



June 4, 2025

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1 East Main Street  
Frisco, CO 80443

## RE: 602 GALENA STREET- SITE PLAN MODIFICATION

### Project Overview

Located at 602 Galena Street, this site is currently owned by the Town of Frisco and will be developed in partnership with the NHP Foundation per a Development Agreement dated April 8, 2025. In collaboration with the Town, we propose redeveloping the former site of the Colorado Workforce Center to provide 100% workforce housing, helping to meet the needs of our community with 54 deed-restricted units for rent.

### Request for Modification

The purpose and request for a Site Plan Modification is to modify the building materials and architecture to reflect feedback that was heard on the March 21, 2024, Planning Commission. On March 21, 2024, the Planning Commission approved the Major Site Plan Application for 602 Galena Street. During the meeting, conversations about the materials and façades were discussed. Commissioners directed the applicant to investigate design changes to address concerns about the repetitiveness of the design and heaviness of the facade.

### *Architecture*

During the Planning Commission meeting, specific comments regarding the building façade were made, and the design team responded by revising the exterior architecture for the Building Permit submittal with minor architectural form edits. Specifically, the originally submitted design included five, identical repeating gables along the long axis. The design was revised to reduce the total quantity of gables from ten (north and south elevations) to seven total, four on the south side and 3 on the north side. Additionally, the 10' step back requirement was added to the western façade.

The revisions to the architecture meet specific guidelines in the UDC including:

- **Building Elements:** A minimum of four types of building elements shall be used for articulation. The replacement of two towers with accent siding and a parapet provide an additional building element beyond what was previously proposed.
- **Duplicate Building Design:** The architectural revision to replace a portion of the originally proposed gable roof forms enhances the differentiation required to meet Design Variety. The addition of parapet roofs also creates variety in the spaces between the gables, creating a cohesive design with less repetition further enhanced by the color and material changes.



### *Color + Materials*

The designs submitted for building permit address repetition by introducing an accent siding material. The material is a cool gray with undertones of blue proposed in 48"x18" Hardi panels in 'Evening Blue'. This color does not exceed a chroma of eight, as required for accent materials. The 'Evening Blue' color replaces portions of the 'Coffee' Diamond Kote and the Grey CMU that were approved during the March 21, 2024, meeting. The color of the exterior siding and the changes in material locations were developed in response to commissioner concerns over excessive repetition. The addition of the new color will be compatible with the neighborhood while providing enhanced articulation to the building façade. The material changes meet UDC design standards.

The Record of Decision published following the March 21, 2024 approval noted that the Planning Commission approved the Major Site Plan Application for the project with the direction to make adjustments to address the third-floor step-back. However, the Record of Decision did not specifically call out commissioner discussion about the roof forms or color. Therefore, the site plan modification we are submitting now focuses on the updates to roof forms, color and materials only.

MATERIALS SCHEDULE  
PLANNING SET (02/29/24)

LABEL	ITEM
M1	CORRUGATED METAL ROOFING
M2	FASCIA
M3	SOFFIT
M4	HORIZONTAL SIDING
M5	VERTICAL SIDING
M6	BASE VENEER
M7	DOORS & WINDOWS
M8	DOOR & WINDOW TRIM



DESCRIPTION
1 1/4" CORRUGATED STEEL PANELS DARK GREY, NON-REFLECTIVE FINISH
-----DIAMOND KOTE FASCIA: 'CASCADE'
-----DIAMOND KOTE VENTED SOFFIT: 'CLAY'
-----DIAMOND KOTE HORIZONTAL SHIPLAP: 'SAND'
-----DIAMOND KOTE VERTICAL SHIPLAP: 'COFFEE'
-----SPLIT FACED CMU TILES: DARK GREY
-----ALUMINUM CLAD WOOD: JELD-WEN 'BLACK'
-----DIAMOND KOTE TRIM: 'GRAPHITE'

CHANGES

CORRUGATED METAL ROOF  
TO  
STANDING SEAM METAL  
ROOF  
(SIMILAR COLOR)  
(Better for solar panel  
installation)

BLACK ALUMINUM WINDOWS  
TO  
ALMOND VINYL WINDOWS

ADDED PANEL ACCENT SIDING

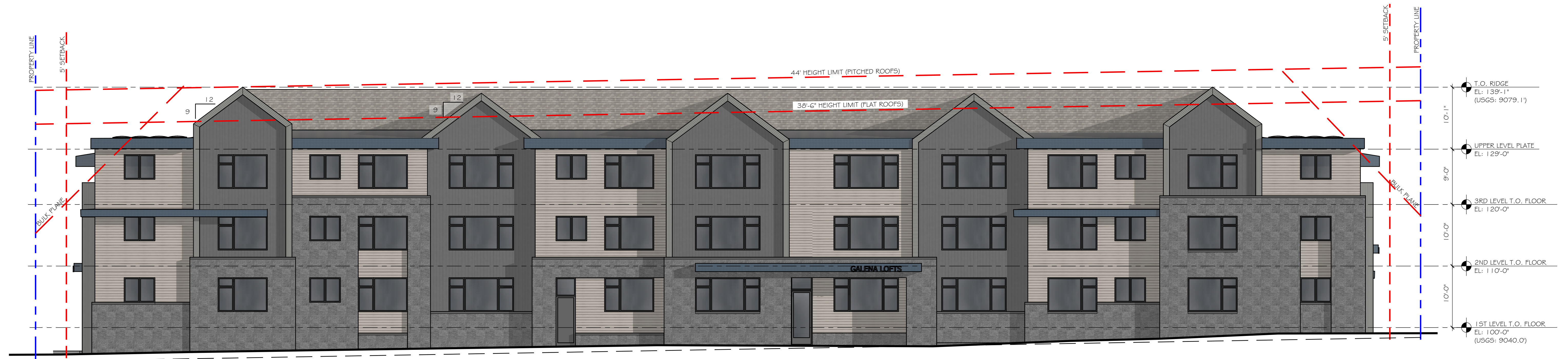
ITEM
M1 METAL ROOFING
M2 FASCIA
M3 SOFFIT
M4 HORIZONTAL SIDING
M5 VERTICAL SIDING
M6 BASE VENEER
M7 DOORS & WINDOWS
M8 DOOR & WINDOW TRIM
M9 ACCENT SIDING

MATERIALS SCHEDULE  
PERMIT SET (04/10/25)



DESCRIPTION
24" STANDING SEAM PANELS CHARCOAL, NON-REFLECTIVE FINISH
-----DIAMOND KOTE FASCIA: 'CASCADE'
-----DIAMOND KOTE VENTED SOFFIT: 'CLAY'
-----DIAMOND KOTE HORIZONTAL SHIPLAP: 'SAND'
-----DIAMOND KOTE VERTICAL SHIPLAP: 'COFFEE'
-----BASALITE 4"x16"x16" SPLIT FACED CMU COLOR 'DARK GREY' GROUT TO MATCH TILES
-----PRIME PREMIER VINYL: COLOR 'ALMOND'
-----5/4 DIAMOND KOTE SMART TRIM PER DETAILS COLOR - 'COFFEE'
-----JAMES HARDIE PANEL: 'EVENING BLUE'



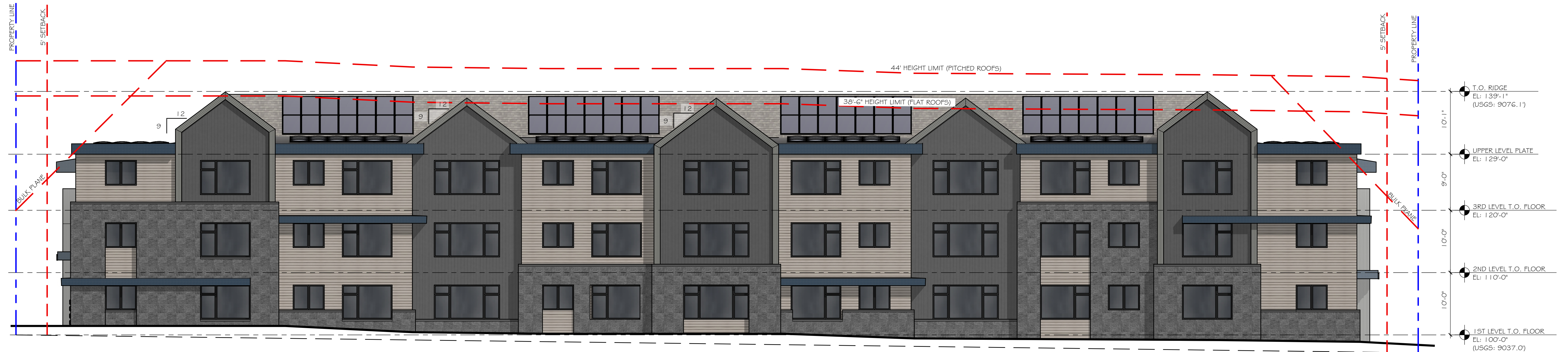


NORTH ELEVATION - PLANNING SET (02/29/24)



NORTH ELEVATION - PERMIT SET (04/10/25)





SOUTH ELEVATION - PLANNING SET (02/29/24)



SOUTH ELEVATION - PERMIT SET (04/10/25)





EAST ELEVATION - PLANNING SET (02/29/24)



WEST ELEVATION - PLANNING SET (02/29/24)



EAST ELEVATION - PERMIT SET (04/10/25)



WEST ELEVATION - PERMIT SET (04/10/25)