

— ACCORDING TO THE PLAT RECORDED AT REC. NO. 104210 —
TOWN OF FRISCO, SUMMIT COUNTY, COLORADO

- FOUND REBAR & BLUE PLASTIC CAP (PLS 3783/WELLINGTON)
- FOUND No. 4 REBAR & YELLOW PLASTIC CAP (PLS 10847)
- FOUND No. 4 REBAR
- ▣ SET No. 4 REBAR & PURPLE PLASTIC CAP (PLS 38855)
- ◆ GATE VALVE (WATER SERVICE)
- ◆ SEWER CLEANOUT
- UTILITY PEDESTAL
- E

 TRANSFORMER
- m. MEASURED COURSE

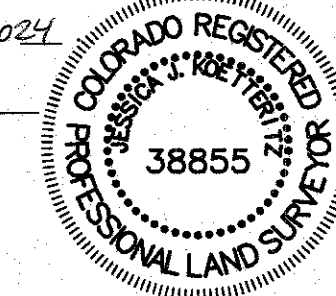
(IN FEET)

1 inch = 10 ft.

LAND TITLE GUARANTEE COMMITMENT ORDER NO. M20214479-2
DATED JUNE 28, 2024 USED FOR THIS SURVEY.

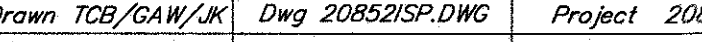
I, JESSICA J. KOETTERITZ, BEING A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO,
DO HEREBY CERTIFY THAT THIS PLAT AND SURVEY WERE PREPARED BY ME AND UNDER
MY SUPERVISION AND THAT BOTH ARE ACCURATE TO THE BEST OF MY KNOWLEDGE.

SIGNATURE Jessica J. Koetteritz
JESSICA J. KOETTERITZ
COLORADO REGISTRATION NO. 38855



10,500 sq.ft.
0.241 acres
Address: 616 PITKIN ST.

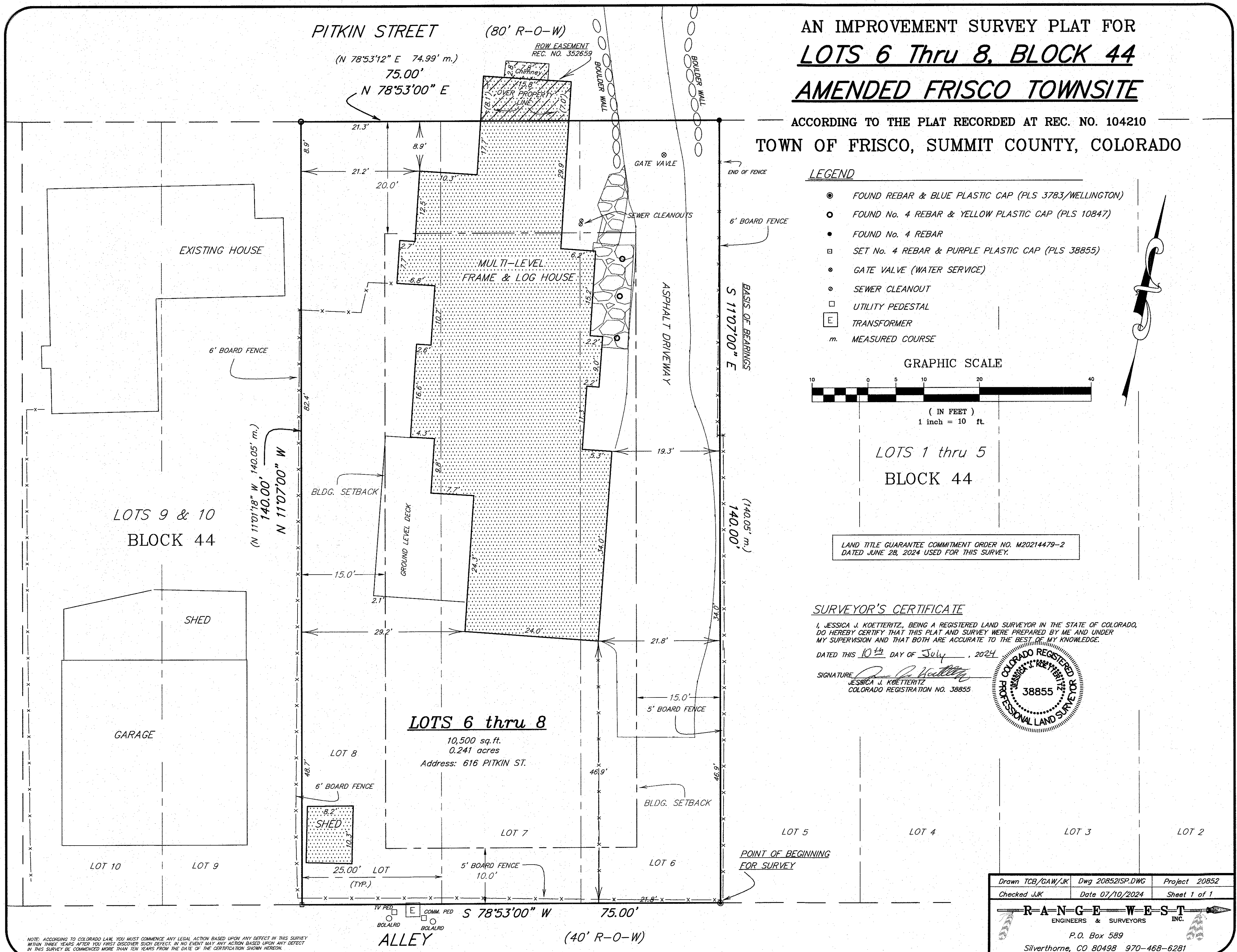
Drawn TCB/GAW/JUK	Dwg 20852/SP.DWG	Project 20852
Checked JUK	Date 07/10/2024	Sheet 1 of 1



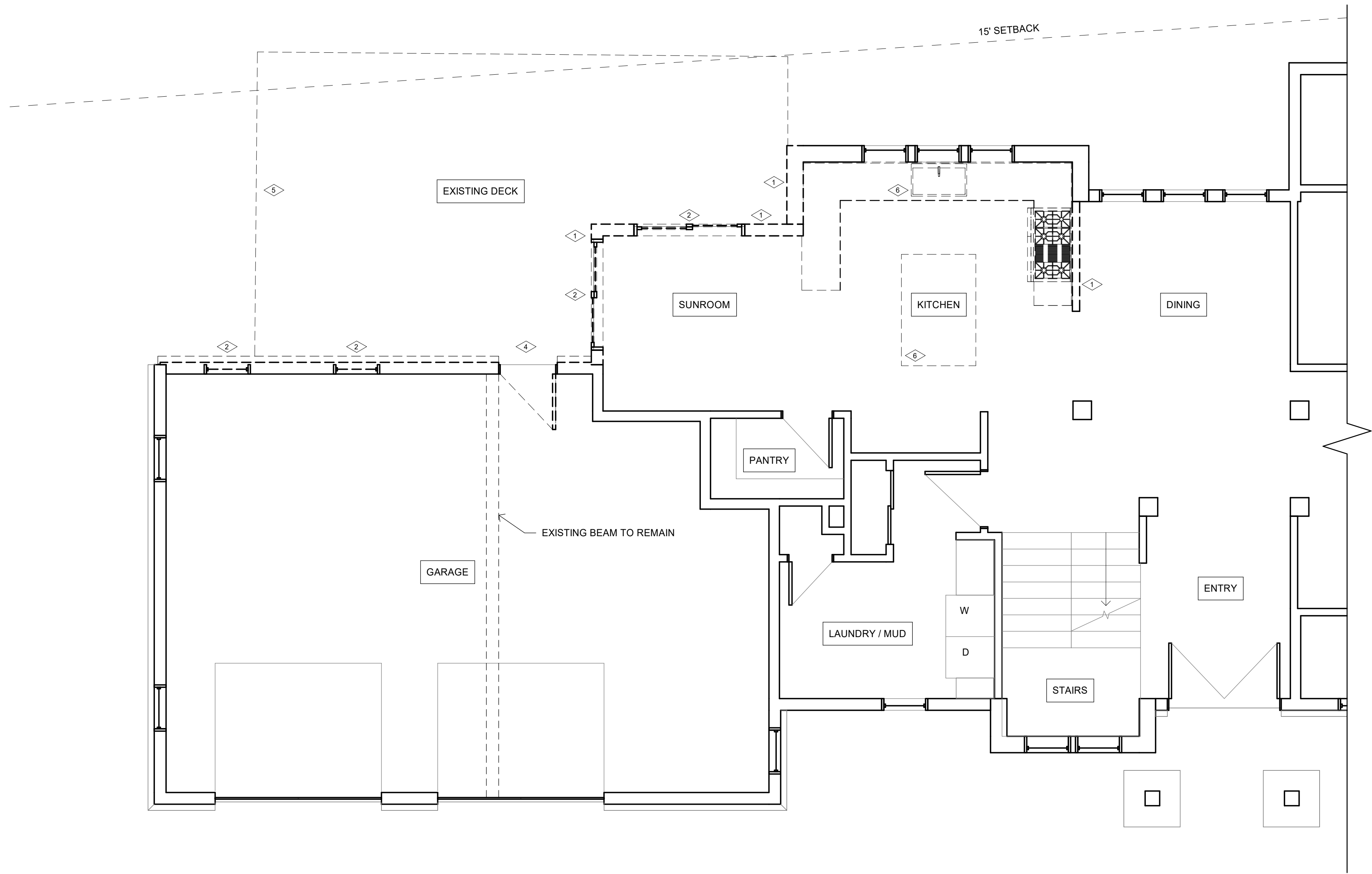
RANGE WEST
 ENGINEERS & SURVEYORS INC.

P.O. Box 589
 Silverthorne, CO 80498 970-468-6281

NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.



5/12/2025 11:31:13 AM I:\ataisarchitects.com\shares\users\ashley\Documents\2445 raphael res a&a R25_ashley\Q8\F3.rvt

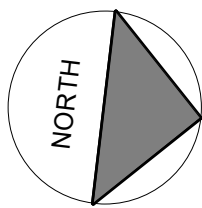


1
A211

EXISTING/ DEMO MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

0 4 8 12 16



DECONSTRUCTION NOTES

- THE GOAL OF DECONSTRUCTION IS TO LESSEN THE WASTE STREAM ENTERING THE LANDFILL, COMPARED TO THE PREVIOUS METHODS OF BUILDING DEMOLITION. THE PROJECT TEAM IS EXPECTED TO WORK TOWARDS THIS GOAL IN CREATIVE WAYS. SINCE DECONSTRUCTION CONCEPTS ARE NEW TO THE LOCAL BUILDING INDUSTRY, SOME FLEXIBILITY IS ALLOWED AND EXPECTED.
- PLANS AND OTHER INFORMATION SHOWN ON THIS SHEET ARE CONCEPTUAL IN NATURE, MEANT TO CONVEY THE SCOPE OF WORK. ALL DETAILS SHALL BE VERIFIED IN FIELD BY CONTRACTOR AT THE OUTSET OF THE WORK.
- THE CONTRACTOR AND SUBCONTRACTOR SHALL USE CARE DURING DECONSTRUCTION TO SALVAGE MATERIALS FOR REUSE WHERE POSSIBLE.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL USE CARE DURING DECONSTRUCTION TO MAINTAIN AND PROTECT EXISTING SITE FEATURES DESIGNATED TO REMAIN, SUCH AS TREES AND LANDSCAPING.
- EXISTING BUILDING HAS ELECTRICAL, WATER, AND SEWER SERVICE. CONTRACTOR SHALL COORDINATE WITH OWNER TO CONTINUE OR SHUT OFF THESE SERVICES DURING DECONSTRUCTION AND CONSTRUCTION. AT CONTRACTOR OPTION. UTILITIES SHALL BE PAID FOR AND COORDINATED BY THE OWNER.
- CONNECTION OR TAP FEES HAVE BEEN PAID FOR THE EXISTING BUILDING FOR ELECTRICAL, WATER, AND SEWER SERVICE. CONTRACTOR SHALL COORDINATE THESE EXISTING AGREEMENTS WITH APPLICABLE UTILITY COMPANIES TO KEEP ADDITIONAL FEES REQUIRED DURING PERMITTING AS LOW AS POSSIBLE FOR THE OWNER.
- EXISTING BUILDING SHALL BE CHECKED FOR PRESENCE OF ASBESTOS CONTAINING MATERIALS BY THE OWNER, AND, IF FOUND TO BE PRESENT, SHALL BE REMEDIATED BY THE OWNER PER APPLICABLE STATE OF COLORADO REGULATIONS (www.cdhpe.state.co.us/ap/asbeshom.asp). THIS WORK SHALL BE CONSIDERED OUTSIDE THE SCOPE OF THE GENERAL CONTRACTOR.

DECONSTRUCTION KEY NOTES

- 1 REMOVE WALL
- 2 REMOVE WINDOW
- 3 REMOVE ROOF
- 4 REMOVE DOOR
- 5 REMOVE DECK
- 6 REMOVE KITCHEN FIXTURES AND FINISHES

PLAN LEGEND

- EXISTING WALL TO REMAIN
- WALL TO BE REMOVED (SHOWN DASHED)
- NEW WALL (SHOWN SHADED)
- EXISTING DOOR
- DOOR TO BE REMOVED (SHOWN DASHED)
- NEW DOOR

raphael residence
additions & alterations

lots 6 thru 8 . block 44
frisco . colorado

PROJECT # 2445

© COPYRIGHT
AS AN UNPUBLISHED WORK, ANY REPRODUCTION
OR REUSE WITHOUT WRITTEN CONSENT IS
PROHIBITED.

ISSUE:

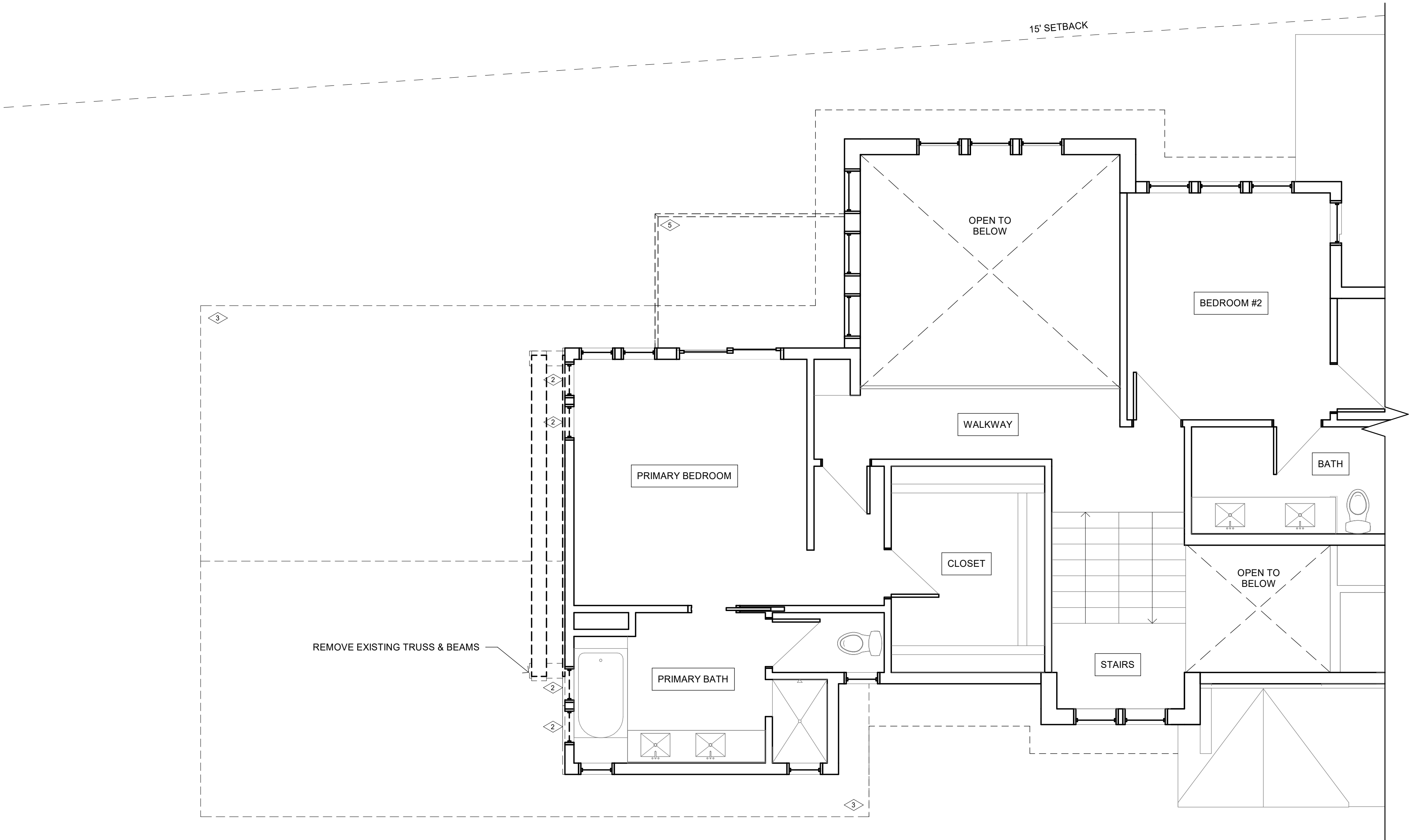
des dev	21 feb 2025
planning	27 mar 2023
revised	12 may 2025

EXISTING/DEMO MAIN
FLOOR PLAN

draft

A211

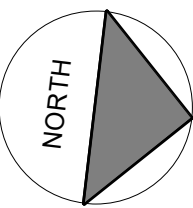
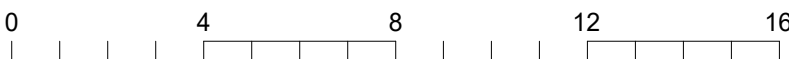
5/12/2025 11:31:13 AM I:\ataisarchitects.com\shares\users\ashley\Documents\2445 raphael res a&a R25_ashley\Q8\F3.rvt



1
A212

EXISTING/DEMO UPPER FLOOR

SCALE: 1/4" = 1'-0"



DECONSTRUCTION NOTES

- 1) THE GOAL OF DECONSTRUCTION IS TO LESSEN THE WASTE STREAM ENTERING THE LANDFILL, COMPARED TO THE PREVIOUS METHODS OF BUILDING DEMOLITION. THE PROJECT TEAM IS EXPECTED TO WORK TOWARDS THIS GOAL IN CREATIVE WAYS. SINCE DECONSTRUCTION CONCEPTS ARE NEW TO THE LOCAL BUILDING INDUSTRY, SOME FLEXIBILITY IS ALLOWED AND EXPECTED.
- 2) PLANS AND OTHER INFORMATION SHOWN ON THIS SHEET ARE CONCEPTUAL IN NATURE, MEANT TO CONVEY THE SCOPE OF WORK. ALL DETAILS SHALL BE VERIFIED IN FIELD BY CONTRACTOR AT THE OUTSET OF THE WORK.
- 3) THE CONTRACTOR AND SUBCONTRACTOR SHALL USE CARE DURING DECONSTRUCTION TO SALVAGE MATERIALS FOR REUSE WHERE POSSIBLE.
- 4) THE CONTRACTOR AND SUBCONTRACTORS SHALL USE CARE DURING DECONSTRUCTION TO MAINTAIN AND PROTECT EXISTING SITE FEATURES DESIGNATED TO REMAIN, SUCH AS TREES AND LANDSCAPING.
- 5) EXISTING BUILDING HAS ELECTRICAL WATER, AND SEWER SERVICE. CONTRACTOR SHALL COORDINATE WITH OWNER TO CONTINUE OR SHUT OFF THESE SERVICES DURING DECONSTRUCTION AND CONSTRUCTION. AT CONTRACTOR OPTION. UTILITIES SHALL BE PAID FOR AND COORDINATED BY THE OWNER.
- 6) CONNECTION OR TAP FEES HAVE BEEN PAID FOR THE EXISTING BUILDING FOR ELECTRICAL, WATER, AND SEWER SERVICE. CONTRACTOR SHALL COORDINATE THESE EXISTING AGREEMENTS WITH APPLICABLE UTILITY COMPANIES TO KEEP ADDITIONAL FEES REQUIRED DURING PERMITTING AS LOW AS POSSIBLE FOR THE OWNER.
- 7) EXISTING BUILDING SHALL BE CHECKED FOR PRESENCE OF ASBESTOS CONTAINING MATERIALS BY THE OWNER, AND, IF FOUND TO BE PRESENT, SHALL BE REMEDIATED BY THE OWNER PER APPLICABLE STATE OF COLORADO REGULATIONS (www.cdhpe.state.co.us/ap/asbeshom.asp). THIS WORK SHALL BE CONSIDERED OUTSIDE THE SCOPE OF THE GENERAL CONTRACTOR.

DECONSTRUCTION KEY NOTES

- 1 REMOVE WALL
- 2 REMOVE WINDOW
- 3 REMOVE ROOF
- 4 REMOVE DOOR
- 5 REMOVE DECK
- 6 REMOVE KITCHEN FIXTURES AND FINISHES

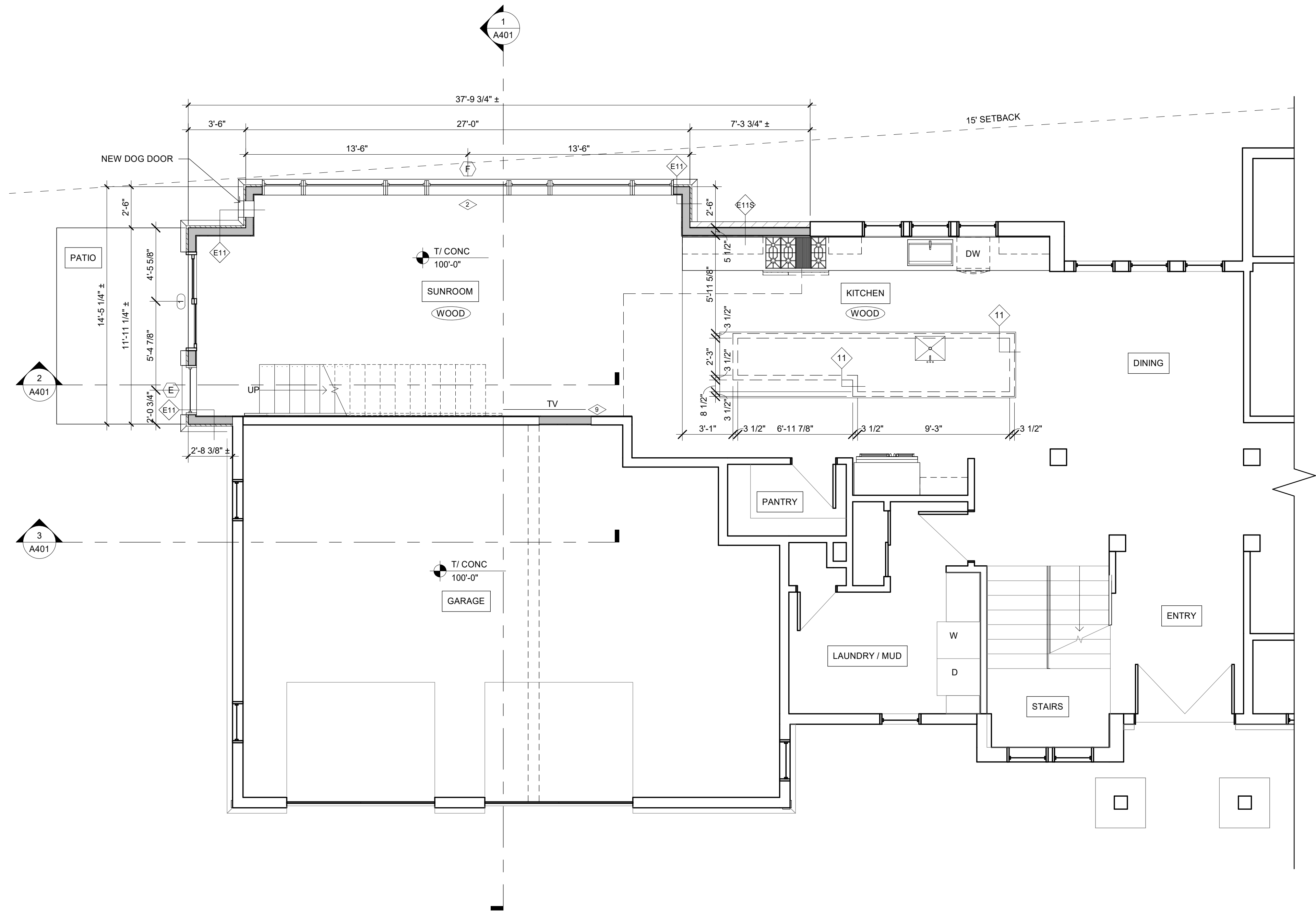
PLAN LEGEND

- EXISTING WALL TO REMAIN
- WALL TO BE REMOVED (SHOWN DASHED)
- NEW WALL (SHOWN SHADED)
- EXISTING DOOR
- DOOR TO BE REMOVED (SHOWN DASHED)
- NEW DOOR

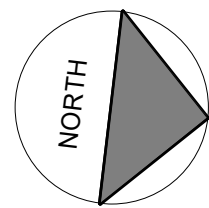
ISSUE:

des dev	21 feb 2025
planning	27 mar 2023
revised	12 may 2025

5/12/2025 11:31:13 AM \\atais\architects.com\shares\users\ashley\Documents\2445 raphael res a&a R25_ashley\Q8\F3.rvt



1
A221
PROPOSED MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
0 4 8 12 16



FLOOR PLAN KEY NOTES

- 1 CENTER DOOR IN WALL
- 2 CENTER WINDOW IN INSIDE FACE OF WALL
- 3 CANTILEVER ABOVE
- 4 FLOORING MATERIAL TRANSITION
- 5 TYP ROD & SHELF - SEE INTERIOR FINISH NOTES
- 6 PROVIDE WATER CONN FOR ICE MAKER: VERIFY SIZING & CONN REQMTS W/ FINAL APPLIANCE SELECTION
- 7 RECESSED WASHER BOX
- 8 ENTERTAINMENT CENTER CABINET (PER OWNER), PROVIDE ELEC, CATV & PHONE CONNECTIONS @ WALL
- 9 TELEVISION (FBO) - PROVIDE ELEC & CATV CONN AT WALL
- 10 STORAGE CABINET / CLOSET BUILT-INS PER OWNER
- 11 PROVIDE BLOCKING FOR WALL ACCESSORIES - SEE INTERIOR FINISH NOTES

PLAN LEGEND

- EXISTING WALL TO REMAIN
- WALL TO BE REMOVED (SHOWN DASHED)
- NEW WALL (SHOWN SHADED)
- EXISTING DOOR
- DOOR TO BE REMOVED (SHOWN DASHED)
- NEW DOOR

raphael residence
additions & alterations

lots 6 thru 8 . block 44
frisco . colorado

PROJECT # 2445

© COPYRIGHT
AS AN UNPUBLISHED WORK, ANY REPRODUCTION
OR REUSE WITHOUT WRITTEN CONSENT IS
PROHIBITED.

ISSUE:

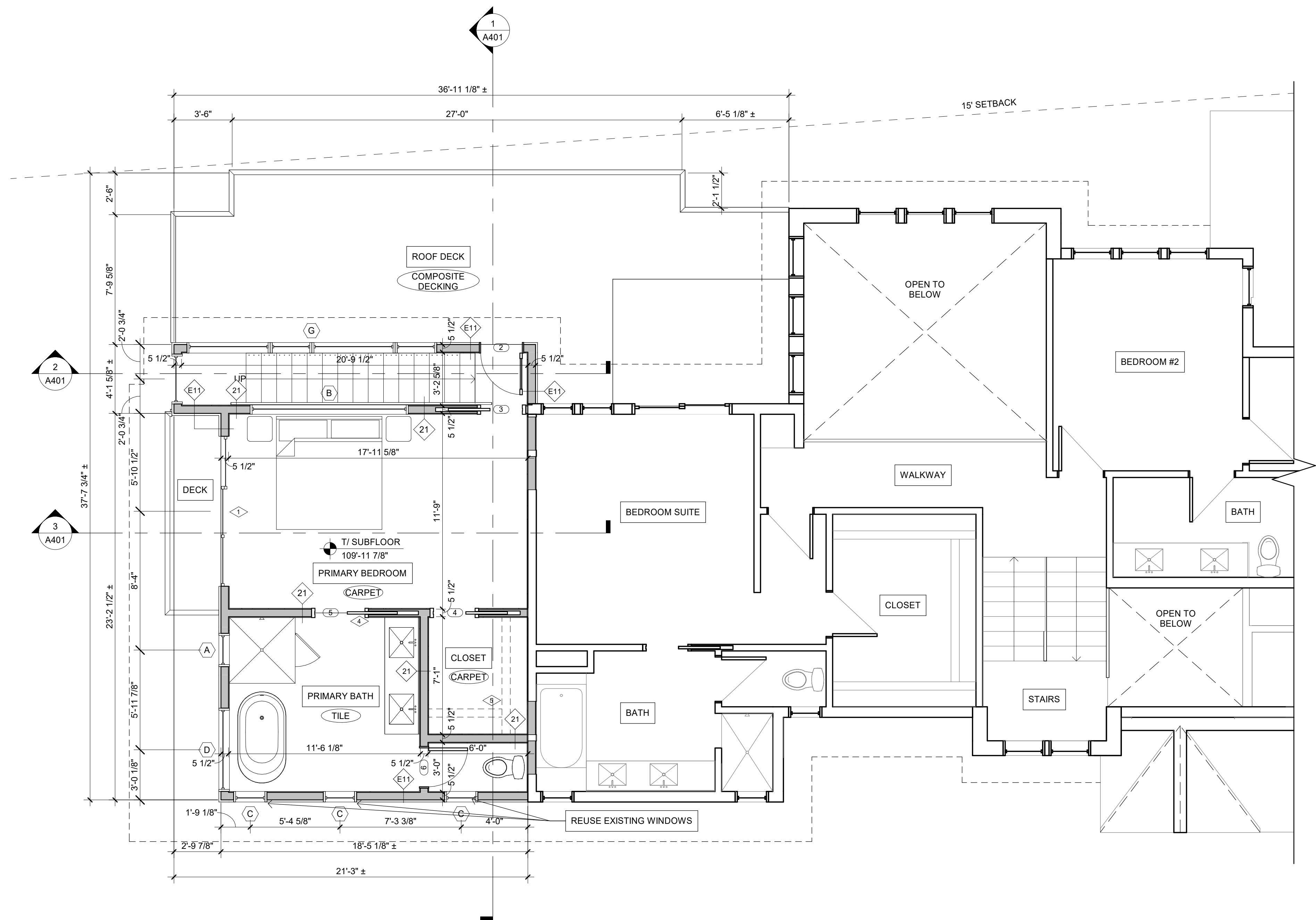
des dev	21 feb 2025
planning	27 mar 2023
revised	12 may 2025

PROPOSED MAIN
FLOOR PLAN

draft

A221

5/12/2025 11:31:14 AM \\ataisarchitects.com\shares\users\ashley\Documents\2445 raphael res a&a R25_ashley\Q8\F3.rvt

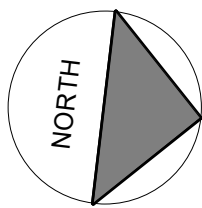


1
A222

PROPOSED UPPER FLOOR

SCALE: 1/4" = 1'-0"

0 4 8 12 16



FLOOR PLAN KEY NOTES

- 1 CENTER DOOR IN WALL
- 2 CENTER WINDOW IN INSIDE FACE OF WALL
- 3 CANTILEVER ABOVE
- 4 FLOORING MATERIAL TRANSITION
- 5 TYP ROD & SHELF - SEE INTERIOR FINISH NOTES
- 6 PROVIDE WATER CONN FOR ICE MAKER: VERIFY SIZING & CONN REQMTS W/ FINAL APPLIANCE SELECTION
- 7 RECESSED WASHER BOX
- 8 ENTERTAINMENT CENTER CABINET (PER OWNER), PROVIDE ELEC, CATV & PHONE CONNECTIONS @ WALL
- 9 TELEVISION (FBO) - PROVIDE ELEC & CATV CONN AT WALL
- 10 STORAGE CABINET / CLOSET BUILT-INS PER OWNER
- 11 PROVIDE BLOCKING FOR WALL ACCESSORIES - SEE INTERIOR FINISH NOTES

PLAN LEGEND

- EXISTING WALL TO REMAIN
- WALL TO BE REMOVED (SHOWN DASHED)
- NEW WALL (SHOWN SHADED)
- EXISTING DOOR
- DOOR TO BE REMOVED (SHOWN DASHED)
- NEW DOOR

ISSUE:

des dev	21 feb 2025
planning	27 mar 2023
revised	12 may 2025

© COPYRIGHT
AS AN UNPUBLISHED WORK, ANY REPRODUCTION
OR REUSE WITHOUT WRITTEN CONSENT IS
PROHIBITED.

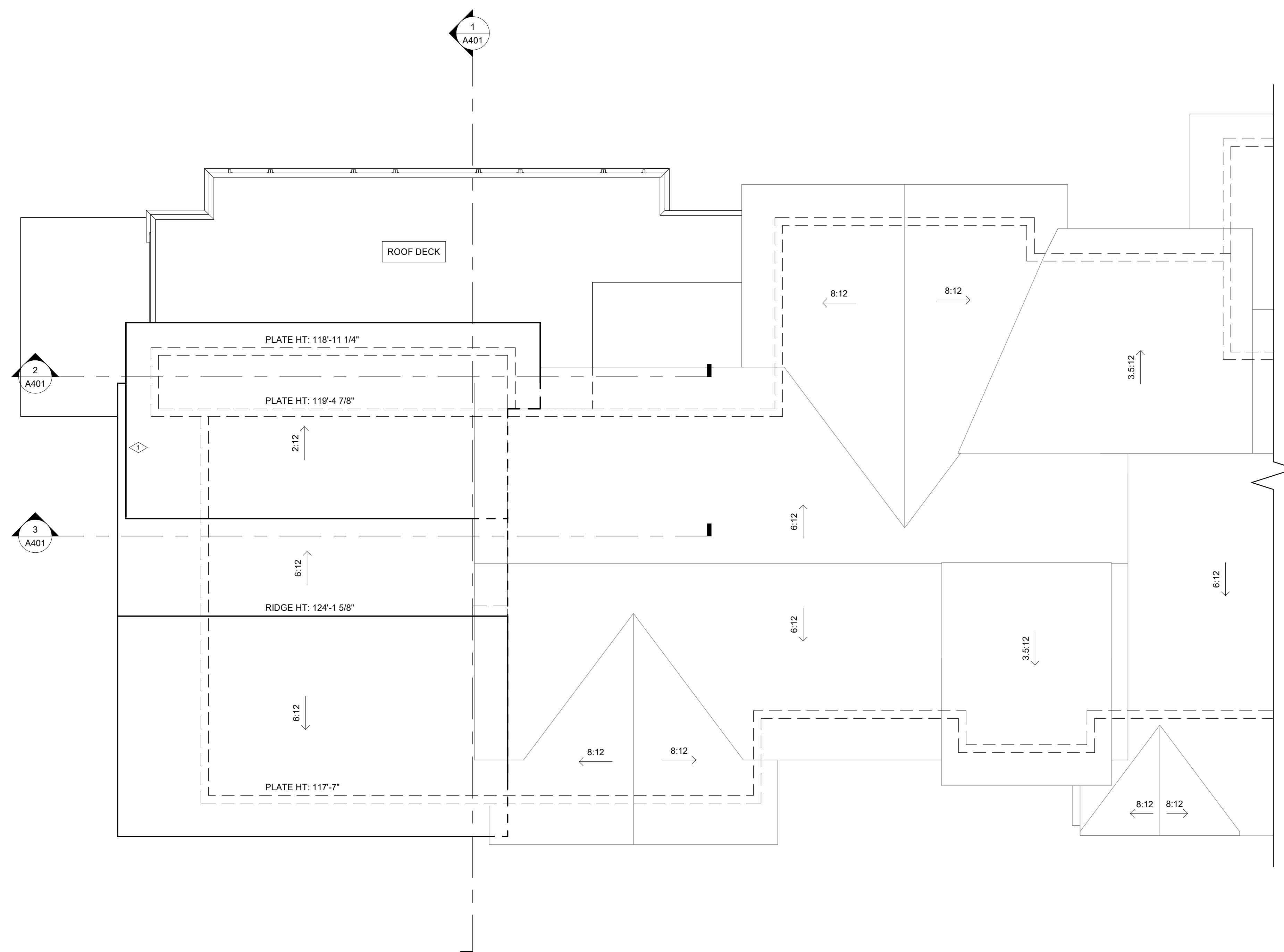
ISSUE:

[illegible]

PROPOSED ROOF PLAN

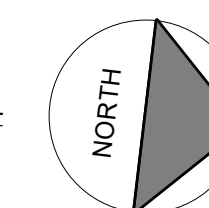
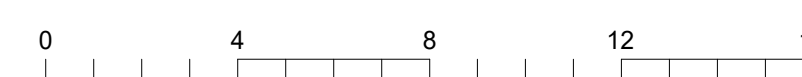
draft

A223



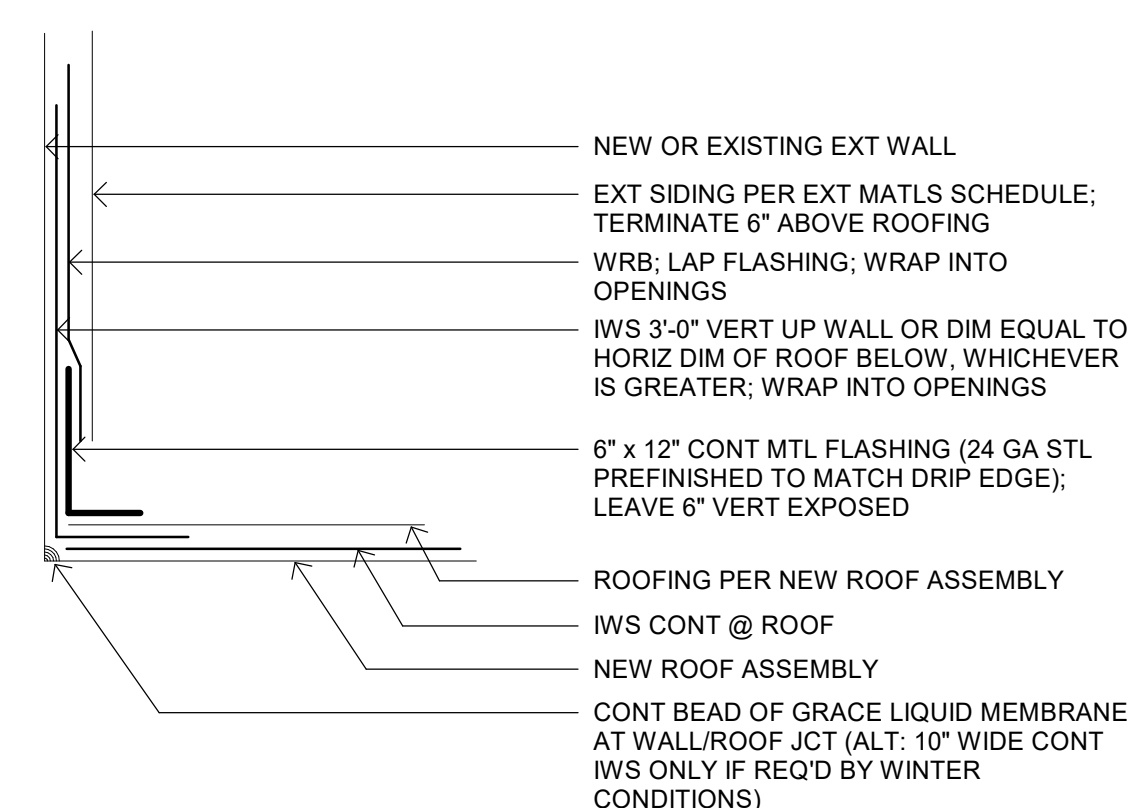
1 PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



ROOF PLAN KEY NOTES

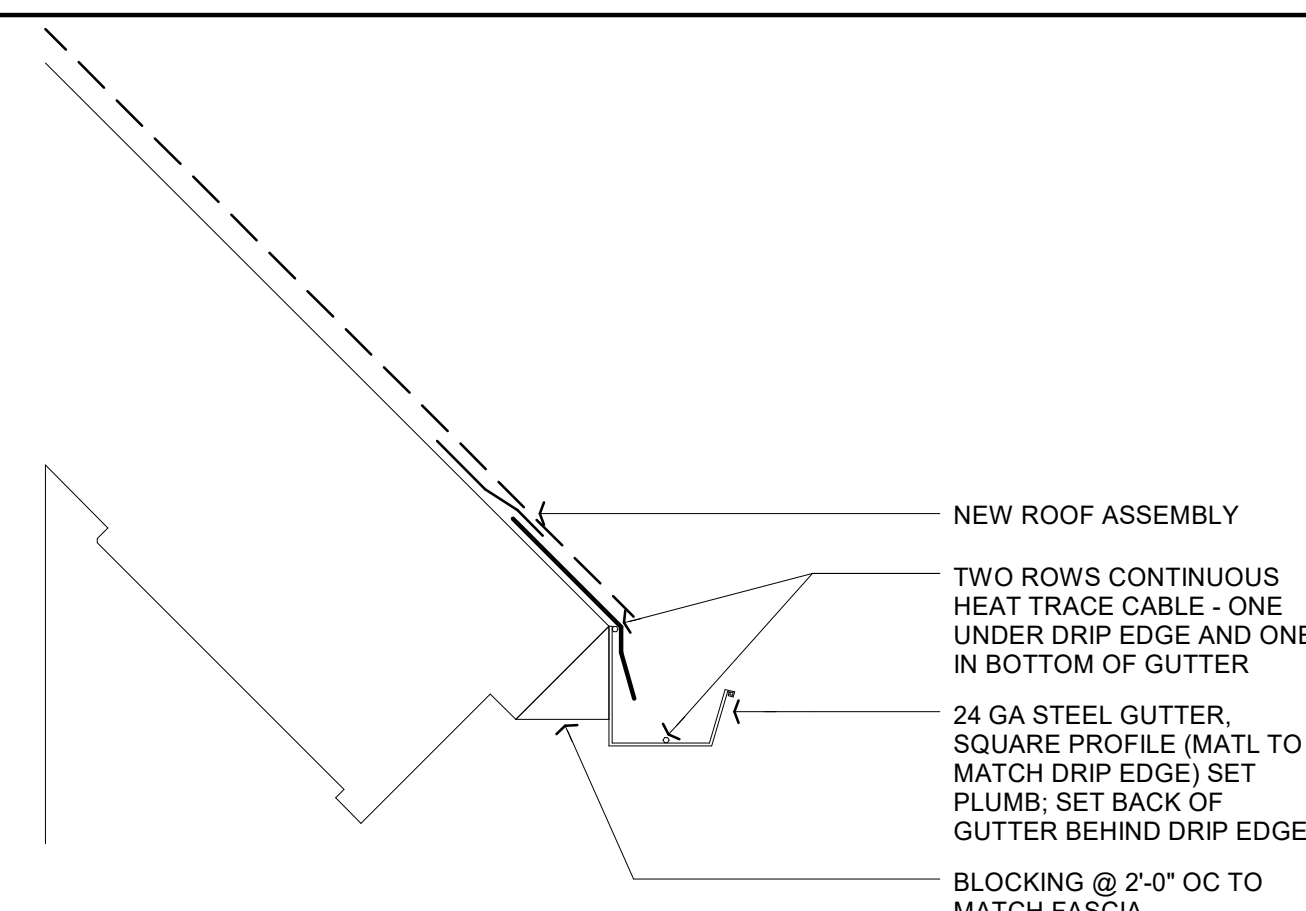
- ① TYPICAL SIDEWALL FLASHING (NOTED ON DWGS AS 'SWF'); ICE & WATER SHIELD 3'-0" VERT UP WALL OR DIM EQUAL TO HORIZ DIM OF ROOF BELOW, WHICHEVER IS GREATER; WRAP INTO OPENINGS; MTL FLASHING EXPOSED 6" UP WALL; TYPICAL AT ALL SIDEWALL CONDITIONS UNLESS OTHERWISE NOTED ON EXTERIOR ELEVATIONS.
- ② TYPICAL VALLEY FLASHING: RE: 2/A204
- ③ REFER TO STRUCTURAL FOR OVERFRAME AREAS.
- ④ PROVIDE CONVENIENCE WP DUPLEX RECEPTACLE AT SOFFIT.
- ⑤ PROVIDE ELECTRICAL PROVISION FOR HEAT TAPE.
- ⑥ PROVIDE ELECTRICAL PROVISION, HEATED GUTTER & DOWNSPOUT TO GRADE FROM THIS EAVE LOCATION - RE: 3/A204.
- ⑦ PROVIDE CRACKER @ CHIMNEY.
- ⑧ TYPICAL EXTERIOR WALL AT GABLE END WALL, OVERFRAME AREA, OR CLOSURE WALL BETWEEN ROOF PITCHES.
- ⑨ CHIMNEY CAP - SLOPE 1/4" PER FT SOUTHWARDS, UNLESS OTHERWISE NOTED ON PLANS OR DETAILS.
- ⑩ REFER TO FLOOR PLAN SHEETS FOR LOWER ROOFS.



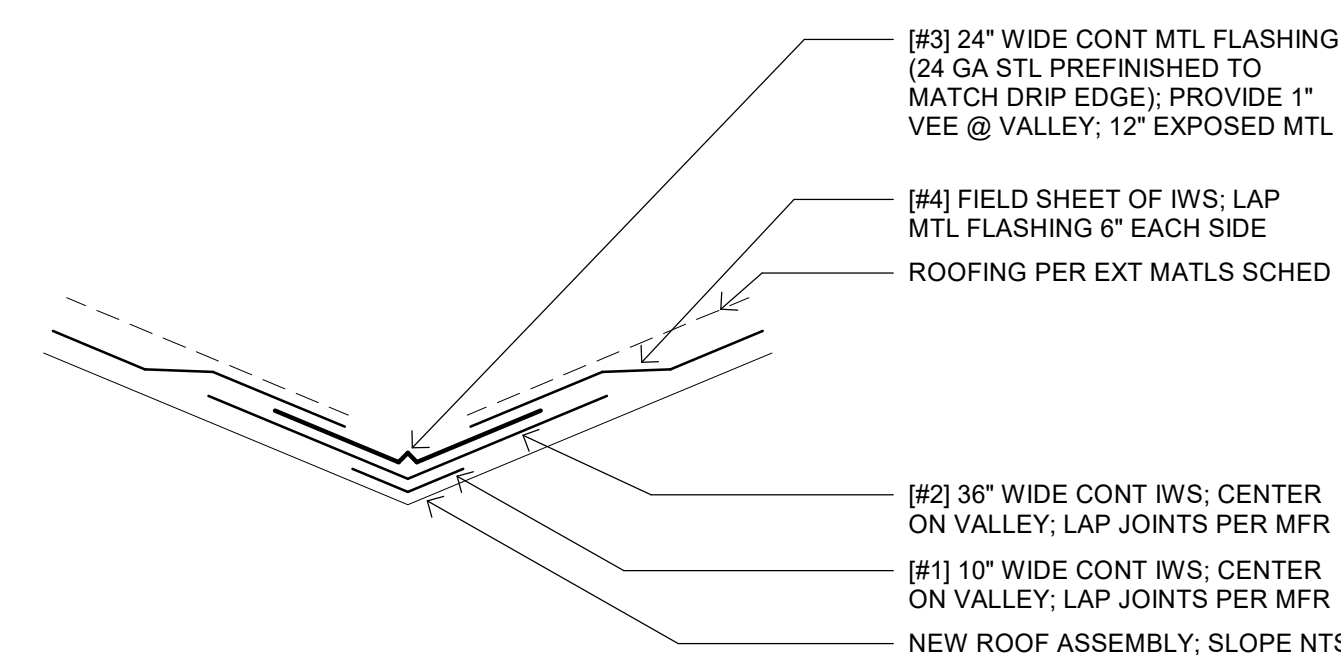
4
A223

TYPICAL SIDEWALL FLASHING DTL

SCALE: 3/4" = 1'-0"

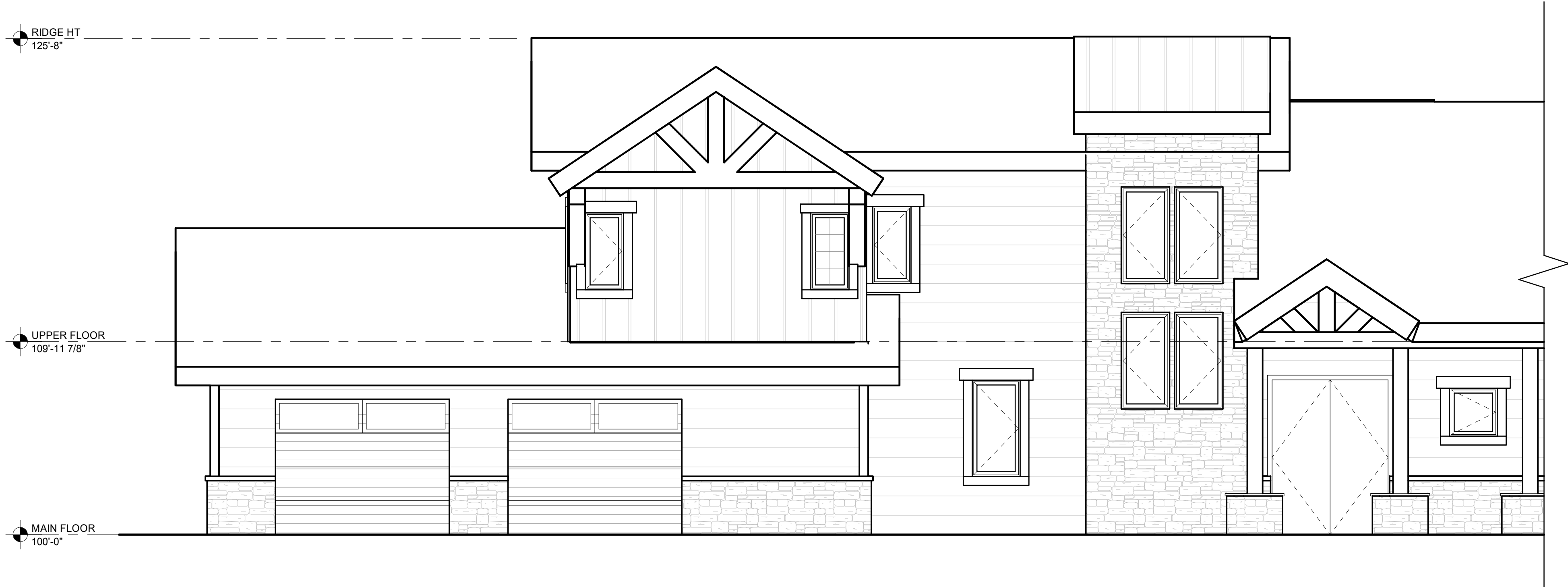


3 HEATED GUTTER DETAIL



NOTE: "IWS" = GRACE ICE & WATER SHIELD. INSTALL PER MFR INSTRUCTIONS AND PROJECT MANUAL.

2
A223 '4-STEP' VALLEY FLASHING DETAIL
SCALE: 3/4" = 1'-0"



1
A301
EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



2
A301
EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

**raphael residence
additions & alterations**

lots 6 thru 8 . block 44
frisco . colorado

PROJECT # 2445

© COPYRIGHT
AS AN UNPUBLISHED WORK, ANY REPRODUCTION
OR REUSE WITHOUT WRITTEN CONSENT IS
PROHIBITED.

ISSUE:

des dev	21 feb 2025
planning	27 mar 2023
revised	12 may 2025

EXISTING EXTERIOR
ELEVATIONS

draft

A301

5/12/2025 11:31:14 AM I:\staisarchitects.com\shares\users\ashley\Documents\2445 raphael res a&a R25_ashley\Q8YF3.rvt



1
A302

EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"

raphael residence
additions & alterations

lots 6 thru 8 , block 44
frisco , colorado

PROJECT # 2445

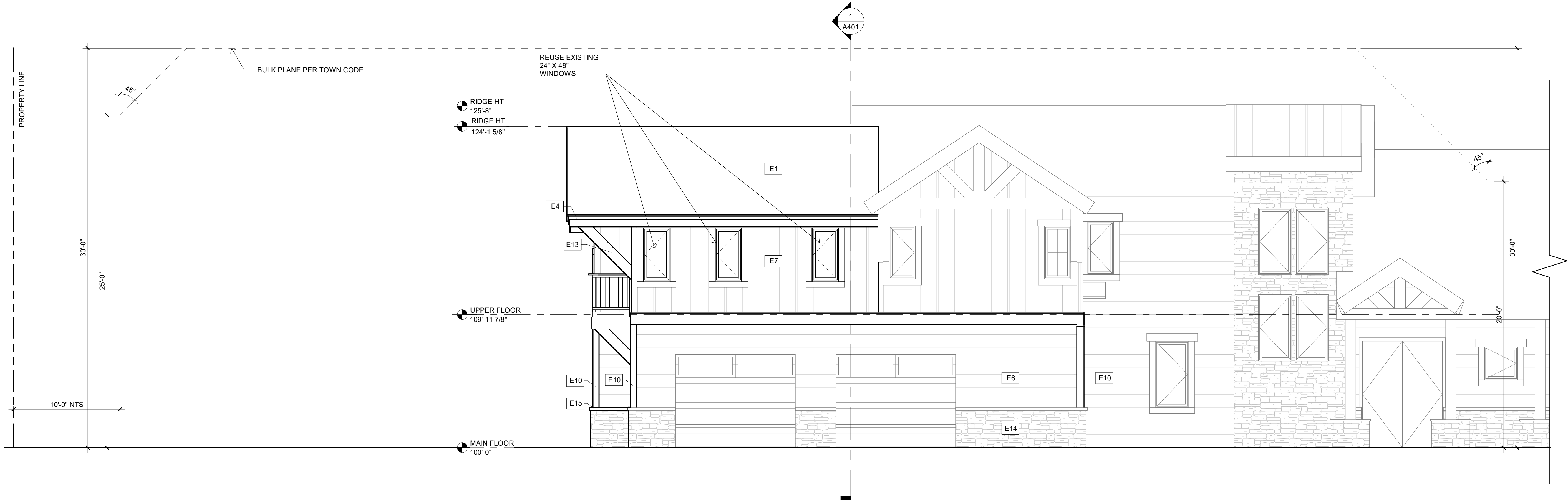
© COPYRIGHT
AS AN UNPUBLISHED WORK, ANY REPRODUCTION
OR REUSE WITHOUT WRITTEN CONSENT IS
PROHIBITED.

ISSUE:	
des dev	21 feb 2025
planning	27 mar 2023
revised	12 may 2025

EXISTING EXTERIOR
ELEVATIONS

draft

A302



1
A303
PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

raphael residence
additions & alterations

lots 6 thru 8 , block 44
frisco , colorado

PROJECT # 2445

© COPYRIGHT
AS AN UNPUBLISHED WORK, ANY REPRODUCTION
OR REUSE WITHOUT WRITTEN CONSENT IS
PROHIBITED.

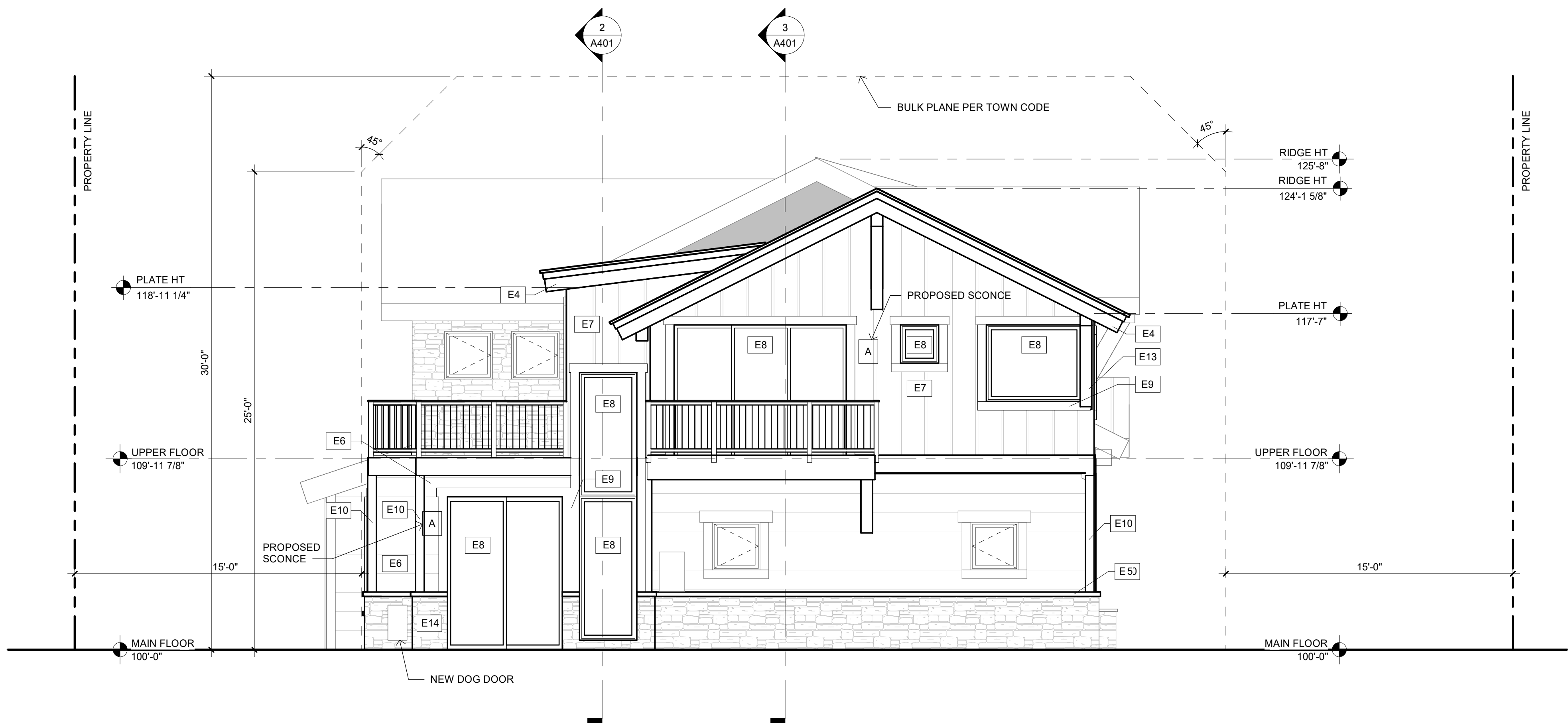
ISSUE:

des dev	21 feb 2025
planning	27 mar 2023
revised	12 may 2025

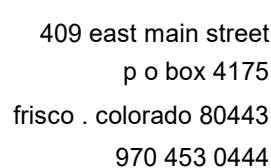
PROPOSED EXTERIOR
ELEVATIONS

draft

A303



2
A303
PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



lots 6 thru 8 . block 44
frisco . colorado

PROJECT # 2445

© COPYRIGHT
AS AN UNPUBLISHED WORK, ANY REPRODUCTION
OR REUSE WITHOUT WRITTEN CONSENT IS
PROHIBITED.

ISSUE:

[illegible]

PROPOSED EXTERIOR ELEVATIONS

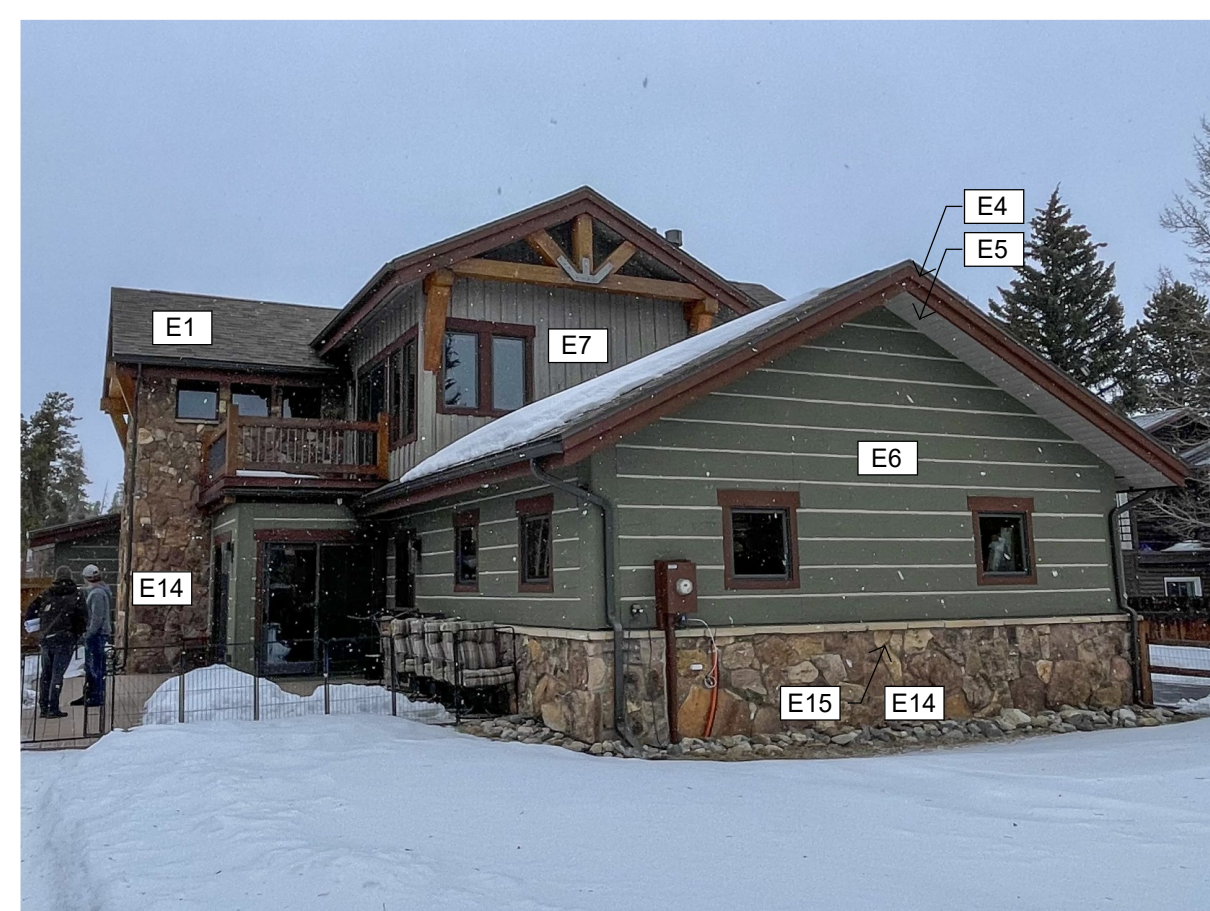
A304



EXTERIOR MATERIALS SCHEDULE			
TAG	ITEM	MATERIAL	COLOR
E1	PRIMARY ROOF:	ASPHALT SHINGLES	MATCH EXISTING (BROWN)
E2	SECONDARY ROOF:	METAL STANDING SEAM	MATCH EXISTING (BROWN MATTE)
E3	DRIP EDGE:	ALUMINUM (PREFINISHED)	MATCH EXISTING
E4	FASCIA:	2x CEDAR MATCH EXISTING	MATCH EXISTING
E5	SOFFIT:	1x6 T&G ROUGH SAWN CEDAR (RUN PARALLEL TO EAVE)	MATCH EXISTING
E6	PRIMARY SIDING:	HORIZONTAL PLANK W/ CHINKING (MATCH EXISTING)	MATCH EXISTING
E7	SECONDARY SIDING:	VERT BOARD & BATTEN (MATCH EXISTING)	MATCH EXISTING
E8	DOORS/WINDOWS:	ALUMINUM CLAD WOOD	MATCH EXISTING (GREEN)
E9	DOOR/WINDOW TRIM:	MATCH EXISTING PROFILE	MATCH FASCIA
E10	OUTSIDE CORNER TRIM:	MATCH EXISTING PROFILE	MATCH ADJACENT SIDING
E11	FRIEZE BOARD:	MATCH EXISTING @ PRIMARY SIDING ONLY)	MATCH FASCIA
E12	DECKS:	TBD	MATCH EXISTING
E13	EXPOSED BEAMS & POSTS	DOUGLAS FIR OR GLULAM	MATCH EXISTING
E14	STONE VENEER:	MATCH EXISTING	MATCH EXISTING
E15	CAP @ STONE WAINSCOT:	MATCH EXISTING	MATCH EXISTING

NOTES:

- 1) IN THE CASE OF ANY DISCREPANCIES BETWEEN THIS SCHEDULE AND OTHER CONTRACT DOCUMENTS, THE INFORMATION ON THIS SCHEDULE SHALL TAKE PRECEDENCE.
- 2) PROVIDE 2x2 FT. EMBEDDED NAILERS @ ALL CONCRETE WALLS WITH OVER 12" CONCRETE ABOVE PROPOSED GRADE.
- 3) EXISTING VENTS, FLUES, ROOFTOP MECHANICAL EQUIPMENT, UTILITY BOOMS, AND SIMILAR ITEMS SHALL BE PAINTED (MATTING) TO MATCH ADJACENT PORTION OF BUILDING UNLESS OTHERWISE NOTED.
- 4) TYPICAL SIDEWALL FLASHING: ICE & WATER SHEET 2'-6" VERT UP WALL; WRAP INTO OPENINGS; MTL FLASHING EXPOSED 6" UP WALL; TYPICAL AT ALL SIDEWALL CONDITIONS.
- 5) EXISTING ROOF FLASHING: REMOVE FLASHING TO RECEIVE 2" ICE & WATER SHEET, PLUS PRIMER COAT.
- 6) SIDING MATERIAL CHANGES TO OCCUR AT INTERIOR CORNERS.



SHELTER

1326HE

EXTRA SMALL WALL MOUNT LANTERN

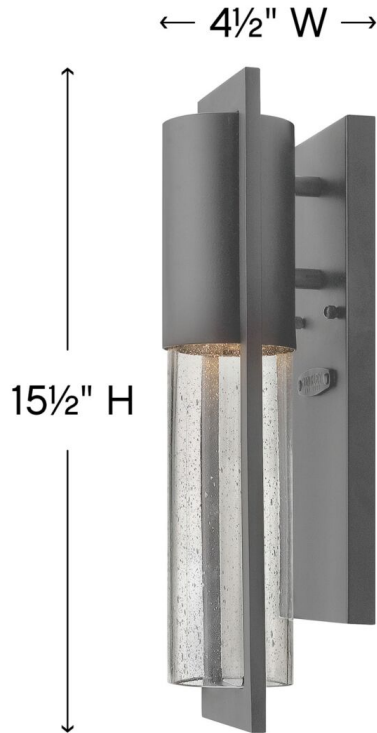
Shelter's minimalist style in aluminum creates a chic, dramatic statement as the light from above grazes through its clear seedy glass. Shelter comes standard Dark Sky compliant.

DETAILS	
FINISH:	Hematite
MATERIAL:	Aluminum
GLASS:	Clear Seedy
DIMMABLE:	Yes

DIMENSIONS	
WIDTH:	4.5"
HEIGHT:	15.5"
WEIGHT:	3lb
BACK PLATE:	4.5"W X 12"H
EXTENSION:	4.8"
TOP TO OUTLET:	5.75"

LIGHT SOURCE	
LIGHT SOURCE:	Socketed
WATTAGE:	1-7w GU10 LED, 50w Equiv.
VOLTAGE:	120v

SHIPPING	
CARTON LENGTH:	18.5
CARTON WIDTH:	9.9
CARTON HEIGHT:	7.3
CARTON WEIGHT:	4



PRODUCT DETAILS:

- Suitable for use in wet (outdoor direct rain) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- 2-year finish warranty
- Bold lines and a clean, minimalist style complement contemporary architecture
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky

HINKLEY

HINKLEY
33000 Pin Oak Parkway
Avon Lake, OH 44012

PHONE: (440) 653-5500
Toll Free: 1 (800) 446-5539

hinkley.com