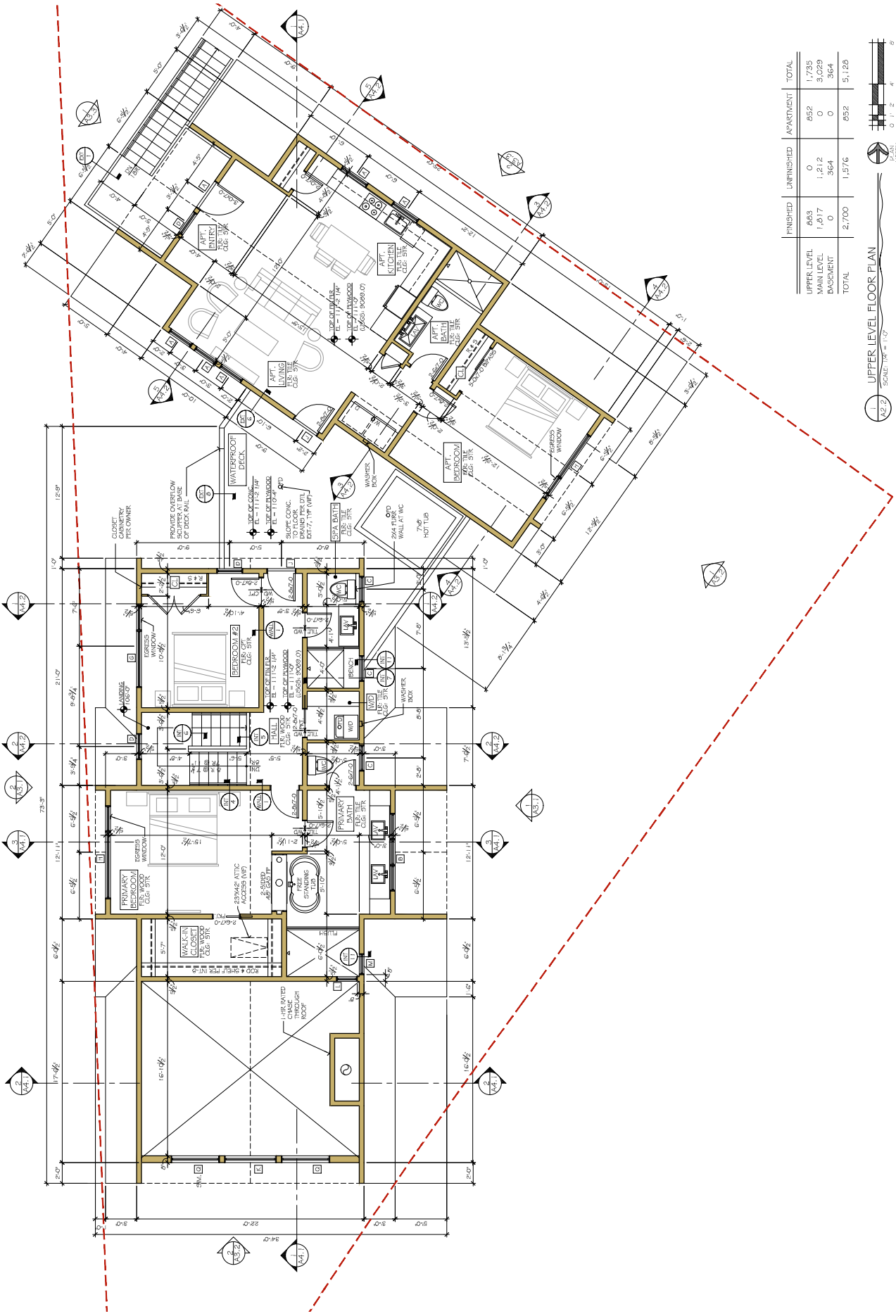
**1. MAIN LEVEL FLOOR PLAN**

DATE	DESCRIPTION
25 OCT 2023	PRELIM
10 JUN 2024	PERM
2 MAR 2024	PERM

DD/E	DATE
PRELIM	25 OCT 2023
PERM	12 JAN 2024
PERM	2 MAR 2024

PROJECT # 2363

# A2.2



	FINISHED	UNFINISHED	APARTMENT	TOTAL
UPPER LEVEL	883	0	882	1,735
BASE LEVEL	1,017	0	0	3,029
BASEMENT	0	584	584	384
TOTAL	2,700	1,576	852	5,126



1. UPPER LEVEL FLOOR PLAN

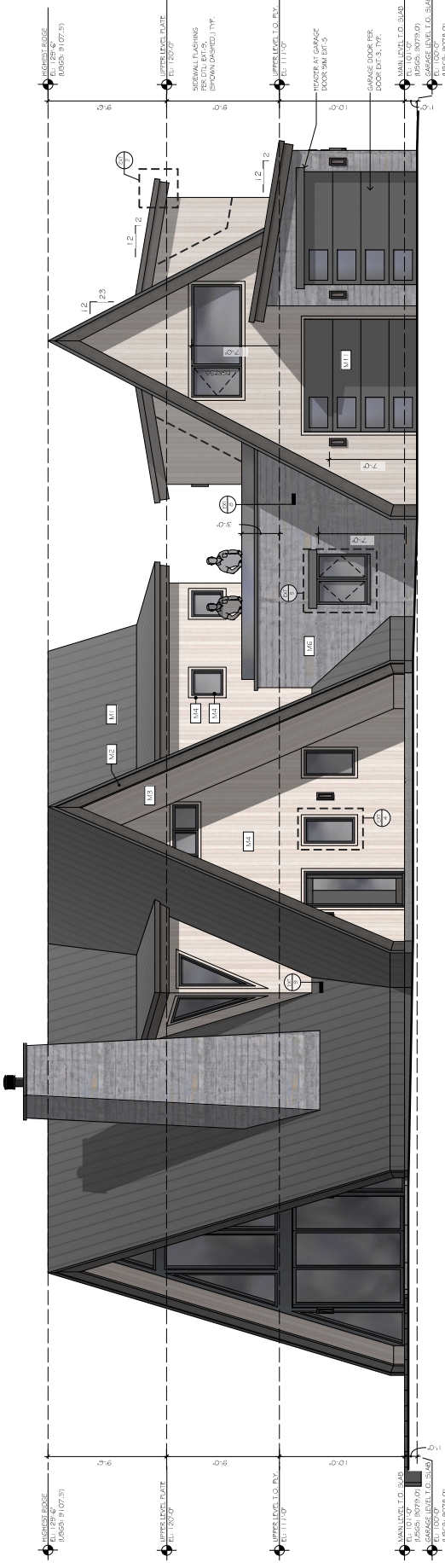






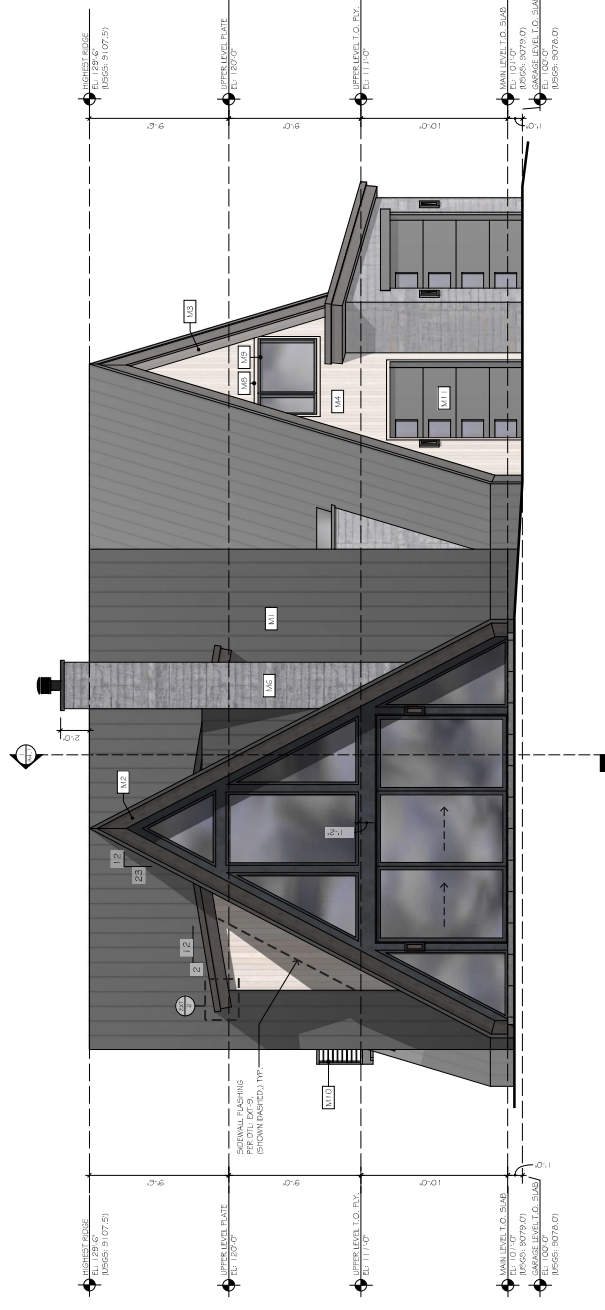


DATE:	REVISION:
9 JAN 2024	1
22 JAN 2024	2
9 MAR 2024	3



**SOUTHEAST ELEVATION**  
 1/4" = 1'-0"

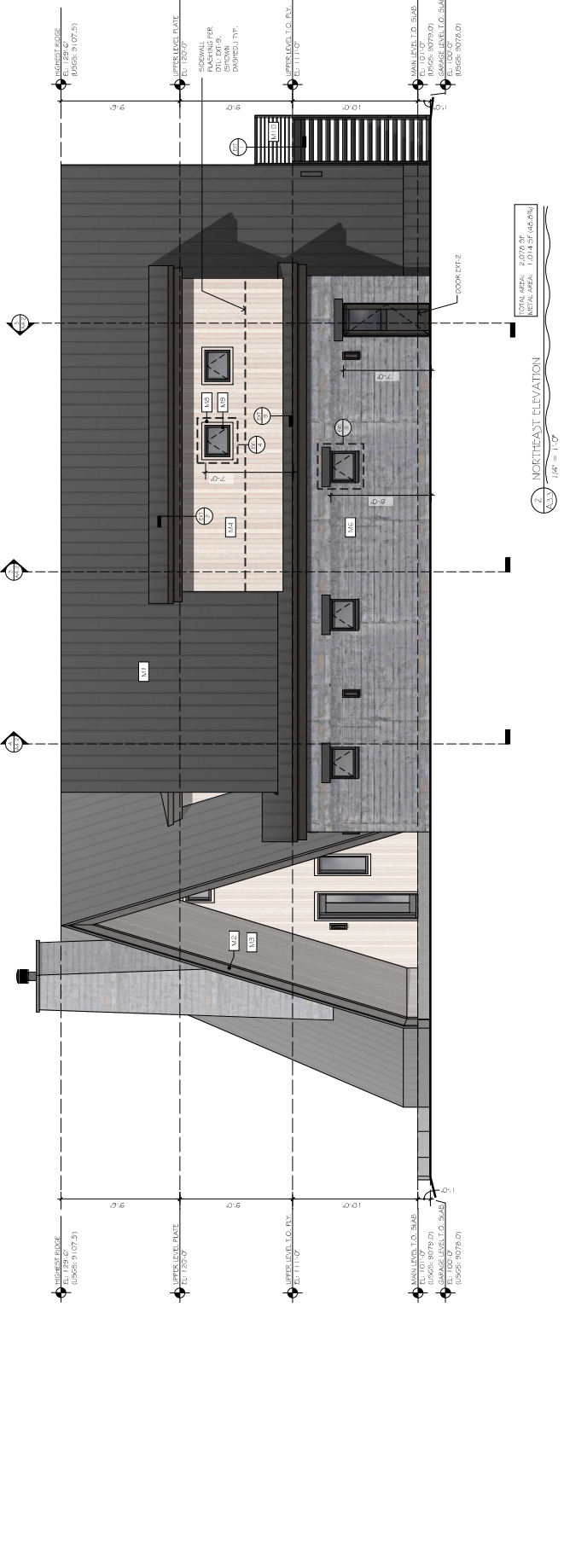
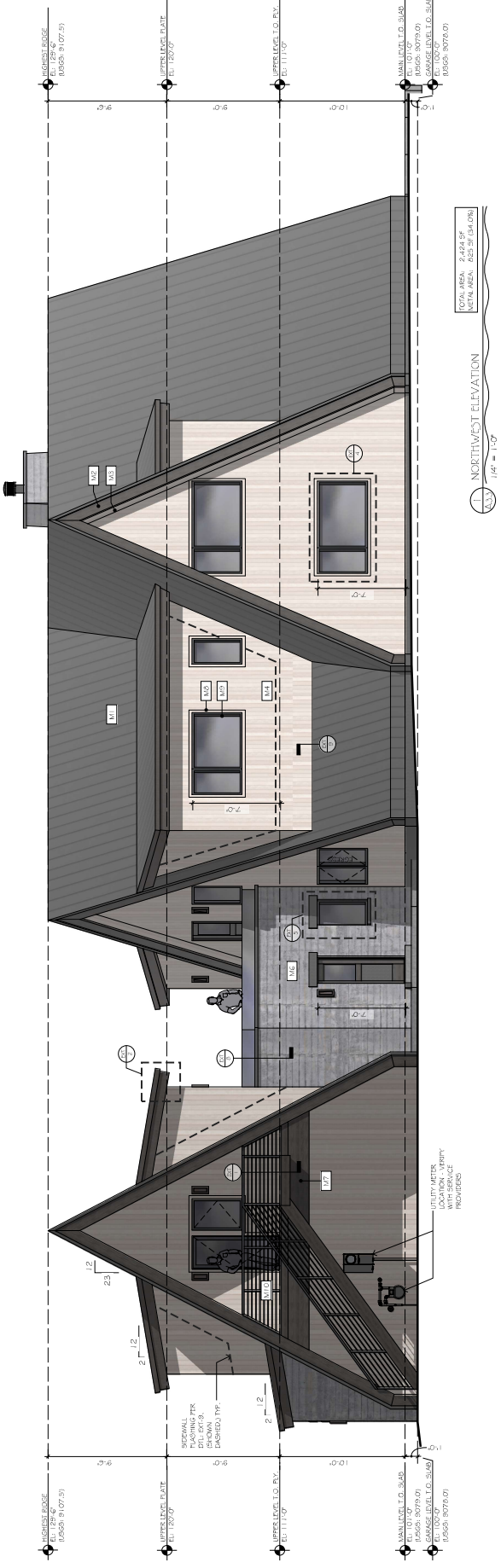
TOTAL AREA: 2,264 SF  
 NET AREA: 660 SF (277%)



**SOUTH ELEVATION**  
 1/4" = 1'-0"

TOTAL AREA: 1,151 SF  
 NET AREA: 402 SF (34.9%)

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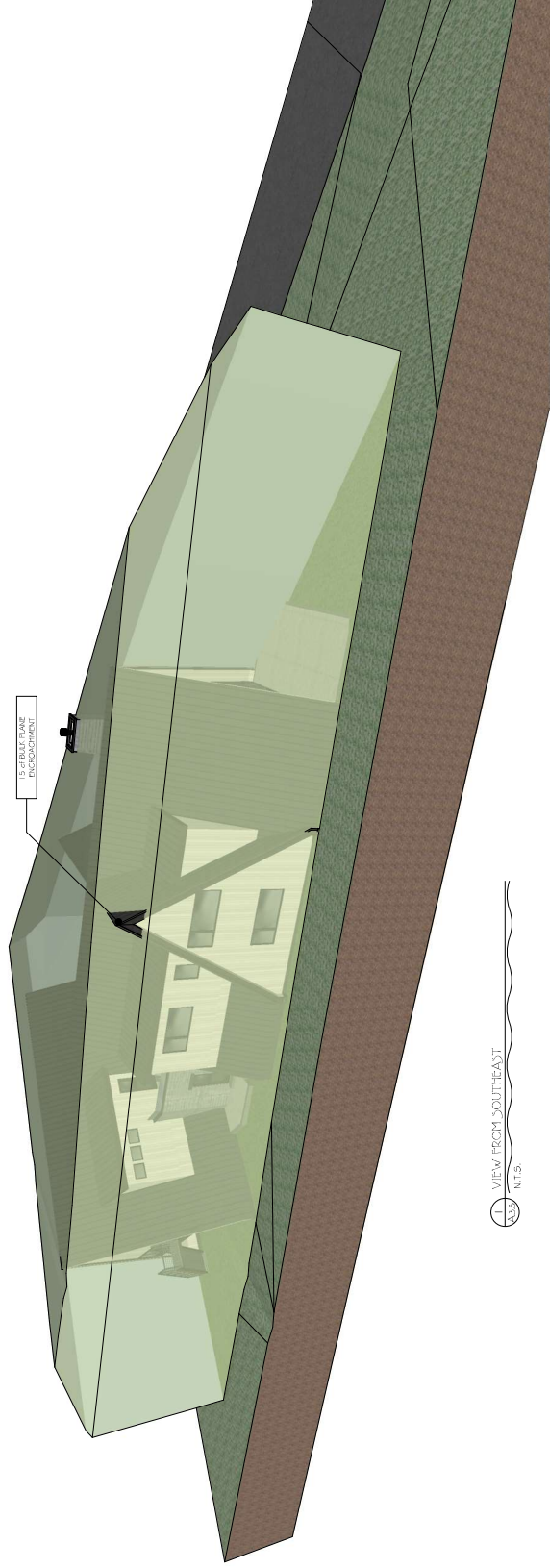








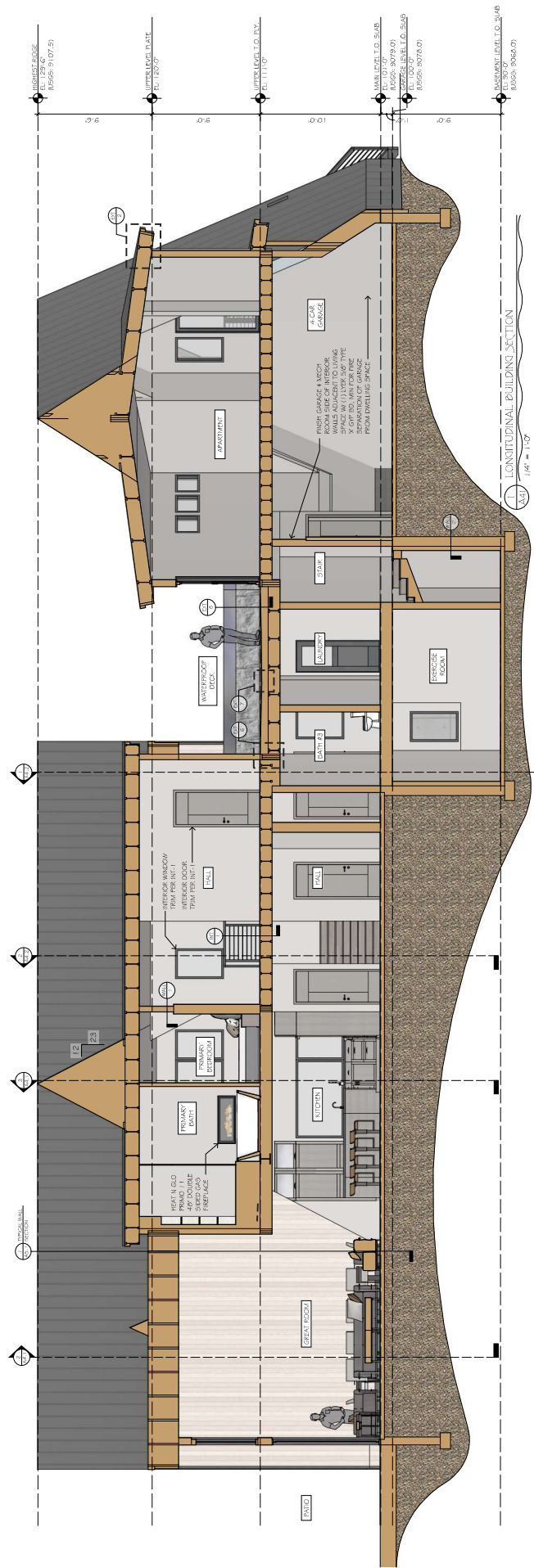
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9 MAR 2024	PERMIT



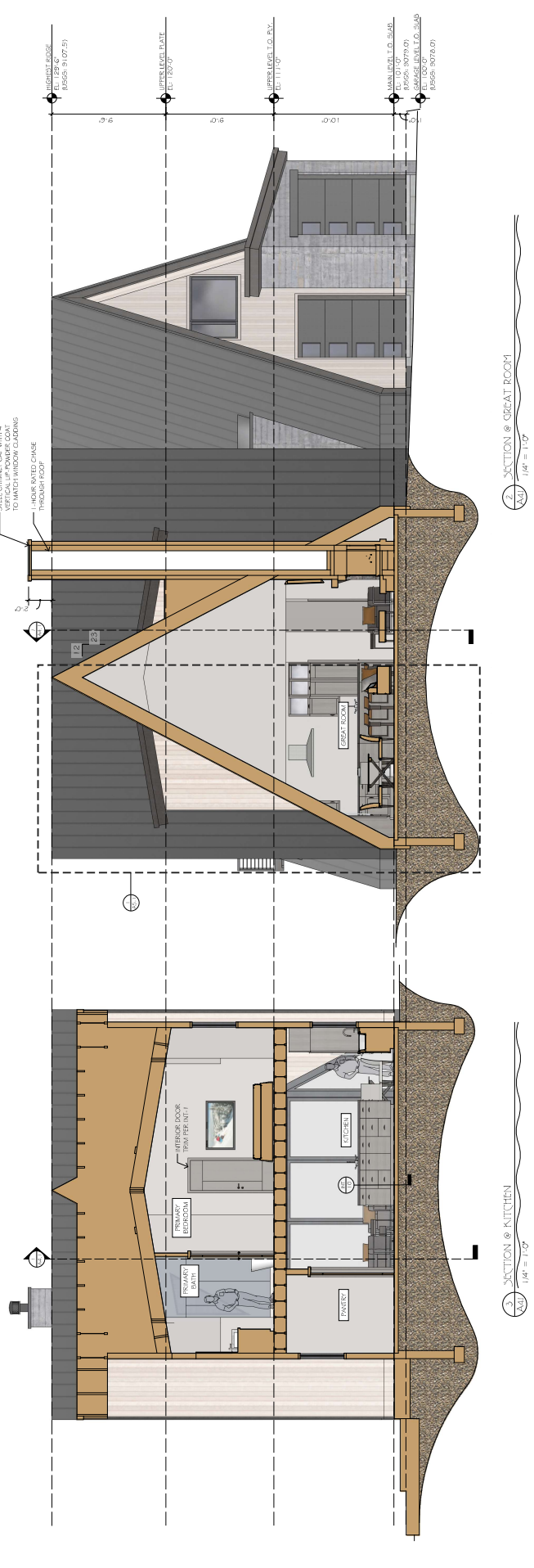
1 VIEW FROM SOUTHEAST  
N.T.S.



2 VIEW FROM NORTHEAST  
N.T.S.



DATE:	ISSUE:
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22 JAN 2024	REVIEW
5 MAR 2024	PERMIT

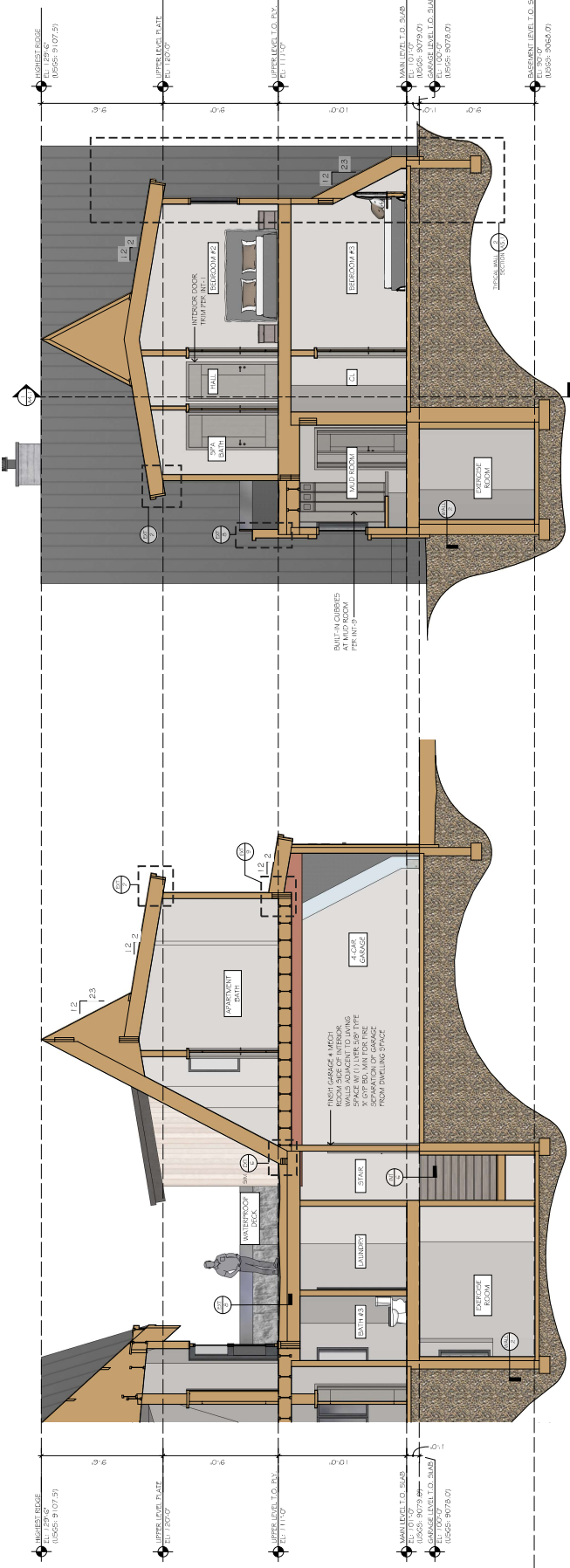


**2 SECTION @ KITCHEN**  
1/4" = 1'-0"

**3 SECTION @ GREAT ROOM**  
1/4" = 1'-0"

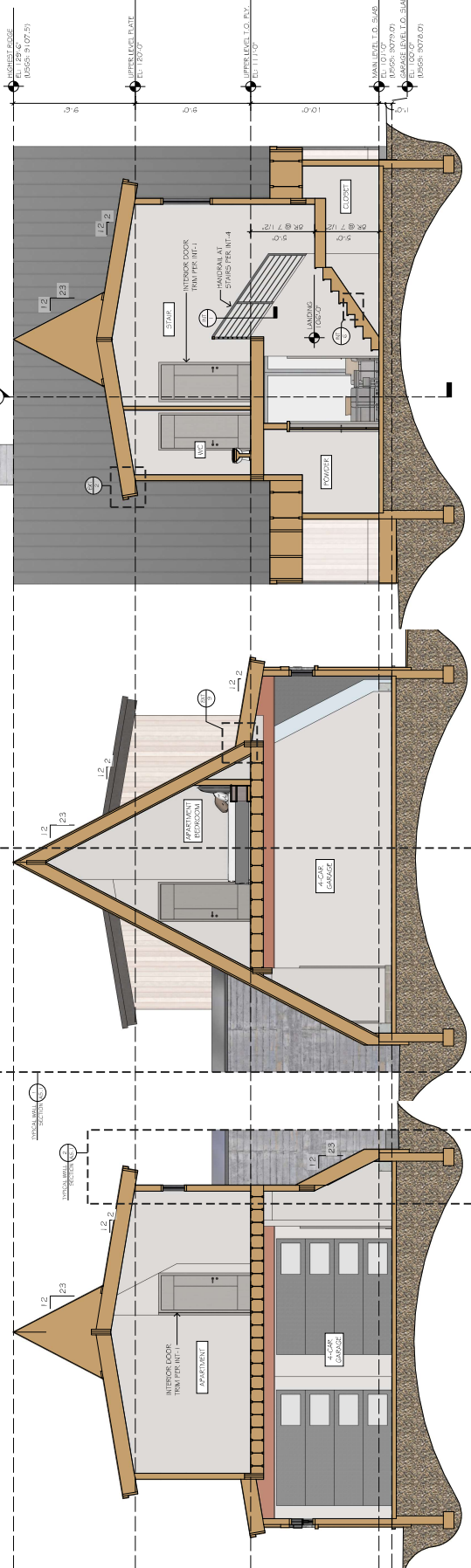


DATE	REVISION
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9 MAR 2024	3



SECTION @ BEDROOMS 2&3  
 1/4" = 1'-0"

SECTION @ WATERPROOF DECK  
 1/4" = 1'-0"



SECTION @ STAIR  
 1/4" = 1'-0"

SECTION @ GARAGE  
 1/4" = 1'-0"

SECTION @ APARTMENT  
 1/4" = 1'-0"



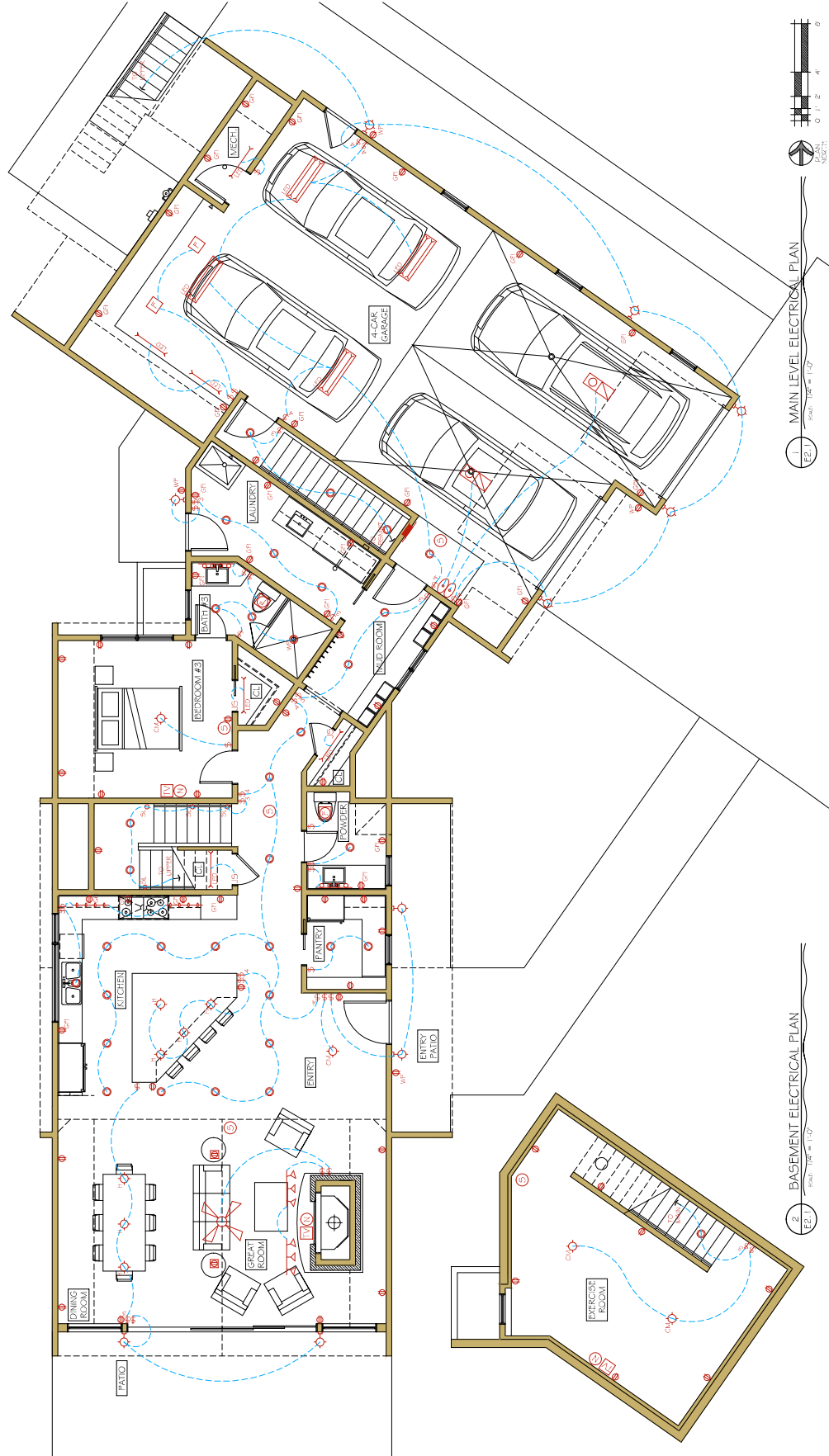


**ELECTRICAL PLAN LEGEND**

SYMBOL	NAME	SYMBOL	NAME	SYMBOL	NAME	SYMBOL	NAME	SYMBOL	NAME
⊕	WALL SWITCH - SINGLE POLE	⊕	CEILING MOUNT FIXTURE - HANGING FN	⊕	LIGHT FIXTURE - FLOOR TALL, PATH (FT)	⊕	MAIN ELECTRIC POWER PANEL - SUB PANEL (SP)	⊕	DATA NETWORK - CAT 6A (SPE. DRAWINGS BY OTHERS)
⊕	WALL SWITCH - 3-WAY (3) - 4-WAY (4)	⊕	TRUCK LIGHTING	⊕	BEAM LAMP, SPARK (SP)	⊕	TELEVISION OUTLET	⊕	DOOR BELL
⊕	SWITCH - DIMMER	⊕	TABLE MOUNT FIXTURE	⊕	BATHROOM WALL FIXTURE	⊕	WORKING LIGHT FIXTURE	⊕	DOOR BELL CHIME BOW
⊕	JUMP SWITCH	⊕	TABLE MOUNT FIXTURE - HORIZONTAL (H)	⊕	KITCHEN LIGHT WITH MOTION DETECTOR	⊕	WORKING LIGHT FIXTURE - KITCHEN DETECTOR	⊕	WIRING
⊕	OUTLET - DIMMER	⊕	WEDGE MOUNT POINT - 1/8" LIGHT (LP)	⊕	OUTLET LIGHT WITH MOTION DETECTOR	⊕	SPEAKER HEAD	⊕	
⊕	GRABBAR MOUNT INTERCEPT (SP)	⊕	4" RECESSED CEILING FIXTURE - 6 INCH (6) - 4 INCH (4)	⊕	LED PANEL LIGHT (LENGTH)	⊕	EMERGENCY BEAMS (BY OTHERS)	⊕	
⊕	GRABBAR MOUNT INTERCEPT (SP) - WEATHER-RESISTANT (WP)	⊕	4" RECESSED CEILING FIXTURE - 6 INCH (6) - 4 INCH (4)	⊕	FISH LAMP	⊕	CEILING FAN - WITH LIGHT (L)	⊕	
⊕	OUTLET - POWER	⊕	4" RECESSED EXTERIOR SPOT - 6 INCH (6) - 4 INCH (4)	⊕	EXHAUST FAN	⊕	GRABBAR OPTIONAL	⊕	
⊕	OUTLET - POWER	⊕	RECESSED UNDERCAB FIXTURE	⊕	DRYER FAN LIGHT COVER	⊕	STEREO SPEAKER	⊕	
⊕	OUTLET FLOOR OUTLET W/ COVER	⊕	LED STEP FIXTURE - UNDER CABINET	⊕	TELEPHONE JACK (1 OF ANY UNO)	⊕	GARAGE DOOR SWITCH	⊕	
⊕	PLUG - FUSION HOOD	⊕		⊕		⊕		⊕	
⊕	WALL FIXTURE	⊕		⊕		⊕		⊕	

**ELECTRICAL NOTES**

1. ALL RECESSED CEILING FIXTURES ARE TO BE AIR-CLIP, IC WATER PROTECTED, SUBSTANTIALLY BUILDING CODE.
2. ALL RECESSED CEILING FIXTURES ARE TO BE AIR-CLIP, IC WATER PROTECTED, SUBSTANTIALLY BUILDING CODE.
3. VERIFY ALL LIGHT FIXTURES ARE PLACED BETWEEN FIXTURE AND BOTTOM OF ROOF SHEATHING WITH 1/2" MINIMUM POLY-ISO INSULATION BOARD PLACED BETWEEN FIXTURE AND BOTTOM OF ROOF SHEATHING.
4. VERIFY ALL LIGHT FIXTURES ARE PLACED BETWEEN FIXTURE AND BOTTOM OF ROOF SHEATHING WITH 1/2" MINIMUM POLY-ISO INSULATION BOARD PLACED BETWEEN FIXTURE AND BOTTOM OF ROOF SHEATHING.
5. PROVIDE ANY RECEPTACLES AND SWITCHES REQUIRED BY CODE WHICH ARE NOT SHOWN ON THESE PLANS. RECEPTACLES TO BE PROVIDED FOR CONFORMANCE. ALL RECEPTACLES LOCATIONS SHALL COMPLY WITH THE 2017 NEC AND SHALL BE FIELD VERIFIED FOR CONFORMANCE.
6. ALL TV CABLES TO BE RG-6 CABLE OR EQUAL.
7. ALL DATA NETWORK CABLES TO BE CAT 6A CABLE OR EQUAL.
8. ALL ELECTRICAL WORK TO COMPLY WITH NEC AND OTHER LOCAL ELECTRICAL CODES.
9. ALL ELECTRICAL WORK TO BE COORDINATED WITH ALL OTHER TRADES AND CONTRACTORS.
10. SATELLITE LOCATIONS TO BE VERIFIED IN FIELD. LOCATION TO BE COORDINATED BETWEEN INSTALLER, PLANNING DEPARTMENT, AER AND OTHER TRADES OR NON-COMPANIES MUST BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO INSTALLATION.
11. ALL OUTLETS AT KITCHEN, BATHROOMS, AND LAUNDRY COUNTERS TO BE 50V AND 42" AFF AT 30" HIGH CABINETS, AND 38" 1/2" AFF AT 33" HIGH CABINETS, UNO.
12. ALL OUTLETS AT GREAT ROOM, ENTRY, PATIO, AND LAUNDRY COUNTERS TO BE 50V AND 42" AFF AT 30" HIGH CABINETS, AND 38" 1/2" AFF AT 33" HIGH CABINETS, UNO.
13. SEE ROOF PLAN FOR EXTERIOR OUTLET LOCATIONS AT ROOF.
14. ALL OUTLETS TO BE PROVIDED WITH GFCI PROTECTION. MUST HAVE IDENTIFIER, PENETRATOR, AND NOT LOCATION MOTION DETECTORS.
15. ALL OUTLETS TO BE PROVIDED WITH GFCI PROTECTION. MUST HAVE IDENTIFIER, PENETRATOR, AND NOT LOCATION MOTION DETECTORS.
16. ALL OUTLETS TO BE PROVIDED WITH GFCI PROTECTION. MUST HAVE IDENTIFIER, PENETRATOR, AND NOT LOCATION MOTION DETECTORS.
17. ALL OUTLETS TO BE PROVIDED WITH GFCI PROTECTION. MUST HAVE IDENTIFIER, PENETRATOR, AND NOT LOCATION MOTION DETECTORS.
18. ALL PANS WITH LIGHTS TO HAVE FAN AND LIGHT CONTROLLED SEPARATELY.
19. ALL PANS WITH LIGHTS TO HAVE FAN AND LIGHT CONTROLLED SEPARATELY.
20. ALL PANS WITH LIGHTS TO HAVE FAN AND LIGHT CONTROLLED SEPARATELY.
21. STEREO SPEAKERS TO BE COORDINATED WITH OWNER.
22. ELECTRICAL SUB-PANEL LOCATION, IF REQUIRED, TO BE COORDINATED WITH ARCHITECT.



**BASEMENT ELECTRICAL PLAN**  
 E2.1

**MAIN LEVEL ELECTRICAL PLAN**  
 E2.1

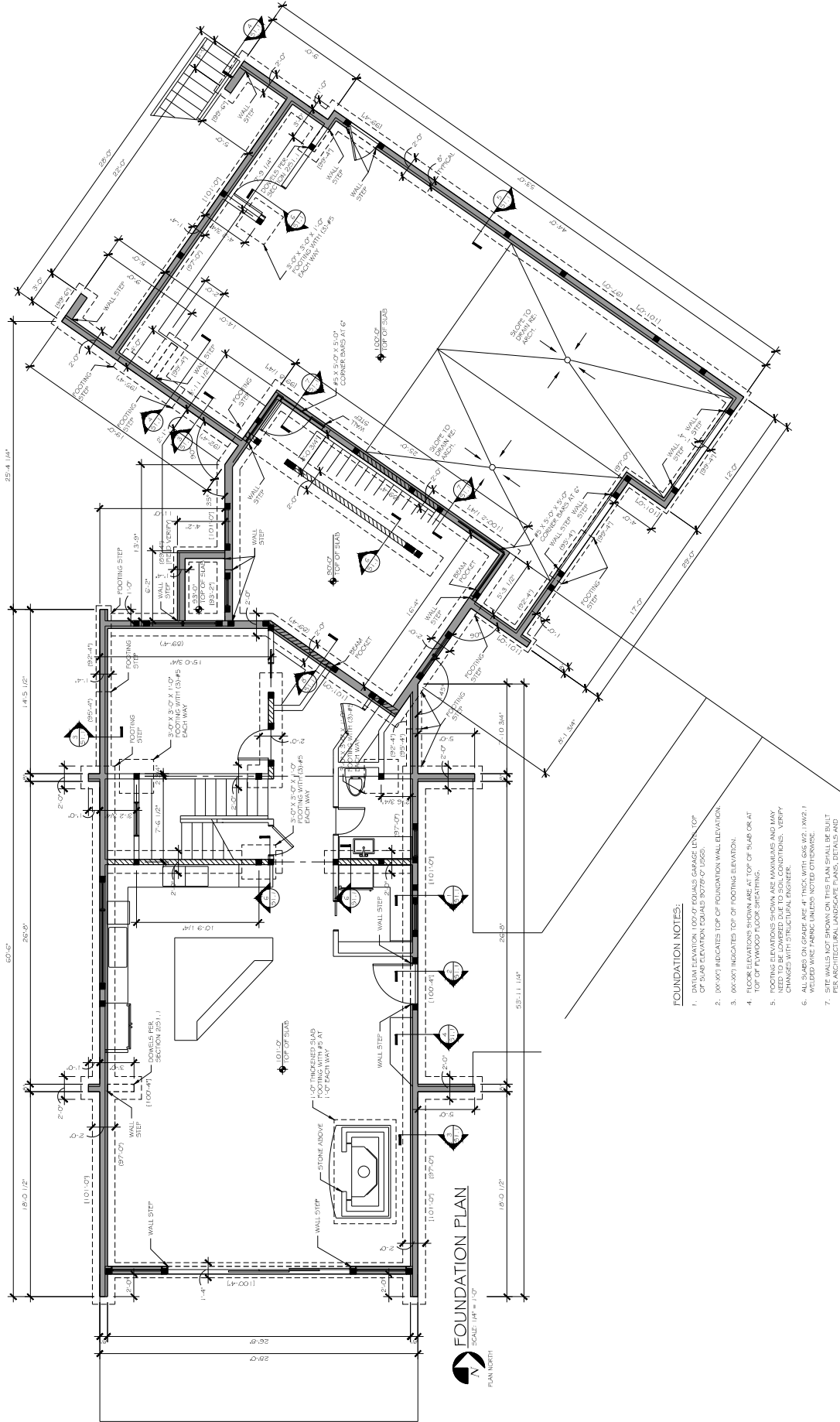








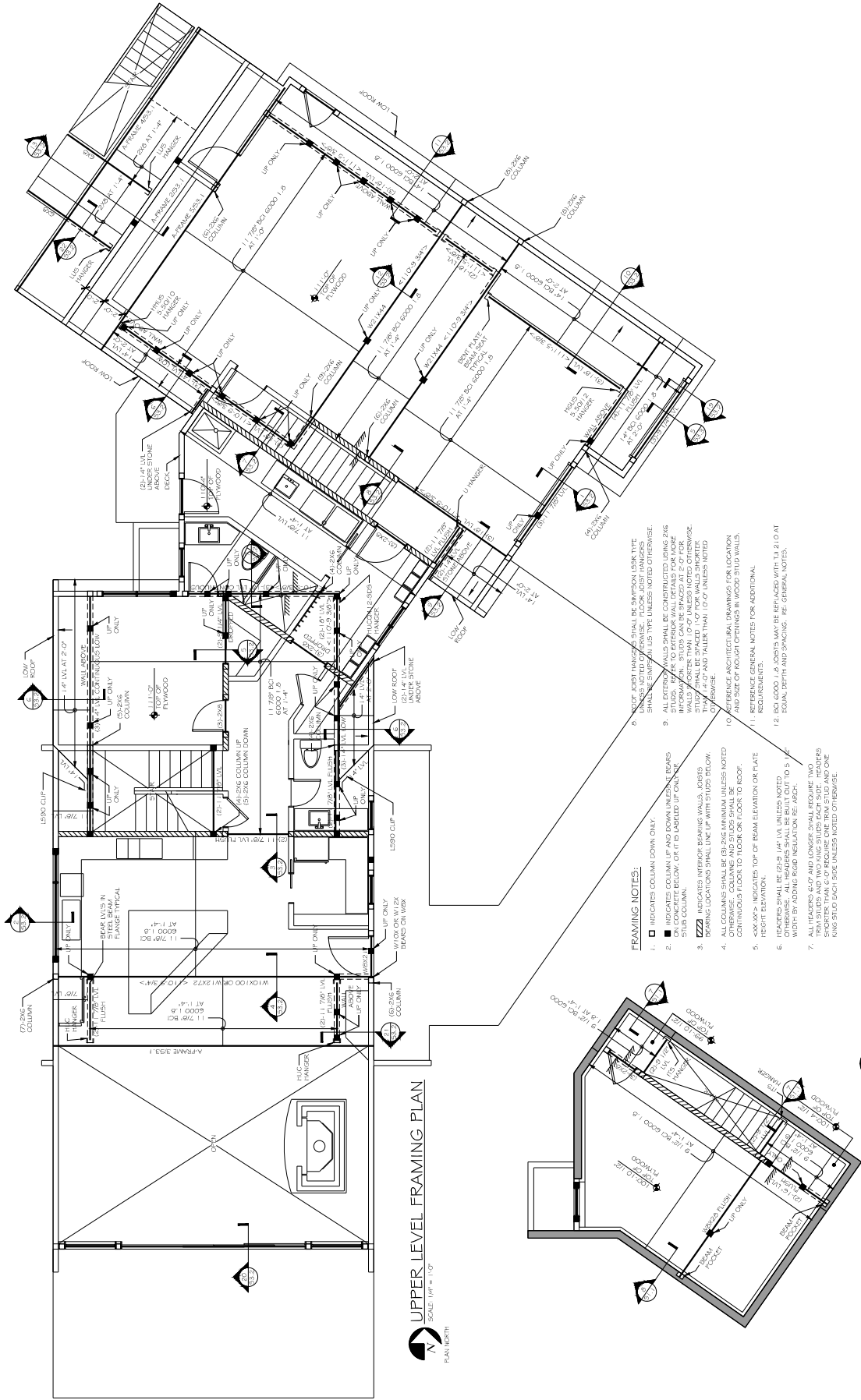


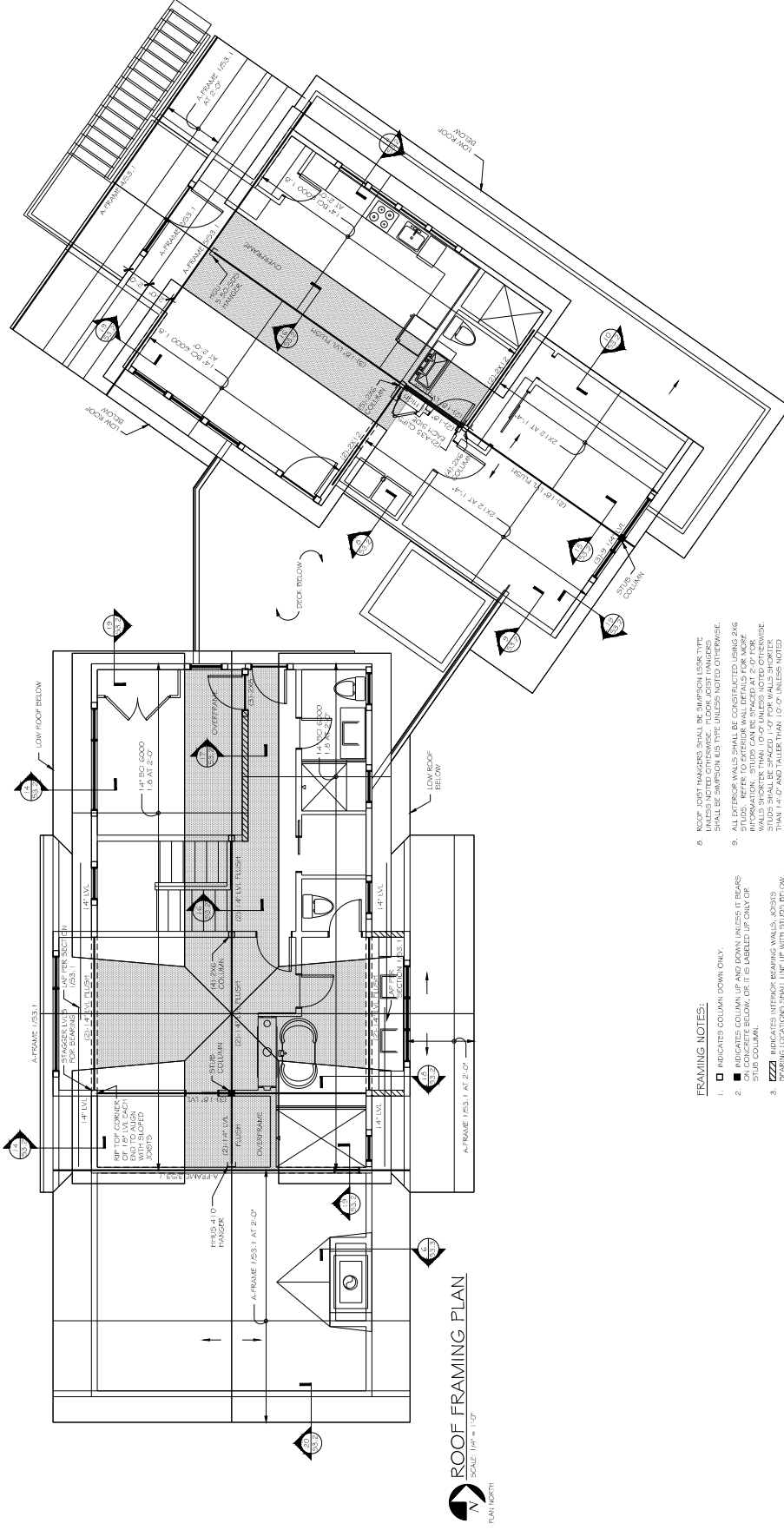


**FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"  
 PLAN NORTH

- FOUNDATION NOTES:**
1. DATUM ELEVATION: 100'-0" FOUNDS GARAGE FLOOR TOP OF SLAB ELEVATION TO BE 90'-9" U.S.S.
  2. 'XX' 'XX' INDICATES TOP OF FOUNDATION WALL ELEVATION.
  3. '00' '00' INDICATES TOP OF FOOTING ELEVATION.
  4. FLOOR ELEVATIONS SHOWN ARE AT TOP OF 9'-48" OR AT TOP OF FINISHED FLOOR FINISHING.
  5. 'XX' 'XX' 'XX' 'XX' 'XX' 'XX' WALLS ARE ALREADY IN PLACE AND WILL NOT BE LOWERED DUE TO S.D. CONDITIONS. VERIFY CHANGES WITH STRUCTURAL ENGINEER.
  6. ALL SLEDS ON GRADE ARE 4" THICK WITH GWS W/2 J-W/2. 1" WELDED WIRE FABRIC UNLESS NOTED OTHERWISE.
  7. SITE WALLS NOT SHOWN ON THIS PLAN SHALL BE BUILT PER ARCHITECTURAL LANDSCAPE PANS DETAILS AND PER ARCHITECTURAL LANDSCAPE PANS DETAILS. VERIFY BUILDING UNLESS NOTED OTHERWISE.
  8. REFER TO GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

**FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"  
 PLAN NORTH





**FRAMING NOTES:**

1. INDICATED COLUMN DOWN ONLY.
2. INDICATES COLUMN UP AND DOWN UNLESS IT BEARS ON CONCRETE BELOW, OR IT IS LABELED UP ONLY OR STUB COLUMN.
3. INDICATES INTERIOR BEARING WALLS. JOISTS BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
4. ALL COLUMNS SHALL BE 18" MINIMUM UNLESS NOTED OTHERWISE. ALL BEARING WALLS SHALL BE 16" MINIMUM UNLESS NOTED OTHERWISE. ALL BEARING WALLS SHALL BE 16" MINIMUM UNLESS NOTED OTHERWISE.
5. INDICATES TOP OF BEAM ELEVATION OR PLATE HEIGHT ELEVATION.
6. HEADERS SHALL BE @ 16" O.C. UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" WIDTH BY ADDING RIGID INSULATION PER ARCH.
7. ALL HEADERS @ 0'0" AND LONGER SHALL REQUIRE TWO 1/2" X 6" X 8" JOISTS PER ARCH. ALL HEADERS @ 0'0" AND LONGER SHORTER THAN 6'-0" REQUIRE ONE 1/2" X 6" X 8" JOIST AND ONE KING STUD EACH SIDE UNLESS NOTED OTHERWISE.
8. ROOF JOIST HANGERS SHALL BE SIMPSON LSK4 TYPE UNLESS NOTED OTHERWISE. ALL HANGERS SHALL BE SIMPSON LUS TYPE UNLESS NOTED OTHERWISE.
9. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. REFER TO EXTERIOR WALL DETAILS FOR MORE INFORMATION. EXTERIOR WALLS SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. WALLS SHORTER THAN 10'-0" FOR WALLS SHORTER THAN 10'-0" SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
10. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION AND SIZE OF ROUGH OPENINGS IN WOOD STUD WALLS UNLESS NOTED OTHERWISE.
11. REFER TO GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
12. RIG. GOOD J.A. JOISTS MAY BE REPLACED WITH E.J. @ 2' O.C. EQUAL DEPTH AND SPACING. REF. GENERAL NOTES.

**ROOF FRAMING PLAN**  
SCALE: 1/8" = 1'-0"  
PLAN NORTH

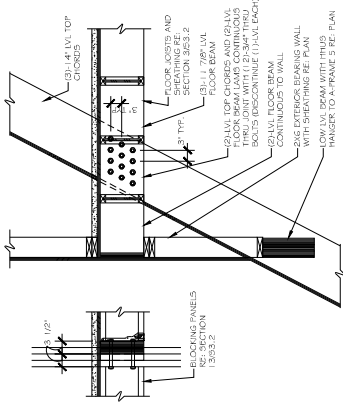




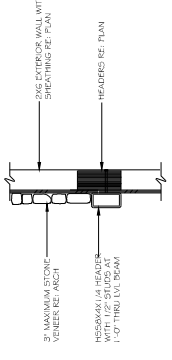




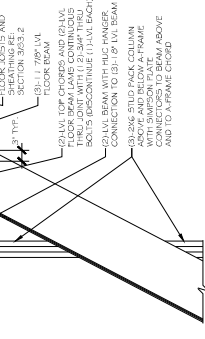
PROJECT #2404  
 DRAWN: CH/KF  
 DATE: 03/08/2024  
 POY FERRIET



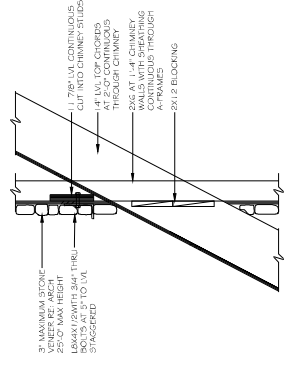
A-FRAME 3 AT ROOF  
 SCALE: 3/4" = 1'-0"



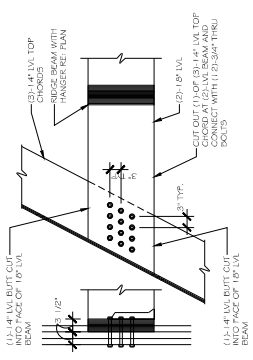
HEADER AT STONE  
 SCALE: 3/4" = 1'-0"



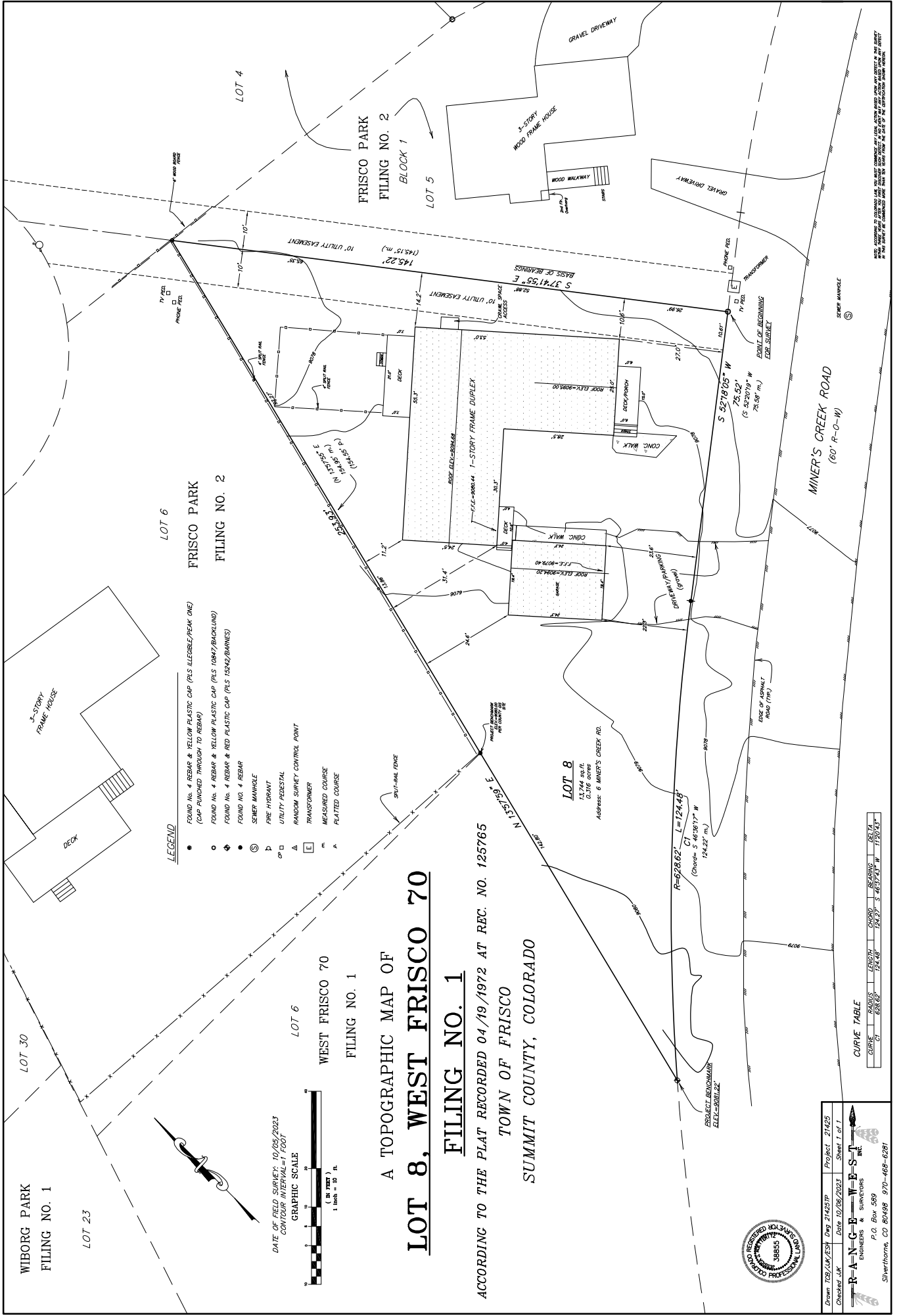
A-FRAME 5 AT FLOOR  
 SCALE: 3/4" = 1'-0"



A-FRAME 1 AT CHIMNEY  
 SCALE: 3/4" = 1'-0"



A-FRAME 5 AT ROOF  
 SCALE: 3/4" = 1'-0"



- LEGEND**
- FOUND NO. 4 REBAR & YELLOW PLASTIC CAP (PLS ALLEGEABLE/PEAK ONE)  
(CAP PUNCHED THROUGH TO REBAR)
  - FOUND NO. 4 REBAR & YELLOW PLASTIC CAP (PLS TORNT/BLOCK/IND)
  - FOUND NO. 4 REBAR & RED PLASTIC CAP (PLS 15242/BARNES)
  - FOUND NO. 4 REBAR
  - SEWER MANHOLE
  - FIRE HYDRANT
  - UTILITY PEDESTAL
  - RANDOM SURVEY CONTROL POINT
  - TRANSFORMER
  - MEASURED COURSE
  - PLATTED COURSE

DATE OF FIELD SURVEY: 10/05/2023  
 CONTROL POINT: 17001  
 GRAPHIC SCALE  
 1 IN. = 200 FT.  
 1 INCH = 20 FT.

# A TOPOGRAPHIC MAP OF LOT 8, WEST FRISCO 70 FILING NO. 1

**ACCORDING TO THE PLAT RECORDED 04/19/1972 AT REC. NO. 125765  
 TOWN OF FRISCO  
 SUMMIT COUNTY, COLORADO**

**LOT 8**  
 1.1748 ac. ft.  
 50,910 sq. ft.  
 Address: 6 MINER'S CREEK RD.

**FRISCO PARK  
 FILING NO. 2**

**CURVE TABLE**

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	628.62'	124.48'	124.27'	S 46°37'43" W	117°02'43"

Drawn: TCB/ALX/ESH	Dwg: 21425TP	Project: 21425
Checked: ALX	Date: 10/08/2023	Sheet: 1 of 1
Robert A. N. G. B. W. S. T. M. E. Engineer & Surveyor P.O. Box 289 Silverthorn, CO 80089 970-468-6281		



THIS MAP WAS PREPARED BY THE SURVEYOR AND THE INFORMATION CONTAINED HEREIN IS BASED ON THE FIELD SURVEY AND THE DATA OBTAINED THEREFROM. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO OBVIOUS ENCUMBRANCES OR OTHER MATTERS THAT WOULD AFFECT THE ACCURACY OF THE INFORMATION SHOWN HEREON.





# 6 MINERS CREEK ROAD FRISCO, TX STORM SEWER PLAN

DESIGNED MCM, RIF	NO.	DATE	REVISIONS	BY
DRAWN MCM, RIF		04/02/2024	BUILDING PERMIT	
CHECKED MCM				
JOB NO.				
DATE		05/29/2023		

SHEET  
**C1.0**

**LEGEND**

EXISTING CONTOUR	PROPOSED CONTOUR
EXISTING STORM SEWER	PROPOSED STORM SEWER
PROPOSED CONCRETE/ASPHALT	



**CONTRACTOR SHALL DEVELOP A MEANS AND METHODS TO CONTROL SEDIMENT DURING CONSTRUCTION TO ASSURE THAT NO SEDIMENT IS DISCHARGED OFF-SITE.**

**GRADE TO DRAIN AWAY FROM BUILDING IN ALL AREAS**

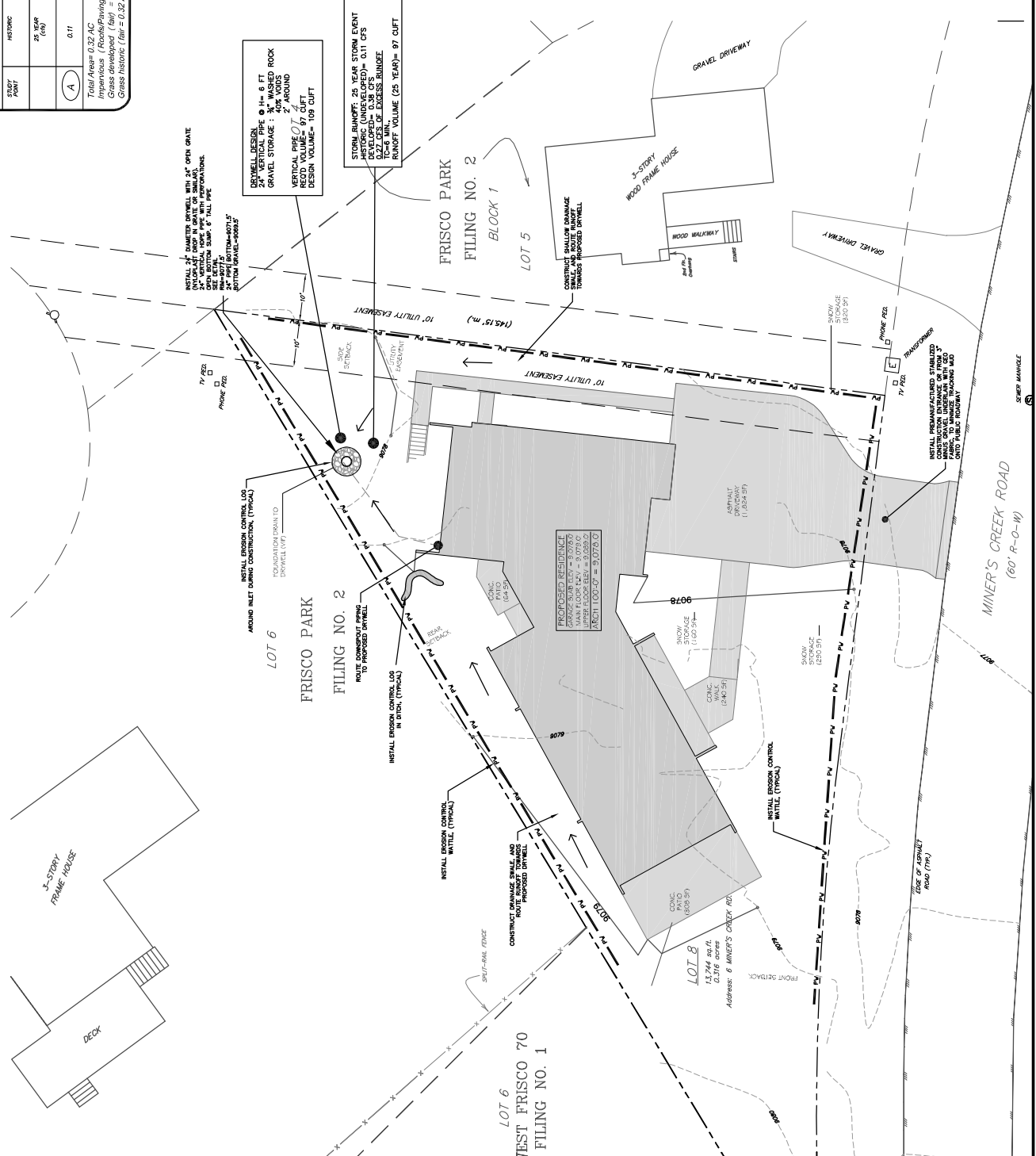
**TOPOGRAPHIC INFORMATION WAS PROVIDED BY RANGE WEST 2023**

- GENERAL NOTES FOR SEDIMENT CONTROL:**
1. THE CONTRACTOR SHALL DEVELOP AND MAINTAIN MEANS AND METHODS TO PREVENT SEDIMENT FROM DISCHARGING OFF-SITE OR ENTERING THE RIVER.
  2. SEDIMENT CONTROL MEASURES ARE TEMPORARY MEASURES TO INSURE THAT THEIR INTENDED PURPOSE IS ACCOMPLISHED.
  3. SEDIMENT CONTROL MEASURES MAY REQUIRE FIELD ADJUSTMENTS AT THE OPERATING END OF THE SEDIMENT CONTROL CAN BE ACHIEVED.
  4. INSTALL SEDIMENT CONTROL MEASURES AT THE ONSET OF GRADING.
  5. THE TERM "VEGETATION" ON THIS PLAN MEANS THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF STABLE GRASS COVER FROM A SPECIFIED SEED MIXTURE IN ACCORDANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS. THE LAMP OF ANY SEDIMENT THAT LEAVES THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR.
  6. TOPSOIL AND REVEGETATE ALL DISTURBED AREAS.
  7. CONTRACTOR SHALL REMOVE SEDIMENT CONTROL FACILITIES AFTER FINAL STABILIZATION.

**HISTORIC VS. DEVELOPED STORM RUNOFF**

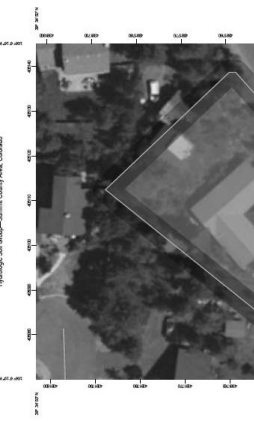
STORM TYPE	HISTORIC	DEVELOPED
25 YEAR (10)	0.17	0.39
25 YEAR (10)		

Total Area = 0.32 AC  
 Impervious (Roads/Paving) = 0.14 AC  
 Grass developed (law) = 0.18 AC  
 Grass historic (law) = 0.32 AC

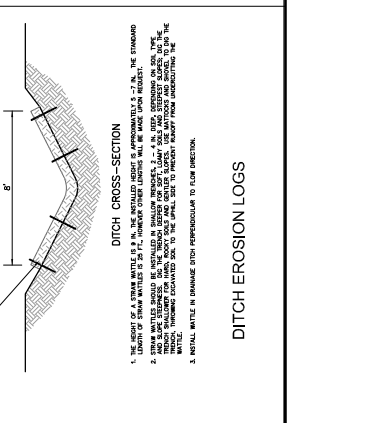
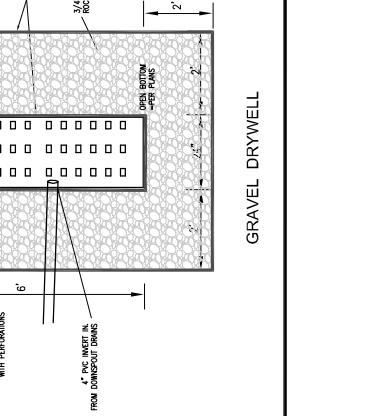
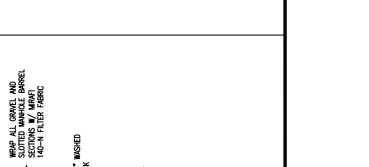
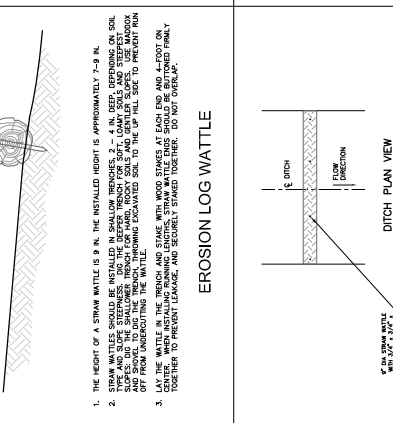
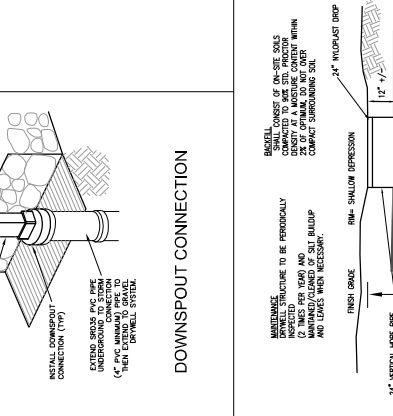
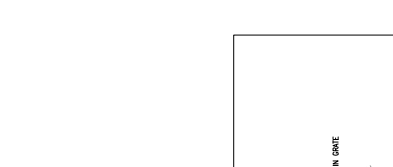
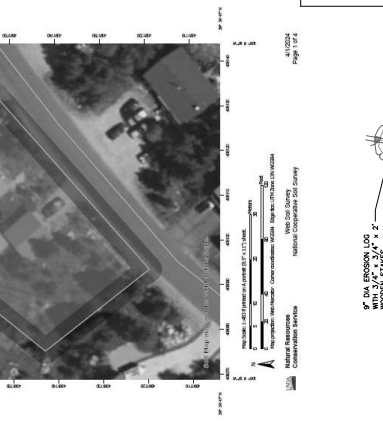
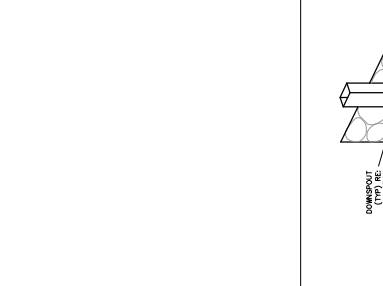


# HISTORIC RUNOFF

Soil Type	Area (sq ft)	Area (sq ft)	Area (sq ft)
Soil Group 1	10,000	10,000	10,000
Soil Group 2	10,000	10,000	10,000
Soil Group 3	10,000	10,000	10,000
Soil Group 4	10,000	10,000	10,000
Soil Group 5	10,000	10,000	10,000
Soil Group 6	10,000	10,000	10,000
Soil Group 7	10,000	10,000	10,000
Soil Group 8	10,000	10,000	10,000
Soil Group 9	10,000	10,000	10,000
Soil Group 10	10,000	10,000	10,000
Soil Group 11	10,000	10,000	10,000
Soil Group 12	10,000	10,000	10,000



# DEVELOPED RUNOFF



ALPINE ENGINEERING INC. 925 W. ALPINE BLVD. DENVER, CO 80202  
WWW.ALPIENGINE.COM

DESIGNED: MCM, RIF DATE: DA/02/2024 REVISIONS: BY

No.	Date	Revisions
1	08/29/2023	Checked MCM, RIF
2		

JOB NO. 11  
DATE: 08/29/2023  
CHECKED: MCM, RIF  
DRAWN: MCM, RIF  
DESIGNED: MCM, RIF

NO. DATE REVISIONS

Stormwater Summary Table

Structure	Inlet	Outlet	Flow (cfs)	Depth (ft)	Velocity (ft/s)	Time of Concentration (min)
Stormwater Pond			0.00	0.00	0.00	0.00

Stormwater Summary Table

Structure	Inlet	Outlet	Flow (cfs)	Depth (ft)	Velocity (ft/s)	Time of Concentration (min)
Stormwater Pond			0.00	0.00	0.00	0.00

Stormwater Summary Table

Structure	Inlet	Outlet	Flow (cfs)	Depth (ft)	Velocity (ft/s)	Time of Concentration (min)
Stormwater Pond			0.00	0.00	0.00	0.00

Stormwater Summary Table

Structure	Inlet	Outlet	Flow (cfs)	Depth (ft)	Velocity (ft/s)	Time of Concentration (min)
Stormwater Pond			0.00	0.00	0.00	0.00

Stormwater Summary Table

Structure	Inlet	Outlet	Flow (cfs)	Depth (ft)	Velocity (ft/s)	Time of Concentration (min)
Stormwater Pond			0.00	0.00	0.00	0.00

Stormwater Summary Table

Structure	Inlet	Outlet	Flow (cfs)	Depth (ft)	Velocity (ft/s)	Time of Concentration (min)
Stormwater Pond			0.00	0.00	0.00	0.00

# 6 MINER'S CREEK ROAD

LOT 8 . WEST FRISCO 70 . FILING #1  
TOWN OF FRISCO . COLORADO

PERMIT SET: 8 MARCH, 2024



## PROJECT MANUAL



711 B GRANITE STREET . PO BOX 5540  
FRISCO, CO 80443  
(PH) 970.453.7002 . [WWW.ALLEN-GUERRA.COM](http://WWW.ALLEN-GUERRA.COM)

# TABLE OF CONTENTS

6 MINER'S CREEK ROAD . 8 MARCH, 2024

DETAIL #	DOCUMENT/DETAIL NAME
	EXTERIOR MATERIALS SCHEDULE
	EXTERIOR LIGHTING SPEC SHEET
	<b>MASTER SPECIFICATIONS:</b>
	GENERAL CONDITIONS OF THE CONSTRUCTION AGREEMENT
	DIVISION ONE - GENERAL REQUIREMENTS
	DIVISION TWO - SITE CONSTRUCTION
	DIVISION THREE - CONCRETE
	DIVISION FOUR - MASONRY
	DIVISION FIVE - METALS
	DIVISION SIX - WOOD AND PLASTICS
	DIVISION SEVEN - THERMAL AND MOISTURE PROTECTION
	DIVISION EIGHT - DOORS AND WINDOWS
	DIVISION NINE - FINISHES
	DIVISION TEN - SPECIALTIES
	DIVISION ELEVEN - EQUIPMENT
	DIVISION TWELVE - FURNISHINGS
	DIVISION THIRTEEN - SPECIAL CONSTRUCTION
	DIVISION FOURTEEN - CONVEYING SYSTEMS
	DIVISION FIFTEEN - MECHANICAL
	DIVISION SIXTEEN - ELECTRICAL
	<b>WINDOW SCHEDULE</b>
WDW-1	WINDOW ELEVATIONS
WDW-2	WINDOW ELEVATIONS
	<b>SITE DETAILS</b>
SITE-1	ASPHALT PAVEMENT DETAIL
SITE-2	TYPICAL DRIVEWAY CROSS SECTION
SITE-3	TYPICAL EXTERIOR CONCRETE SLAB
	<b>DOOR ELEVATIONS</b>
DOOR-EXT 1	FRONT DOOR - ELEVATION
DOOR-EXT 2	EXTERIOR 1/2 LIGHT DOOR - ELEVATION
DOOR-EXT 3	TYPICAL GARAGE DOOR - ELEVATION






	<b>EXTERIOR DETAILS</b>
EXT-1	TYPICAL DECK GUARDRAIL
EXT-2	TYPICAL EAVE/FASCIA AT 2:12 PITCH ROOF
EXT-3	TYPICAL ROOF VALLEY FLASHING
EXT-4	EXTERIOR WINDOW TRIM AT WOOD SIDING
EXT-5	EXTERIOR WINDOW TRIM AT TILE VENEER
EXT-6	WALL FLASHING AT WATERPROOF DECKS
EXT-7	DECK DRAIN AT WATERPROOF DECKS
EXT-8	SOLID RAIL AT WATERPROOF DECKS
EXT-9	TYPICAL SIDE WALL FLASHING
	<b>INTERIOR ELEVATIONS &amp; DETAILS</b>
INT-1	TYPICAL INTERIOR WINDOW TRIM DETAIL
INT-2	TYPICAL INTERIOR DOOR TRIM DETAIL
INT-3	TYPICAL INTERIOR BASE TRIM DETAIL
INT-4	TYPICAL INTERIOR HANDRAIL
INT-5	TYPICAL STAIR GUARDRAIL
INT-6	TYPICAL TREAD & RISER
INT-7	SHOWER BASE WITH BENCH DETAIL
INT-8	TYPICAL CLOSET SHELF AND ROD SECTION
INT-9	MUD ROOM CUBBY DETAILS
INT-10	ISLAND SECTION AT KITCHEN
INT-11	WINDOW AT SHOWER DETAIL
INT-12	FIREPLACE AT GREAT ROOM
	<b>INTERIOR WALL DETAILS</b>
WALL-1	5 1/2" SOUND INSULATED WALL
WALL-2	FURRING AT CONCRETE WALL DETAIL -- SEE WALL SECTIONS
	<b>FLOOR ASSEMBLY DETAILS</b>
FLR-1	TYPICAL CONCRETE SLAB WITH EPOXY
FLR-2	TYPICAL TILE FLOORING AT CONCRETE SUBFLOOR
FLR-3	TYPICAL WOOD FLOORING AT CONCRETE SUBFLOOR
FLR-4	TYPICAL CARPET FLOORING AT CONCRETE SUBFLOOR
FLR-5	TYPICAL TILE FLOORING AT WOOD FRAMING
FLR-6	TYPICAL WOOD FLOORING AT WOOD FRAMING
FLR-7	TYPICAL CARPET FLOORING AT WOOD FRAMING
	RADON MITIGATION INFORMATION



# 6 MINER'S CREEK ROAD

EXTERIOR MATERIALS SCHEDULE

DATE: 26 MARCH, 2024

LABEL	ITEM	COLOR	DESCRIPTION
M1	ROOF - METAL		STANDING SEAM METAL ROOF "DARK BRONZE"
M2	FASCIA		2X CEDAR PER DETAIL – STAIN WITH SUPERDECK 2320 "CAPE BLACKWOOD"
M3	SOFFIT		1x4, T&G CEDAR – STAIN WITH SUPERDECK 2113 "GRANITE"
M4	VERTICAL SIDING		1x6, 1/8" REVEAL T&G CEDAR – SPECIALTY WOOD PRODUCTS COLOR - "HILLTOP"
M5	METAL PANELS		2'x6'x3/16" STEEL PANELS NATURAL MILL SCALE – PERMALAC SPRAY FINISH – NON REFLECTIVE
M6	WAINSCOT		6" WIDE BOARDFORM CONCRETE TILES COLOR – "CHARCOAL"
M7	EXPOSED TIMBERS		TIMBER BEAMS PER STR. STAIN WITH SUPERDECK 2320 "CAPE BLACKWOOD"


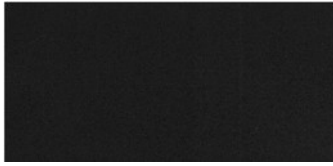
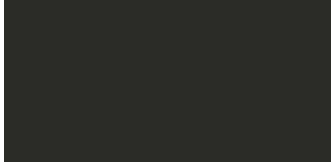

NOTE: ALL EXPOSED METAL INCLUDING, BUT NOT LIMITED TO, TYPICAL FLASHING, DOWNSPOUTS, GUTTERS, DRIP EDGE, VENT STACKS, FLUE PIPES, ETC, SHALL BE DARK BRONZE.



# 6 MINER'S CREEK ROAD

EXTERIOR MATERIALS SCHEDULE

DATE: 26 MARCH, 2024

M8	DOOR/WINDOW TRIM		2X CEDAR PER DETAIL – STAIN TO MATCH ADJACENT SIDING
M9	DOORS/ WINDOWS		SIERRA PACIFIC WINDOW COMPANY #097 “SIFT ESPRESSO”
M10	DECK RAILS		POWDER COATED STEEL PER DETAILS, COLOR TO BE DARK GREY
M11	GARAGE DOORS		CEDAR STYLES & RAILS PER DETAILS – STAIN TO MATCH TRIM (M7) – METAL PANELS TO MATCH (M5)

NOTE: ALL EXPOSED METAL INCLUDING, BUT NOT LIMITED TO, TYPICAL FLASHING, DOWNSPOUTS, GUTTERS, DRIP EDGE, VENT STACKS, FLUE PIPES, ETC, SHALL BE DARK BRONZE.



6 MINER'S CREEK ROAD  
LOT 8 . WEST FRISCO 70 . FILING #1  
TOWN OF FRISCO . COLORADO



**EXTERIOR LIGHT FIXTURE**  
MODEL: URBAN

**MANUFACTURER:** MODERN FORM

**DIMENSIONS:** 16" HEIGHT; 7" WIDTH; 2" DEPTH

**FINISH & GLASS:** BLACK ALUMINUM

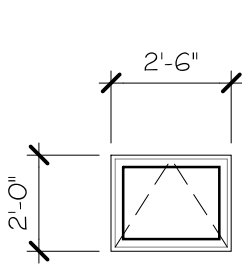
**MAX WATTAGE:** 16 WATTS

**TOTAL LUMENS:** 960

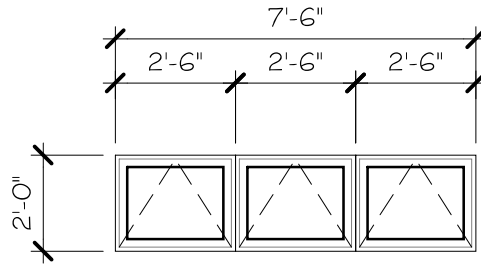
**DESCRIPTION:** RECESSED LIGHT BULB WITH TEXTURED BACKPLATE; DARK SKY COMPLIANT

NOTES:

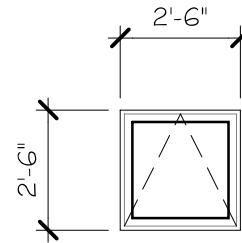
1. ARCHITECT TO REVIEW SHOP DRAWINGS, PRIOR TO PLACING WINDOW ORDER.
2. REFER TO THE 'INFO 1' DRAWING SHEET, EXTERIOR MATERIALS SCHEDULE, PROJECT MANUAL, AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
3. REFER TO EXTERIOR ELEVATIONS FOR SPECIFIC WINDOW OPERATION AND WINDOW HEAD HEIGHTS; DIMENSIONS ARE TO FINISHED FLOOR, UNLESS NOTED OTHERWISE.
4. GC TO VERIFY ALL EGRESS UNIT SIZES AND HARDWARE OPERATION REQUIREMENTS, PRIOR TO ORDERING.
5. WINDOW TAG LETTERS "I", "O", "Y", LL & "VV" NOT USED.
6. VERIFY ROUGH OPENINGS IN FILED PRIOR TO ORDERING DOORS AND WINDOWS.



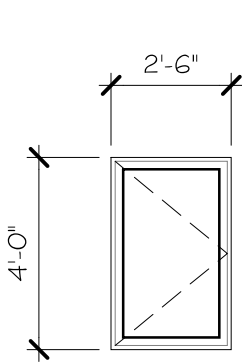
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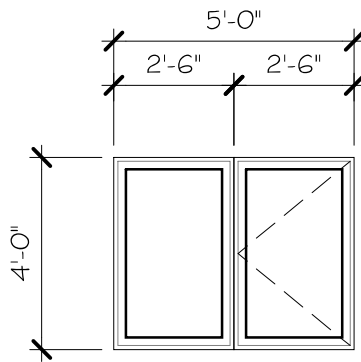
B (3) AWNING



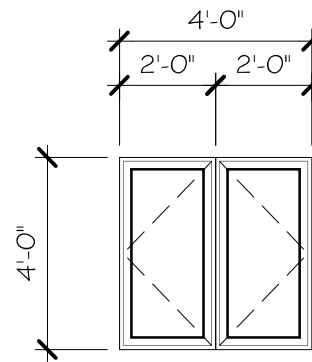
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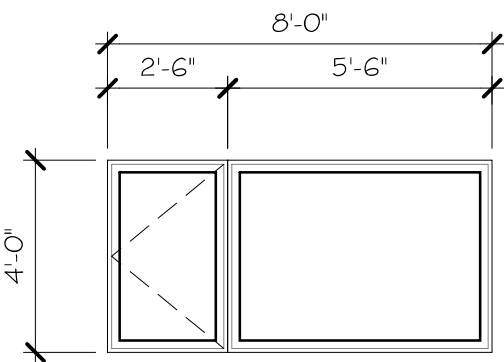
D CASEMENT



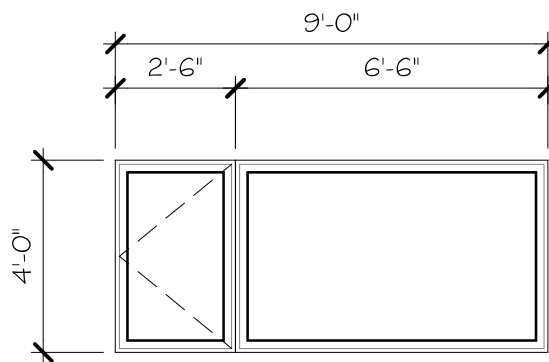
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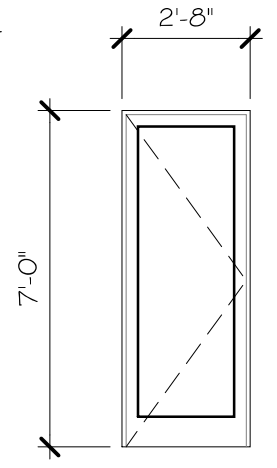
F (2) CASEMENT



G CASEMENT, FIXED



H CASEMENT, FIXED

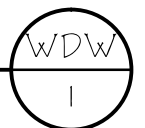


J FULL GL



6 MINER'S CREEK ROAD  
WINDOW SCHEDULE - PAGE ONE

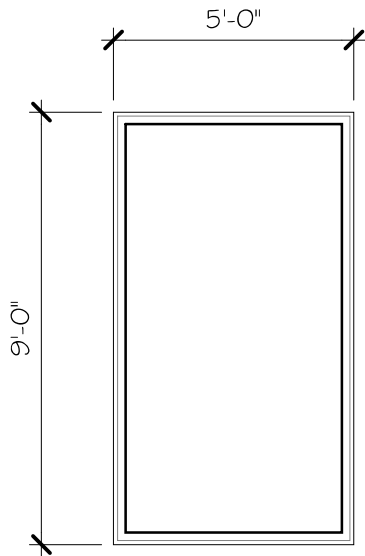
SCALE: 1/4" = 1'-0"  
DATE: 28 FEB, 2024



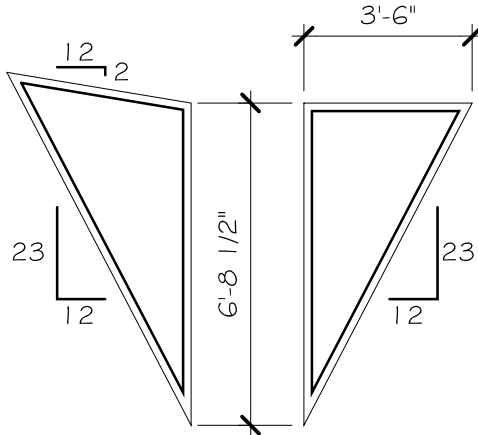


NOTES:

1. ARCHITECT TO REVIEW SHOP DRAWINGS, PRIOR TO PLACING WINDOW ORDER.
2. REFER TO THE 'INFO 1' DRAWING SHEET, EXTERIOR MATERIALS SCHEDULE, PROJECT MANUAL, AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
3. REFER TO EXTERIOR ELEVATIONS FOR SPECIFIC WINDOW OPERATION AND WINDOW HEAD HEIGHTS; DIMENSIONS ARE TO FINISHED FLOOR, UNLESS NOTED OTHERWISE.
4. GC TO VERIFY ALL EGRESS UNIT SIZES AND HARDWARE OPERATION REQUIREMENTS, PRIOR TO ORDERING.
5. WINDOW TAG LETTERS "I", "O", "Y", LL & "VV" NOT USED.
6. VERIFY ROUGH OPENINGS IN FILED PRIOR TO ORDERING DOORS AND WINDOWS.

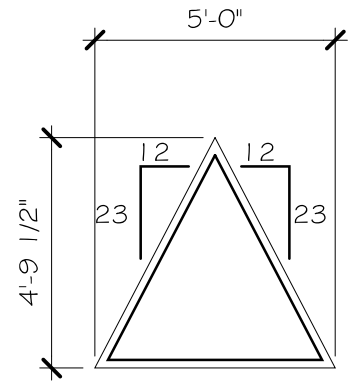


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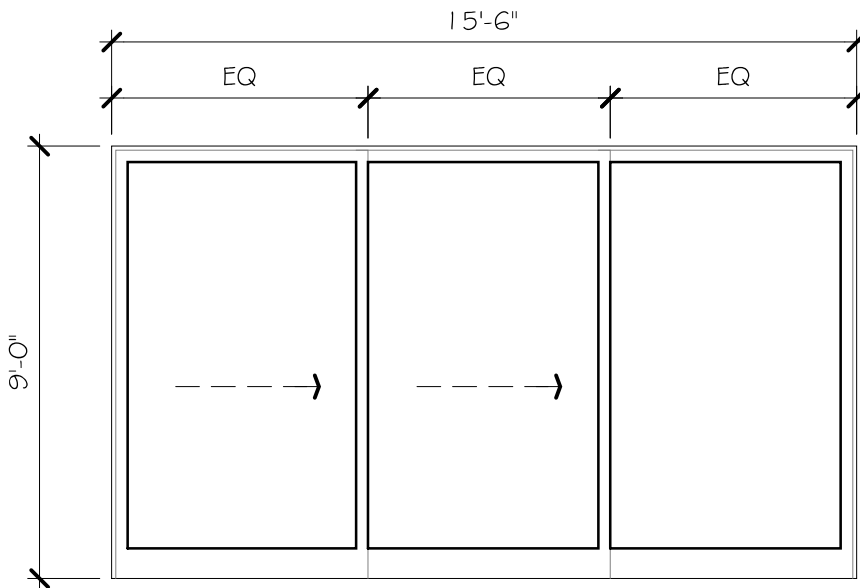


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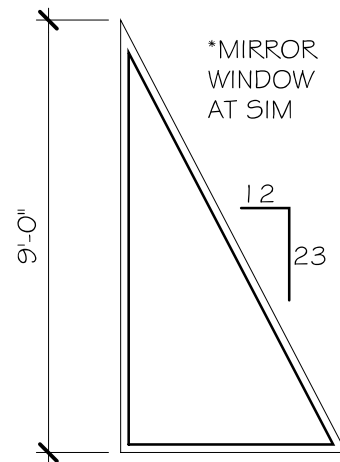
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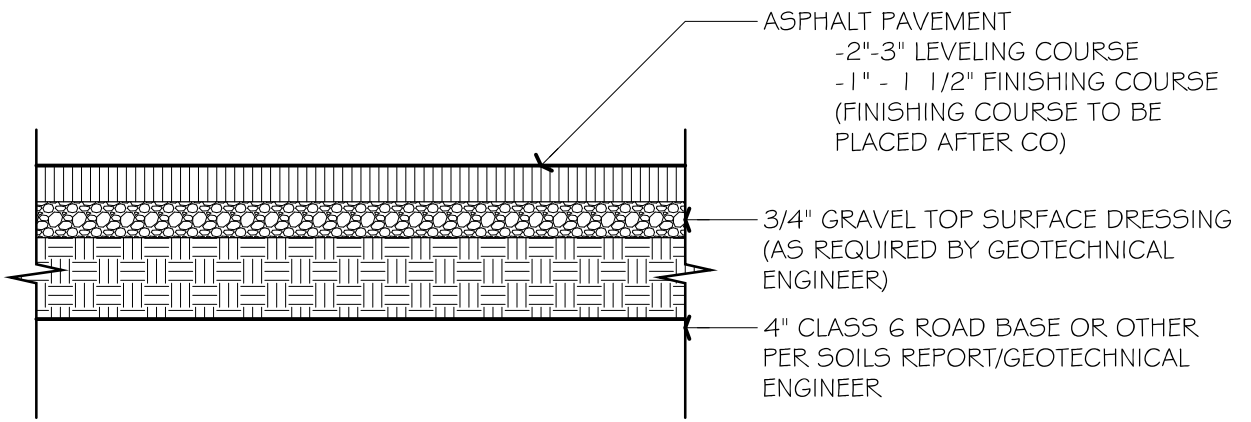
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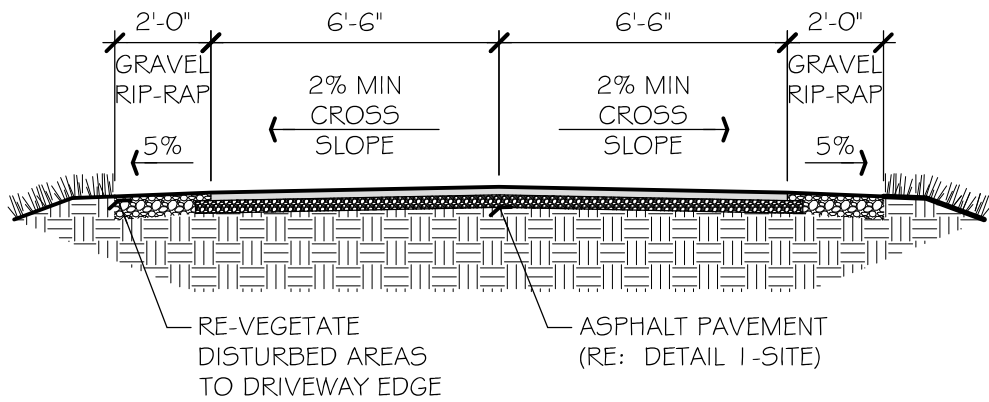


**P** TRIPLE SLIDING PATIO



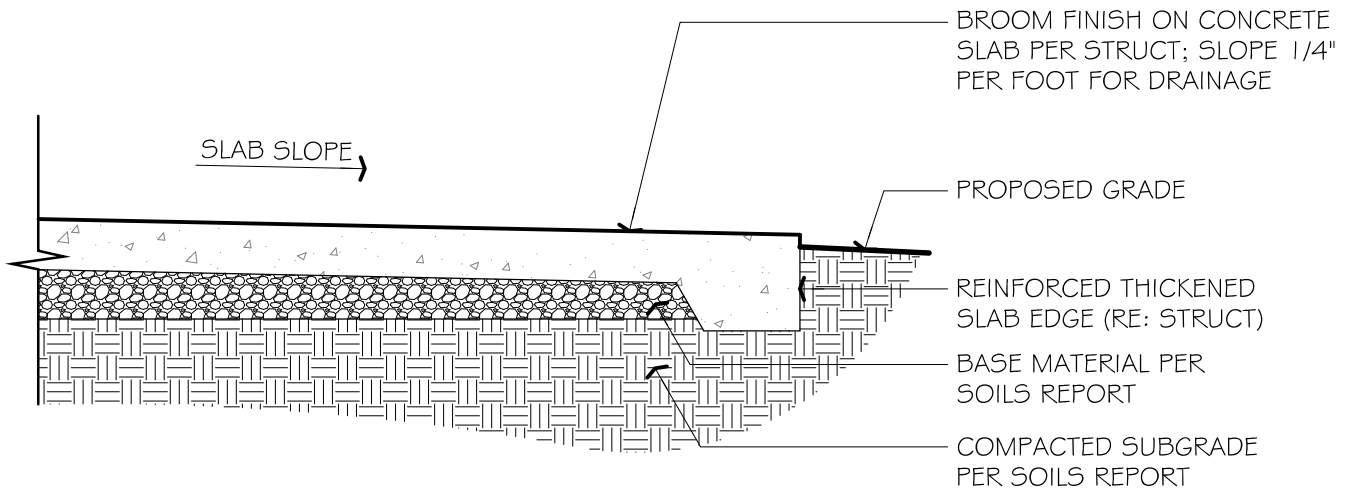
**Q** FIXED

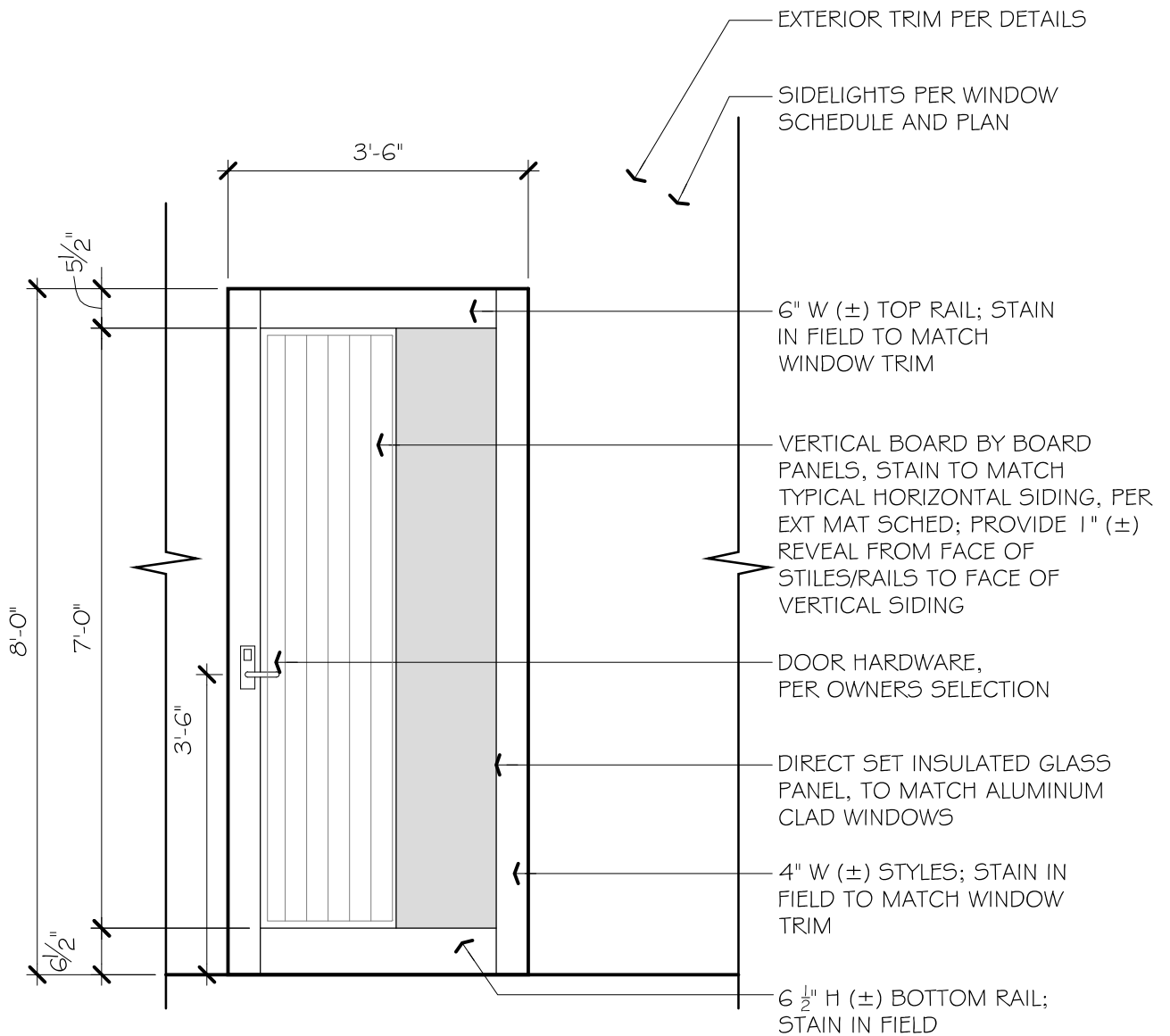




REFER TO SITE PLAN FOR SLOPE VARIATION AT DRIVEWAY AREAS. SOME AREAS TO BE CROSS SLOPED AND NOT CROWNED. VIF.

- NOTES:
1. STRUCTURAL AND STEEL REINFORCING PER ENGINEERS DESIGN & DETAIL.
  2. SLOPE SLAB 1/4" PER FT FOR DRAINAGE.





- NOTES:
1. VERIFY DOOR STYLE WITH OWNER PRIOR TO ORDERING/FABRICATION.
  2. DO NOT PRE-BORE FOR HARDWARE.
  3. WOOD SPECIES & FINISH PER OWNER.
  4. ALL FINISHED MATERIAL SAMPLES TO BE PROVIDED TO ARCHITECT & OWNER PRIOR TO ORDERING/FABRICATION.
  5. DOOR HARDWARE PER OWNER
  6. DOOR TO BE 2-1/2" MID SOLID CORE AND MEET ENERGY CODE U-VALUE

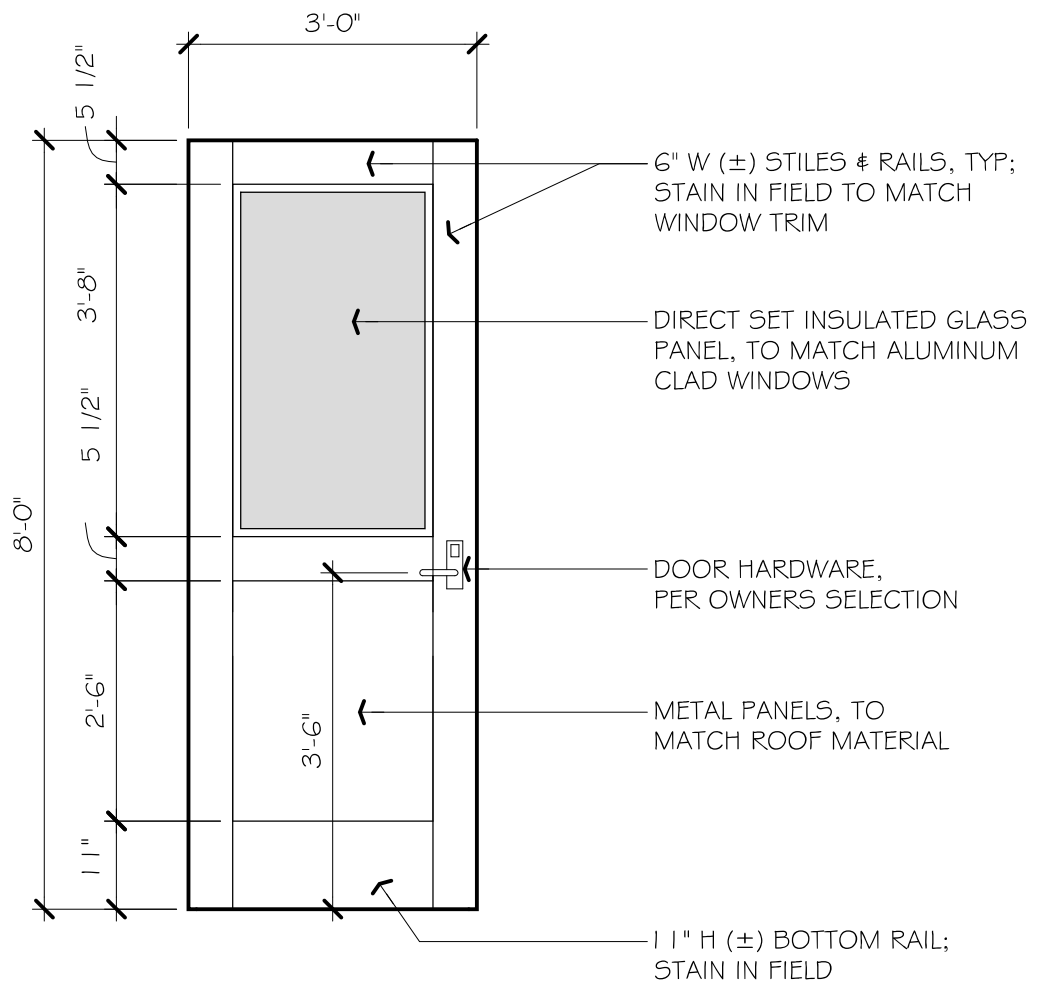


6 MINER'S CREEK ROAD  
 FRONT ENTRY DOOR - ELEVATION

SCALE: 1/2" = 1'-0"  
 DATE: 28 FEB, 2024







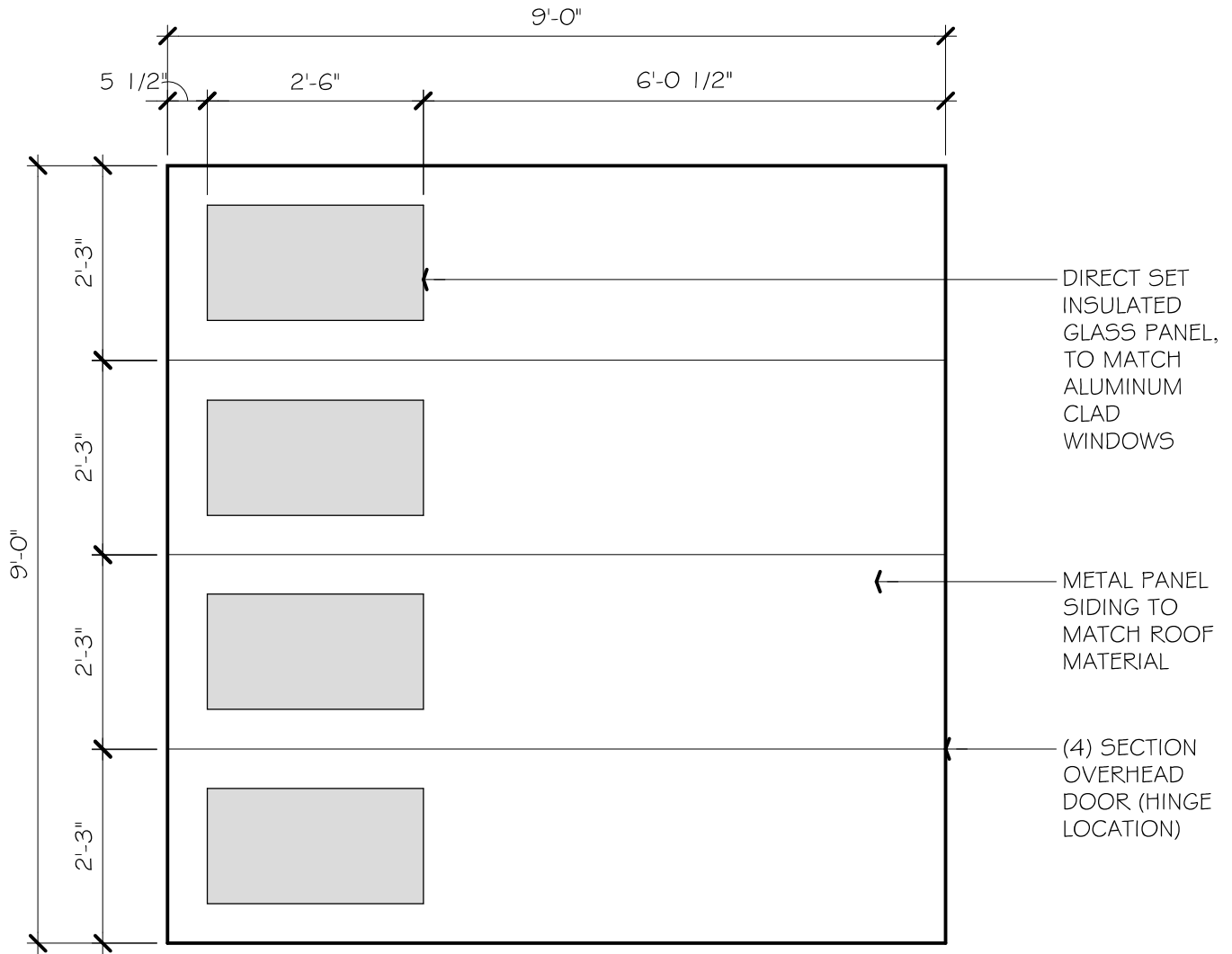
- NOTES:
1. VERIFY DOOR STYLE WITH OWNER PRIOR TO ORDERING/FABRICATION.
  2. DO NOT PRE-BORE FOR HARDWARE.
  3. WOOD SPECIES & FINISH PER OWNER.
  4. ALL FINISHED MATERIAL SAMPLES TO BE PROVIDED TO ARCHITECT & OWNER PRIOR TO ORDERING/FABRICATION.
  5. DOOR HARDWARE PER OWNER
  6. DOOR TO BE 2-1/2" MID SOLID CORE AND MEET ENERGY CODE U-VALUE



6 MINER'S CREEK ROAD  
 EXTERIOR 1/2 LIGHT DOOR - ELEVATION

SCALE: 1/2" = 1'-0"  
 DATE: 28 FEB, 2024

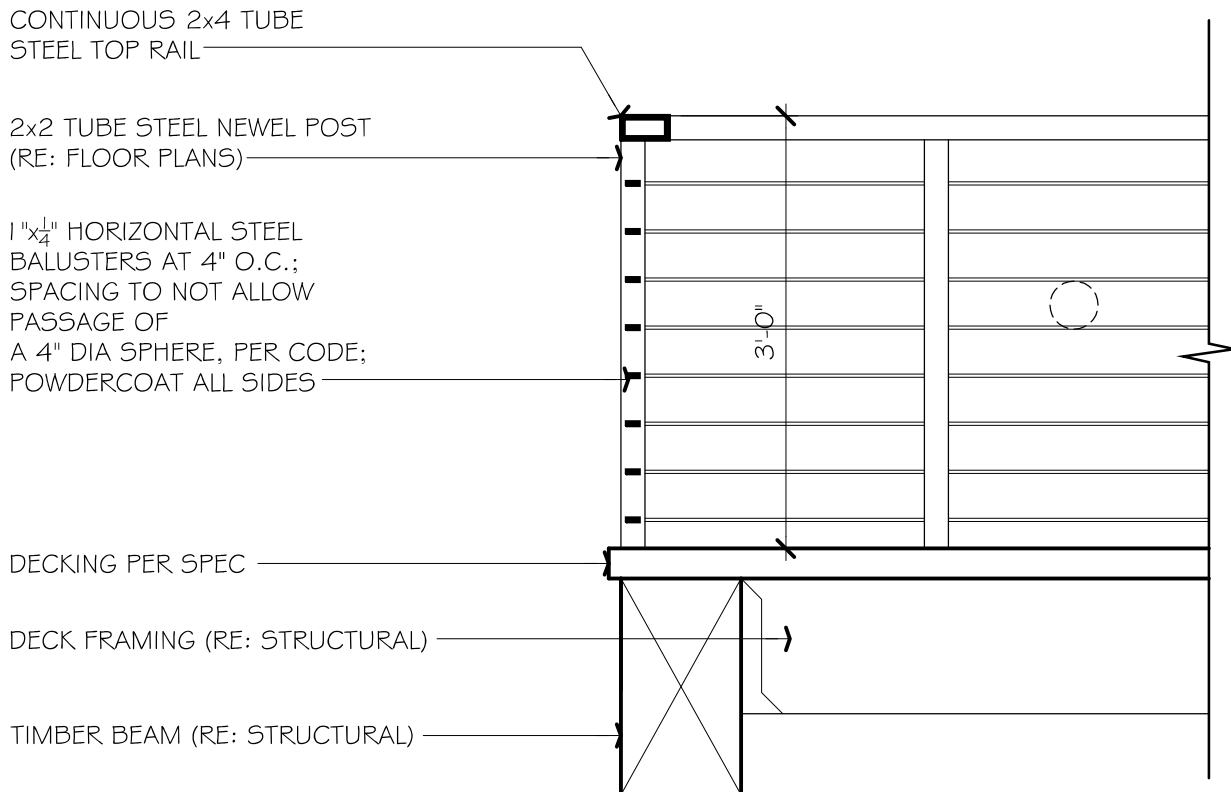




6 MINER'S CREEK ROAD  
 TYPICAL GARAGE DOOR - ELEVATION

SCALE: 1/2" = 1'-0"  
 DATE: 28 FEB, 2024





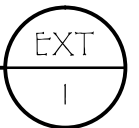
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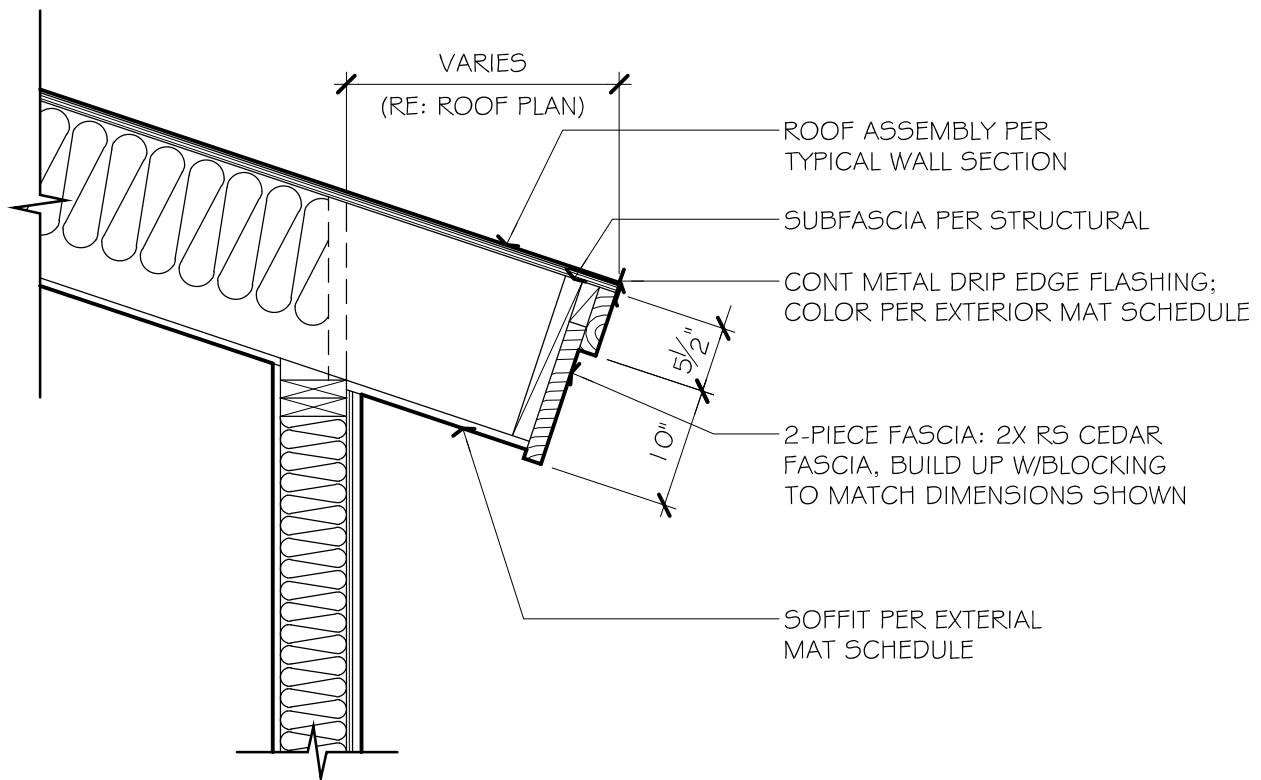
- 1) SEE STRUCTURAL, EXT MATERIALS SCHEDULE, & SPEC FOR WOOD SPECIES, FINISHES, & ALL STAIN COLORS.
- 2) PROVIDE ARCHITECT/OWNER W/ PRODUCT SAMPLES FOR APPROVAL, PRIOR TO ORDERING/FABRICATION.



6 MINER'S CREEK ROAD  
TYPICAL DECK GUARDRAIL

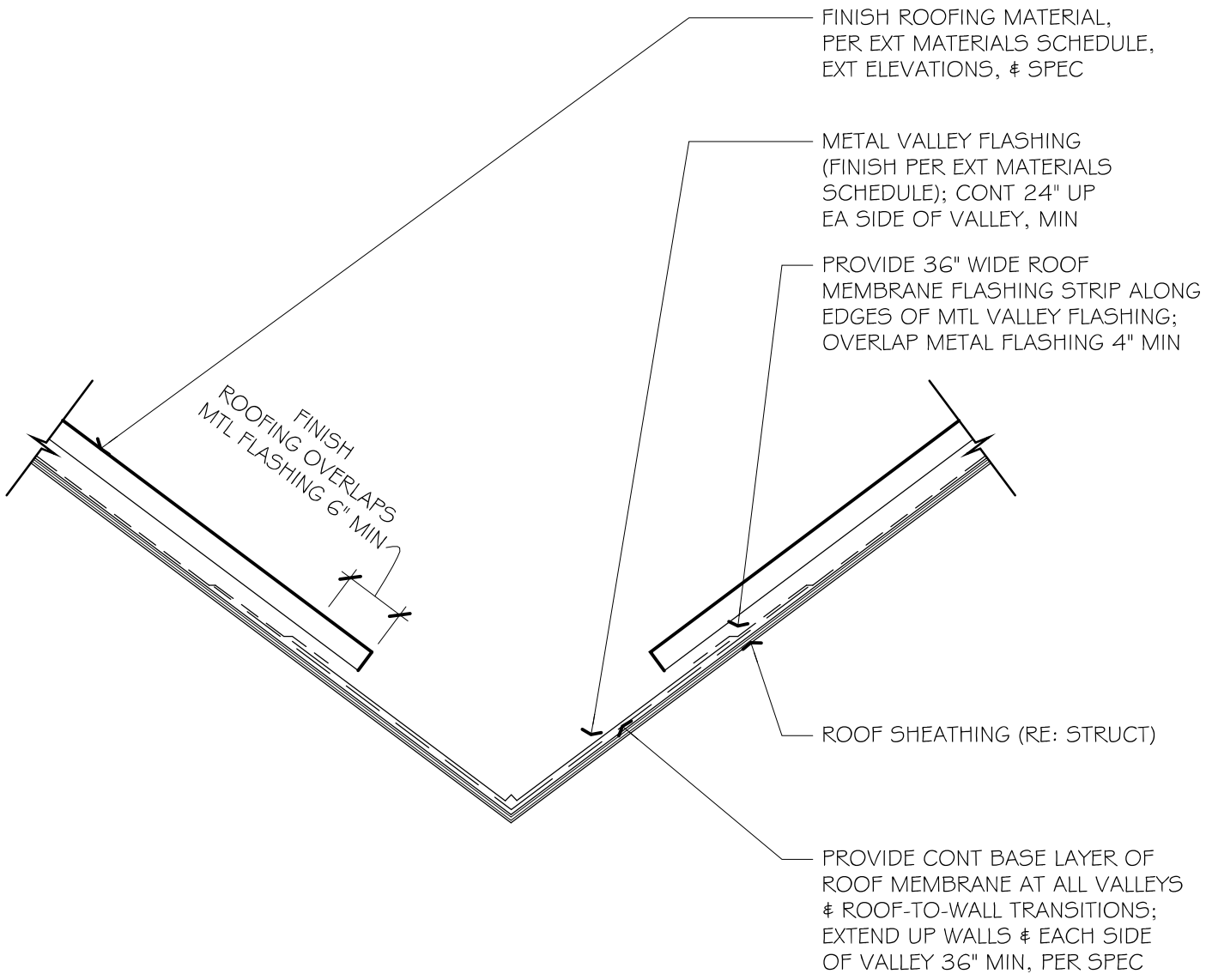
SCALE: 3/4" = 1'-0"  
DATE: 28 FEB, 2024





NOTES:

- 1) SEE STRUCT, EXT MAT SCHEDULE, & PROJECT MANUAL FOR WOOD SPECIES, FINISHES, & ALL STAIN COLORS.
- 2) PROVIDE ARCHITECT/OWNER W/ PRODUCT SAMPLES FOR APPROVAL, PRIOR TO ORDERING/FABRICATION.
- 3) PROVIDE CONTINUOUS TRIM BOARDS, WHERE POSSIBLE (MAXIMIZE LENGTHS, PER MATERIAL AVAILABILITY).



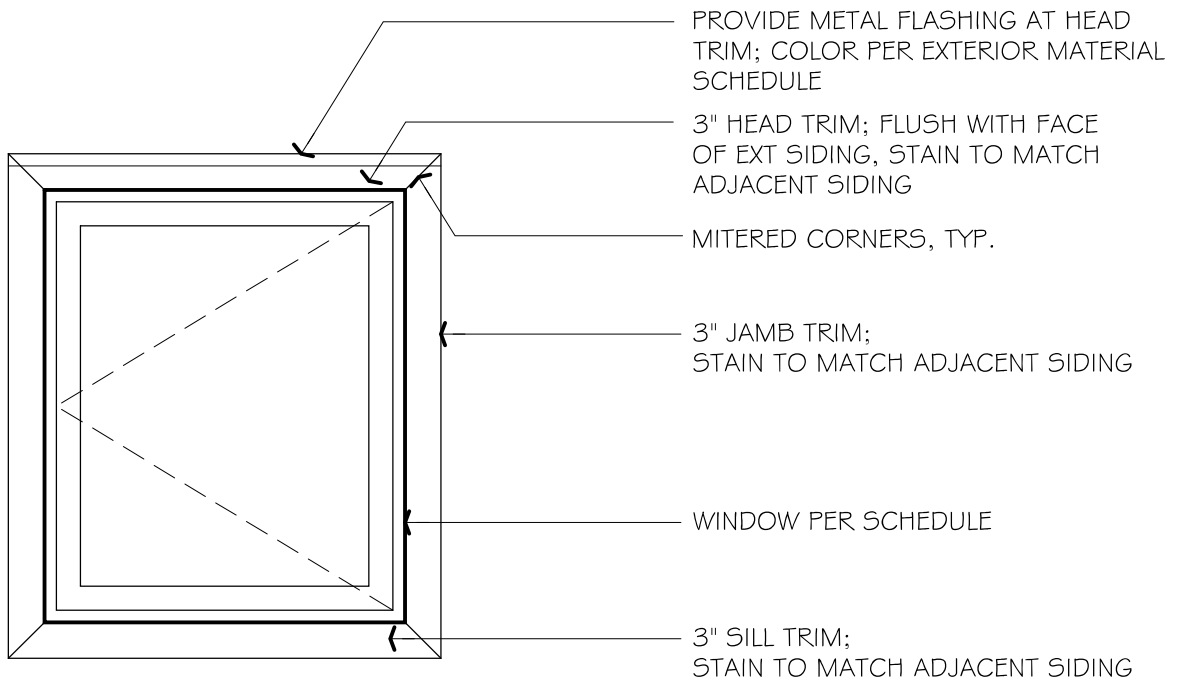
NOTE:  
SEE EXTERIOR MATERIALS SCHEDULE & PROJECT MANUAL FOR ALL  
ROOFING FINISH TYPES & COLORS. RE: EXT ELEVVS FOR LOCATIONS.



6 MINER'S CREEK ROAD  
TYPICAL ROOF VALLEY FLASHING

SCALE: 3/4" = 1'-0"  
DATE: 28 FEB, 2024





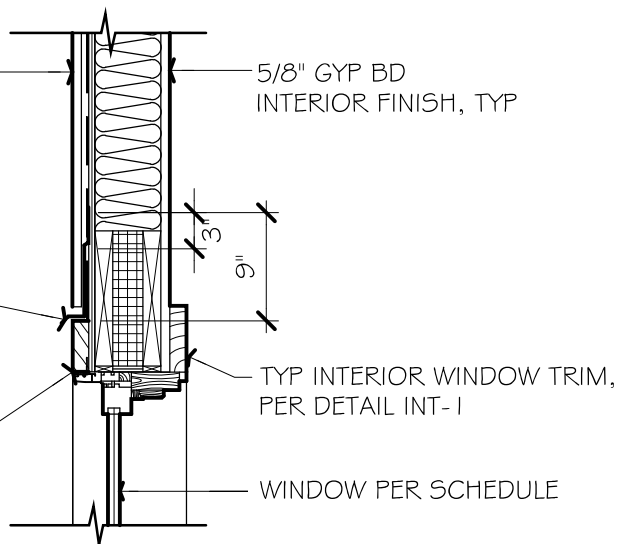
FRONT VIEW

NOTES:  
 - REFER TO 2018 IRC AND MANUFACTURER RECOMMENDATIONS FOR ALL FLASHING REQUIREMENTS AT ALL WINDOWS & DOORS  
 - DOOR CONDITION SIMILAR  
 - HORIZONTAL & VERTICAL SIDING GET SAME TREATMENT

EXTERIOR WALL ASSEMBLY, PER TYP WALL SECTIONS (A5.1)

PROVIDE 26 GA FLASHING & DRIP EDGE AT WD TRIM; PROVIDE 9" TOTAL (MIN) VERTICAL EXTENSION; CAULK TOP EDGE

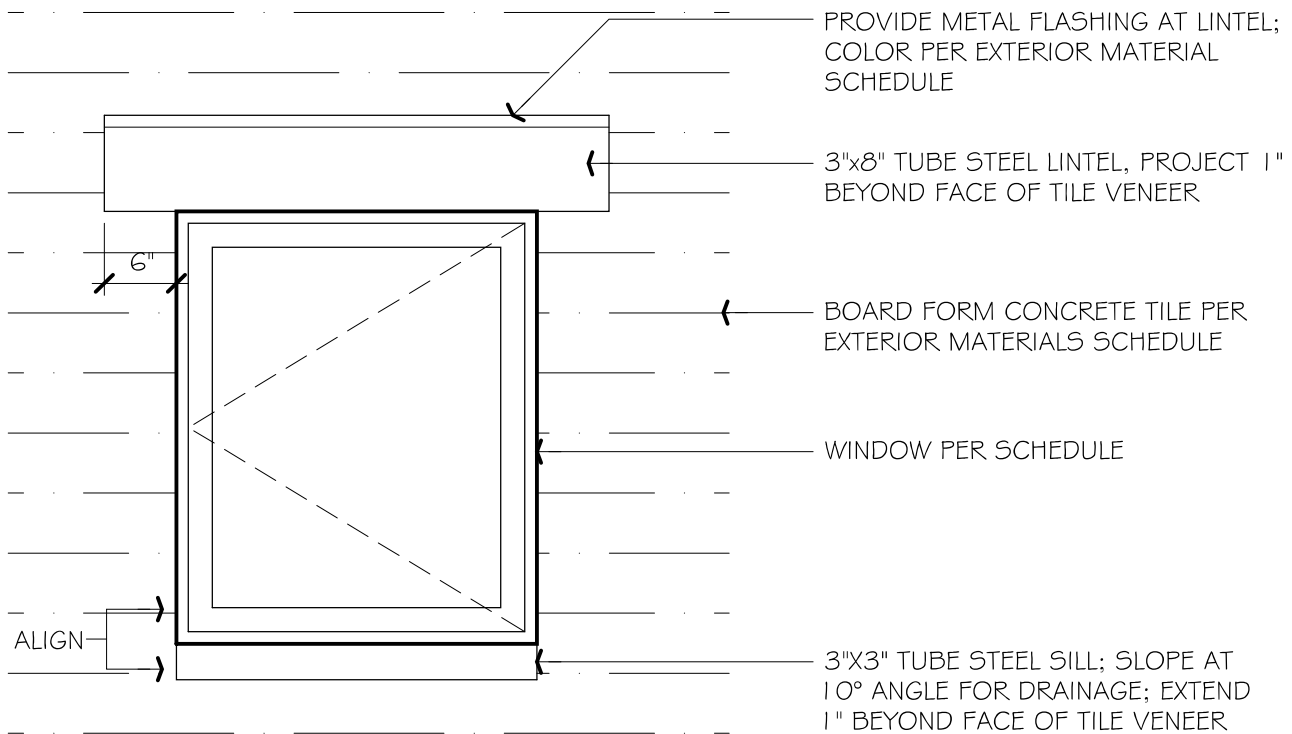
3" HEAD TRIM AT WOOD SIDING; FLUSH WITH FACE OF SIDING, STAIN PER EXT MATERIAL SCHEDULE



SECTION VIEW



6 MINER'S CREEK ROAD  
 EXTERIOR WINDOW TRIM AT WOOD SIDING



FRONT VIEW

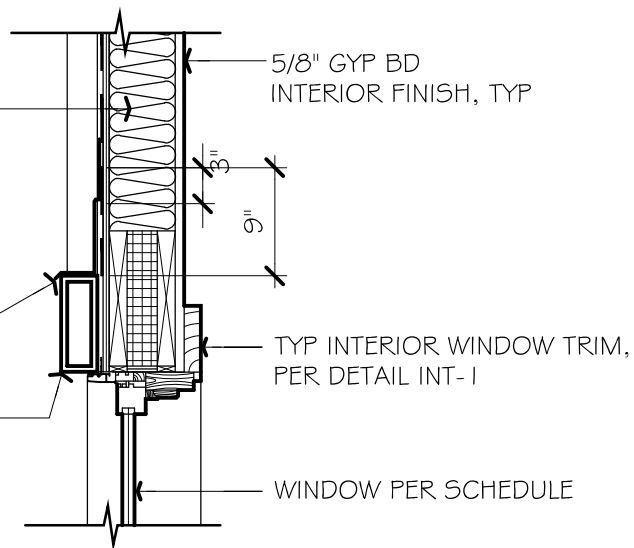
NOTES:

- REFER TO 2012 IRC AND MANUFACTURER RECOMMENDATIONS FOR ALL FLASHING REQUIREMENTS AT ALL WINDOWS & DOORS
- DOOR CONDITION SIMILAR

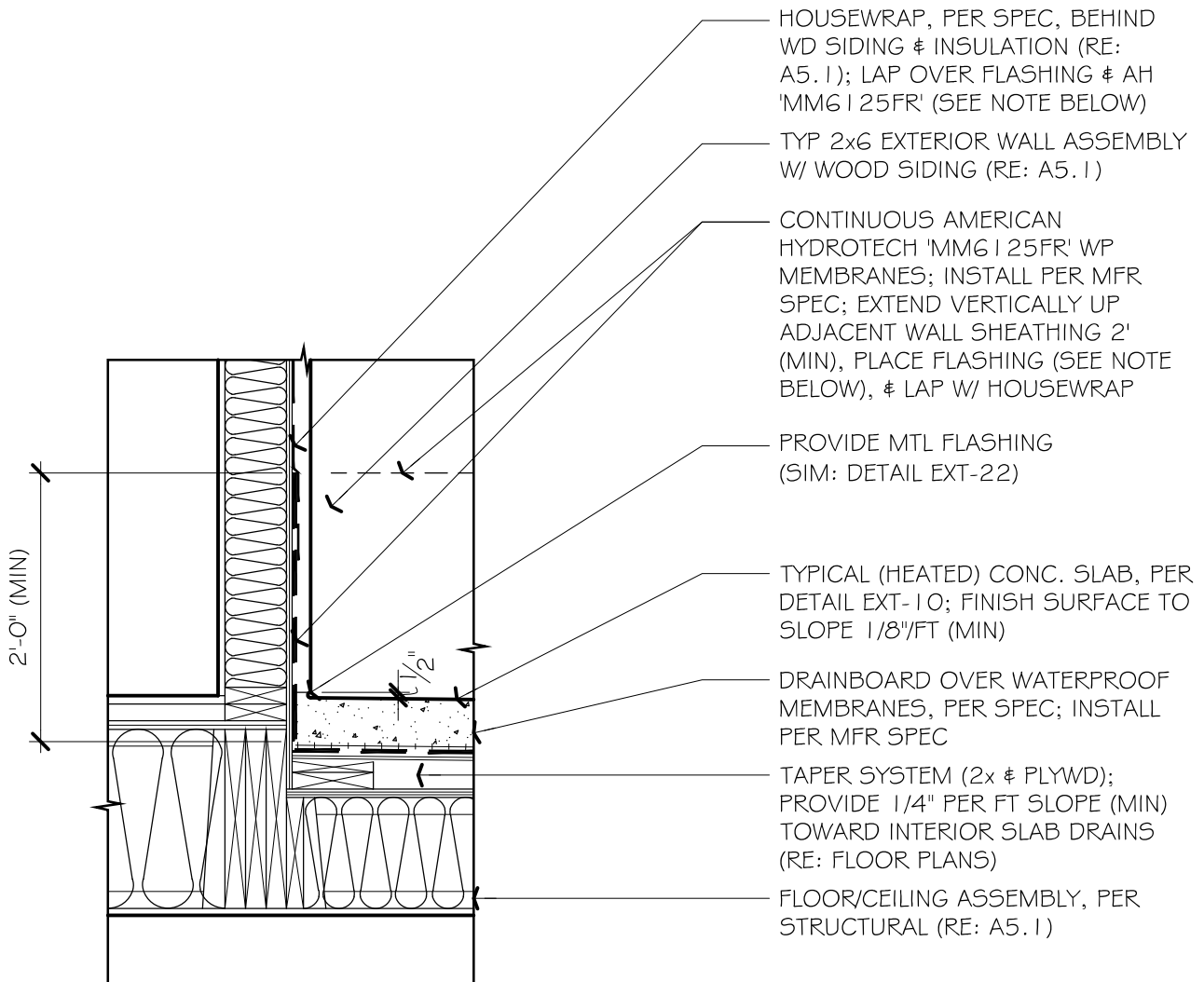
EXTERIOR WALL ASSEMBLY, PER TYP WALL SECTIONS (A5.1)

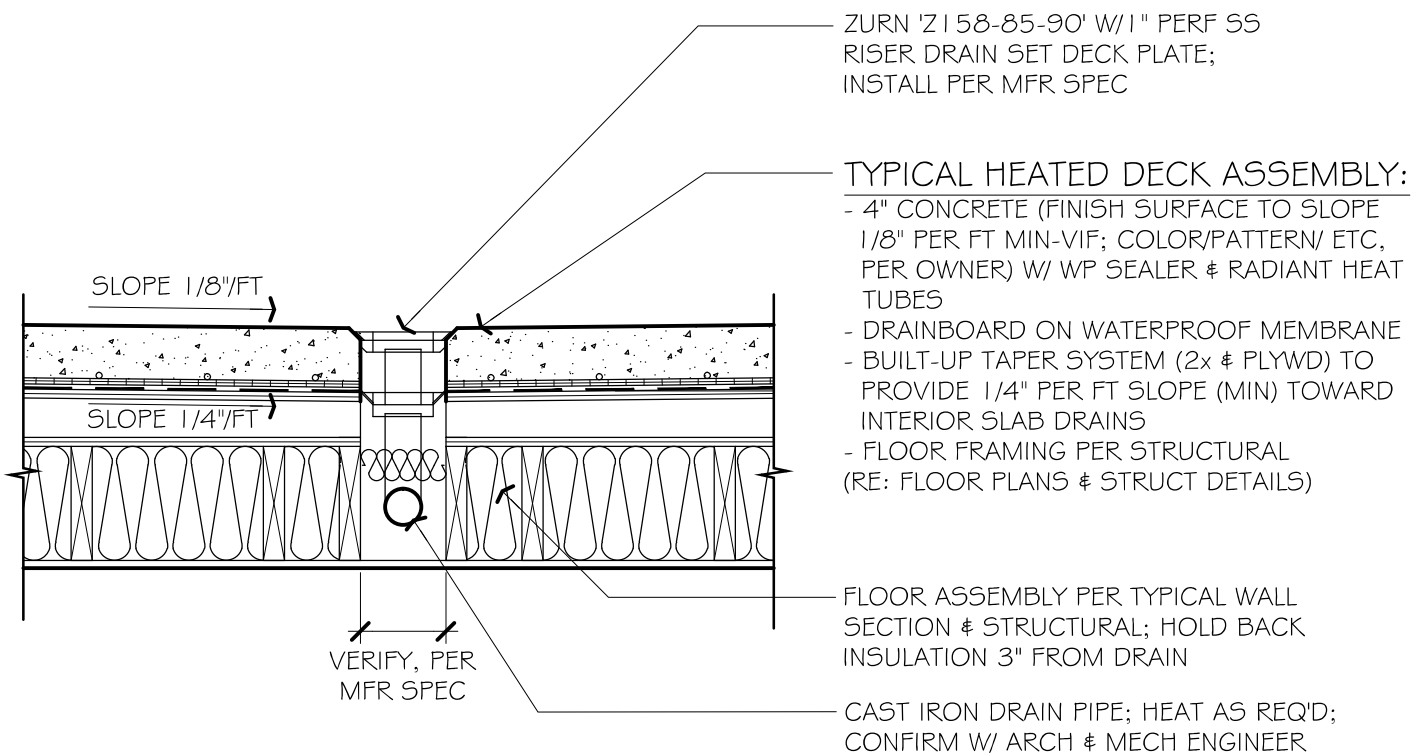
PROVIDE 26 GA FLASHING & DRIP EDGE AT STN HEADER; EXTEND THROUGH EXTERIOR INSULATION WITH 3" VERTICAL LEG AT FRAMING; PROVIDE 9" TOTAL (MIN) VERTICAL EXTENSION; CAULK TOP EDGE

3"x8" TUBE STEEL LINTEL, EXTEND 1" BEYOND FACE OF TILE VENEER



SECTION VIEW





NOTES:

- 1) REFER TO EXT MAT SCHEDULE FOR FINISHES & COLORS.
- 2) PROVIDE ARCHITECT/OWNER W/ PRODUCT SAMPLES FOR APPROVAL, PRIOR TO ORDERING/FABRICATION.
- 3) REFER TO ENGINEER'S DRAWINGS FOR STRUCTURAL ELEMENTS SIZE & LOCATION.
- 4) COORDINATE ALL WATERPROOFING PRODUCTS AND INSTALLATION METHODS WITH MFR SPEC.



6 MINER'S CREEK ROAD  
DECK DRAWIN AT WATERPROOF DECK

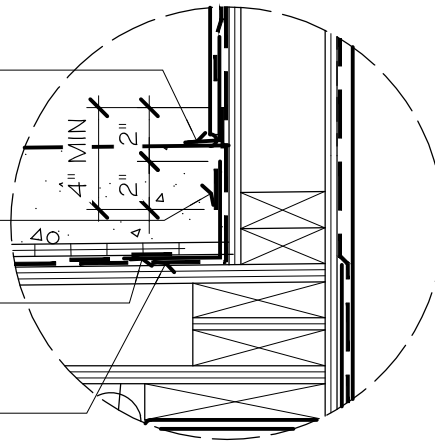
SCALE: 3/4" = 1'-0"  
DATE: 28 FEB, 2024

2x4 FLASHING AT TOP  
OF CONC W/ MEMBRANE  
AT TOP EDGE

4" MIN (2" LAP EA SIDE)  
SECOND LAYER OF MEMBRANE  
@ FLASHING EDGE(S)

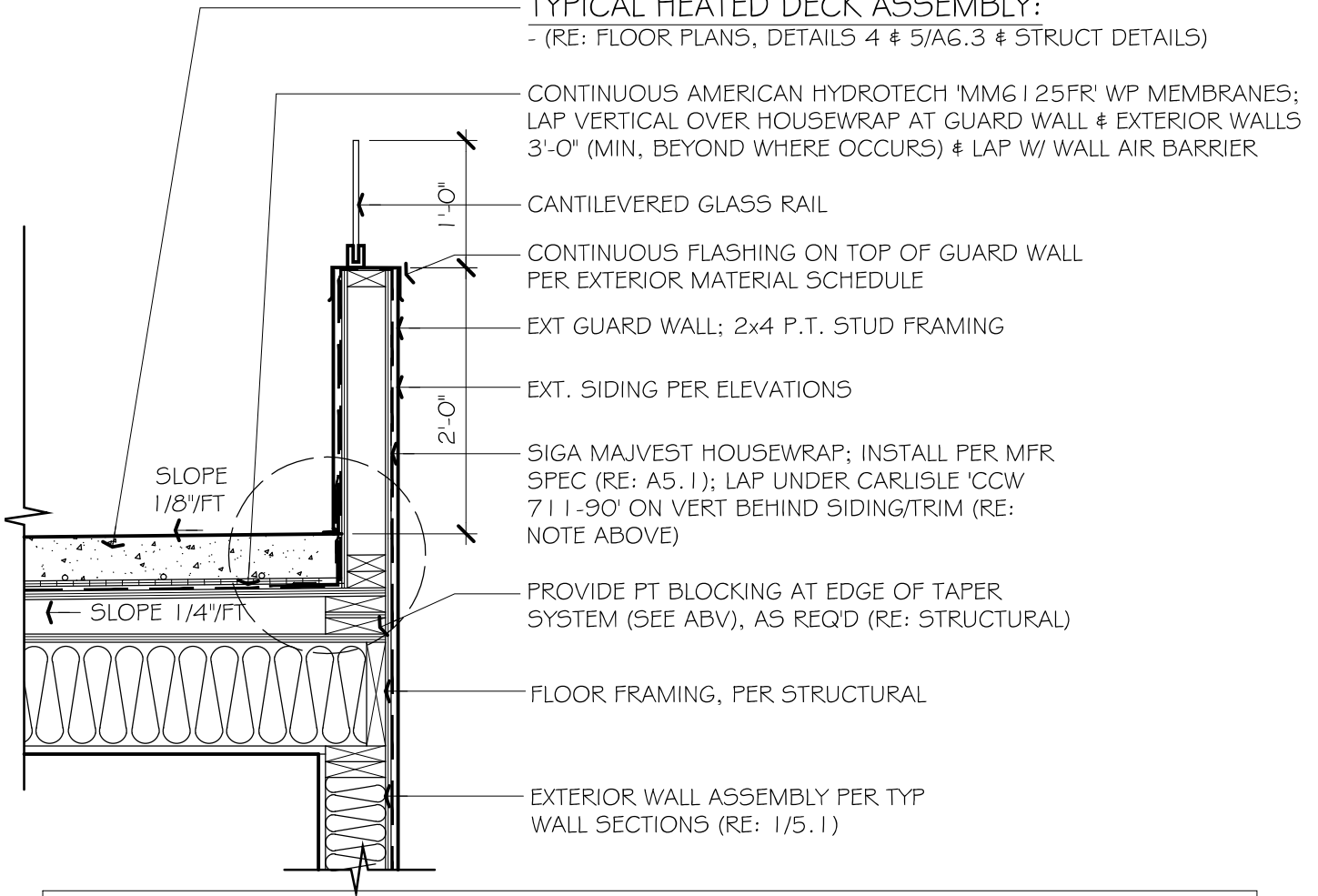
4x4 MIN FLASHING

RUN CONTINUOUS  
WATERPROOFING  
MEMBRANE UNDER FLASHING



**TYPICAL HEATED DECK ASSEMBLY:**

- (RE: FLOOR PLANS, DETAILS 4 & 5/A6.3 & STRUCT DETAILS)



**NOTES:**

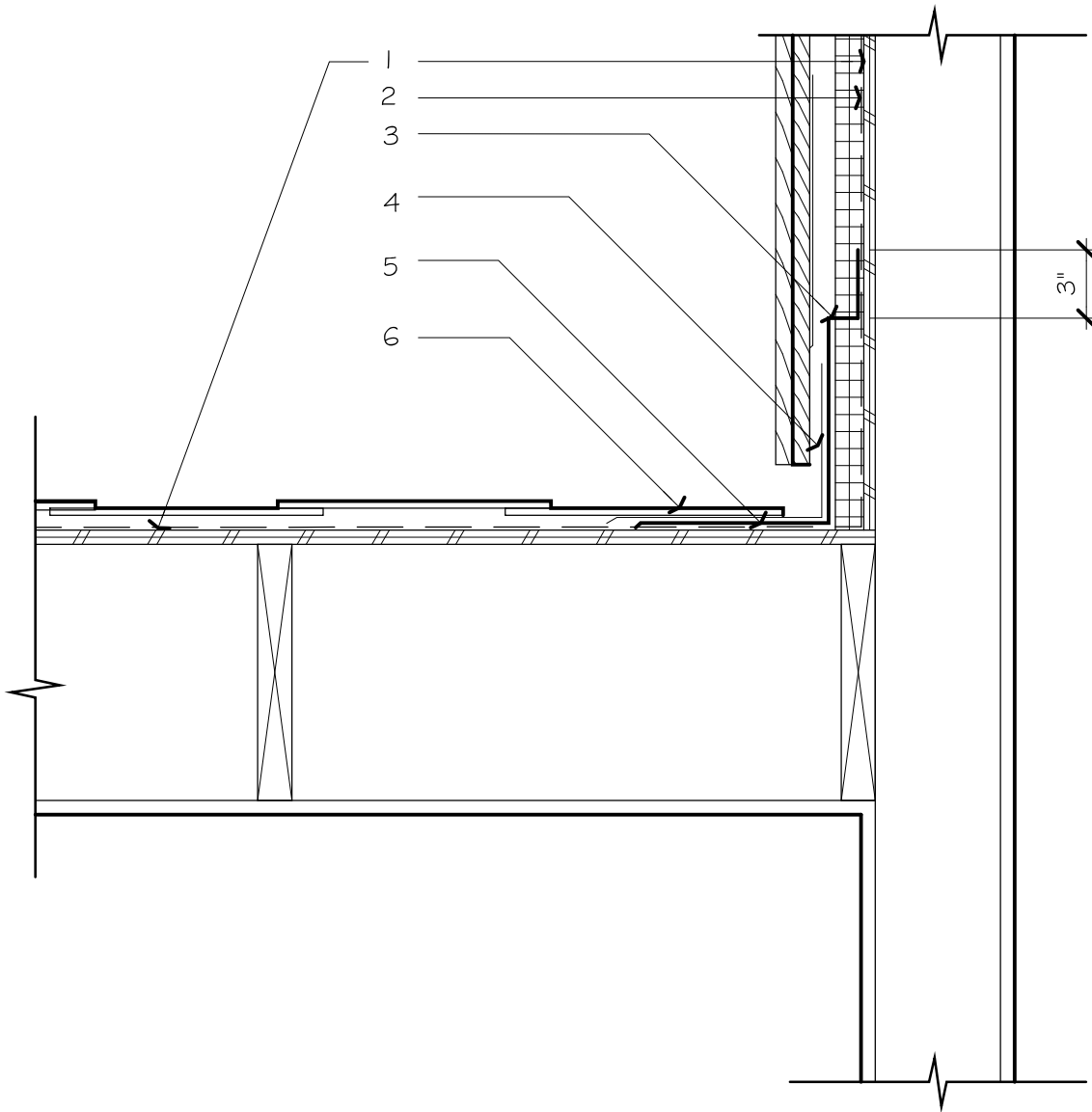
- 1) REFER TO EXT MAT SCHEDULE FOR FINISHES & COLORS.
- 2) PROVIDE ARCHITECT/OWNER W/ PRODUCT SAMPLES FOR APPROVAL, PRIOR TO ORDERING/FABRICATION.
- 3) REFER TO ENGINEER'S DRAWINGS FOR STRUCTURAL ELEMENTS SIZE & LOCATION.
- 4) COORDINATE ALL WATERPROOFING PRODUCTS AND INSTALLATION METHODS WITH MFR SPEC.



6 MINER'S CREEK ROAD  
SOLID RAIL AT WATERPROOF DECKS

SCALE: 3/4" = 1'-0"  
DATE: 28 FEB, 2024

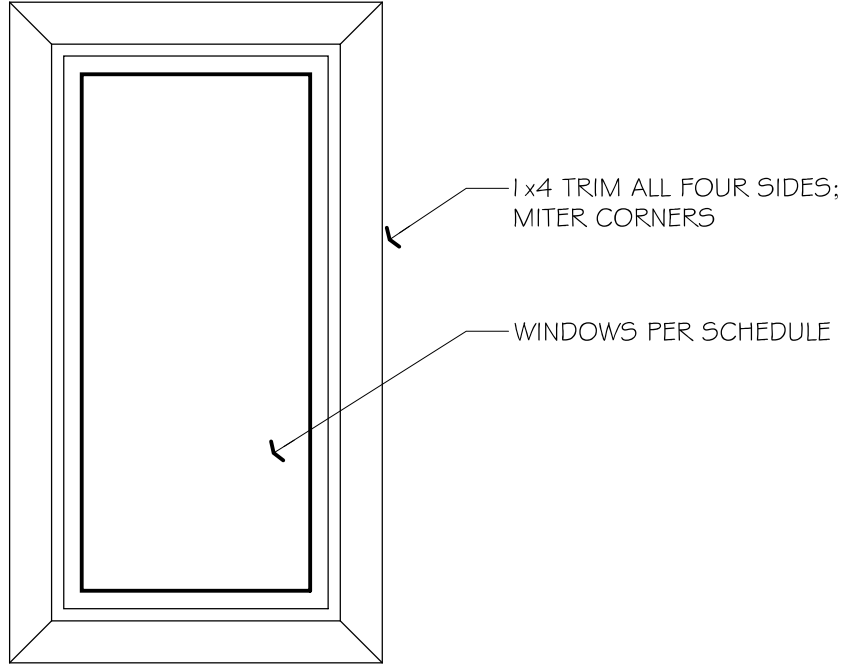




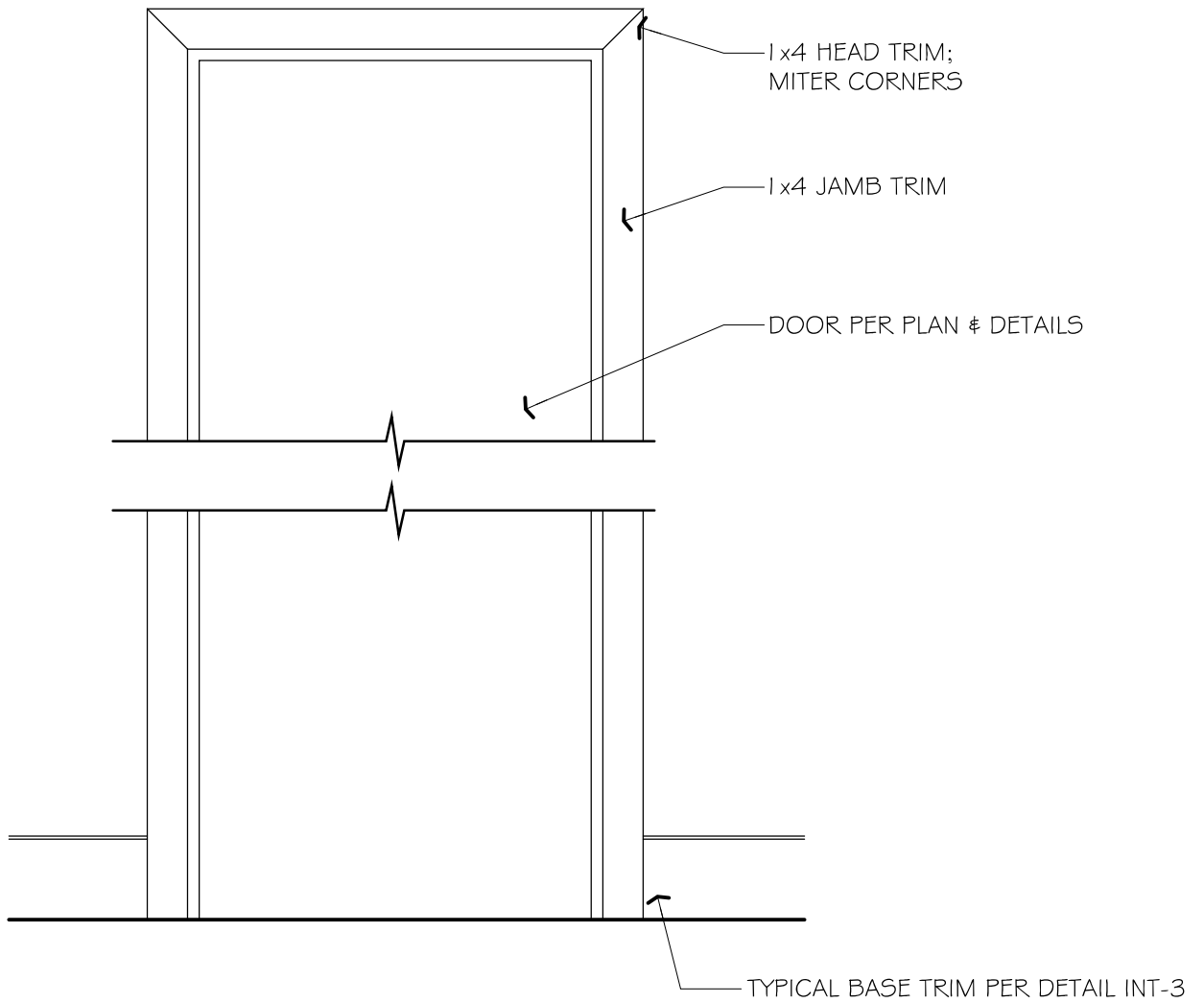
PROCEDURE:

1. PRIME SIDEWALL & ROOF, 3' UP WALL & 2' ON ROOF
2. INSTALL ROOF MEMBRANE ON ROOF 24" (MIN), AND UP ADJACENT SIDEWALL 36" (MIN).
3. INSTALL 8"x12" 26 GA SIDEWALL FLASHING, SEAL LAPS, 3" VERTICAL LEG AT FRAMING
4. INSTALL 18" MEMBRANE STRIP OVER WALL & FLASHING, LEAVING 2" OF FLASHING EXPOSED
5. INSTALL ROOF MEMBRANE, LEAVING 2" OF FLASHING EXPOSED
6. INSTALL SIDING AND ROOFING, LEAVING 2" OF FLASHING EXPOSED

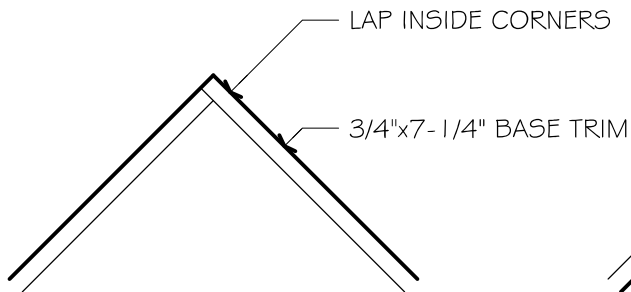
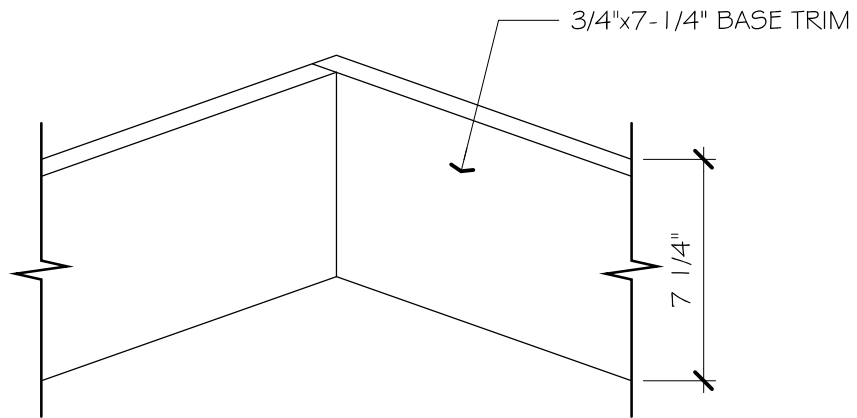
NOTE: WRAP ROOF MEMBRANE (ITEM 5 ABOVE) UP ENTIRE HEIGHT OF WALL AT CHIMNEYS



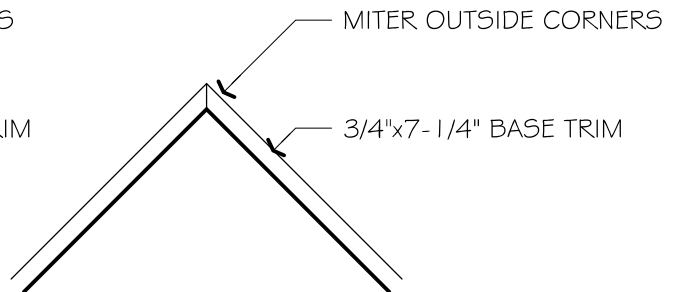
NOTES:  
 - SEE SPEC FOR WOOD SPECIES & FINISH  
 - CONSULT WITH OWNERS & INTERIOR DESIGNER FOR ALL INTERIOR FINISHES



NOTES:  
 - SEE SPEC FOR WOOD SPECIES & FINISH  
 - CONSULT WITH OWNERS & INTERIOR DESIGNER FOR ALL INTERIOR FINISHES

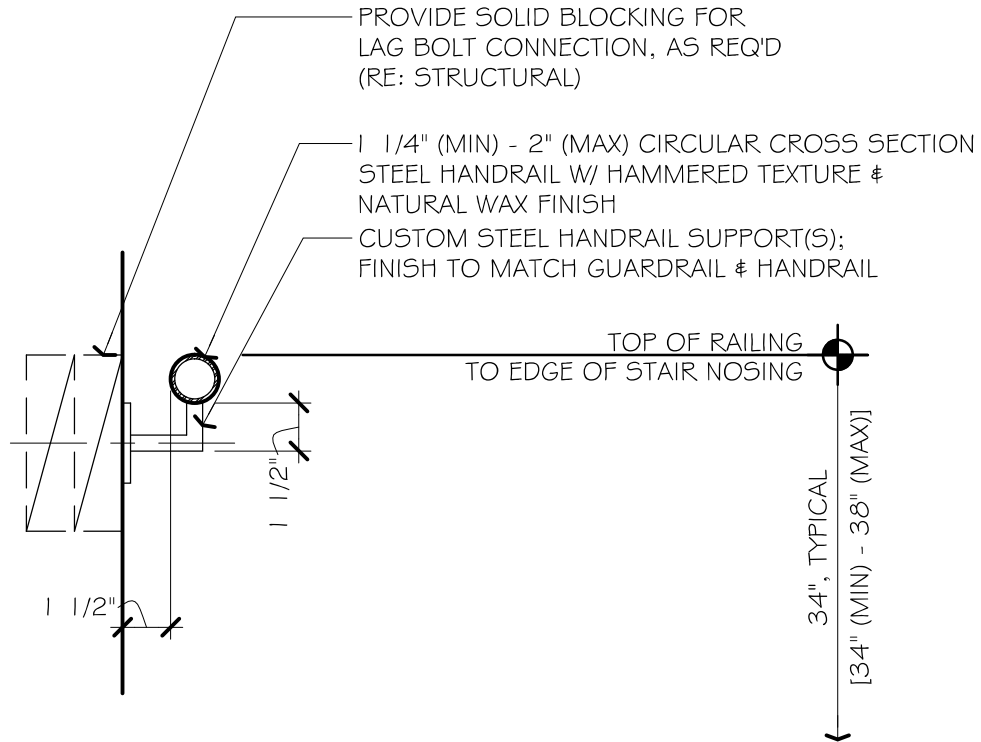


INSIDE  
CORNER TRIM - PLAN



OUTSIDE  
CORNER TRIM - PLAN

NOTES:  
 - SEE SPEC FOR WOOD SPECIES & FINISH  
 - CONSULT WITH OWNERS & INTERIOR DESIGNER  
 FOR ALL INTERIOR FINISHES



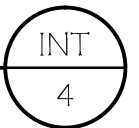
NOTES:

- REFER TO LOCAL BUILDING CODE FOR ADDITIONAL REQUIREMENTS
- CONSULT WITH OWNERS & INTERIOR DESIGNER FOR ALL INTERIOR FINISHES

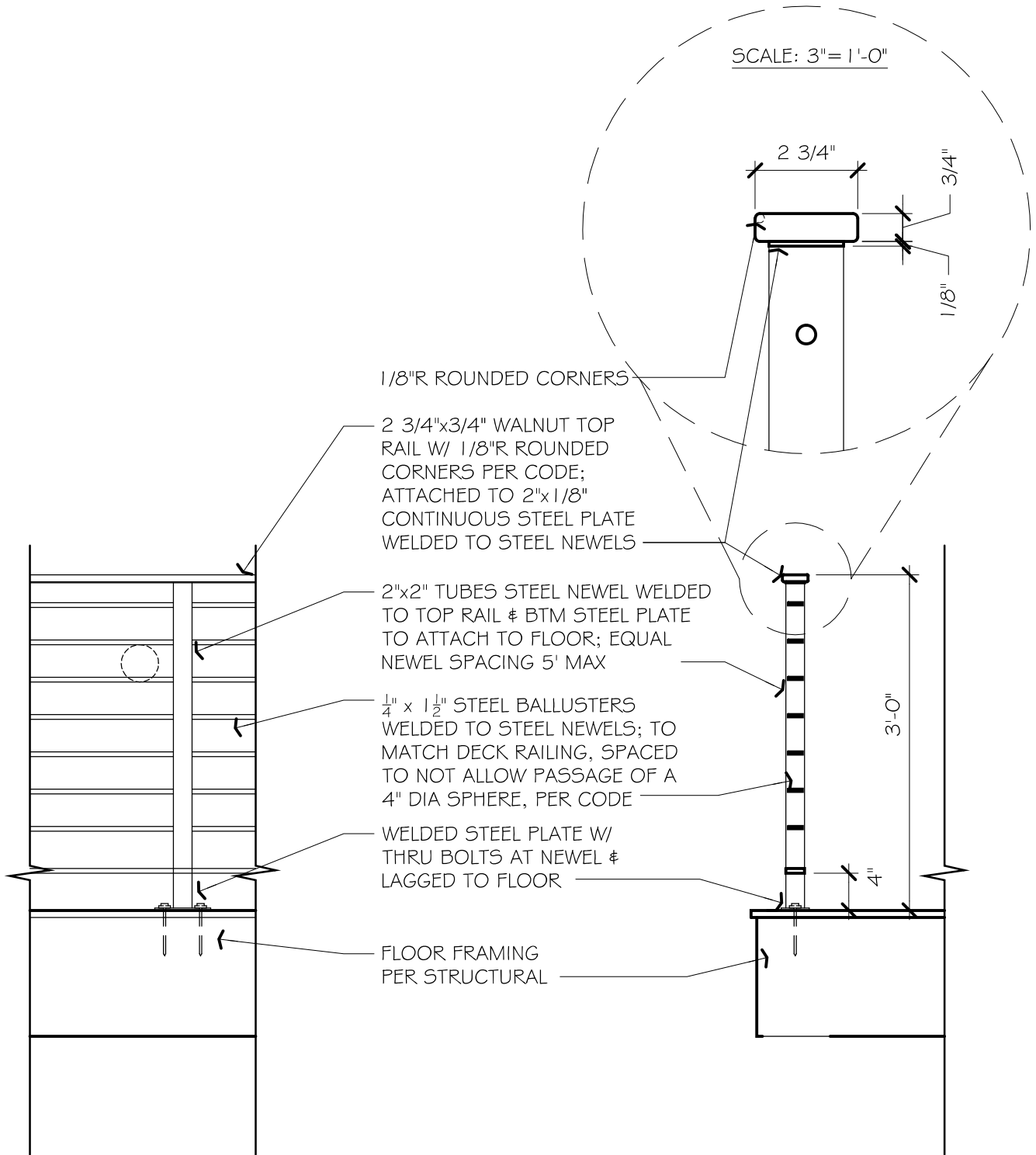


6 MINER'S CREEK ROAD  
TYPICAL INTERIOR HANDRAIL

SCALE: 1" = 1'-0"  
DATE: 28 FEB, 2024







SCALE: 3" = 1'-0"

1/8"R ROUNDED CORNERS

2 3/4"x3/4" WALNUT TOP RAIL W/ 1/8"R ROUNDED CORNERS PER CODE; ATTACHED TO 2"x1/8" CONTINUOUS STEEL PLATE WELDED TO STEEL NEWELS

2"x2" TUBES STEEL NEWEL WELDED TO TOP RAIL & BTM STEEL PLATE TO ATTACH TO FLOOR; EQUAL NEWEL SPACING 5' MAX

1/4" x 1 1/2" STEEL BALLUSTERS WELDED TO STEEL NEWELS; TO MATCH DECK RAILING, SPACED TO NOT ALLOW PASSAGE OF A 4" DIA SPHERE, PER CODE

WELDED STEEL PLATE W/ THRU BOLTS AT NEWEL & LAGGED TO FLOOR

FLOOR FRAMING PER STRUCTURAL

3'-0"

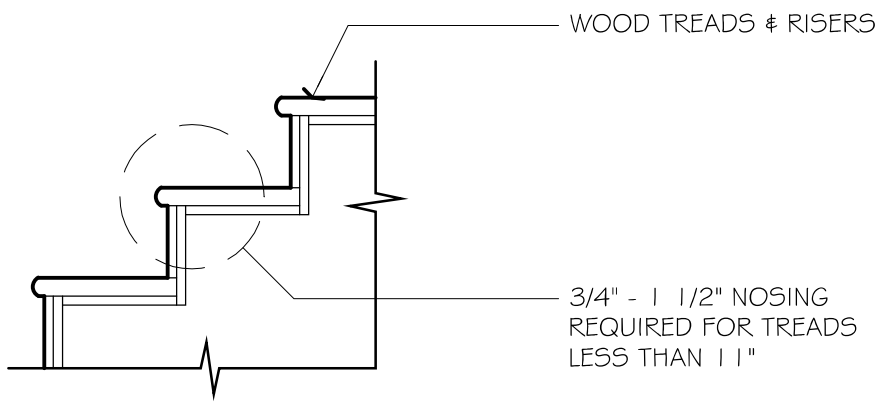
4"

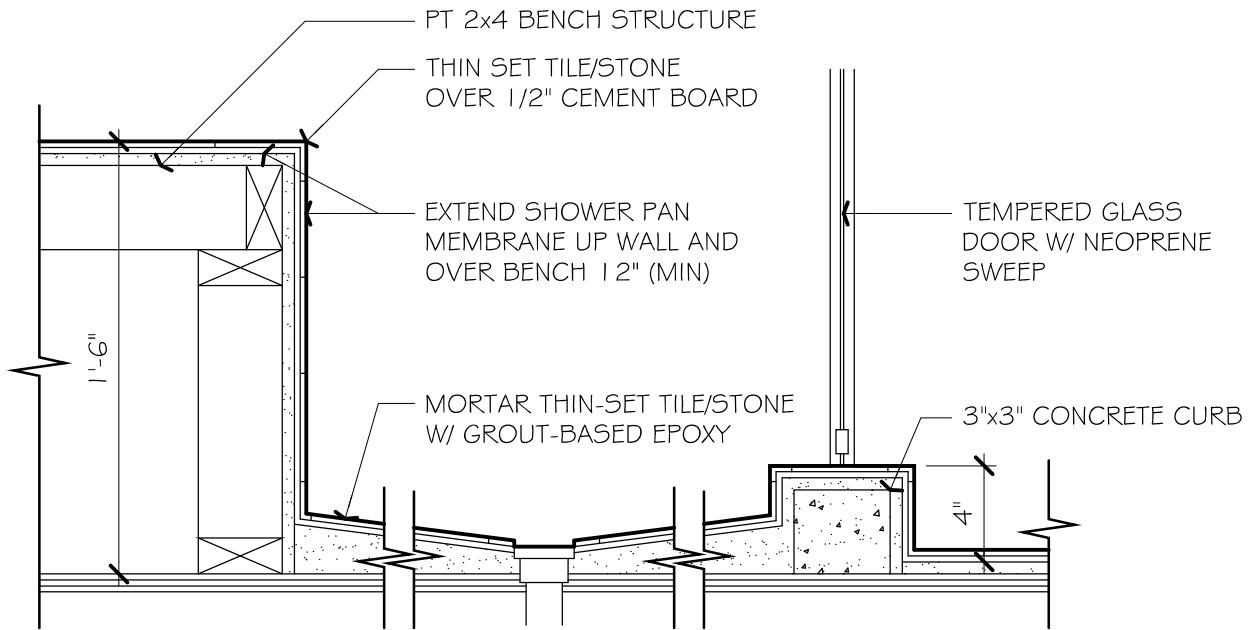
NOTES:  
 - G.C. TO CONFIRM GUARDRAIL DESIGN WITH OWNERS.  
 - COUNTERSINK & PLUG ALL BOLTS.  
 - SEE SPEC FOR WOOD SPECIES & FINISH



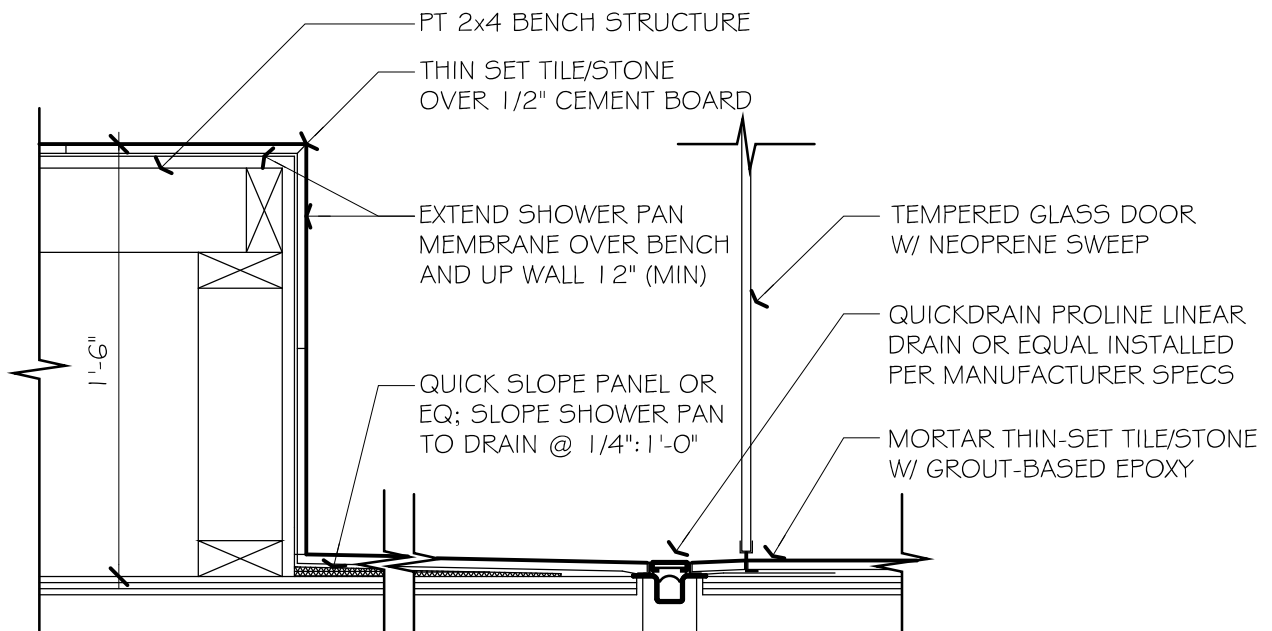
6 MINER'S CREEK ROAD  
 TYPICAL STAIR GUADRAIL

SCALE: 3/4" = 1'-0"  
 DATE: 28 FEB, 2024

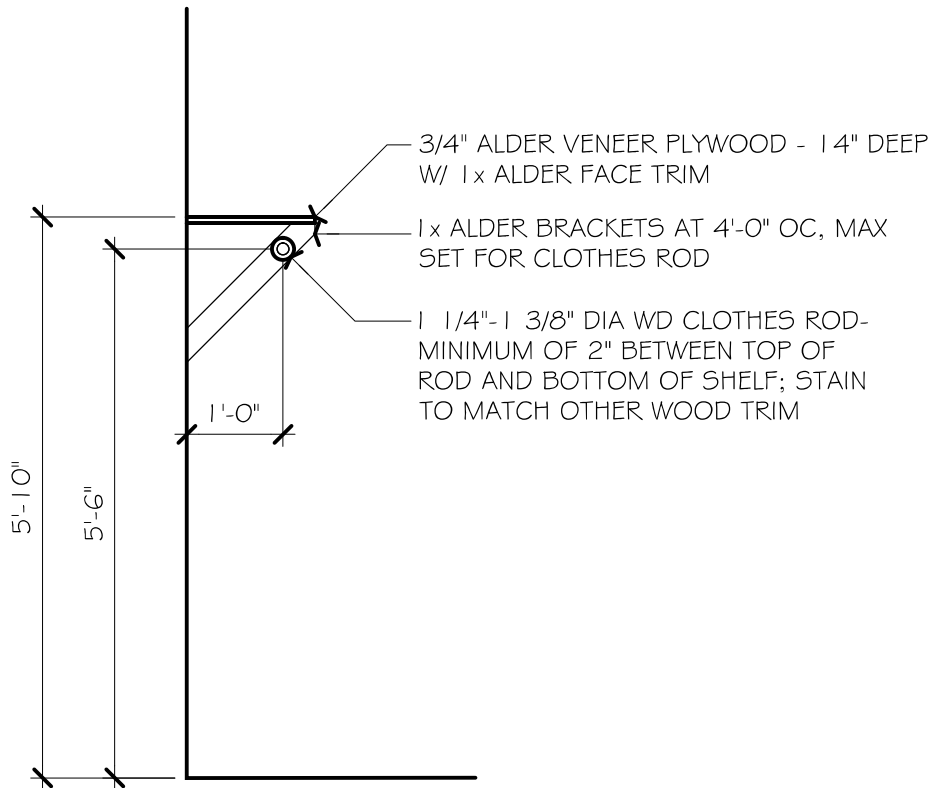




POINT DRAIN

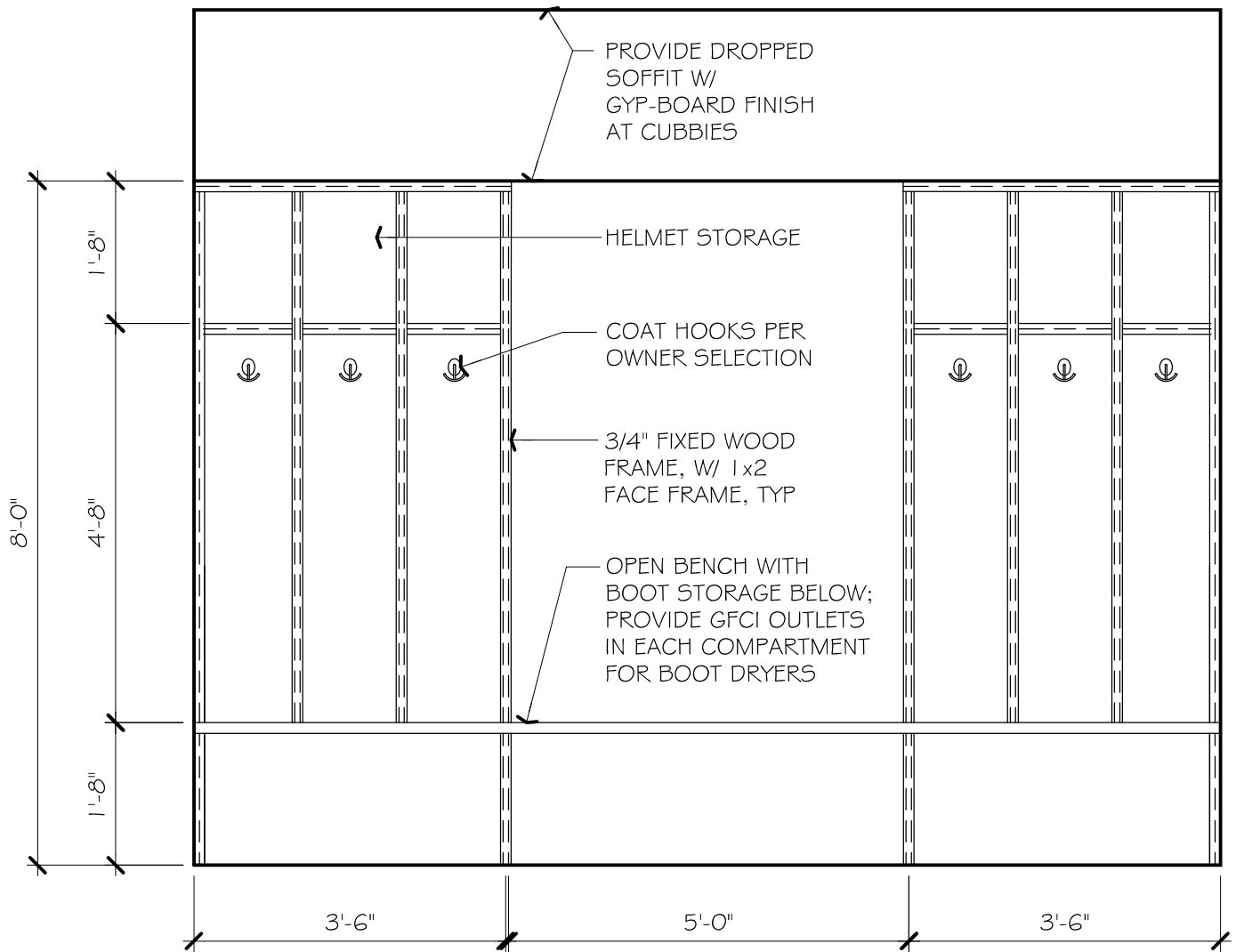


LINEAR DRAIN



NOTES:

- STAIN/PAIN WOOD MATERIALS AS SELECTED BY OWNER / INTERIOR DESIGNER
- FIELD COORDINATE BUILT-INS W/ ANY OBSTRUCTIONS



NOTES:

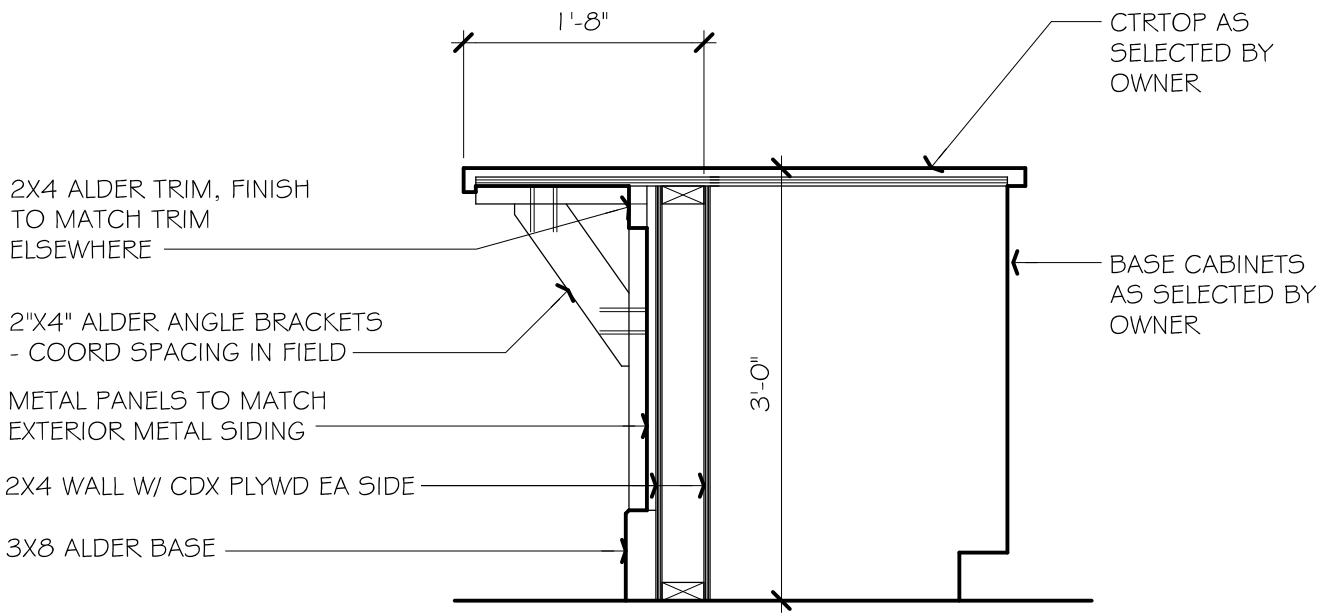
- STAIN/PAIN WOOD MATERIALS AS SELECTED BY OWNER / INTERIOR DESIGNER
- FIELD COORDINATE BUILT-INS W/ ANY OBSTRUCTIONS



6 MINER'S CREEK ROAD  
MUD ROOM CUBBY DETAILS

SCALE: 1/2" = 1'-0"  
DATE: 28 FEB, 2024



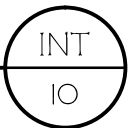


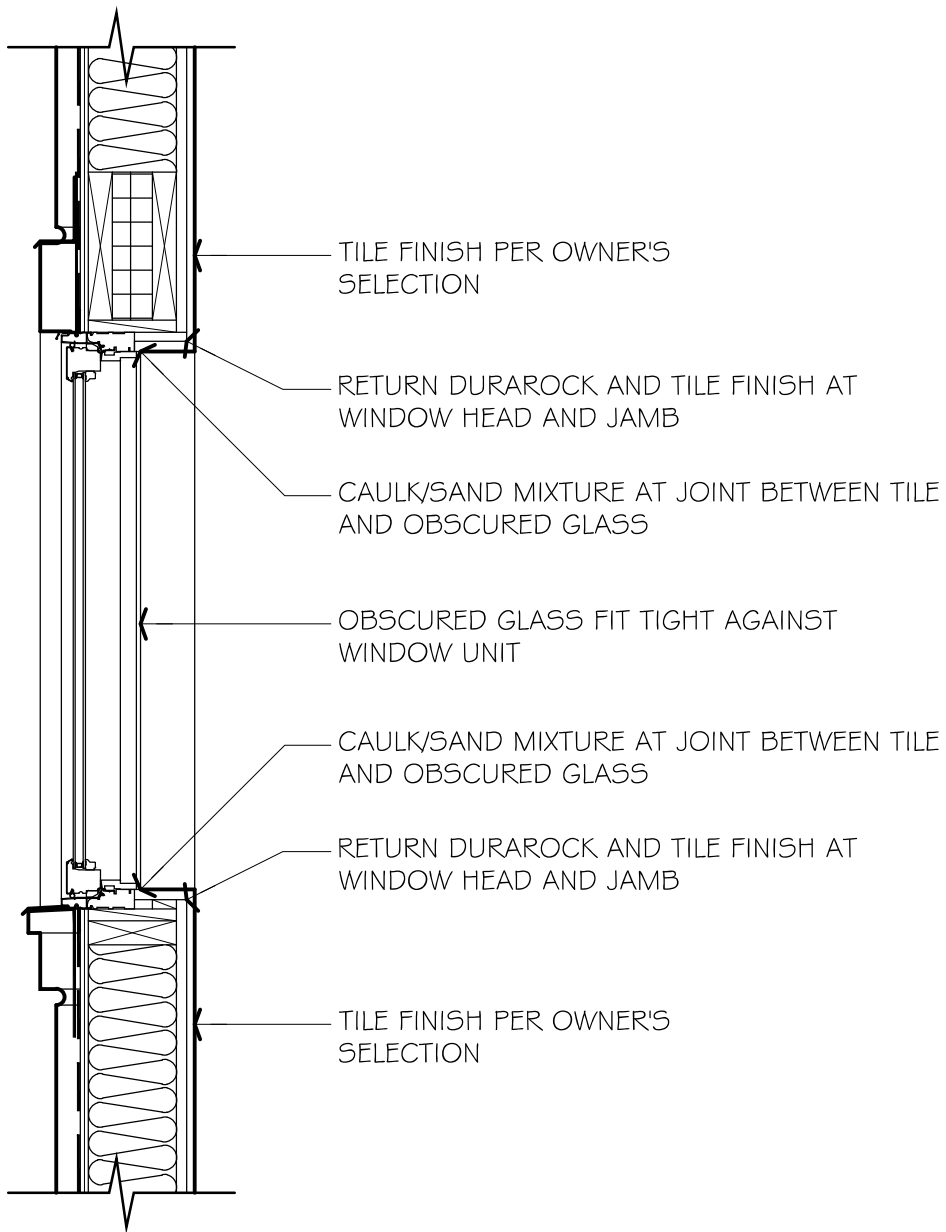
SECTION



6 MINER'S CREEK ROAD  
ISLAND SECTION AT KITCHEN

SCALE: 3/4" = 1'-0"  
DATE: 28 FEB, 2024





WIDTH TAPERS  
TO 5'-0" AT  
CHIMNEY CAP  
EL = 131'-6"

FACE OF  
FRAMING  
SHOWN  
DASHED, TYP.

CONNECTION FOR  
TV PER OWNER

FIREPLACE R.O.  
PER MFR SPECS.

BASE POINT FOR  
CHIMNEY ANGLE

VARIES

BOARD FORM  
CONCRETE TILES  
PER EXTERIOR  
MATERIALS  
SCHEDULE

6" T x 8" D x 6" L  
TUBE STEEL  
MANTEL

CONCRETE LINTEL  
TO MATCH HEARTH  
- FLUSH WITH TILE

RENAISSANCE  
RUMFORD 48"  
WOOD BURNING  
FIREPLACE; VERIFY  
CLEARANCES &  
FRAMING  
DIMENSIONS W/  
MFR.  
REQUIREMENTS

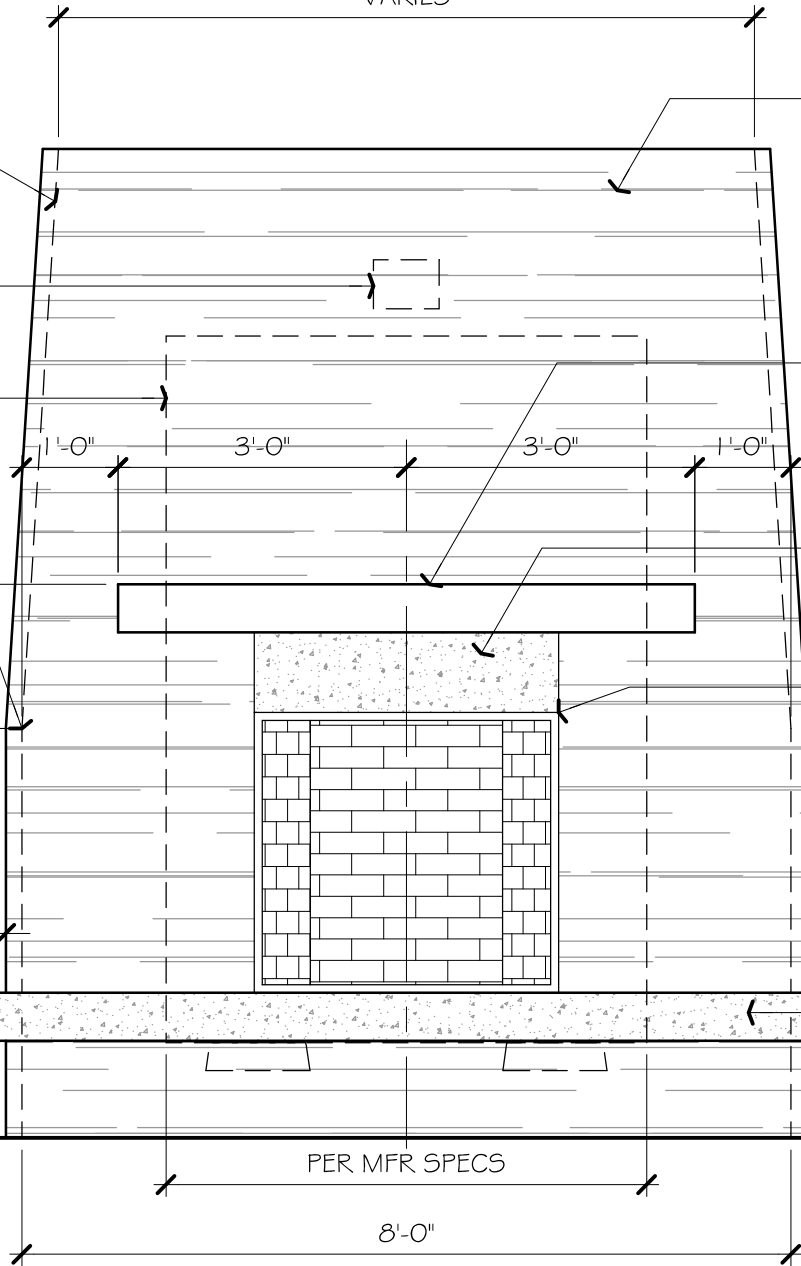
6" CONCRETE  
HEARTH - 12"  
CANTILEVER FROM  
FACE OF TILE

1'-6"

2'-9"

1'-6"

2"



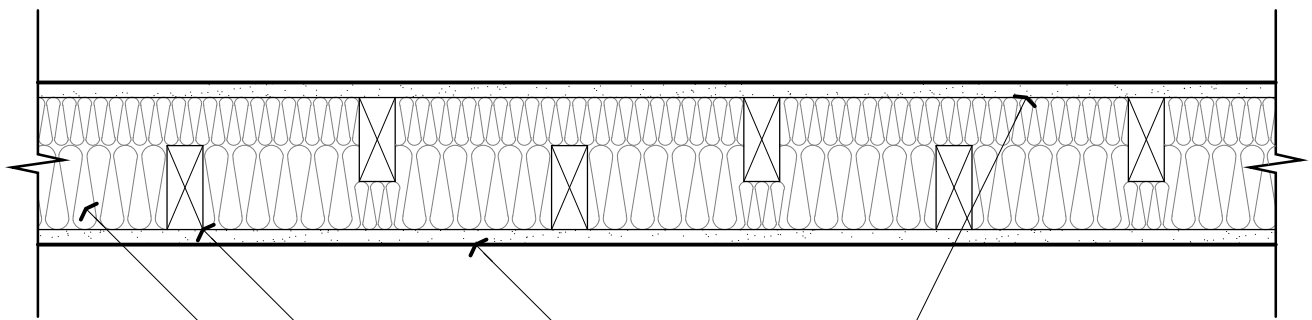
PER MFR SPECS

8'-0"



6 MINER'S CREEK ROAD  
GREAT ROOM FIREPLACE ELEVATION

SCALE: 1/2" = 1'-0"  
DATE: 28 FEB, 2024



5/8" GYP BOARD

2x4 WOOD STUDS  
STAGGERED AT 8" OC  
WITH 2x6 PLATES

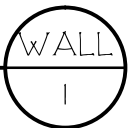
3 1/2" SOUND BATTS  
EA SIDE

NOTE: DO NOT BACK UP  
ELECTRICAL BOXES IN  
SOUND WALLS



6 MINER'S CREEK ROAD  
TYP 5 1/2" SOUND INSULATED WALL

SCALE: 1-1/2" = 1'-0"  
DATE: 28 FEB, 2024



5/8" GYPSUM WALL BOARD

STAPLED-UP AIR PERMEABLE NETTING

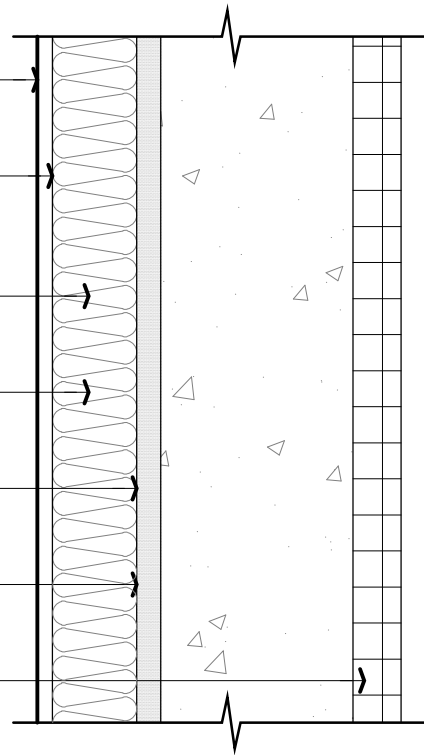
BLOWN-IN FIBERGLASS INSULATION  
(R-13 MIN); INSTALL PER MFR SPEC

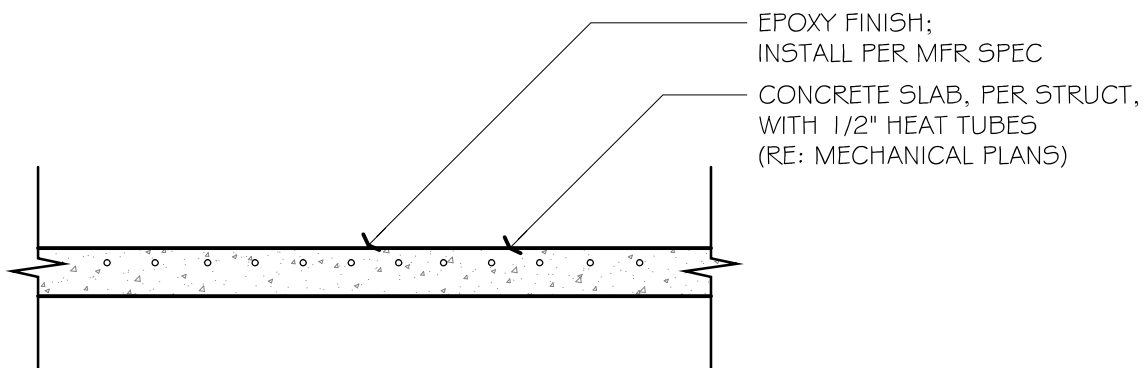
2x4 WOOD STUDS @ 16" OC

PROVIDE 1" CLOSED-CELL SPRAY FOAM BETWEEN  
WOOD STUDS & CONC FDN WALL (R-6, MIN)

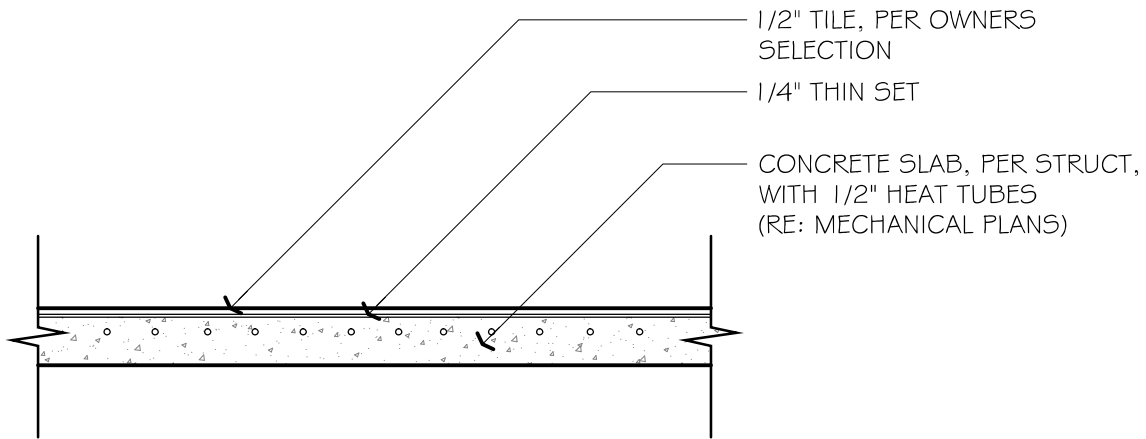
CONCRETE FOUNDATION WALL  
(RE: A5.1 & STRUCTURAL)

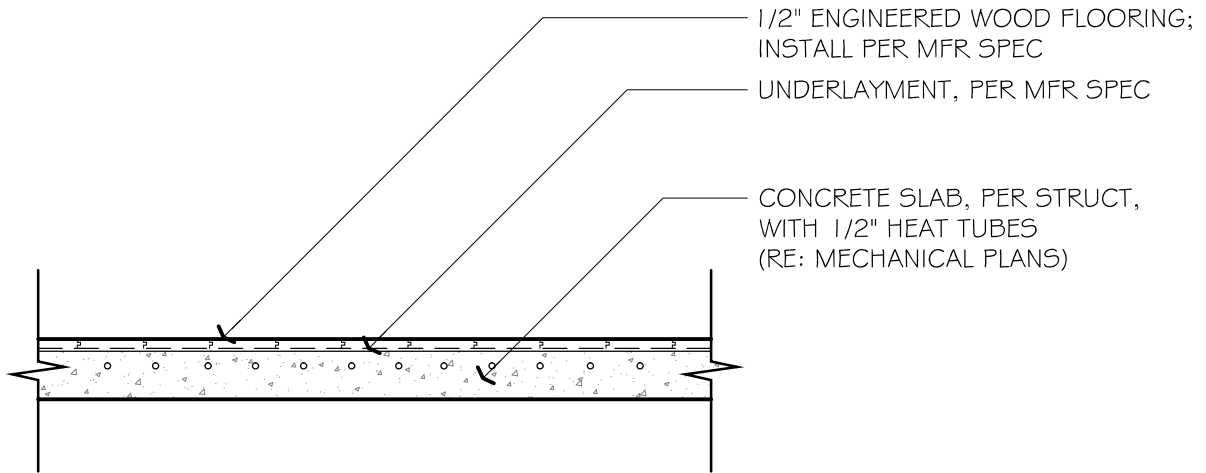
R-10 INSULATING DRAINAGE BOARD PER  
TYPICAL EXTERIOR WALL SECTION

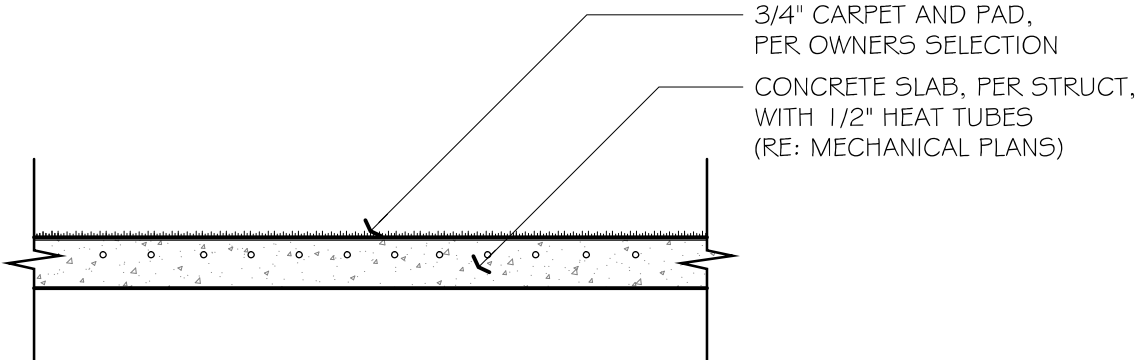


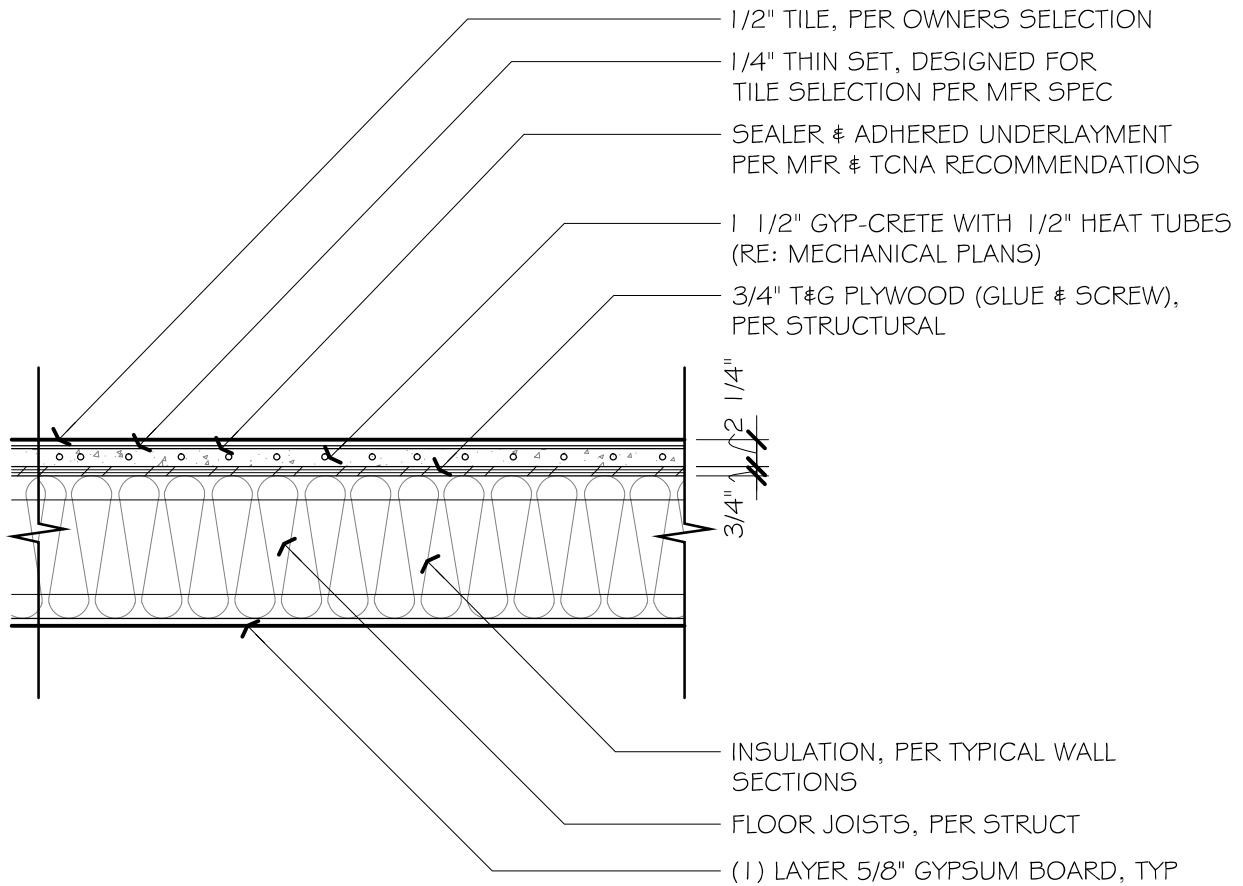


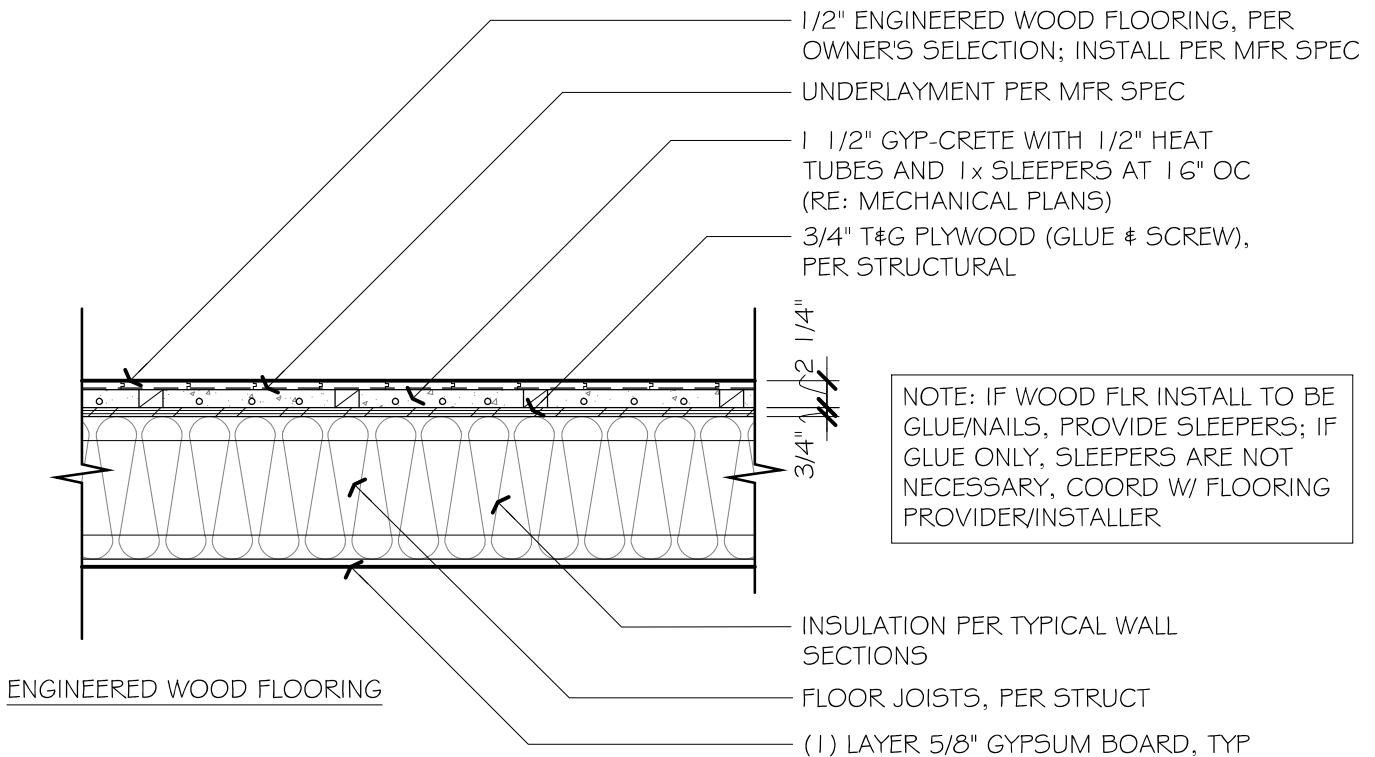
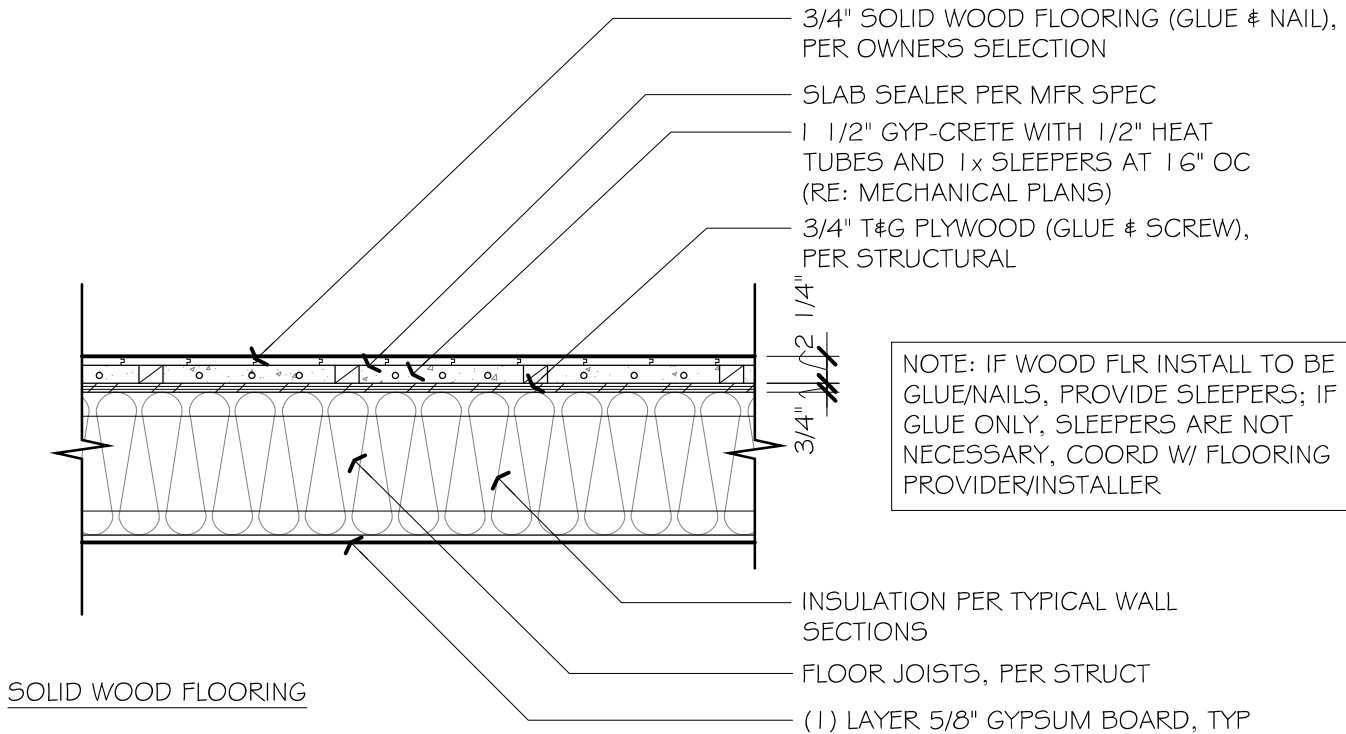


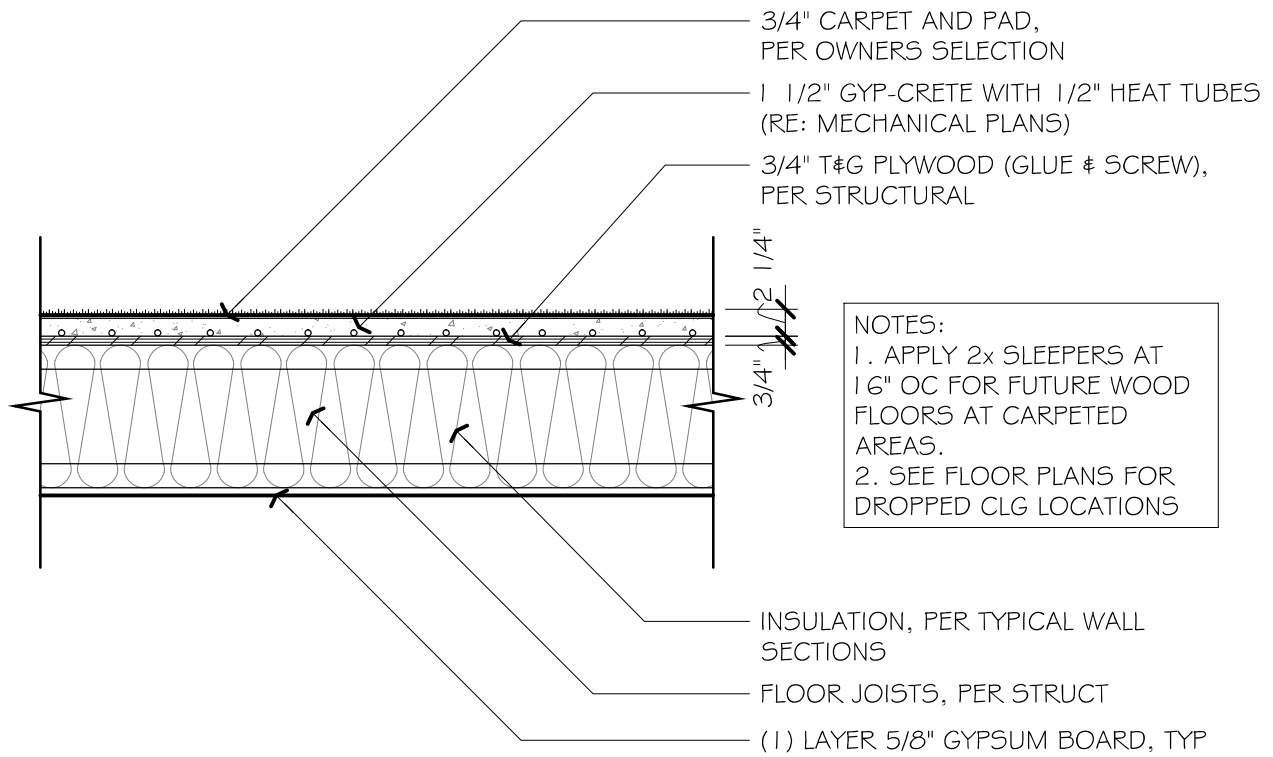














## **Passive Radon Control System for New Construction**

### **Architectural Drawings of:**

- 1) Passive radon control system**
- 2) Crawlspace radon control system**
- 3) Additional fan for active system**

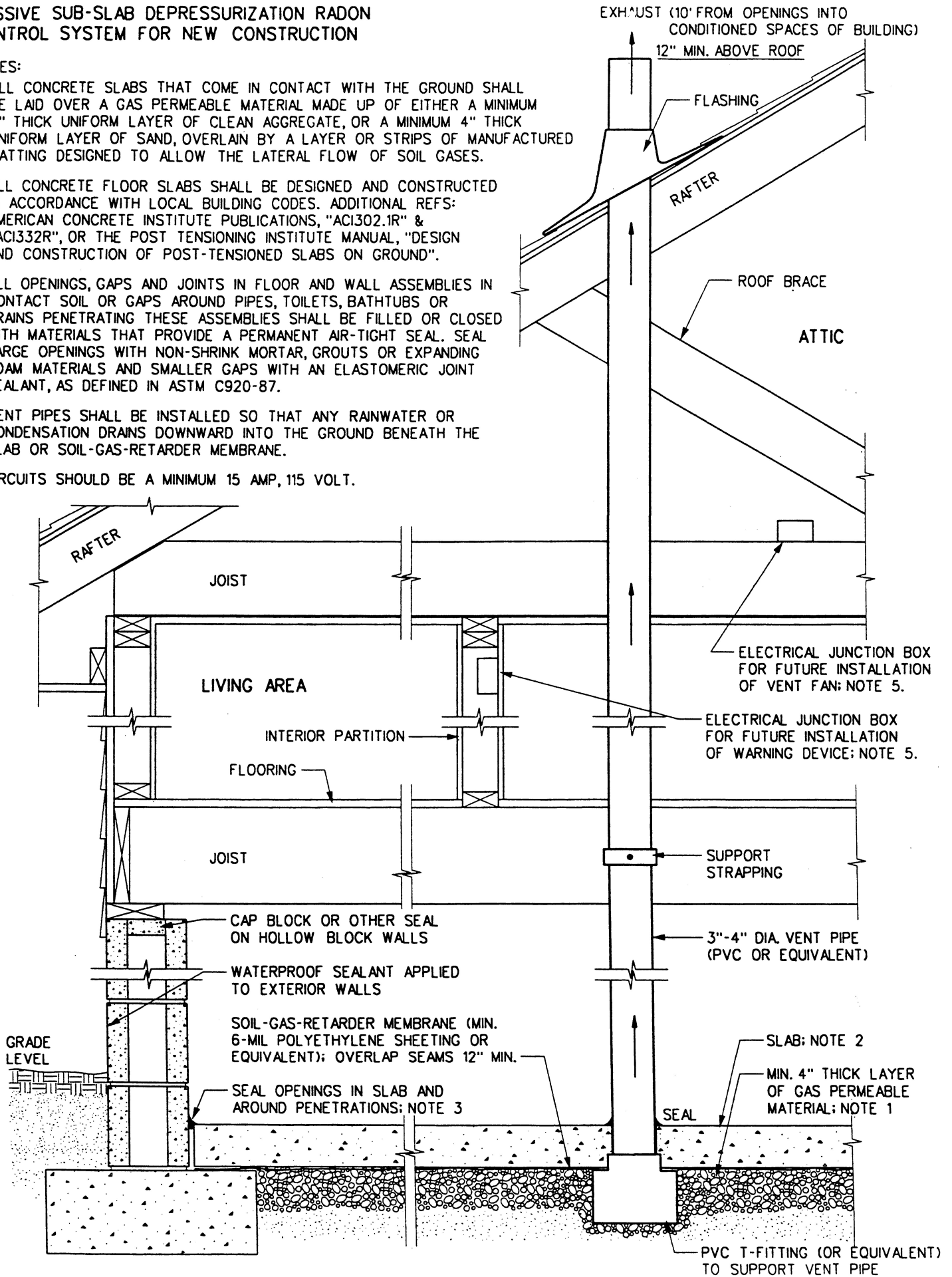
### **for one and two -family dwellings**

These architectural drawings are intended for use by architects, home builders, designers, radon mitigators and others interested in the installation of passive radon control systems in one and two -family dwellings. For more information on radon and radon-resistant new construction call 1-800-55RADON or see the EPA web page:  
[www.epa.gov/iaq](http://www.epa.gov/iaq)

**PASSIVE SUB-SLAB DEPRESSURIZATION RADON CONTROL SYSTEM FOR NEW CONSTRUCTION**

**NOTES:**

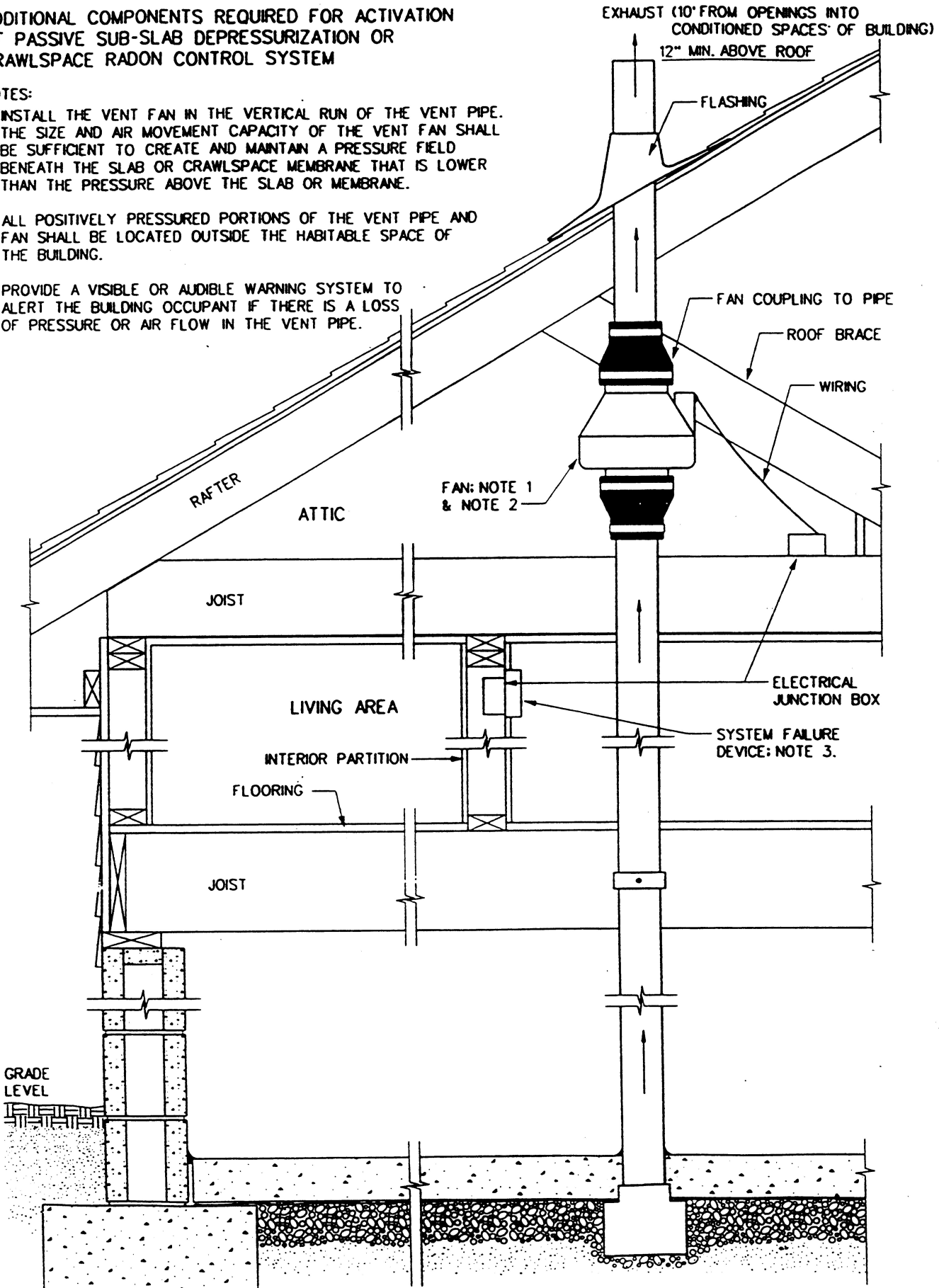
1. ALL CONCRETE SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAID OVER A GAS PERMEABLE MATERIAL MADE UP OF EITHER A MINIMUM 4" THICK UNIFORM LAYER OF CLEAN AGGREGATE, OR A MINIMUM 4" THICK UNIFORM LAYER OF SAND, OVERLAIN BY A LAYER OR STRIPS OF MANUFACTURED MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
2. ALL CONCRETE FLOOR SLABS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES. ADDITIONAL REFS: AMERICAN CONCRETE INSTITUTE PUBLICATIONS, "ACI302.1R" & "ACI332R", OR THE POST TENSIONING INSTITUTE MANUAL, "DESIGN AND CONSTRUCTION OF POST-TENSIONED SLABS ON GROUND".
3. ALL OPENINGS, GAPS AND JOINTS IN FLOOR AND WALL ASSEMBLIES IN CONTACT SOIL OR GAPS AROUND PIPES, TOILETS, BATHTUBS OR DRAINS PENETRATING THESE ASSEMBLIES SHALL BE FILLED OR CLOSED WITH MATERIALS THAT PROVIDE A PERMANENT AIR-TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHRINK MORTAR, GROUTS OR EXPANDING FOAM MATERIALS AND SMALLER GAPS WITH AN ELASTOMERIC JOINT SEALANT, AS DEFINED IN ASTM C920-87.
4. VENT PIPES SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER MEMBRANE.
5. CIRCUITS SHOULD BE A MINIMUM 15 AMP, 115 VOLT.



**ADDITIONAL COMPONENTS REQUIRED FOR ACTIVATION  
OF PASSIVE SUB-SLAB DEPRESSURIZATION OR  
CRAWLSPACE RADON CONTROL SYSTEM**

**NOTES:**

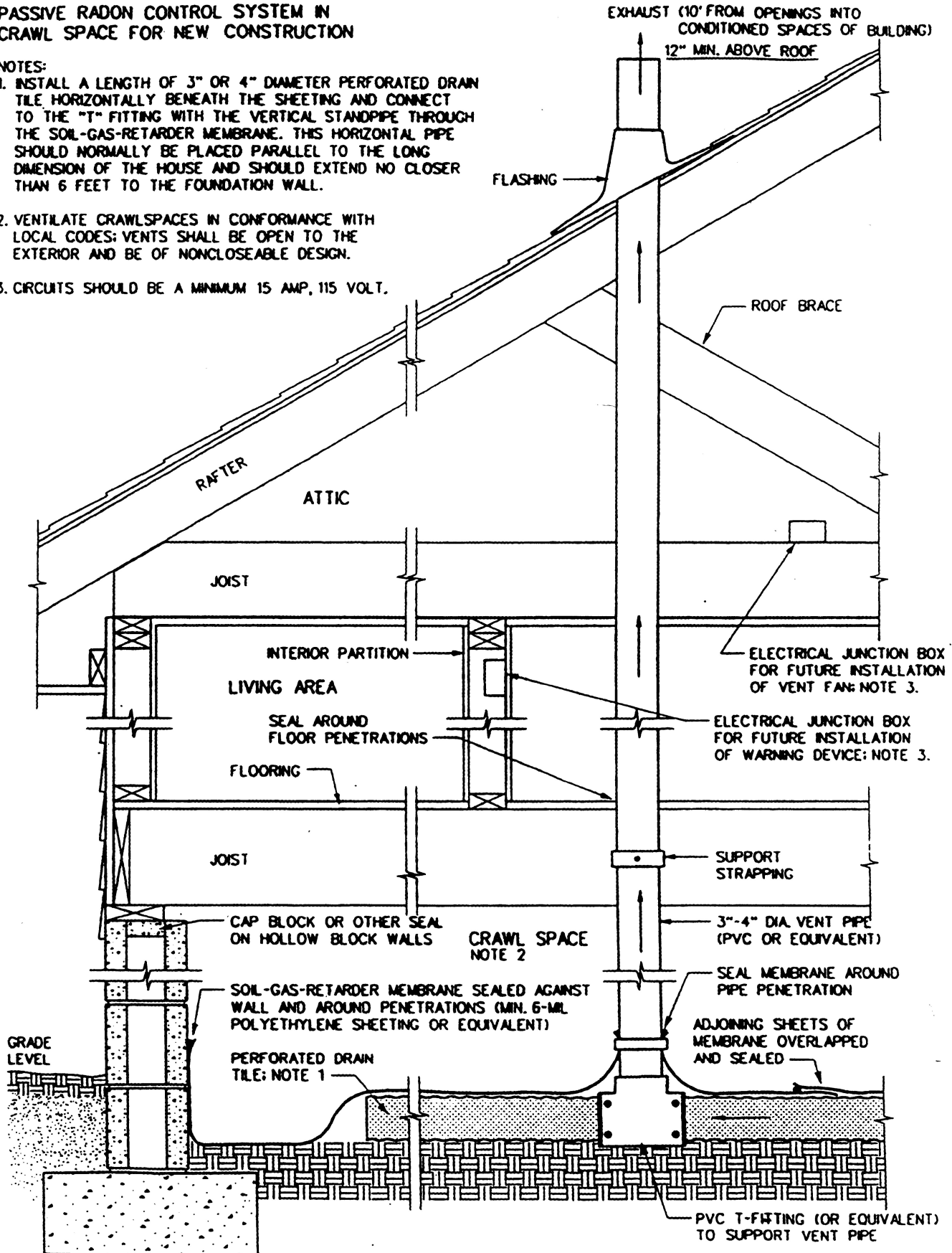
1. INSTALL THE VENT FAN IN THE VERTICAL RUN OF THE VENT PIPE. THE SIZE AND AIR MOVEMENT CAPACITY OF THE VENT FAN SHALL BE SUFFICIENT TO CREATE AND MAINTAIN A PRESSURE FIELD BENEATH THE SLAB OR CRAWLSPACE MEMBRANE THAT IS LOWER THAN THE PRESSURE ABOVE THE SLAB OR MEMBRANE.
2. ALL POSITIVELY PRESSURED PORTIONS OF THE VENT PIPE AND FAN SHALL BE LOCATED OUTSIDE THE HABITABLE SPACE OF THE BUILDING.
3. PROVIDE A VISIBLE OR AUDIBLE WARNING SYSTEM TO ALERT THE BUILDING OCCUPANT IF THERE IS A LOSS OF PRESSURE OR AIR FLOW IN THE VENT PIPE.



**PASSIVE RADON CONTROL SYSTEM IN CRAWL SPACE FOR NEW CONSTRUCTION**

**NOTES:**

1. INSTALL A LENGTH OF 3" OR 4" DIAMETER PERFORATED DRAIN TILE HORIZONTALLY BENEATH THE SHEETING AND CONNECT TO THE "T" FITTING WITH THE VERTICAL STANDPIPE THROUGH THE SOIL-GAS-RETARDER MEMBRANE. THIS HORIZONTAL PIPE SHOULD NORMALLY BE PLACED PARALLEL TO THE LONG DIMENSION OF THE HOUSE AND SHOULD EXTEND NO CLOSER THAN 6 FEET TO THE FOUNDATION WALL.
2. VENTILATE CRAWLSPACES IN CONFORMANCE WITH LOCAL CODES; VENTS SHALL BE OPEN TO THE EXTERIOR AND BE OF NONCLOSEABLE DESIGN.
3. CIRCUITS SHOULD BE A MINIMUM 15 AMP, 115 VOLT.



## 6 MINER'S CREEK ROAD

19 March, 2024

Longtime local builder Tony Mathison, and his wife Tracey, are proposing to construct a new single family home at 6 Miner's Creek Road, on Lot 8 in the West Frisco 70, Filing #1. The existing home on the site will be removed to make way for the new 5,128 SF residence. The proposed home includes 3,064 SF of interior finished space, plus a 1,212 SF garage with an 852 SF apartment above.

There are a total of 4 Bedrooms, with 4.5 bathrooms and space for 4 cars in the garage. An additional outdoor parking stall is provided for the apartment as well. The lower level exercise room will have a window that meets egress requirements for safety, but there is no closet or access to a bathroom from that space, so it is labeled as a "non-sleeping" room on the plans. The house also includes one 2-sided gas fireplace in the Primary Suite, along with an EPA rated wood burning fireplace in the Great Room.

The house has a modified A-Frame style, with shed roofed dormers that increase the useable square footage on the upper level. Only the Great Room of the main house will be of true A-Frame construction. There is one small (15 CF) encroachment into the bulk plane at the rear (west side) of the house, but it's all overframing with no useable space within the encroachment. We could slice off that portion of the gable to eliminate the minor encroachment, but we feel that completing that ridge is a better aesthetic and is worth the negligible impact to neighbors.

We look forward to hearing Staff's comments and are excited about this addition to the West Frisco neighborhood.

Thank you,

