



May 15, 2025

Kris Valdez
Town of Frisco, Planning Division
1 East Main Street
Frisco, CO 80443

RE: 602 GALENA STREET- SITE PLAN MODIFICATION

Project Overview

Located at 602 Galena Street, this site is currently owned by the Town of Frisco and will be developed in partnership with the NHP Foundation per a Development Agreement dated April 8, 2025. In collaboration with the Town, we propose redeveloping the former site of the Colorado Workforce Center to provide 100% workforce housing helping to meet the needs of our community with 54 deed-restricted units for rent.

Request for Modification

The purpose and request for a Site Plan Modification is to modify the building materials to reflect feedback that was heard on the March 21, 2024, Planning Commission. On March 21, 2024, the Planning Commission approved the Major Site Plan Application for 602 Galena Street. During the meeting, conversations about the materials and façades were discussed. Commissioners directed the applicant to investigate design changes to address concerns about the repetitiveness of the design and heaviness of the facade. The designs submitted for building permit address repetition by introducing an accent siding material. The material is a cool gray with undertones of blue proposed in 48"x18" Hardi panels in 'Evening Blue'. The 'Evening Blue' color replaces portions of the 'Coffee' Diamond Kote and the Grey CMU that were approved during the March 21, 2024, meeting. The color of the exterior siding and the changes in material locations were developed in response to commissioner concerns over excessive repetition. The material changes meet UDC design standards.

The Record of Decision published following the March 21, 2024 approval noted that the Planning Commission approved the Major Site Plan Application for the project with the direction to make adjustments to address the architectural repetition and third-floor step-back. However, the Record of Decision did not specifically call out commissioner discussion about the façade heaviness or color. Therefore, the site plan modification we are submitting now focuses on the updates to color and materials only.

MATERIALS SCHEDULE
PLANNING SET (02/29/24)

LABEL	ITEM	DESCRIPTION
M1	CORRUGATED METAL ROOFING	1 1/4" CORRUGATED STEEL PANELS DARK GREY, NON-REFLECTIVE FINISH
M2	FASCIA	-----DIAMOND KOTE FASCIA: 'CASCADE'
M3	SOFFIT	-----DIAMOND KOTE VENTED SOFFIT: 'CLAY'
M4	HORIZONTAL SIDING	-----DIAMOND KOTE HORIZONTAL SHIPLAP: 'SAND'
M5	VERTICAL SIDING	-----DIAMOND KOTE VERTICAL SHIPLAP: 'COFFEE'
M6	BASE VENEER	-----SPLIT FACED CMU TILES: DARK GREY
M7	DOORS & WINDOWS	-----ALUMINUM CLAD WOOD: JELD-WEN 'BLACK'
M8	DOOR & WINDOW TRIM	-----DIAMOND KOTE TRIM: 'GRAPHITE'

CHANGES

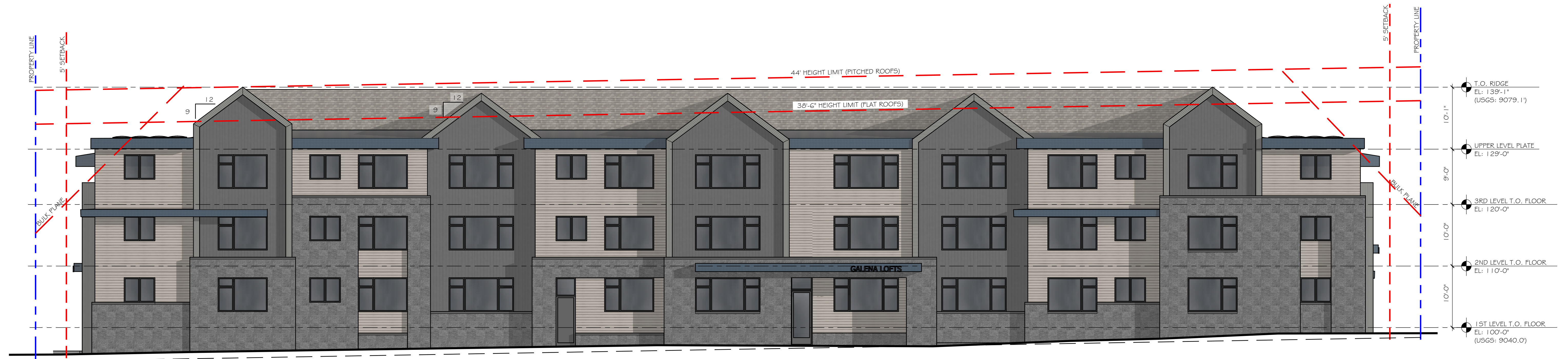
CORRUGATED METAL ROOF
TO
STANDING SEAM METAL
ROOF
(SIMILAR COLOR)
(Better for solar panel
installation)

BLACK ALUMINUM WINDOWS
TO
ALMOND VINYL WINDOWS

ADDED PANEL ACCENT SIDING

MATERIALS SCHEDULE
PERMIT SET (04/10/25)

ITEM	DESCRIPTION
M1 METAL ROOFING	24" STANDING SEAM PANELS CHARCOAL, NON-REFLECTIVE FINISH
M2 FASCIA	-----DIAMOND KOTE FASCIA: 'CASCADE'
M3 SOFFIT	-----DIAMOND KOTE VENTED SOFFIT: 'CLAY'
M4 HORIZONTAL SIDING	-----DIAMOND KOTE HORIZONTAL SHIPLAP: 'SAND'
M5 VERTICAL SIDING	-----DIAMOND KOTE VERTICAL SHIPLAP: 'COFFEE'
M6 BASE VENEER	-----BASALITE 4"x16"x16" SPLIT FACED CMU COLOR 'DARK GREY' GROUT TO MATCH TILES
M7 DOORS & WINDOWS	-----PRIME PREMIER VINYL: COLOR 'ALMOND'
M8 DOOR & WINDOW TRIM	-----5/4 DIAMOND KOTE SMART TRIM PER DETAILS COLOR - 'COFFEE'
M9 ACCENT SIDING	-----JAMES HARDIE PANEL: 'EVENING BLUE'



NORTH ELEVATION - PLANNING SET (02/29/24)



NORTH ELEVATION - PERMIT SET (04/10/25)



SOUTH ELEVATION - PLANNING SET (02/29/24)



SOUTH ELEVATION - PERMIT SET (04/10/25)



EAST ELEVATION - PLANNING SET (02/29/24)



WEST ELEVATION - PLANNING SET (02/29/24)



EAST ELEVATION - PERMIT SET (04/10/25)



WEST ELEVATION - PERMIT SET (04/10/25)