



**PLANNING COMMISSION
MEMORANDUM**

June 5, 2025

AGENDA ITEM: Planning File No. MAJ-25-0002: A sketch plan review of a proposed mixed-use development consisting of five (5) new residential units in addition to keeping existing uses on site

LOCATION: 121 E Main Street / Sixth Degree Town Homes

ZONING: Central Core (CC)

APPLICANT: Margaret Ziedin, SixthDegree

OWNER: Baseline 121 LLC
C/O Margaret Ziedin
2412 Patterson Road
Grand Junction, CO 81505

TOWN STAFF: Kris Valdez, AICP, Principal Planner
krisv@townoffrisco.com (970) 668-9121

PROJECT UPDATE AND DESCRIPTION

The applicant, Margaret Ziedin of SixthDegree, hereinafter referred to as the “Applicant,” has submitted a sketch plan review for a proposed mixed-use development consisting of five (5) new residential units and retail space, in addition to maintaining existing on-site uses. The application materials are included as Attachment A and are herein referred to as the “Application.”

The Application proposes a mixed-use development in the Town’s Central Core (CC) zone that integrates the existing commercial space and one (1) workforce residential unit, with five (5) additional market-rate units. The Application materials show:

- Five (5) market-rate units
 - Each unit has two (2) bedrooms and two assigned parking spaces
- ~1,023 sq. ft. commercial space
- Retaining the historic log cabin and restaurant
- Retaining the four-bedroom workforce housing unit

The parking spaces are provided on the ground floor and through an elevator system. The Applicant has proposed providing the required guest spot on Main Street through a street

improvement at their cost, adding the additional parking space. The garage level also includes enclosed and unenclosed bike storage.

BACKGROUND

The subject property, hereinafter referred to as the “Property,” is a 0.281-acre developed site located at 121 E. Main Street. The Property consists of two (2) lots from the King Solomon Addition Subdivision and the west half of the vacated North 2nd Avenue with a total lot area of 0.28 acres. The subject property fronts along East Main Street and abuts the Galena Street Alley on the rear. The property contains an existing building that houses the Casa Sanchez restaurant on the ground floor and a 4-bedroom apartment on the second floor. According to the Frisco Historic Resource Survey, the building, originally constructed in 1908, transitioned from being a residence to a café in the late 1960s. The survey gives an overview of the building's historical significance:



“This building is significant for its position as residence turned commercial building that has developed along with the growth of the original Frisco townsite. The original log construction was a typical type of building seen in early Frisco where locally available materials predominated. Main Street in Frisco remained a mixed-use area, with both residential and commercial operations side by side. In 1968, when it was converted to a café, the broader trend was one of shifting residential development to adjacent streets and focusing Main Street on commercial uses.”

The adjacent uses are the mixed-use development at 111 East Main to the west and the Loaf and Jug gas station and convenience store to the east. To the north of the site, across the Galena Street Alley, is the Estates on Galena townhome development. The Frisco Historic Park and Museum is located across East Main Street to the south.

In May 2024, the Town of Frisco purchased a Restrictive Covenant from Baseline Capital Investment LLLP for a residential condo unit through the Town's Housing Helps program. The "Live-Work" restrictive covenant limits residency of the second-floor unit to occupants who work from a business operating within one mile of the Ten Mile Basin in Summit County and work an average of at least 30 hours per week on an annual basis. The covenant does not restrict occupant income nor limit capital improvements made to the unit.

SKETCH PLAN REVIEW

A sketch plan review provides the Planning Commission with an opportunity to give feedback on various aspects of a development proposal. This feedback includes proposed land uses, parking arrangements, traffic circulation, architectural design, landscape design, and how well the project fits in with the surrounding neighborhood. The process also allows the Applicant to incorporate the commissioners' feedback and make necessary adjustments to their proposal before submitting a final Major Site Plan application. If the proposal lacks sufficient information or if significant changes are suggested, the Planning Commission may ask the Applicant to resubmit the sketch plan for further review.

It's important to note that presenting a sketch plan does not guarantee approval of a Major Site Plan or confer any vested rights.

The complete Major Site Plan application will also undergo review by the Planning Commission. At that time, it will be thoroughly assessed for compliance with the Frisco Community Plan and the Frisco Unified Development Code, referred to as the "Code."

ANALYSIS – FRISCO COMMUNITY PLAN

The following elements of the Frisco Community Plan apply to the review of the Application:

Vision and Guiding Principles (excerpts)

The vision and guiding principles are a statement of community values. Together, they reflect characteristics that residents value about Frisco today, and the kind of community that residents would like to see Frisco become as it continues to grow and evolve over time. The vision and guiding principles serve as an organizing framework for subsequent chapters and policy guidance in the Community Plan, as well as for the Town Council's Strategic Plan.

Guiding Principle 1: Inclusive Community

Frisco cares about our neighbors, visitors, and the whole of our community. We are an inclusive community that welcomes people of all backgrounds and income levels. We support a balance of housing options to create opportunities for a diverse population to reside here. Our history is integral to our identity and it is also a guiding principle for our future. As the Town grows and changes, we need to be rooted in the values of our past. The Ten Mile Range mountain backdrop, historic structures, vibrant neighborhoods, and a lively Main Street characterize Frisco along with the friendly people and welcoming vibe. As Frisco grows, this character and identity should be preserved and enhanced throughout Town.

1.3: Preserve and enhance the Town's historic resources

- 1.3A Expand protections for Frisco's historic resources and develop a variety of tools in order to support historic preservation at the local level.
- 1.3B Expand access to, and awareness of, educational and financial resources (e.g., grants, tax credits) available at the state and federal level to support historic preservation.
- **1.3C Encourage the adaptive reuse of historic structures and keeping buildings in place.**
- 1.3D Continue to educate residents and visitors through the historic park and museum, programming, and events.

1.4: Reinforce Main Street as the heart of the Community, from the lake to the mountains

- 1.4A Support the creation of an attractive community entrance along West Main Street to create a gateway that is inviting to visitors, highlights the Tenmile Creek, and is an extension of the history and vision of Frisco.
- **1.4B Encourage infill and redevelopment that complements the character, scale, and massing of historic structures.**

- **1.4C** *Ensure ground floor uses on Main Street create a balanced mix of uses that support a thriving commercial atmosphere. Housing may be located above the ground floor along Main Street, to help support the vitality of downtown.*
- **1.4D** *Preserve Frisco's historic street grid to retain the character and walkability of the town core.*
- **1.4E** *Design and orient buildings to maintain historic development patterns along public rights of way.*

Guiding Principle 2: Thriving Economy

The Frisco economy is built upon a unique balance of tourism and its role as a commercial-service hub for the region. Tourism, driven by recreational opportunities, and the small, mountain town appeal of Main Street, creates jobs and revenue. Locals and visitors utilize the large retailers, grocery stores, and services located along Summit Boulevard, and support the small businesses on Main Street. While the Frisco economy has seen steady growth in the past decade, diversification of the economy is important. More year-round opportunities will provide stability through the seasons and economic downturns. The Town should focus on small, incremental changes that preserve the town character and a healthy small business community that attracts residents and visitors.

2.1: Maintain a diverse and strong economy

- **2.1A** *Continue to attract and retain businesses that support and enhance Frisco's tourism revenues, while also seeking to build upon entrepreneurship and new or emerging niches.*
- **2.1B** *Provide opportunities for a balanced mix of housing and services to support local businesses, employees, residents and visitors.*
- **2.1C** *As development and infill occurs, ensure that the Town's overall mix of land uses remains aligned with community goals.*
- **2.1D** *Participate in regional and state economic development efforts that support a diverse economy.*
- **2.1E** *Support the creation of home-based businesses and remote workers.*

The Application aligns with several key principles of the 2009 Frisco Community Plan, particularly concerning historic preservation, maintaining Main Street's character, and supporting the local economy. Below is an analysis of how the proposal addresses these objectives:

- **Adaptive Reuse of Historic Structures:**
 - The Application retains the historic log cabin and restaurant, which corresponds with Principle 1.3C by preserving these significant structures.
 - The ongoing presence of historic elements might contribute to community awareness and engagement in historic preservation.
- **Maintaining Main Street's Identity:**
 - By preserving existing structures and integrating new development in the CC District, the Application supports Principle 1.4B, ensuring that new infill complements the scale and character of surrounding buildings.

- **Housing Diversity and Inclusivity:**
 - The Application includes one workforce residential unit, maintaining a mix of housing options, which aligns with Principle 1.4C, encouraging residential units above ground-floor commercial spaces.
 - The retention of the existing four-bedroom unit supports workforce housing, contributing to Principle 2.1B, which emphasizes the balance of housing options for businesses, employees, and residents.
- **Parking and Mobility Enhancements:**
 - The proposed parking improvements, including the elevator system, an additional guest parking spot via Main Street, and street enhancements, align with Principle 1.4D, promoting walkability and accessibility within the Town's core.
 - The inclusion of bike storage (both enclosed and unenclosed) enhances alternative transportation options, supporting the Town's commitment to a well-connected and accessible Community.
- **Economic Strength and Sustainability:**
 - The Application reinforces Principle 2.1C, ensuring that Frisco maintains a balanced mix of land uses that align with community goals.
 - By retaining and integrating commercial spaces, the Application supports local businesses and economic sustainability in accordance with Principle 2.1A. It aims to attract and retain businesses that contribute to tourism and economic diversity.

Overall, the Application reflects considerations for sustainable growth, historic preservation, and economic development in Frisco. By integrating new residential units with commercial space and infrastructure enhancements, the Application seeks to contribute to the long-term objectives of housing diversity, pedestrian-friendly design, and economic resilience.

ANALYSIS – MIXED USE [§180-3.12]

The requirements of the Central Core (CC) District are applicable to the review of the Application as follows:

Purpose: The purpose of the CC District is as follows:

“To promote the development of Frisco's Main Street commercial district for retail, restaurant, service, commercial, visitor accommodation, recreational, institutional and residential uses, and to enhance the visual character, scale and vitality of the central core.”

Minimum Lot Area: The CC District has a minimum lot area of 3,500. The total lot area in the Application is 12,254 square feet or 0.281 acres. The Code defines a developable acre as:

“Acre, Developable. 43,560 square feet of horizontal land area neither occupied by a public way nor under a water body nor in a wetland as designated pursuant to procedures under Section 404 of the Clean Water Act, nor in a floodway, as defined on the Flood Insurance Rate Map, nor designated as public open space.”

The Application meets this standard.

Minimum Lot Frontage: The CC district does not have a minimum lot frontage. The Property has a lot frontage of 87.49 feet, which is considered to be off Main Street. The Application meets this standard.

Minimum Open Space: The CC District does not have an open space standard requirement.

Maximum Lot Coverage: Per the Code, there is no maximum lot coverage in the CC District for multi-unit developments. The proposed lot coverage is 8,612 square feet or 70.2%, including the building footprint, driveways, decks, and patios. The Application does meet this requirement.

Setbacks: Pursuant to §180-9, Definitions, Frisco Town Code:

“Lot Line, Front – The property line separating a lot from the street except, where a lot is bordered by more than one (1) street, the property owner shall determine which side of the lot having street frontage is to be considered the front for setback purposes. Each lot proposed for development shall have at least one (1) property line designated as the front lot line.”

The Property has two street frontages. Access is available from Main Street and Galena Street Alley. The front lot line is adjacent to Main Street. Based on the submitted plans, the Application meets the required setbacks. An Improvement Location Certificate (ILC) will be required during construction to ensure the structure, including roof eaves, does not encroach into the setback.

The minimum required setbacks and proposed setbacks for this Application are as follows:

	Minimum Setback	Proposed Setback
Front Yard	3 feet	3 feet
Side Yard (West)	0 feet	5 feet
Side Yard (East)	0 feet	5 feet
Rear Yard	0 feet	5 feet

The Application meets this standard.

Maximum Building Height: The maximum building height is 35 feet for a flat roof and 40 feet for a pitched roof in the CC district. The building elevations provided in the Application show a maximum height of 40 feet. At the time of the final Major Site Plan application, the application must include a height table. A roof ILC will be required during construction to ensure that the building does not exceed the maximum building height. The Application did not include a building height table. The Town Code defines a flat roof as:

Roof, Flat. A roof having a slope of 2:12 or less.

Per the Code, Building Height is defined as,

“Building Height. The vertical distance measured from any point on a proposed or existing roof to the natural grade or the finished grade, whichever is lowest, located directly below said roof point, excluding chimneys, steeples, cupolas, turrets, clock towers, similar rooftop decorative elements, mechanical equipment and screening, and solar panels of reasonable, balanced proportions. The building height is thus measured parallel to the existing grade in any direction as depicted in Figure 9-A.

Where a building utilizes multiple roof styles or pitches, the highest point of each type of roof or parapet wall shall be in conformance with applicable height regulations as established for the respective roof pitches in each zoning district."

Ceiling Height: Per Article, 180- 3.17.8.A.1 of the Code:

"In the Central Core District. For properties located between Main Street and Galena Alley and for properties located between Main Street and Granite Alley, the ground floor ceiling height for all uses shall be a minimum of ten feet in height."

In the elevation drawings the ground floor is a minimum of 10 feet. The Application meets this standard.

Stepbacks:

Structures in the CC District shall have a 10-foot minimum setback for the third and above floors of street-facing wall facades. Railings and up to 2 feet of roof overhangs are allowed encroachments per §180-3.17.11. The setback is defined as (§180-9.3) *"The horizontal distance that an upper portion of a building facade is set back from the face of the building's lower portion."*

Staff cannot verify at this time if the structure is in compliance with the setback requirements. At time of final Major Site Plan review, the application materials shall clearly show that the third floor has a 10' setback from the second floor along both Main Street and Galena Alley.

Density: The permitted density in the CC District is 16 dwelling units per developable acre. With a developable lot size of 0.28 acres, the maximum allowed residential density is 4.48 units, which pursuant to the UDC is rounded to four (4) dwelling units. The Application is proposing five (5) new residential units. There is one existing workforce residential unit located above the restaurant space which has a Housing Helps covenant on it; therefore not meeting the definition of affordable housing and being exempt from density. The total proposed density is six (6) units which is not in compliance with the Central Core District.

Based on the Density Bonus provisions (§180-5.5) additional units above the permitted density are allowed as long as 50 percent of the additional, or bonus units are deed restricted to persons earning a maximum of 100 percent of the area median income. The deed restricted bonus units shall be no more than 15 percent smaller than the corresponding market rate bonus units. Planning Commission has the authority to approve bonus density according to §180-5.5.1.B.3 Criteria for Approval:

Bonus units may be approved by the Planning Commission upon finding that the additional units, because of the structure's design, height, mass, and scale, do not detract from the character of the vicinity and small mountain town character.

The proposed bonus density is not addressed in the Application. At the initial Development Review Committee meeting, Staff stated that the maximum density permitted is four units and explained that the existing residential unit has a Housing Helps Restrictive Covenant on it, which does not qualify it to be exempt from density. Application materials at the final Major Site Plan review shall be shown in compliance with the Town Code. Options for the property owner include:

- Reduce the density to four (4) units
- Replace the Housing Helps Restrictive Covenant with a standard affordable housing covenant
- Designate one of the proposed new units as an affordable unit and show compliance with the bonus density provisions of the Town Code.

ANALYSIS – USE STANDARDS [§180-5]

Permitted and Conditional Uses: A variety of residential and commercial uses are permitted in the CC District, including mixed-use buildings. Per the Code, Article, 180-5.2.8. Residential Uses in Central Core:

“Central Core District. For properties located between Main Street and Galena Alley and properties located between Main Street and Granite Alley, residential uses and uses accessory to residential uses are prohibited on the ground floor.”

All the new residential units in the Application are on the second floor or above. Retail and restaurant uses are permitted by right. The Application meets this standard.

Residential Uses in Central Core and Mixed Use Districts (§180-5.2.8): In the Central Core District, for properties located between Main Street and Granite Alley, residential uses and uses accessory to residential uses are prohibited on the ground floor. Historically, the Planning Commission has interpreted this as not including parking, given that an uncovered parking lot would be allowed.

ANALYSIS - DEVELOPMENT STANDARDS [180-6]

This Application will be reviewed for compliance with all development standards of the Code at the final stage of the Major Site Plan review.

Development on Steep Slopes (§180-6.5.1): All development in areas with steep slopes greater than 15% shall comply with the following standards:

- On slopes from 15% to less than 30%, net site disturbance shall not exceed 50% of the total area within this range of slopes.
- On slopes greater than 30%, net site disturbance shall not exceed 15% of the total area over this range of slope.

The Application does not indicate any development or disturbance on steep slopes, and therefore, it does not need to meet the requirements of this Code section.

Drainage Plan (§180-6.6): The Town Engineer has not provided preliminary comments on the Application. Complete drainage plan submittal requirements, design standards, and erosion and sediment control will be reviewed as outlined in §180-6.6 of the Code by the Town Engineer at the time of the final review of the Major Site Plan application.

Access (§180-6.11): All vehicle access shall comply with the standards set forth in Chapter 155, Minimum Street Design and Access Criteria. Where development abuts the Town right-of-way (ROW), the location and design of access points to the road must be approved by the Frisco Town Engineer. Chapter 155 states:

Width of Driveways – Driveway width shall be as set forth below and is measured within Town ROW from the ROW line to the edge of pavement, with an allowable three (3) foot angled or radial taper. All access and drive aisles are also subject to minimum widths as specified by the local fire authority

f. Single Family Homes	g. 9 foot Minimum	h. 20 foot Maximum
i. Duplexes or Multi-Units	j. 9 foot Minimum	k. 20 foot Maximum
l. Commercial/Business	m. 12 foot (One-Way)	n. 24 foot (Two-Way)

The Application proposes one driveway into the site off Galena Street Alley. The driveway is 12 feet wide. At time of final Major Site Plan application, the application shall comply with access requirements and receive formal approval from the Town Engineer.

Traffic Study (§180-6.12): Frisco Town Code requires a traffic study, prepared by a professional engineer licensed in the State of Colorado, be submitted for any large project that:

- A. *Requires a conditional use or rezoning approval;*
- B. *Is located adjacent to either Main Street or Summit Boulevard;***
- C. *Contains only one point of access;*
- D. *Contains an access point off an unimproved roadway or unincorporated area;*
- E. *Contains an access point off a road with a service level of D or F; or*
- F. *Is expected to generate 400 or more daily trips per day.*

A traffic study was submitted with the sketch plan review but has not been reviewed at this time. The traffic study will be reviewed by the Public Works Department and the Town Engineer at that time. Staff notes that the submitted traffic study incorrectly states this is not a large project. Per Town Code, this is a large project. Additionally, the traffic study references the City of Montrose. Staff suggests the traffic study accurately reflect Town Code requirements when it is submitted with the final Major Site Plan application.

Large Project. Any commercial or mixed-use project, occurring on a lot of 10,500 square feet or greater or occurring on a group of lots combined for a unified development project which contain a total lot area of 10,500 square feet or greater; or any residential development occurring on a lot of 21,000 square feet or greater or any development of five or more dwelling units.

Non-vehicular Access Requirements (§180-6.11.2):

It is the purpose of this section to promote the use of non-vehicular modes of transportation through a Town- wide network of connecting non-vehicular pathways and provide safe access year round. All site plans shall provide for and show non-vehicular access in accordance with the standards set forth in the Frisco Trails Master Plan and Chapter 155, Minimum Street Design and Access Criteria. In addition, all non-vehicular access shall meet the following standards:

- A. *All multi-family, mixed-use, non-residential developments, and residential subdivisions shall provide safe and convenient non-vehicular access to a public street or road year-round. Developments shall install paved, year round access from and through the development to adjacent public sidewalks, bicycle and pedestrian facilities, or right of way both existing and proposed pursuant to the Frisco Trails Master Plan and in accordance with the Standards of Chapter 155, Minimum Street Design and Access Criteria.*
- B. *Every principal structure shall provide access to adjacent trail systems or public open space usable for recreation activities.*
- C. *Developments shall integrate pedestrian ways, trails, and/or bicycle paths with*

similar existing and planned facilities on adjacent properties. The Frisco Trails Master Plan should be used as a reference when planning for the integration of these facilities.

The Application demonstrates pedestrian access along Main Street. The Staff finds that non-vehicular access by way of the driveway is sufficient. Therefore, the Application meets this standard.

On-Premise Parking Requirements (§180-6.13.3. D): One (1) parking space is required per bedroom with a maximum of four (4) parking spaces per unit. One (1) visitor parking space is required for five (5) units. Per Article, 180-6.13.6. Parking Standards and Criteria.

A. Dimensions. Except as noted in Subsection (3), parking stall dimensions shall be designed to conform to the following minimums: 1. Parking Facilities. Nine by 18.5 feet (including stacked spaces) with the exception of parallel parking spaces which shall be eight by 25 feet. Covered parking spaces and parking structures shall have a minimum vertical clearance of at least eight feet in height.

The following is a preliminary parking analysis:

Use Type	Parking Standard	Bedrooms/ Units	Required Spaces	Spaces Provided
Residential	1 per bedroom Maximum of 4 spaces per unit	Five 2-bedroom units	10	10
Workforce	1 per bedroom Maximum of 4 spaces per unit	One 4-bedroom unit	4	4
Visitor Parking	1 per five units		1	1*
ADA Parking - accessible parking spaces and electric vehicle charging stations shall be included in the calculation for required parking spaces	1 space		1	1
Total Required			15	13

Application materials show the required visitor spot being provided on Main Street with improvements being made by the Applicant by closing off the existing driveway along Main Street to construct a parking spot and ADA ramp. Staff does not find this in compliance with the Code. Section 180-6.13.3.A. states:

180-6.13.3. On-Premises Parking Requirements.

*A. Parking Requirements. The following minimums for permitted uses. Minimum must be complied with in all zoning districts except the Central Core District (CC) and those properties within the Mixed-Use District (MU) that front on West Main Street. **On premise parking requirements for the Central Core District and those properties in the***

Mixed-Use District that front on West Main Street are found under paragraph D of this Subsection 180-6.13.3. Conditional uses may require additional parking. Multiple uses will be assessed parking requirements per use and an aggregate number will be generated. Unless specifically prohibited elsewhere in this section, accessible parking spaces and electric vehicle charging stations shall be included in the calculation for required parking spaces.

D. Minimum Parking Requirements for the Central Core District (CC) and Properties within the Mixed-Use District (MU) that Front on West Main Street.

1. The following minimums for permitted uses are required. Conditional uses may require additional parking. Multiple uses will be assessed parking requirements per use and an aggregate number will be generated. Unless specifically prohibited elsewhere in this section, accessible parking spaces and electric vehicle charging stations shall be included in the calculation for required parking spaces.

USE	PARKING SPACE REQUIREMENTS
Retail [1]	0.0
Personal Service, General	0.0
Office	1.0 Per 450 square feet of GFA, or portion thereof 0.0 if not located on the ground floor
Medical Office	1.0 Per 450 square feet of GFA or portion thereof
Restaurants, Bars and Taverns [1]	0.0
Hotel or Motel	1.0 Each resident employee unit 1.0 Each bedroom
Residential Uses	1.0 Per Studio and Accessory Unit 1.0 Per bedroom 4.0 Maximum per unit 1.0 Visitor parking space for every 5 units in multi-family and mixed-use developments
<small>Notes: [1] Any change in the use from retail, restaurant, bar or tavern GFA approved by the Town using the parking provisions contained herein to other uses (permitted or conditional) must provide parking spaces in the amounts and locations required by the Article.</small>	

Residential parking spaces, including visitor parking spaces, shall be provided on-premise.

The dimensions of the parking spaces for the car lifts, do not currently meet the Code. As stated above, parking spaces are required to be 9 feet by 18.5 feet. The Application currently shows 8.5 feet by 18.5 feet.

Retail, restaurants, bars, and taverns along Main Street are not required to provide on-site parking. Parking will be reviewed further during the final Major Site Plan review.

Tandem Parking (§180-6.13.6): For multifamily residential projects, two (2) stacked (tandem) spaces may be permitted if the Planning Commission finds that the layout of the parking is functional and, at a minimum, finds two (2) out of the following four (4) criteria are met:

- i. That some of the spaces could be used as potential visitor parking space; and/or,
- ii. That, given the layout and design of the building, adequate storage space is provided for the residents so that it is not anticipated the parking space(s) will be needed predominately for storage; and/or,
- iii. That the architecture of the building façade which faces or accesses the parking spaces avoids a canyon effect, such that movement is provided in the building design; and/or,
- iv. That an adequate turning radius area is provided with the parking layout to allow for turning and backing into or out of the tandem parking spaces.

The required parking is being provided by car lifts that will extend into the building's subfloor. The Application features two vertically stacked tandem spaces in the garage. The Planning Commission must determine if the tandem spaces in each of the garages meet the intent of the parking regulations. Staff does not find that the layout of spaces allow the car lifts to be utilized for visitor parking spaces. Further information on turning radius area shall be provided at time of final Major Site Plan review.

Understructure Parking Facility Provisions (§180-6.13.3.G): This section states that:
For purposes of this provision, understructure parking shall mean that the parking will be located in a parking facility which is substantially underground or substantially below the average existing grade or located at grade under a structure. All understructure parking must meet the following criteria:

- 1. That above grade parking for the project be significantly screened from adjacent public rights-of-way; and,*
- 2. That the understructure Parking Facility is significantly screened from any public rights-of-way; and,*
- 3. That vehicular access to and from the understructure Parking Facility is not provided from Main Street or Summit Boulevard, unless no other access point exists.*

Technical specifications for underground parking structures are found in the Town of Frisco Minimum Street Design and Access Criteria, as referenced in Chapter 155.

Staff does not find compliance with the understructure facility provisions due to the above grade parking not being significantly screened from adjacent public rights of way. No landscaping is proposed to the north of the proposed parking spaces proposed above grade.



Parking Design (§180-6.13.6.C.):

A backup space shall be provided for the end space in dead end lots. Said backup space shall be sized to allow for a safe backing movement, and provide a minimum depth of five feet for the width of the aisle. Backup space shall be considered part of the parking lot.

The parking design standards require a backup space of at least 5 feet at the end of the parking area. The Application shall be in full compliance at the final review of the Major Site Plan application. Parking area drainage, access, and design shall be reviewed in greater detail at the final site review.

Electric Vehicle Charging Stations: Chapter 65 of the Code of Ordinances of the Town of Frisco concerning Building Construction and Housing Standards, Section C405.10.1, references electric vehicle charging stations for new construction. The Application has complied with the requirements as outlined in Section C405.10.1. Therefore, the Application meets this standard.

Accessible Parking (§180-6.13.3.H): All facilities, including commercial, mixed-use, and multifamily projects with seven (7) or more attached units, must provide accessible parking. The Application is mixed-use, so the Applicant is required to provide one (1) ADA parking space, which is provided on-site. Therefore, the Application meets this standard.

Bicycle Parking (§180-6.13.4): All multifamily residential developments must provide both enclosed, secure bicycle parking and outdoor bicycle parking facilities. Dwelling units with a private garage are not required to provide enclosed, secure bicycle parking. The Application demonstrates enclosed, secure bicycle parking and outdoor bicycle parking facilities. Therefore, this standard has been met.

Snow Storage Areas (§180-6.13.7): The Code requirements state that “*snow storage shall be provided on premises in the amount of twenty-five percent of paved surface area and any unpaved parking and driveway areas, including uncovered decks. The Applicant must demonstrate that snow removal operations for upper floor decks will not impact adjacent property.*”

The Application shows 4,035 square feet of hardscaped area and 145 square feet of snow storage. The standard requires 2,153 square feet of snow storage. The Application shows that all driveways, parking areas, and sidewalks are to be heated and sloped to central drains. The Town Code does not provide exceptions to snow storage for heated areas. Snow storage is not in compliance with Town Code.

At the time of the final review of the Major Site Plan application, the Applicant will be required to demonstrate that snow storage is provided in accordance with Town Code including the square footage, feasibility and that it will not lead to snow being plowed into the neighboring properties. The Applicant will also need to show the total area of uncovered decks and provide details on snow removal for the decks, ensuring that it will not impact adjacent property and comply with the Code.

Outdoor Lighting (§180-6.16): Outdoor lighting installed for new structures shall be full-cut-off fixtures and positioned so that there is no direct light emission onto adjacent properties. The Applicant has not provided a lighting specification sheet, which demonstrates that the proposed lighting will be dark sky compliant. The lighting spec sheet will be required at the time of the final Major Site Plan application.

180-6.16.8: Lighting Plan. Applications for large projects (as defined in Chapter 180, Article IX) shall submit for approval by Planning Commission a preliminary lighting plan.

Because this Application meets the definition of a “large project,” the Applicant will be required to submit a lighting plan at the final review of the Major Site Plan application.

Landscaping and Revegetation (§180-6.14): The Application is subject to the landscaping requirements for mixed-use development. In mixed-use developments, for every 1,000 square feet of project lot area or fraction thereof, a minimum of one tree must be planted on the site. One shrub shall be required for every 1,500 square feet of project lot area or fraction thereof. With a lot size of 12,196 or 12,254 square feet, 12 trees and 8 shrubs are required. Mixed-use projects are eligible for substitution of hardscape and planter boxes for a portion of the landscaping required as outlined in Section 180-6.14.4, Required Vegetation.

The Application shows a total of 21 trees and 15 shrubs being identified on the landscape plan. The Application meets this standard. The application shall show full compliance with §180-6.14, Landscaping and Revegetation standards at the final review of the Major Site Plan application. The Application will be required to comply with the Firewise program, including defensible space zones, as regulated by Summit Fire & EMS at the time of building permit review.

Refuse Management (§180-6.17): All commercial, mixed-use, and multifamily residential development projects containing five (5) or more units shall utilize a trash enclosure for the collection and storage of refuse and recyclable materials. Per the Code, *“Dumpster enclosures shall provide space for the collection and storage of recyclable materials, including compost, in an amount equal to the space provided for the collection and storage of trash materials, and shall meet the following standards:*

- A. Equal space for refuse, recycling, and compost collection must be accommodated within the dumpster enclosure in an amount determined to be acceptable by the waste collection provider, based upon the size and use of the development.*
- B. Storage and collection containers shall be clearly labeled or identified to indicate the type of materials accepted.”*

The Application shows a trash enclosure and areas for recycling. The Application will need a letter from a refuse management company showing they will provide service. The letter included with the submitted application materials states the required dumpster and recycling size, but does not state that access to the proposed refuse is feasible. This letter must be supplied at the time of the final Major Site Plan application.

Signs (§180-6.19): Signage is not reviewed as part of the Major Site Plan application. A separate sign permit will be required to review any proposed signage shown in the Application.

Non-Residential Development Standards (§180-6.21): The purpose of the nonresidential development standards is to ensure high-quality site and building design in Frisco; to establish minimum standards related to the scale, mass, architecture, materials, and overall design character of development; and to protect and enhance existing neighborhood character.

The Application shall be held to the following non-residential development standards:

6.21.2. Applicability:

- A. This section shall apply to the development of any non-residential use that requires site plan review. Findings shall be made that a non-residential development is in compliance with the standards of this section prior to approval of a site plan review.*

Failure to meet the mandatory standards shall constitute grounds for the decision-making body to request amendments to the proposed design or to deny a final plan or site plan.

- B. Mixed-use development shall comply with these non-residential development standards.*

6.21.3. Standards

A. Compatibility with Neighborhood Character

- a. Compatibility. Compatibility shall be achieved through proper consideration of scale, design, proportions, site planning, landscaping, materials, and colors, and compliance with the standards in this section.*
 - i. Compatibility of development on Main Street shall be determined based on proper consideration of the above features of nearby properties on Main Street rather than properties on other streets, as well as compliance with the standards in this section.*
- b. The existing landforms and historic structures, as noted in the town's Historic Resource Inventory, on a site shall be preserved onsite whenever possible and reinforced by development rather than destroyed or replaced by it.*

The Application appears to be compatible with the existing neighborhood and consistent with Frisco's small mountain town character. The proposed development includes building designs that are unique to this project but that are also reflective of the architectural elements and styling of other buildings in Frisco, while incorporating the existing cabin. The proposed scale, design, proportions, site planning, landscaping, materials, and colors comply with the Code's standards. The Application meets this standard.

Façade Standards: *Intent. To ensure that the façade design of development is compatible with Frisco's small mountain town character and provides a human scale to enhance the walking experience in the neighborhood.*

2. Building Elements.

All building elevations shall employ varied articulation of wall surfaces, as shown in Figure 6-00.

- a. Each street-facing façade shall include one or more deep eaves or overhangs, at least 24 inches in depth.*
- b. Each façade or each 75-foot portion of a façade visible from public streets or parking lots shall be articulated through the use of at least four of the following building elements that provide shelter from natural elements and provide visual relief.*
 - i. **Balconies, porches, or patios;***
 - ii. Building elements that provide shelter from natural elements;*
 - iii. Offsets, insets, bays, or other similar architectural features to add a variety of depths to the wall plane;*
 - iv. **A change in texture or material, provided all exterior wall textures and materials are consistent with the overall architectural style of the building;***
 - v. **Variation in roof planes or roof forms, including dormers or gables;***
 - vi. **Variation in window sizes and shapes; or***
 - vii. Prominent building entrance features.*

The Application includes building designs that are unique to this Application but have a similar styling to other buildings throughout the Town. A variety of building elements are utilized on all

four (4) facades of the building. Varied building articulation is achieved by utilizing the bolded techniques listed above.

3. Building Articulation

- a. Building walls and corresponding eaves shall not exceed 27 feet in the same geometric plane.*
- b. Building walls over 27 feet in length shall change geometric planes by at least two feet in depth for a minimum length of six feet.*
- c. Building walls that exceed 54 feet in total building façade length shall change geometric planes by at least four feet in depth for a minimum length of six feet.*
- d. Building walls or roof ridgelines over 33 feet in length and facing a front yard or street side yard shall not have more than 66 percent of the length of the wall or roof ridgeline along the same geometric plane.*

The submitted elevation drawings do not delineate building wall lengths. However, the offset breaks can also be viewed on the submitted 3-D images. At the time of the final Major Site Plan application, all building wall lengths shall be submitted with the Application to demonstrate compliance with building articulation.



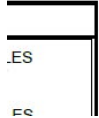
SOUTHWEST PERSPECTIVE

SCALE: N.T.S.



SOUTHEAST PERSPECTIVE

SCALE: N.T.S.



NORTHEAST PERSPECTIVE

SCALE: N.T.S.

- ✓ -1X4 T & G
- 5 HORIZONTAL SIDINGmtgr:
-1X6 CHANNEL RUSTIC
- 6 HORIZONTAL SIDINGmtgr:
-1X8 SHIPLAP
- 7 METAL SIDING
-TLC-1 FLAT
- 8 METAL ROOFING (VERTIC
-IMAGE II (STAND'G SEAM
- 9 BRICK
-COMMON BOND



NORTHWEST PERSPECTIVE

SCALE: N.T.S.

4. Entrances

- a. *For development with over 25,000 square feet of gross floor area, at least two separate and distinct public entrances into the building shall be provided.*

The Application has a gross floor area of 11,061 square feet, so this standard does not apply.

C. Bulk Plane Standards

1. *Buildings shall be designed in a manner that provides elements that relieve the feeling of mass and provides for the graduation of mass as one moves back from the front of a lot, with the smaller elements located near the street, and the larger elements located further away from the street.*
2. *See Section 180-6.23 for bulk plane requirements.*

Table 6-K of the Code outlines bulk plane requirements. Per footnote 1, side property line bulk plane does not apply to properties located between Main Street and the Granite Street Alley. Bulk plane shall be measured at the front property line and extend up twenty (20) feet prior to extending at a 45-degree angle. There are no proposed bulk plane encroachments. The Application meets this standard.

D. Roof Standards

2. *Roof Pitch*
 - a. *Steep pitched roofs are encouraged.*

- b. *Flat roof construction shall be augmented with pitched roof elements, including but not limited to, peaked or sloped facade elements or parapets facing all street sides.*
- c. *Pitched roof elements shall vary by a minimum of two feet in elevation.*
- d. *Mansard roofs are not appropriate and are not allowed.*

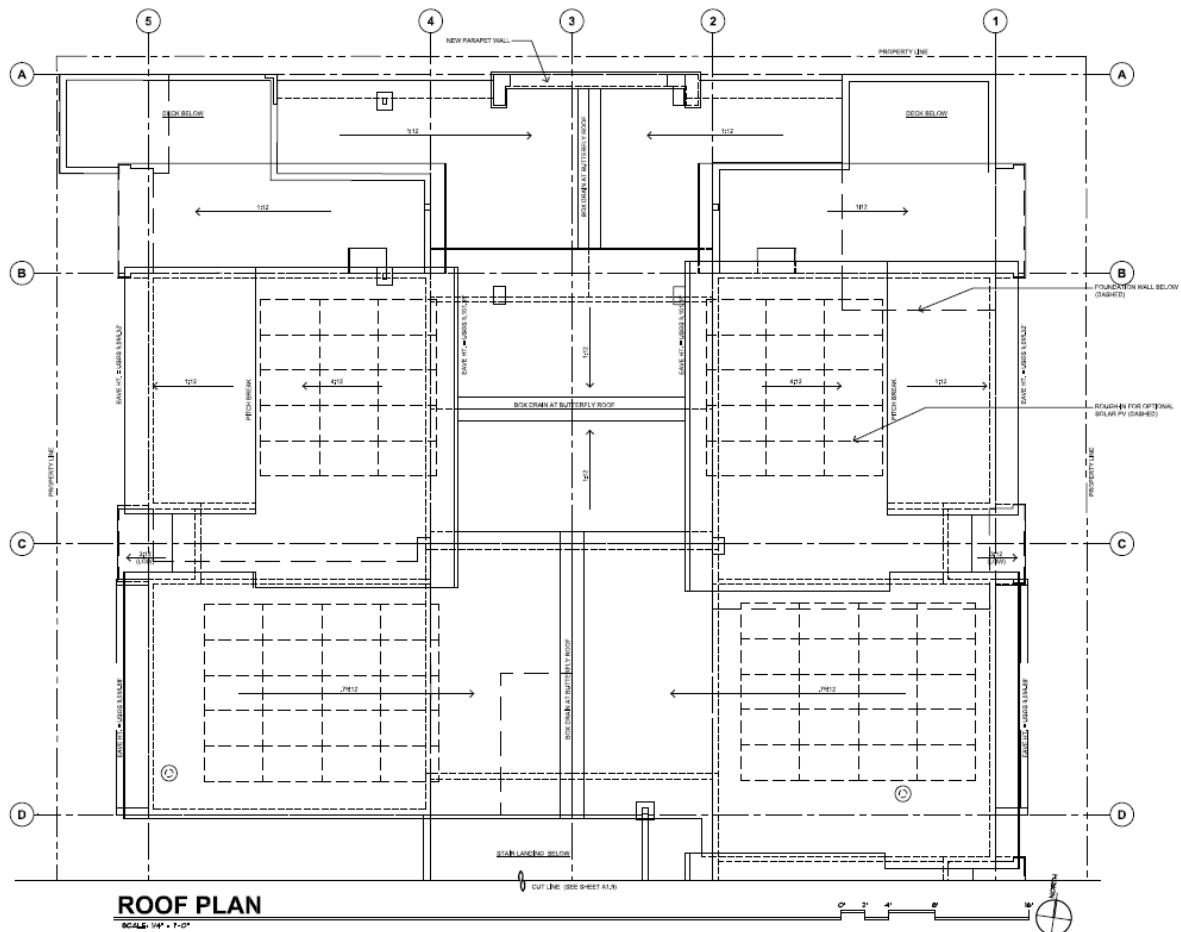
The Application shows a combination of pitched and flat roof designs with parapets, including roofs that face the street. Staff requests that the Planning Commission provide feedback to the Applicant on the proposed roof pitches.



The Application meets this standard.

3. *Roof Design*

- a. *Where pitched roofs are utilized:*
 - i. *A minimum pitch of 4/12 is required.*
 - ii. *Dormers shall be incorporated to break up the roof, to enhance the usability of attic spaces, and to add architectural interest.*
 - iii. *Ridgelines shall change elevation by no less than two feet for each 27 feet of building length. Architectural elements which intersect with the ridgeline may qualify as ridgeline changes upon a finding that the design furthers the purpose of this section.*
- b. *Shed roofs with a minimum pitch of 3/12 may be utilized only if the shed roof element is below the primary roof level and terminates into the roof or wall of the structure.*
- c. *No more than 66 percent of a ridgeline or roof line shall be on the same elevation.*
- d. *Roof lines shall be designed in a manner where they do not substantially deposit snow onto required parking areas, sidewalks, trash storage areas, stairways, decks, balconies, or entryways.*



The Application shows a proposed roof with pitched sections and flat sections with parapets. Staff cannot verify if no more than 66 percent of a ridgeline is on the same elevation. The new roofs created by the proposed addition do not appear to deposit snow onto parking areas, sidewalks, trash storage areas, stairways, decks, balconies, or entryways. The need for snow clips, snow fences, and other similar rooftop snow management techniques on both the existing and proposed roof elements will be reviewed with the building permit application. Further information shall be provided at the time of the final Major Site Plan application to verify compliance with roof design requirements.

4. Roof Materials

- If metal roofs are used they shall be surfaced with a low gloss finish or be capable of weathering to a dull finish in order to not be reflective.*
- Metal roofs shall have a standing seam or shall be of a design that provides relief to the roof surface.*
- Asphalt and fiberglass shingles are permitted provided that they are a heavy material that provides substantial relief and shadow, and the design and color are compatible with the building.*
- Spanish or Mission style roofs and other similar roof materials are prohibited.*

- e. *Historic buildings, as noted in the Town's Historic Resource Inventory, may use rolled asphalt roofing materials.*
- f. *Bright colored roofs that exceed a chroma of four on the Munsell Color chart shall not be allowed.*
- g. *All rooftop mechanical, electrical, and electronic equipment shall be screened in a manner that is compatible with and substantially similar to the colors and materials of the building or the roof.*

As shown on the 3-D drawings, the roof is proposed to be a metal roof of an ash grey. The Application meets this standard.

E. Building Material Standards

2. Primary Materials

- a. *To ensure that building materials are compatible and complementary to existing historic or contributing buildings in the area, using a combination of mainly natural materials.*
- b. *Other materials that imitate natural materials are also acceptable, provided their texture, shape, and size are similar to the natural materials they are imitating, and are not obviously artificial materials.*
- c. *Stucco, steel, or concrete block shall not be primary exterior materials for the majority of a building.*

The primary exterior materials for the proposed building include metal siding of an ash grey and black, vertical wood siding, and brick. Stucco and concrete block are not proposed. The Application meets this standard.

3. Specific Material Standards

- a. *Concrete Block*
Concrete block used as an accent material shall be a split, textured, or scored block.
- b. *Concrete Panel*
Concrete or concrete panels shall be textured or scored and used in combination with other materials, or shall be faced with another material such as stone, stucco, or other similar materials.
- c. *Glass*
Clear glass shall be used for windows. Tinted, colored, or opaque glass may be approved when demonstrated by the applicant to be compatible with the purpose of this section.
- d. *Metal*
Metal shall have a matte finish or a finish proven to fade and not be reflective.
- e. *Steel*
Steel may only be used as an accent material or used in combination with other materials.
- f. *Stucco*
Stucco may only be used as an accent material or used in combination with other materials.

The primary exterior materials for the proposed building include metal siding of an ash grey and black, vertical wood siding, and brick. Stucco and concrete block are not proposed. The Application meets this standard.

4. Prohibited Materials

The following materials are prohibited:

- a. Aluminum, steel, or plastic exterior siding that does not imitate natural materials;*
- b. Mirrored or reflective glass; and*
- c. Untreated or unpainted galvanized sheet metal*

No aluminum or plastic exterior siding, mirrored glass or untreated galvanized steel is proposed. The Application meets this standard.

5. Accessory Structures

The same or similar building materials shall be used on main structures and any accessory structures located on the same site, unless an alternative design can be provided that will complement the project and meet the purpose of this section.

No accessory structures are proposed. This standard is not applicable.

F. Building Colors

- 2. Maximum Color Chroma. No color may be used as the primary color of the building that exceeds a chroma of four on the Munsell Color chart.*
- 3. Exception for Building Accents. Colors that exceed a chroma of four, but do not exceed a chroma of eight on the Munsell Color chart may be used only sparingly as accents, such as on trim or railings. Luminescent, fluorescent, or reflective colors shall not be utilized on any exterior portion of the building.*
- 4. Accessory Structures. The same or similar colors shall be used on main structures and on any accessory structures on the site, unless an alternative scheme can be provided that will complement the project and meet the purpose of this section.*

The proposed structure colors include natural colors on horizontal and vertical siding, and ash gray low-sheen metal siding and roofing. No proposed color appears to exceed a chroma of four on the Munsell Color chart, and the Application meets this standard.

G. Design Variety

2. Duplicate Building Design Prohibited

- a. Building designs that duplicate, or are substantially similar in terms of roof pitch, building articulation, materials, colors, and building elements to existing or proposed structures within a 300 foot radius of the property are not allowed, with the exception of accessory structures, which may be designed similarly to the primary structure.*
- b. Where a proposed building contains multiple identical units, the building design shall provide architectural differentiation from the duplication of units by providing a variety in windows, decks, balconies, or exterior facade compositions.*

The Application does not appear to duplicate or be substantially similar to any other structure within a 300-foot radius of the property. The Application meets this standard.

H. Additions

Additions that are substantially smaller than the square footage of the existing building may be designed to complement the existing structure, even if the existing building does not currently meet the façade, roof, material, or color standards of this section.

The Application reflects modern architecture being attached to the historic cabin building. Staff would like input from the Planning Commission on whether this building is designed to complement the existing structure.

I. Parking and Loading (§180-6.21.3.I): None of the proposed parking spaces are in front of the building along a principal street façade. The Application meets this standard.

180-6.21.3.I.4. Loading states that “Service, loading, and trash areas shall be screened from all public rights-of-way and parking areas”. Further information on how the dumpsters will be screened shall be submitted with the final Major Site Plan application.

J. Amenities (§180-6.21.3.J): The purpose of this section is *“To enhance development with the amenities that promote alternative modes of transportation and provide community gathering spaces.”*

Bicycle parking spaces shall be provided in an amount equal to at least twenty percent (20%) of the required vehicular parking spaces for the development. The Application is in compliance with this standard.

A minimum of one community space shall be provided for any development with between 10,000 and 25,000 square feet of gross floor area. The Application features an outdoor courtyard with a fireplace for community use. Staff would like feedback on whether this community space is suitable for the Application.

REFERRAL COMMENTS

The formal referral will be done at the final Major Site Plan application.

PUBLIC COMMENT

The Community Development Department has not received any formal public comments concerning this project as of May 30, 2025.

STAFF RECOMMENDATIONS

Staff recommends that the Planning Commission provide the Applicant feedback on the Application submitted for 121 E Main Street in the context of the recommendations and requirements of the Frisco Community Plan and the Frisco Town Code:

- Staff recommends that the Planning Commission comment on the parking. Specifically, the guest parking spot on Main Street and the use of car lifts.

- Staff recommends that the Planning Commission comment on the use of materials, including the application of metal.
- Staff recommends that the Planning Commission comment on whether this building is designed to complement the existing structure.
- Staff recommends Planning Commission provide feedback to the applicant on *Compatibility with Neighborhood Character*.
- Staff recommends that the Planning Commission provide feedback on whether the community space is suitable for the Application.

The Application does not meet, or has not provided sufficient information to prove that it is meeting, the following requirements:

1. Staff does not have enough information to confirm if the structure meets the setback standards.
2. Staff does not have enough information to confirm if the structure meets the maximum building height standards.
3. Density is not in compliance with the Town Code. In order to demonstrate compliance with the Density Bonus requirements floorplans of the existing unit, and designation of the bonus units, will be required at time of final Major Site Plan review.
4. The parking design does not meet the on-premise parking requirements with regards to minimum required parking spaces and size of parking spaces.
5. Understructure facility provisions are not in compliance due to the above grade parking not being significantly screened from adjacent public rights of way
6. The application does not meet the standards for snow storage.
7. The application will be reviewed for full compliance with §180-6.14, Landscaping and Revegetation standards at the time of final Major Site Plan application.
8. Staff recommends Planning Commission provide feedback to the applicant on *Compatibility with Neighborhood Character*.
9. Staff cannot verify if the building articulation standards are in compliance.
10. Staff cannot verify if the application meets the roof design standards for roof pitch.
11. The Application will be required to show compliance with bicycle parking and community spaces for developments over 10,000 square feet at the time of final review.

The Application will need to be revised to show compliance with the applicable Code requirements prior to proceeding with the Major Site Plan review process.

ATTACHMENTS

Attachments:

Attachment A – Application Materials for Sketch Plan

cc: Margaret Ziedin