GENERAL NOTES

-) THIS PROJECT IS GOVERNED BY THE INTERNATIONAL RESIDENTIAL CODE, ASSOCIATED CODES, AND LOCAL CODE AMENDMENTS, AS ADOPTED BY THIS MUNICIPALITY. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO APPLICABLE CODES, REGULATIONS, AND RESTRICTIONS. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS, LICENSES, INSPECTIONS AND APPROVALS.
- 2) ALL ITEMS AND WORK SHOWN IN THESE CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR OR HIS OR HER SUBCONTRACTORS UNLESS NOTED AS "EXISTING", "BY OWNER", OR "NOT IN CONTRACT" (N.I.C.)
- 3) IT IS THE INTENT AND MEANING OF THESE DOCUMENTS THAT THE GENERAL CONTRACTOR AND HIS OR HER SUBCONTRACTORS SHALL PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT, AND THE LIKE TO PROVIDE A COMPLETE AND WORKMANLIKE JOB PER THE USUAL AND CUSTOMARY STANDARDS OF THE INDUSTRY, AND SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL MANUFACTURERS' INSTALLATION REQUIREMENTS, INSTRUCTIONS AND
- 4) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL WORK AND SCHEDULE, PER STANDARD PRACTICES. COORDINATION OF ALL REQUIRED BLOCK-OUTS, SEQUENCING, AND THE LIKE AMONG GENERAL AND SUBCONTRACTOR TRADES SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.
- 5) THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE JOBSITE SAFETY OF ALL PERSONNEL, WORK, MATERIALS, UTILITIES, AND ADJACENT PROPERTIES, IN ACCORDANCE WITH ACCEPTED CODES, REGULATIONS AND INDUSTRY PRACTICES. THESE DOCUMENTS DO NOT INCLUDE PROVISIONS FOR THIS, AND SHALL NOT RELIEVE THE GENERAL CONTRACTOR FROM HIS OR HER RESPONSIBILITIES.
- 6) THESE DESIGN DOCUMENTS HAVE BEEN ISSUED WITH AN EXPECTATION OF CONTINUING COMMUNICATION AND COOPERATION AMONG THE OWNER, ARCHITECT, AND CONTRACTOR. BUILDING DESIGN AND CONSTRUCTION ARE COMPLEX; ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS OFTEN IMPERFECT, AND EVERY CONTINGENCY CAN NOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY REQUIRING CLARIFICATION SHALL BE REPORTED PROMPTLY TO THE ARCHITECT; FAILURE TO DO SO MAY COMPOUND MISUNDERSTANDING AND AFFECT PROJECT BUDGET, SCHEDULE AND QUALITY. SUCH A FAILURE TO COMMUNICATE SHALL RELIEVE THE ARCHITECT AND CONSULTANTS OF RESPONSIBILITY FOR CONSEQUENCES WHICH MAY ARESE
- 7) THESE CONTRACT DOCUMENTS HAVE BEEN PREPARED USING AUTODESK REVIT 'BUILDING INFORMATION MODELING' APPLICATION AND ARE BASED ON AN ASSOCIATIVE 3D MODEL OF THE PROJECT. IN THE CASE OF QUESTIONS REGARDING SPECIFIC 2D VIEWS OF 3D PROJECT MODEL, CONTACT ARCHITECT FOR CLARIFICATION. SAI MAY HAVE THE ABILITY TO GENERATE SUPPLEMENTAL VIEWS OR DRAWINGS TO HELP THE CONTRACTORS BETTER UNDERSTAND THE DESIGN INTENT.
- 8) SUSTAINABLE DESIGN CONCEPTS ARE CENTRAL TO THE SUCCESSFUL DESIGN, CONSTRUCTION AND OPERATION OF THIS PROJECT, AND THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE EXPECTED TO UNDERSTAND AND IMPLEMENT THESE CONCEPTS TO THE FULLEST EXTENT POSSIBLE. REFER TO CONSTRUCTION ASSEMBLY TYPES, NOTES AND DETAILS. CONTACT ARCHITECT WITH CONSTRUCTIVE INPUT OR IF MORE INFORMATION IS NEEDED TO UNDERSTAND AND IMPLEMENT THESE CONCEPTS MORE FULLY.
- 9) FOR EACH RFI OR PHONE CALL TO THE OFFICE OF THE ARCHITECT OR CONSULTANTS AFTER 4:00 P.M. ON FRIDAYS (OR THE DAY PRIOR TO A HOLIDAY), THE GENERAL CONTRACTOR SHALL BE HELD LIABLE FOR A SIX PACK OF GOOD, COLD BEER, PAYABLE DIRECTLY TO THE OFFICE OF THE ARCHITECT OR CONSULTANT, THAT SAME DAY, IN PERSON.
- 10) ENERGY EFFICIENCY: GENERAL CONTRACTOR SHALL PROVIDE ALTERNATE PRICES FOR OWNER REVIEW FOR THE FOLLOWING ITEMS: (A) SPRAYED ON FOAM INSULATION (B) ENERGY EFFICIENT GLAZING (C) ENERGY RECOVERY VENTILATION SYSTEM FOR ENTIRE HOUSE (NOT INCLUDING GARAGE).
- 11) RESOURCE EFFICIENCY: GENERAL CONTRACTOR SHALL INCORPORATE THE FOLLOWING EFFICIENT BUILDING PRACTICES INTO THE SCOPE OF THE WORK: (A) ON-SITE RECYCLING PROGRAM FOR CONSTRUCTION WASTE (B) LOW WATER USAGE APPLIANCES & EQUIPMENT (C) ADVANCED FRAMING TECHNIQUES (PER US DEPT OF ENERGY, www.energy.gov) (D) ALL APPLIANCES TO BE "ENERGY STAR" RATED (E) ALL LUMBER PRODUCTS SHALL BE SUSTAINABLY HARVESTED.
- 12) THE OWNER HAS BEEN ADVISED THAT ROOF AND DECK SURFACES MUST BE PERIODICALLY CLEARED OF SNOW AND ICE BUILDUP IN ORDER TO ENSURE MINIMAL PROBLEMS DURING HEAVY SNOW WINTERS.
- 13) SUBSTITUTION OF "OR EQUAL" PRODUCTS WILL BE ACCEPTABLE ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR ARCHITECT. IF THE CONTRACTOR DESIRES ANY CHANGES WHICH MAY SIGNIFICANTLY IMPACT THE PROJECT BUDGET OR SCHEDULE, HE SHALL SUBMIT A WRITTEN CHANGE ORDER REQUEST PRIOR TO COMMENCEMENT OF SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER SHALL INDICATE THE CONTRACTOR'S ACKNOWLEDGEMENT OF NO INCREASE IN CONTRACT SUM OR COMPLETION DATE DUE TO SAID CHANGE. CHANGES FROM THE CONTRACT DOCUMENTS MADE WITHOUT THE ARCHITECT'S APPROVAL ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF ALL RESPONSIBILITY FOR CONSEQUENCES ARISING FROM SUCH CHANGES.
- 14) DOCUMENTATION OF EXISTING CONDITIONS IS BASED ON INFORMATION SUPPLIED BY THE OWNER. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS (INCLUDING, BUT NOT LIMITED TO, PROPERTY BOUNDARIES, BUILDING SETBACKS, PROJECT BENCHMARK, AND SITE SLOPES), AND UTILITY LOCATIONS ON SITE PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT FOR INTERPRETATION OR CLARIFICATION OF ANY CONFLICTS OR DISCREPANCIES PER NOTE #6
- 15) CONTACT ARCHITECT FOR COPY OF SOILS REPORT. UPON COMPLETION OF EXCAVATION, THE OWNER SHALL RETAIN A SOILS ENGINEER TO INSPECT THE SUBSURFACE CONDITIONS IN ORDER TO DETERMINE THE ADEQUACY OF THE FOUNDATION DESIGN. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM THE SOILS ENGINEER.
- 16) WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. PLAN DIMENSIONS ARE TAKEN FROM FACE OF WOOD FRAMING, FACE OF CONCRETE WALLS, AND CENTERLINE OF STEEL FRAMING MEMBERS UNLESS OTHERWISE NOTED. SECTION AND ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD SUBFLOOR, TOP OF WALL PLATES, AND TOP OF BEAMS UNLESS OTHERWISE NOTED. DOOR OPENINGS TO BE 4" FROM ADJACENT WALL @ WOOD FRAMING; 8" FROM ADJACENT WALL @ CONCRETE; OR CENTERED IN WALL AS INDICATED ON FLOOR PLANS.
- 17) MAJOR SITE DESIGN DIMENSIONS ARE NOTED IN THE DOCUMENTS. LAYOUT OF HARDSCAPE & LANDSCAPE AND THE LIKE SHALL BE STAKED IN THE FIELD BASED ON SITE PLAN INFORMATION. ARCHITECT AND/OR CONSULTANTS SHALL REVIEW AND APPROVE ALL LAYOUTS IN THE FIELD PRIOR TO COMMENCEMENT OF SAID WORK.
- WHEN NECESSARY TO BORE STRUCTURAL MEMBERS FOR ELECTRICAL/MECHANICAL RUNS, SUCH HOLES SHALL BE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE REQUIREMENTS, MANUFACTURER'S INSTRUCTIONS, AND STRUCTURAL DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ARCHITECT/ENGINEER'S APPROVAL PRIOR TO ANY CUTTING, NOTCHING OR DRILLING WHICH MAY AFFECT THE INTEGRITY OF THE STRUCTURE.
- 19) MECHANICAL HEAT SYSTEM SHALL CONSIST OF GAS-FIRED HOT WATER IN-FLOOR RADIANT HEAT SYSTEM. SUBCONTRACTOR SHALL PROVIDE PRICING FOR DESIGN/BUILD SYSTEM, TO INCLUDE PIPING LAYOUTS AND BOILER SIZING FOR REVIEW BY GENERAL CONTRACTOR /OWNER/ARCHITECT, INCLUDING DIAGRAMS AND OTHER REQUIREMENTS FOR ALL NECESSARY MUNICIPAL APPROVALS AND PERMITS.
- 20) DOMESTIC PLUMBING AND PIPING SYSTEM SHALL INCLUDE ALL REQUIREMENTS AS NOTED ON THESE DRAWINGS FOR PURCHASE AND INSTALLATION OF A COMPLETE SYSTEM TO MEET CURRENT CODES. SUBCONTRACTOR SHALL PROVIDE PRICING FOR DESIGN/BUILD SYSTEM, INCLUDING DIAGRAMS AND OTHER REQUIREMENTS FOR ALL NECESSARY MUNICIPAL APPROVALS AND PERMITS.
- 21) PROVIDE CHANGE IN CONTRACT SUM TO UPGRADE ALL WASTE PIPING TO CAST IRON (FOR BETTER ACOUSTICS) AT THE
- 22) NOT ALL LIGHT FIXTURES ARE SHOWN ON EXTERIOR ELEVATIONS. REFER TO ELECTRICAL AND ARCHITECTURAL DWGS FOR
- 23) ALL INTERIOR WALLS SHALL EXTEND FROM FLOOR ELEVATION TO UNDERSIDE OF STRUCTURE ABOVE, UNLESS OTHERWISE
- 24) INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, GRAB BARS, EQUIPMENT, AND ACCESSORIES WHEN
- 25) BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ALL OTHER PURPOSES.
- 26) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION & REMOVAL OF ALL NOTED ITEMS PER NOTE #27 BELOW.
- 26) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION & RI27) DEFINITIONS OF WORK AS NOTED ON DRAWINGS:
- A. NEW: INDICATES ITEMS TO BE FURNISHED AND INSTALLED BY THIS CONTRACT. TYPICALLY USED TO ENSURE CLARITY AMONG VARIOUS COMPONENTS OF THE DRAWINGS. NOT ALL ITEMS ARE LABELED AS "NEW" WHEN IT IS OBVIOUS BY OTHER INDICATION. CONSULT ARCHITECT FOR CLARIFICATIONS. NEW WALLS ARE SHOWN AS SHADED ON FLOOR PLANS.

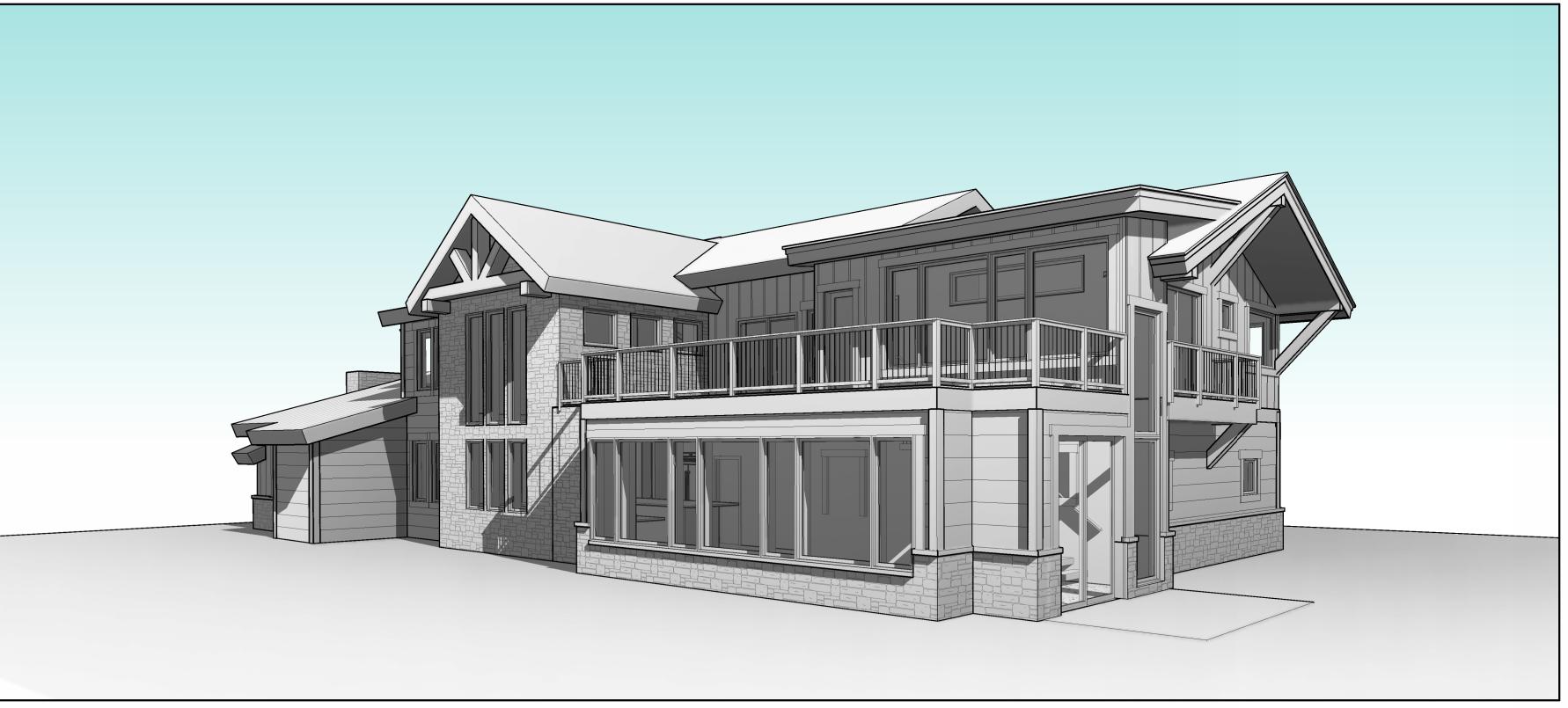
 B. EXISTING: INDICATES COMPONENTS OF EXISTING STRUCTURE. NOT ALL ITEMS ARE CALLED OUT AS SUCH IF IT IS OBVIOUS THAT THEY ARE EXISTING. CONSULT ARCHITECT FOR CLARIFICATION.
- C. PATCH: TO RESTORE TO CONDITION SUITABLE FOR NEW WORK AND NEW FINISHES WITH APPROPRIATE MATERIALS.
 MATCH EXISTING ADJACENT CONSTRUCTION AND FINISHES UNLESS OTHERWISE NOTED.
 D. REPAIR: TO RESTORE TO PROPER OPERATING CONDITION AND APPEARANCE.
 E. RELOCATE: TO CAREFULLY DISMANTLE, STORE, AND LATER REASSEMBLE EXISTING COMPONENTS AT DIRECTED LOCATION
- ITEMS TO BE RELOCATED ARE ASSUMED TO BE OF SUFFICIENT QUALITY TO PERMIT WORTHWHILE RELOCATION. REPORT ANY QUESTIONABLE CONDITIONS TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

 F. REMOVE: DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY AND DISPOSE OF.
- G. REPLACE: TO REMOVE AND REINSTALL A NEW COMPONENT AS INDICATED AND BY METHODS SPECIFIED.
 H. SALVAGE: TO CAREFULLY DISMANTLE IN SUCH A MANNER THAT WILL ALLOW SUBSEQUENT REASSEMBLY BY OWNER AT LATER DATE. STORE COMPONENTS AT OWNER'S DIRECTION.
- THIS SET HAS BEEN ISSUED AT THE REQUEST OF THE OWNER IN ORDER TO EXPEDITE THE COMMENCEMENT OF CONSTRUCTION. CERTAIN PORTIONS OF THESE CONTRACT DOCUMENTS ARE SUBJECT TO FURTHER REVISION PRIOR TO CONSTRUCTION; THEREFORE, ANY PRICING OR CONTRACTUAL AGREEMENTS BASED ON THIS SET MAY ALSO BE SUBJECT TO FURTHER REVISION. ACCEPTANCE AND USE OF THIS SET BY THE OWNER AND CONTRACTOR CONSTITUTES ACCEPTANCE OF THIS REALITY ON THE PART OF BOTH PARTIES.

RAPHAEL RESIDENCE - LOTS 6 THRU 8, BLOCK 44

FRISCO, COLORADO

PLANNING SUBMITTAL



[RENDERING NOT FOR CONSTRUCTION]

PROJECT TEAM

OWNER:	SURVEYOR:	ARCHITECT:	STRUCTURAL ENGINEER:	GENERAL CONTRACTOR:
DAVID V RAPHAEL DECLARATION OF TRUST 1901 WAZEE ST APT 720 DENVER, COLORADO 80202 773.458.4866	RANGE WEST, INC. P.O. BOX 589 SILVERTHORNE, CO 80498 970.468.6281	STAIS ARCHITECTURE & INTERIORS 409 EAST MAIN STREET P.O. BOX 4175 FRISCO, COLORADO 80443 970.453.0444	ENGINEERING DESIGNWORKS 1855 SKI TIME SQUARE UNIT E2C P.O. BOX 775729 STEAMBOAT SPRINGS, COLORADO 80487 970.879.4890	TBD

AREA CALCULATIONS

LOT COVERAGE CALCS:	AREA (ACRES)	% OF SITE
1. EXISTING FOOTPRINT	2,641	25%
2. EXISTING DRIVE AND WALKS	1,563	15%
3. PROPOSED ADDITION	416	4%
4. PROPOSED PATIO	96	1%
5. EXISTING SHED	84	1%
6. LANDSCAPE/OPEN SPACE	5,700	54%
6. TOTAL	10,500	100%

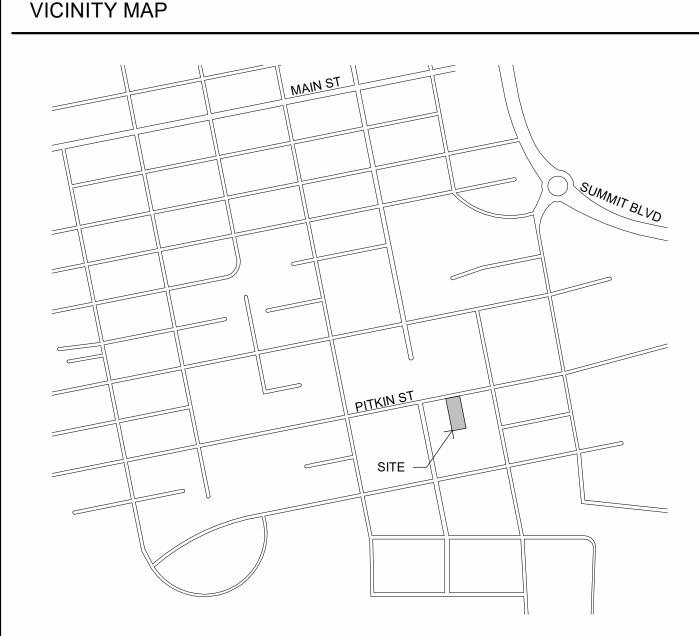
NOTES: 1. 50% MAXIMUM LOT COVERAGE ALLOWED PER MUNICIPLA CODE.

2. REMAINING LOT COVERAGE = 10,500 SF / 2 = 5,250 SF. 5,250 SF - 4,800 SF (SUM OF 1 THRU 5) = 450 SF

1					_
1		EXISTING (SF)	PROPOSED (SF)	TOTAL (SF)	
l	BUILDING CALCS:	FIN UNFIN TOT	FIN UNFIN TOT	FIN UNFIN TOT	
	1. MAIN FLOOR 2. UPPER FLOOR	1,841 800 2,641 910 910	416 416 450 450	2,257 800 3,057 1,360 1,360	
	TOTAL	2,751 800 3,551	866 866	3,617 800 4,417	

NOTES: 1. BUILDING AREAS CALC'D IN ACCORDANCE W/ BUILDING CODE REQ'MENTS.

- 2. UNCONDITIONED AREA INCLUDES GARAGE, MECHANICAL & STORAGE (WITH OVER 5'-0"
- 3. STAIRS & LANDINGS NOT COUNTED WITH UPPERMOST FLOOR SQUARE FOOTAGES.



CS	COVER SHEET	
	SURVEY	
A111	SITE PLAN & NOTES	
A211	EXISTING/DEMO MAIN FLOOR PLAN	
A212	EXISTING/DEMO UPPER FLOOR PLAN	
A221	PROPOSED MAIN FLOOR PLAN	
A222	PROPOSED UPPER FLOOR PLAN	
A223	PROPOSED ROOF PLAN	
A301	EXISTING EXTERIOR ELEVATIONS	
A302	EXISTING EXTERIOR ELEVATIONS	
A303	PROPOSED EXTERIOR ELEVATIONS	
A304	PROPOSED EXTERIOR ELEVATIONS	

SHEET INDEX



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raphael residence additions & alterations

lots 6 thru 8 . block 44 frisco . colorado

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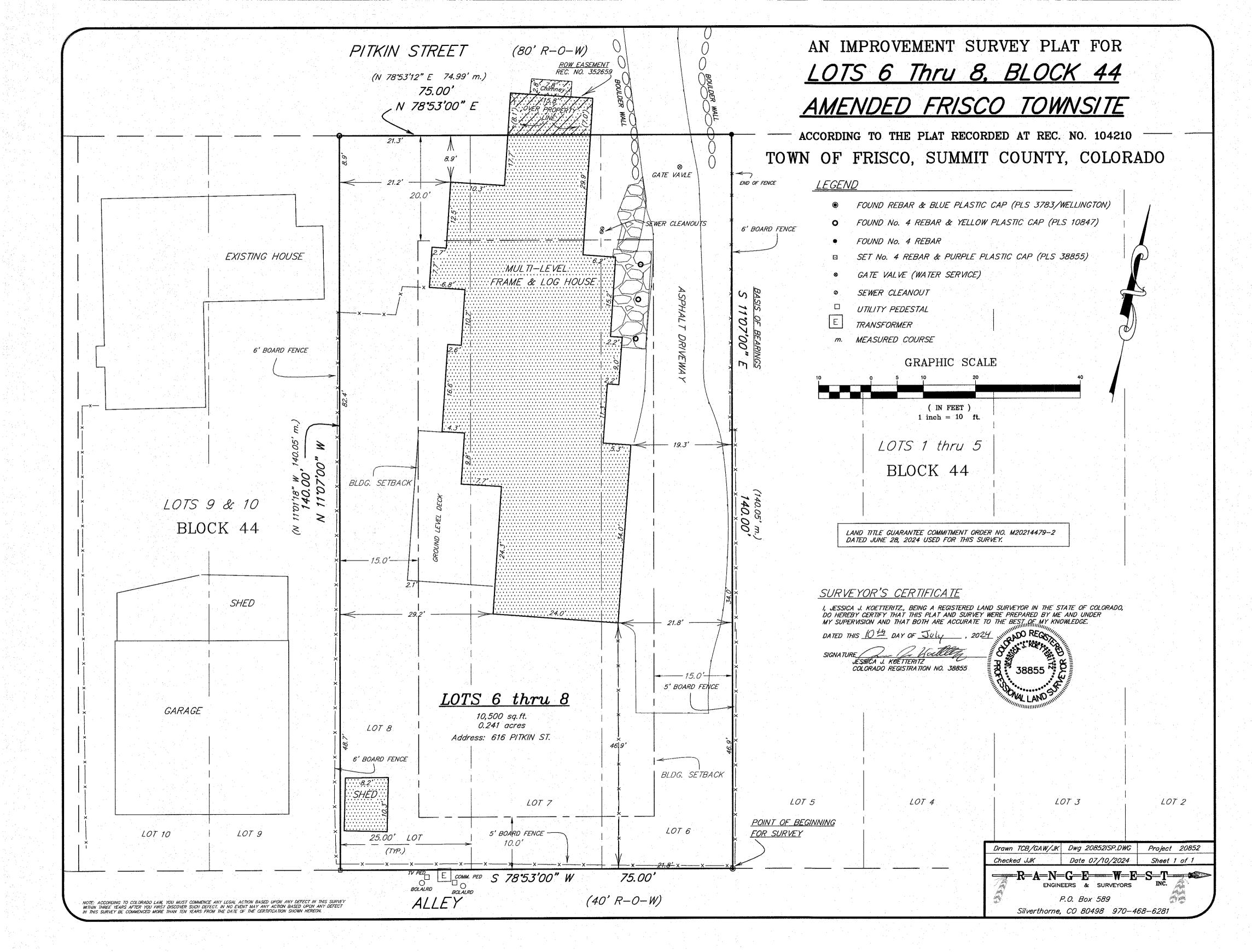
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draft cs



SITE PLAN NOTES **BUILDING HEIGHT CALCULATIONS** EXISTING FINISHED MEASURED ROOF HEIGHT BOUNDARY AND TOPOGRAPHICAL INFORMATION OBTAINED FROM SURVEY BY RANGE WEST, INC, GRADE CALCULATION POINT GRADE FROM ELEVATION (FEET) DATED 10 JULY 2024, VERIFY IN FIELD AND BACK-CHECK ALL INFORMATION PRIOR TO ELEVATION ELEVATION PITKIN STREET CONSTRUCTION STAKING. UTILITY LOCATIONS ARE SHOWN APPROXIMATELY. CONTACT APPROPRIATE AUTHORITIES TO FIELD **EXISTING** (80' R.O.W.) LOCATE ALL UTILITIES PRIOR TO EXCAVATION. 100.0' 113.18' 113.18' - 100.0' 13.18' GRADE CONTRACTOR SHALL IDENTIFY ALL EXISTING TREES, WHICH ARE SPECIFIED ON THE SITE PLAN TO BE RETAINED BY ERECTING TEMPORARY FENCE BARRIERS AROUND THE TREES TO PREVENT UNNECESSARY ROOT COMPACTION DURING CONSTRUCTION. CONSTRUCTION DISTURBANCE **EXISTING** SHALL NOT OCCUR BEYOND THE FENCE BARRIERS, AND DIRT AND CONSTRUCTION MATERIALS OR 100.0' 124.63' 124.63' - 100.0' 24.63' GRADE DEBRIS SHALL NOT BE PLACED ON THE FENCING. THE TEMPORARY FENCE BARRIERS ARE TO REMAIN IN PLACE UNTIL ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL SUBMIT AND OBTAIN APPROVAL FROM THE TOWN, A CONSTRUCTION STAGING PLAN INDICATING THE LOCATION OF ALL CONSTRUCTION MATERIAL STORAGE, FILL AND **EXISTING** 100.0' 125.70' 125.70' - 100.0' 25.70' EXCAVATION MATERIAL STORAGE AREAS, PORTOLET AND DUMPSTER LOCATIONS, AND EMPLOYEE GRADE VEHICLE PARKING AREAS. NO STAGING IS PERMITTED WITHIN PUBLIC RIGHT OF WAY. ANY DIRT TRACKED UPON THE PUBLIC ROAD SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE. **EXISTING** CONTRACTOR PARKING WITHIN THE PUBLIC RIGHT OF WAY IS NOT PERMITTED WITHOUT THE 100.0' 124.21' 124.21' - 100.0' 24.21' EXPRESS PERMISSION OF THE MUNICIPALITY AND/OR HOA, AND CARS MUST BE MOVED FOR SNOW GRADE REMOVAL. A PROJECT CONTACT PERSON IS TO BE PROVIDED TO THE PUBLIC WORKS DEPARTMENT PRIOR TO ISSUANCE OF THE BUILDING PERMIT. REVEGETATE ALL DISTURBED AREAS PER LANDSCAPE NOTES. **EXISTING** 100.0' 124.13' - 100.0' 24.13' 124.13' GRADE NOTES: 1. BUILDING HEIGHTS CALC'D IN ACCORDANCE W/ TOWN OF FRISCO REQ'MENTS. MAXIMUM BUILDING HEIGHT IS 30'-0" TO FINISHED GRADE. END OF FENCE (*) PROPOSED ADDITION LANDSCAPING SCHEDULE SEWER CLEANOUTS - FLAGSTONE PAVERS COMMON NAME **BOTANICAL NAME** QTY | SIZE REMARKS **ENGELMANN SPRUCE** PICEA ENGELMANNI 1 6'-8' HIGH 10 GAL PEKING COTONEASTER SPREAD AT SAGE BRUSH, NATIVE NATIVE SHRUBS AND TBD SEED AREAS TO BE GRASSES GRASSES REVEGETATED **EXISTING HOUSE** LANDSCAPE NOTES EXISTING RESIDENCE EXISTING 6' MAIN FLR: 100.0' **BOARD FENCE** 1) THE PLANT LIST IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY ALL PLANT COUNTS AND IF A DISCREPANCY EXISTS THE SCHEDULE SHALL GOVERN. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES, - EXISTING 5' PIPES AND STRUCTURES. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR POINT B **BOARD FENCE** CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION. GENERAL CONTRACTOR TO PROVIDE ROUGH GRADING WITHIN +/- 0.50 FOOT OF FINISHED GRADE PRIOR TO START OF LANDSCAPE CONTRACTOR'S WORK. FINAL LOCATION AND STAKING OF ALL PLANT MATERIALS SHALL BE AT THE DIRECTION OF ARCHITECT. LANDSCAPE CONTRACTOR SHALL NOT PROCEED WITH PLANTING OPERATIONS UNTIL STAKING IS FULLY APPROVED. **EXISTING** EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH SECURED HAYBALES AND/OR SNOWFENCE POINT D DECK TO BE AT DRIP LINE OF TREE. AREAS TO REMAIN UNDISTURBED SHALL BE PROTECTED WITH PLASTIC REMOVED SNOW FENCING ATTACHED TO METAL POSTS DRIVEN INTO THE GROUND. POINT C PLANTING BACKFILL MIX IS TO CONSIST OF 80% NATIVE TOPSOIL AND 20% PEAT MOSS. **EXISTING** SHRUB BEDS AND TREE WELLS ARE TO BE MULCHED WITH 3" SHREDDED MULCH. MULCH SAMPLE ASPHALT TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION. DRIVEWAY ALL PLANTING BEDS SHALL BE SEPARATED FROM SOD AND NATIVE GRASS AREAS BY 1/8"X4" GALVANIZED STEEL EDGING. TACK EDGING IN PLACE WITH 12" EDGING PINS AT 40" MINIMUM LOT 9 LOT 10 ALL DECIDUOUS TREES ARE TO BE STAKED WITH 5' STEEL 'T' STAKES AND GUYED WITH #12 SETBACK GALVANIZED WIRE AND 1-1/2" WIDE, GREEN, NYLON TREE STRAPS. ALL EVERGREEN TREES ARE TO BE STAKED WITH THREE, 5' STEEL "T" STAKES AND GUYED WITH #12 GALVANIZED WIRE AND 1-1/2" PROPOSED PROPOSED UPPER WIDE, GREEN, NULON TREE STRAPS. FLOOR ADDITION ADDITIQN 9) LANDSCAPE CONTRACTOR SHALL SUPPLY AND DISTRIBUTE 10 CUBIC YARDS TOPSOIL TO PROPOSED NEW SLAB: \100.0' UPPER FLOOR: 109.99' PLANTING BEDS. CONTRACTOR SHALL ALSO SUPPLY AND DISTRIBUTE 2 CUBIC YARDS OF ORGANIC COMPOST TO PROPOSED PERENNIAL AREAS. EXISTING 6' BOARD FENCE 10) PERENNIAL FLOWER BEDS ARE TO BE AMENDED WITH 4' OF DEBRIS FREE TOPSOIL AND 2" ORGANIC COMPOST. MIXTURE TO BE CULTIVATED TO A DEPTH OF 6" AND FINE GRADED TO PROVIDE POSITIVE 11) PREPARATION OF NATIVE GRASS AREAS WILL INCLUDE THE FOLLOWING: -LOOSEN SOIL TO A MINIMUM OF 4" DEPTH. REMOVE STONES OVER 2" IN DIAMETER AND STICKS, ROOTS, RUBBISH AND EXTRANEOUS MATTER. -DISTRIBUTE 1" OF TOPSOIL TO BE CULTIVATED INTO NATIVE SOIL. -GRADE AREAS TO A SMOOTH, FREE DRAINING, EVEN SURFACE WITH A LOOSE, MODERATELY TIE NEW FDN COARSE TEXTURE. REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO DRAIN. DRAIN INTO POINT E 12) ALL DISTURBED AREAS TO BE REVEGETATED WITH NATIVE GRASSES SHALL BE SOWN WITH THE PROPOSED EXISTING (VIF) EXISTING SHED FOLLOWING SEED MIXTURE: PATIO -ROCKY MOUNTAIN HIGH ALTITUDE NATIVE GRASS SEED MIX, AVAILABLE PROPOSED UPPER FROM NEILS LUNCEFORD NURSERY, SILVERTHORNE, COLORADO OR APPROVED EQUAL. FLOOR DECK ONE APPLICATION OF A DI-AMONIUM PHOSPHATE FERTILIZER, 18-46-0 AT THE RATE OF 8 LBS PER 1,000 S.F., SHALL BE BROADCAST PRIOR TO SEEDING. 13) ALL SEEDED AREAS WITH A SLOPE OF 2:1 OR GREATER SHALL BE CONTROLLED WITH EROSION SETBACK LOTS 6 THRU 8 CONTROL NETTING. 0.241 ACRES 14) AFTER SEEDING, RAKE OR DRAG SURFACE OF SOIL LIGHTLY TO REINCORPORATE SEED INTO TOP 1/8" OF SOIL. 15) LANDSCAPE CONTRACTOR SHALL PROVIDE OWNER WITH UNIT COSTS FOR PROPOSED AND LOT 6 LOT 7 TRANSPLANTED PLANTINGS TO INCLUDE ALL COSTS FOR MATERIAL, LABOR, FREIGHT, HANDLING, OVERHEAD, AND PROFIT. 16) ALL NEWLY PLANTED TREES AND SHRUBS SHALL BE IRRIGATED WITH AN AUTOMATED DRIP SYSTEM. PERENNIAL FLOWER BEDS AND ANY LAWN AREAS SHALL BE IRRIGATED WITH POP-UP SPRAY HEADS. NATIVE GRASS AREAS SHALL BE TEMPORARILY IRRIGATED FOR 45 DAYS AFTER SEEDING OR UNTIL GRASSES ARE ESTABLISHED. EXISTING GARAGE 17) LANDSCAPE CONTRACTOR SHALL SUBMIT A WRITTEN DOCUMENT REGARDING ITS POLICY ON PLANT GUARANTEE AND REPLACEMENT TO THE OWNER. EACH GUARANTEE SHALL CONFORM TO THE MINIMUM STANDARD OF REPLACING ALL MATERIAL INCLUDING LABOR, DUE TO SICKNESS OR DEATH OF A PLANT FOR A PERIOD OF ONE YEAR FOLLOWING THE PLANT'S INSTALLATION. **EXISTING** 18) DRIP AREAS NOT SHOWN WITH OTHER TYPES OF HARDSCAPE TO RECEIVE 4" THICK 1.5" CRUSHED STONE, FROM 2'0" PAST DRIP LINE TO FACE OF BUILDING. INCLUDE GEOTEXTILE FABRIC BELOW FOR SHED WEED CONTROL & LANDSCAPE EDGING FLUSH WITH TOP OF STONE. EXISTING 5' **BOARD FENCE** (40' R.O.W.) EXTERIOR LIGHTING SCHEDULE

NOTES: 1. ALIGN TOP OF EXTERIOR LIGHT FIXTURE WITH TOP OF NEAREST DOOR/WINDOW.

MFR/MODEL

HINKLEY - SHELTER

1326HE; HEMATITE

TAG | TYPE

SCONCE

2. VERIFY QUANTITIES AND LOCATIONS WITH OWNER PRIOR TO ORDERING FIXTURES.

| LAMPS

(1) 50W

NOTES

DARK SKY RATED

SITE PLAN & NOTES A111

NORTH

SITE PLAN

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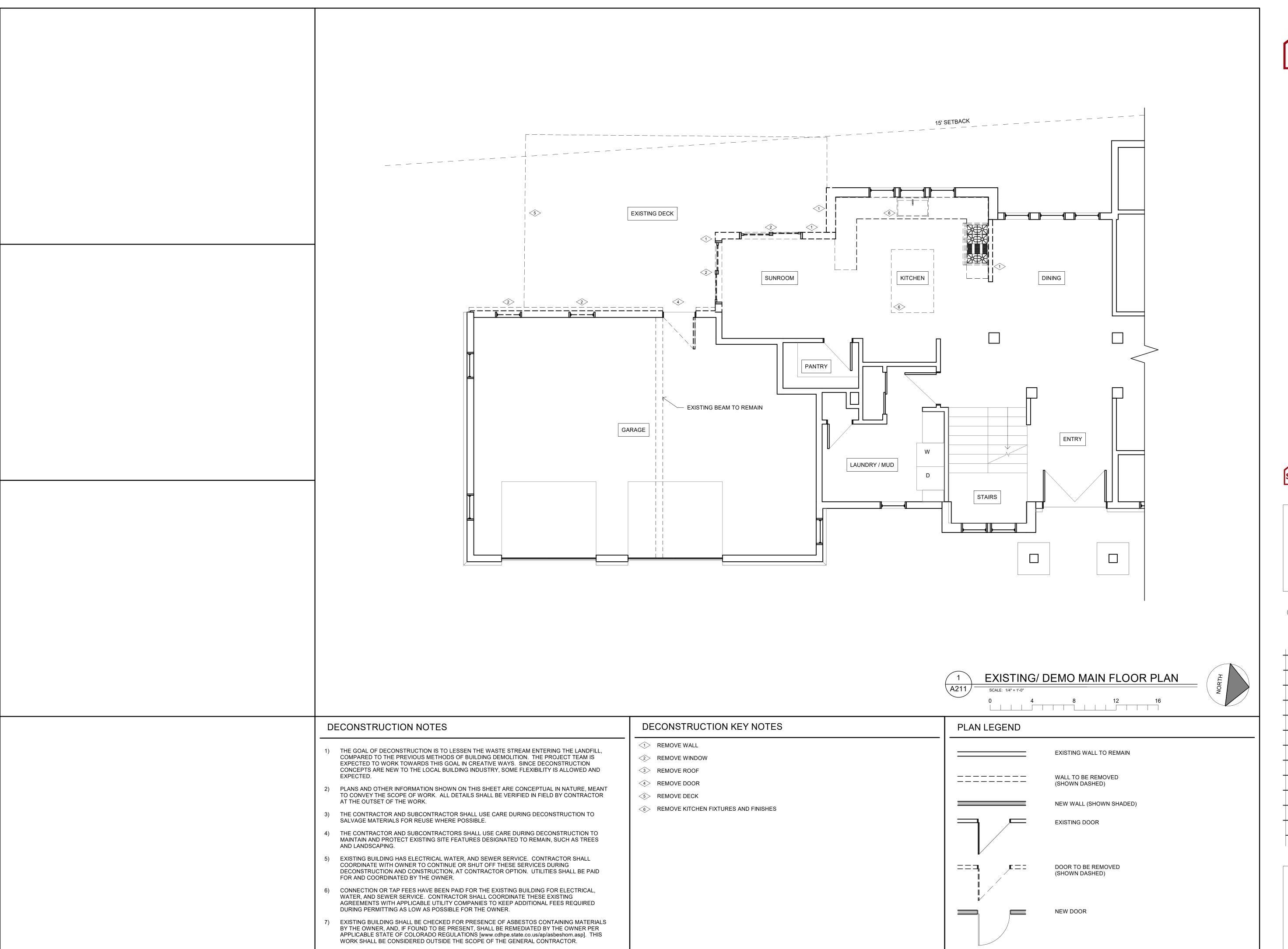
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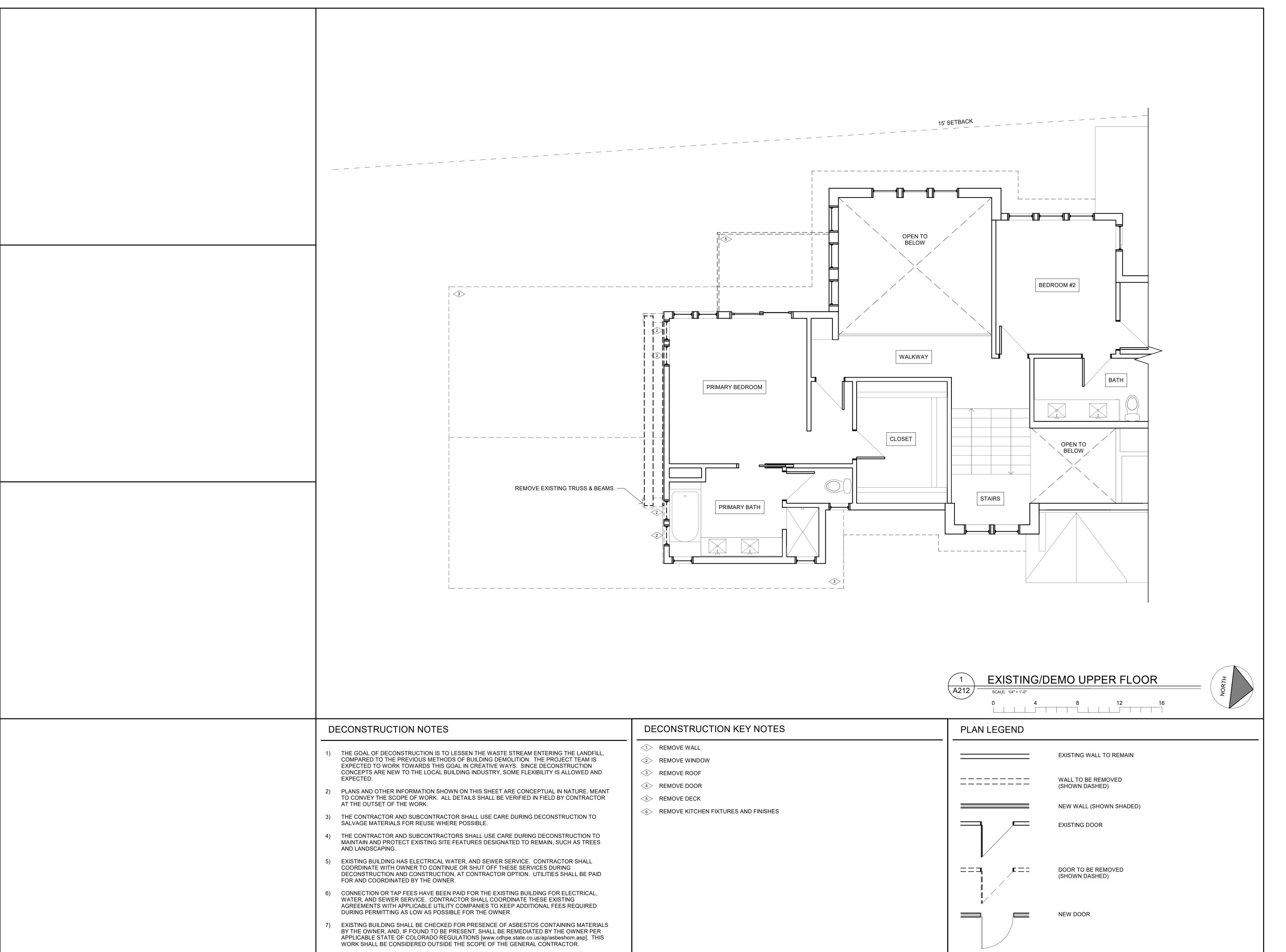
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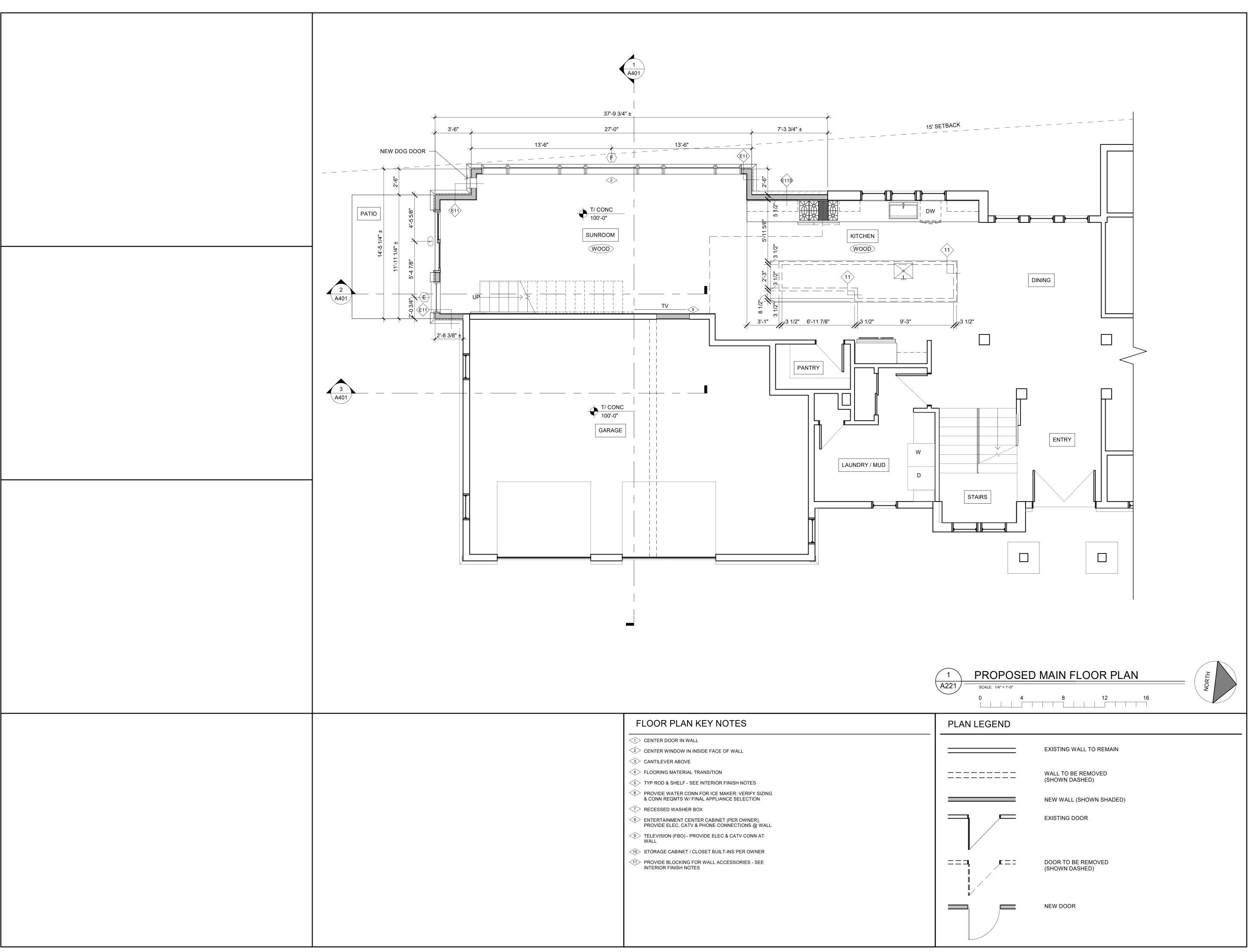
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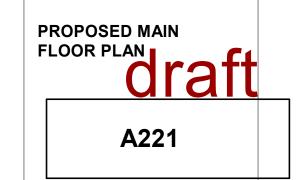
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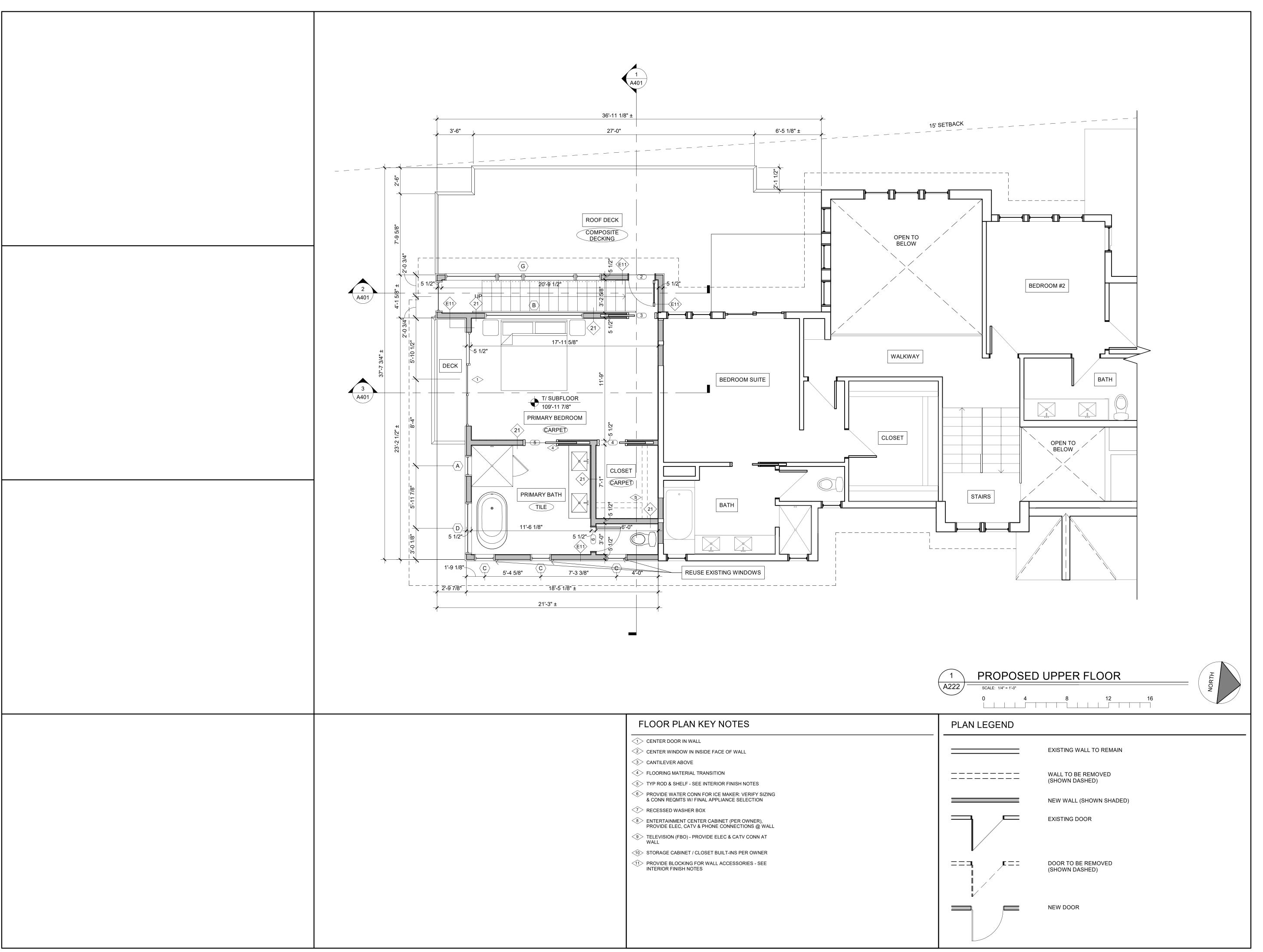
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raphael residence additions & alterations

lots 6 thru 8 . block 44 frisco . colorado

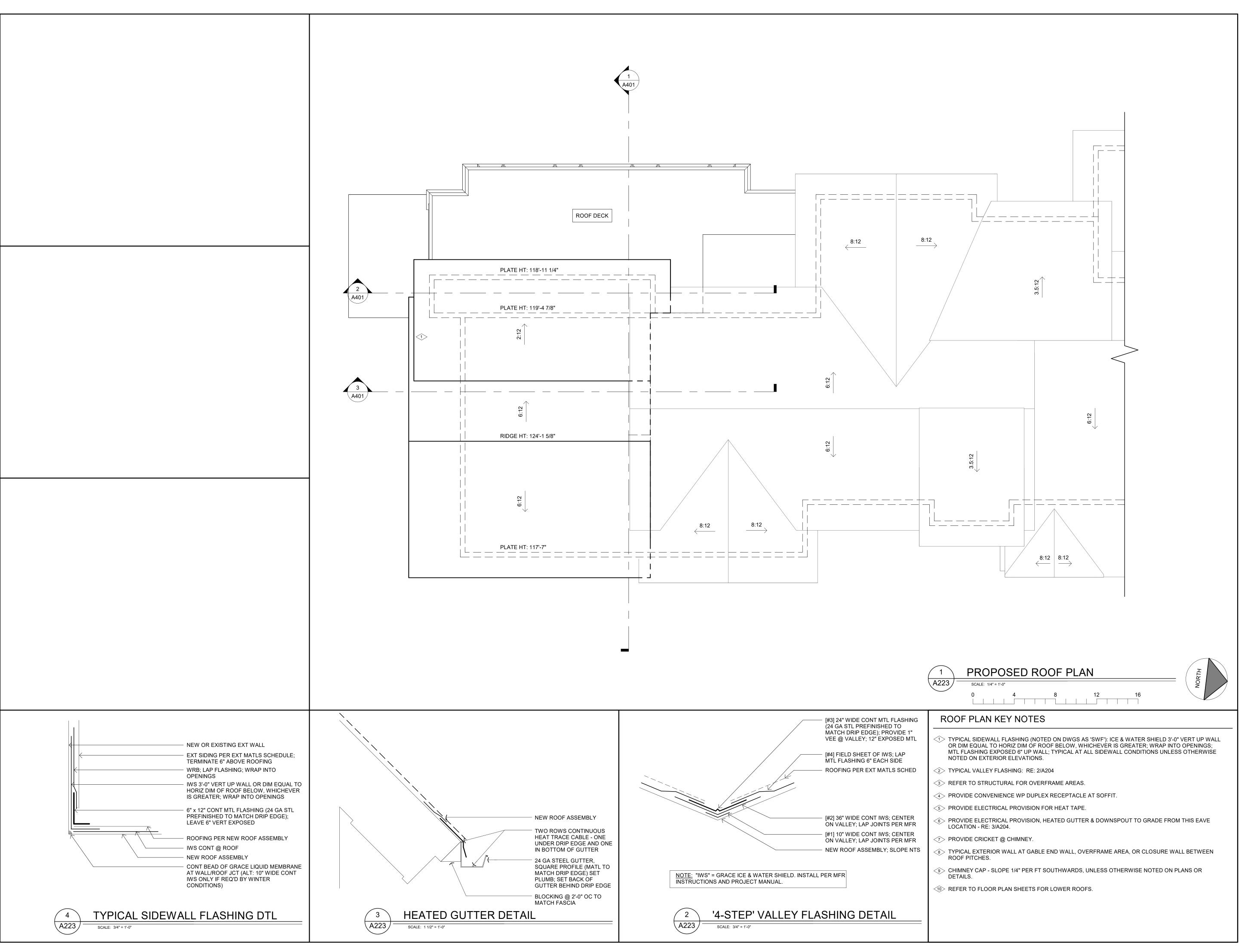
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PROPOSED ROOF PLAN

Contact A223







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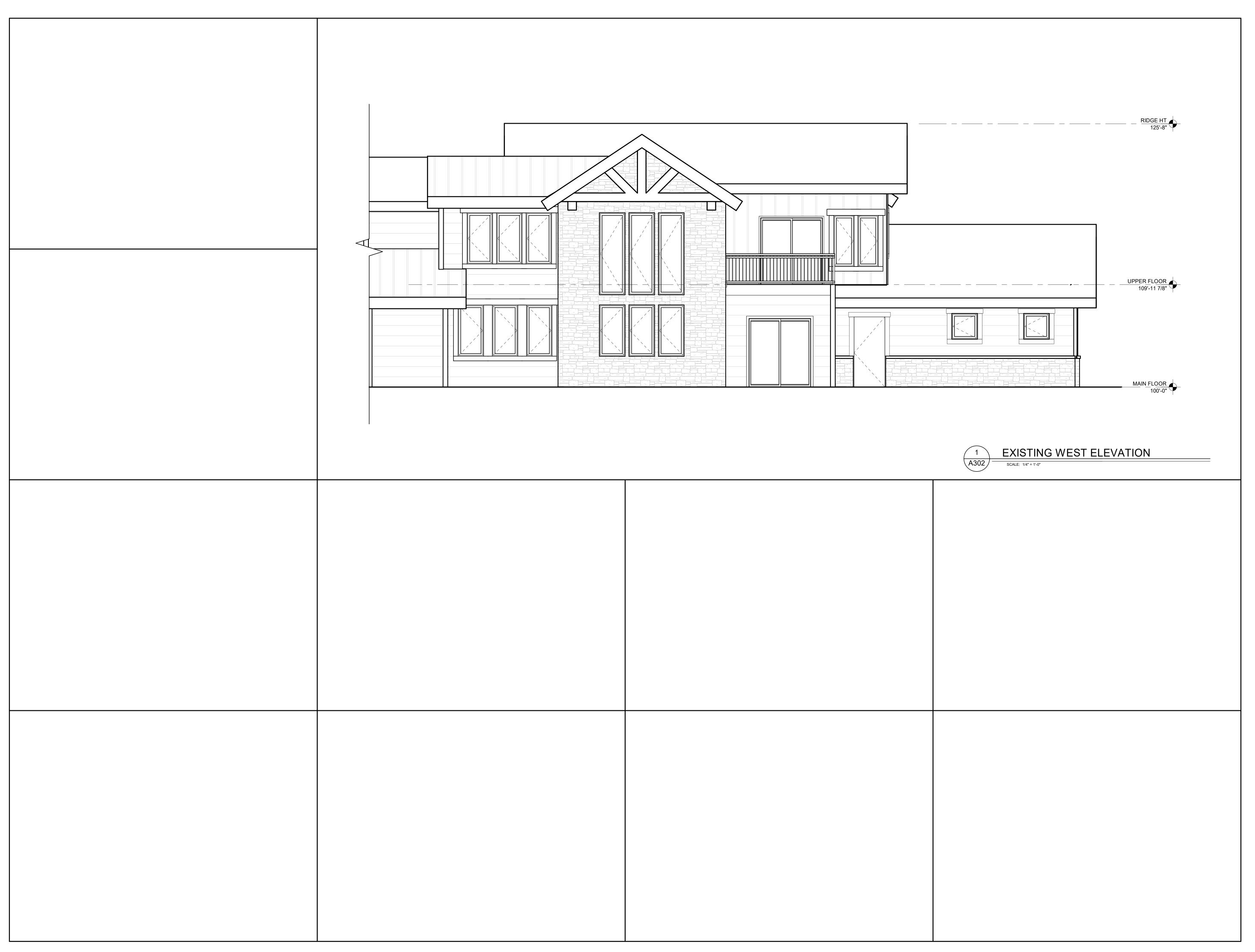
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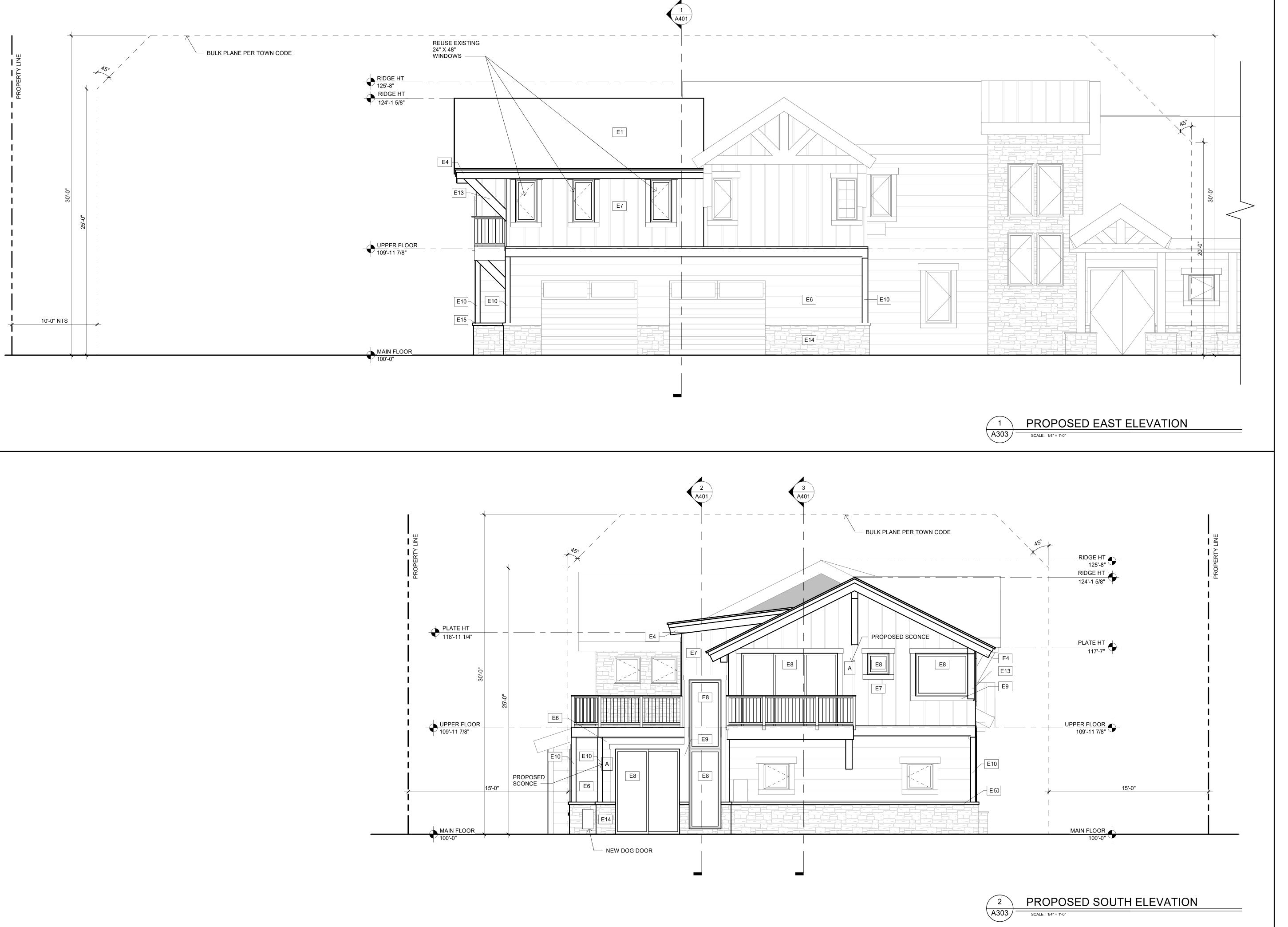
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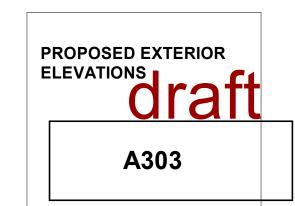
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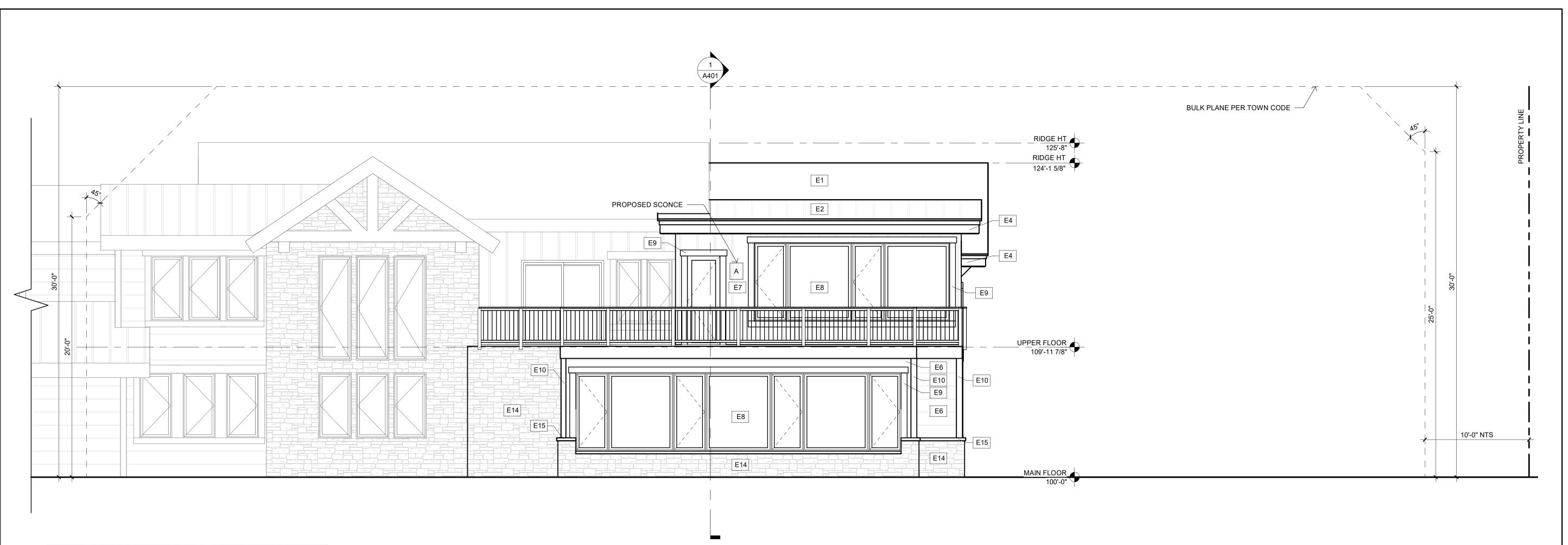
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EXTERIOR MATERIALS SCHEDULE

TAG

ITEM



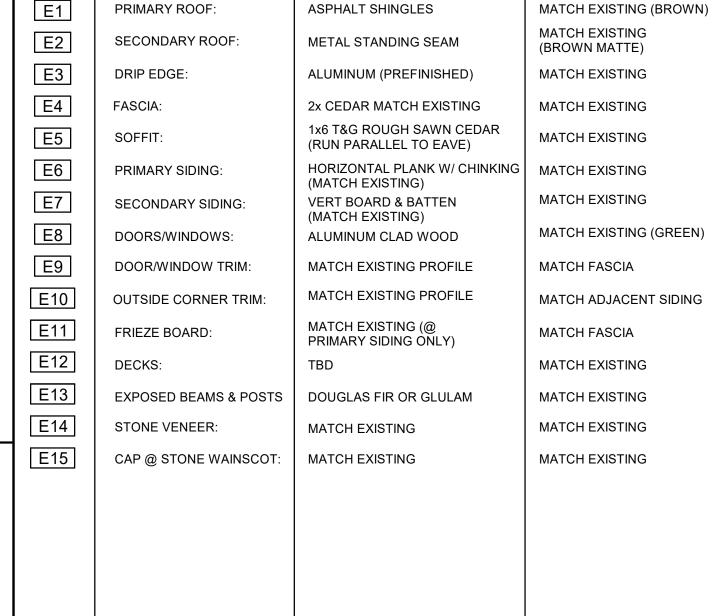












MATERIAL

COLOR

NOTES:

- IN THE CASE OF ANY DISCREPANCIES BETWEEN THIS SCHEDULE AND OTHER CONTRACT DOCUMENTS, THE INFORMATION ON THIS SCHEDULE SHALL TAKE PRECEDENCE.
- PROVIDE 2x2 P.T. EMBEDDED NAILERS @ ALL CONCRETE WALLS WITH OVER 12" CONCRETE ABOVE
- PROPOSED GRADE.
) ALL FLASHING, VENTS, FLUES, ROOFTOP MECHANICAL EQUIPMENT, UTILITY BOXES, AND SIMILAR ITEMS
 SHALL BE PAINTED (MATTE) TO MATCH ADJACENT PORTION OF BUILDING UNLESS OTHERWISE NOTED.
- SHALL BE PAINTED (MATTE) TO MATCH ADJACENT PORTION OF BUILDING UNLESS OTHERWISE NOTED.

 4) TYPICAL SIDEWALL FLASHING: ICE & WATER SHIELD 2'-6" VERT UP WALL; WRAP INTO OPENINGS; MTL FLASHING EXPOSED 6" UP WALL; TYPICAL AT ALL SIDEWALL CONDITIONS.

EXTERIOR PAINT & STAIN AREAS TO RECEIVE (2) COATS MINIMUM, PLUS PRIMER COAT.

SIDING MATERIAL CHANGES TO OCCUR AT INTERIOR CORNERS.



409 east main street p o box 4175 frisco . colorado 80443 970 453 0444



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lots 6 thru 8 . block 44

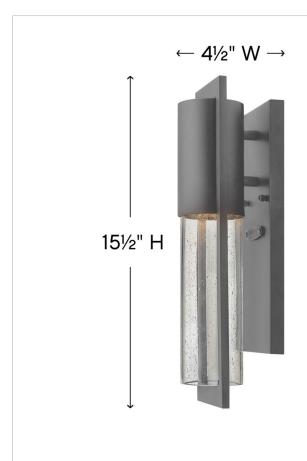
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PRODUCT DETAILS:

- Suitable for use in wet (outdoor direct rain) locations as defined by NEC and CEC. Meets
 United States UL Underwriters Laboratories & CSA Canadian Standards Association Product
 Safety Standards
- 2-year finish warranty
- Bold lines and a clean, minimalist style complement contemporary architecture
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky

SHELTER

1326HE

EXTRA SMALL WALL MOUNT LANTERN

Shelter's minimalist style in aluminum creates a chic, dramatic statement as the light from above grazes through its clear seedy glass. Shelter comes standard Dark Sky compliant.

DETAILS	
FINISH:	Hematite
MATERIAL:	Aluminum
GLASS:	Clear Seedy
DIMMABLE:	Yes

DIMENSIONS	
WIDTH:	4.5"
HEIGHT:	15.5"
WEIGHT:	3lb
BACK PLATE:	4.5"W X 12"H
EXTENSION:	4.8"
TOP TO OUTLET:	5.75"

LIGHT SOURCE	
LIGHT SOURCE:	Socketed
WATTAGE:	1-7w GU10 LED, 50w Equiv.
VOLTAGE:	120v

SHIPPING	
CARTON LENGTH:	18.5
CARTON WIDTH:	9.9
CARTON HEIGHT:	7.3
CARTON WEIGHT:	4

