



TOWN of FRISCO

P.O. Box 4100 • Frisco, Colorado 80443

5/16/2025

Kris Valdez
1 Main Street
Frisco, CO 80443

RE: Well 7 PFAS Mitigation Improvements Narrative
612 Recreation Way

Project Description

The Town of Frisco owns and maintains the existing "Well 7" located at 614 Recreation Way at the Peninsula Recreation Area. While Well 7 was drilled and constructed in 2005, the existing pump house structure was not constructed until 2018. The existing structure is approximately 17 feet in height and 375 square feet. In 2022, the Town of Frisco detected polyfluoroalkyl substances (PFAS) at Well 7 and subsequently turned off the operation of Well 7. Since the detection of PFAS, the Town has been designing a mitigation system to remove PFAS from the water source.

The proposed design utilizes Granular Activated Carbon (GAC) vessels to remove PFAS from the water. The treatment vessels are approximately 13 feet tall and 12 feet in diameter, requiring a significant building to house the vessels. The project will consist of a 1,458 square foot building which extends 17 feet above finished grade (18 feet above existing grade) and 7 feet below grade and will contain treatment vessels, pumps, chemical storage, piping, and other utility equipment. The design matches the finishes and height of the Well 7 pump house. The new building will be located south of the existing building and will utilize the existing driveway to the pump house. Most of the site disturbance will occur within a previously disturbed area. While tree removals will be required for the project, tree replacement is planned to preserve vegetation and screening.

Code Compliance

The project is located within the Parks and Recreation District (PR). The PR District requires a 25 feet maximum building height and 30 feet property setback. The building height matches the current Well 7 building for consistency at 17 feet (floor elevation is 7 feet below grade to match existing building height) and the project is located on Town of Frisco property (990 feet from the closest property line), therefore meeting both the height and setback requirements.

Per 180-5.1.5 of Town Code, "Public Utilities and Facilities" is an allowed use in the PR District.

Sincerely,

A handwritten signature in purple ink that reads "Christopher McGinnis".

Christopher McGinnis
Public Works Director/Town Engineer



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Kris Valdez
1 Main Street
Frisco, CO 80443

Dear Ms. Valdez:

I am writing to express my consent as the Town Manager for the planning commission application regarding the Well 7 PFAS Mitigation improvements project that is proposed on Town of Frisco property near 612 Recreation Way. I support this project to treat PFAS contamination at the existing Town Well #7 to ensure safe and clean water.

If you have any questions or require further information, please do not hesitate to contact me.

Sincerely,

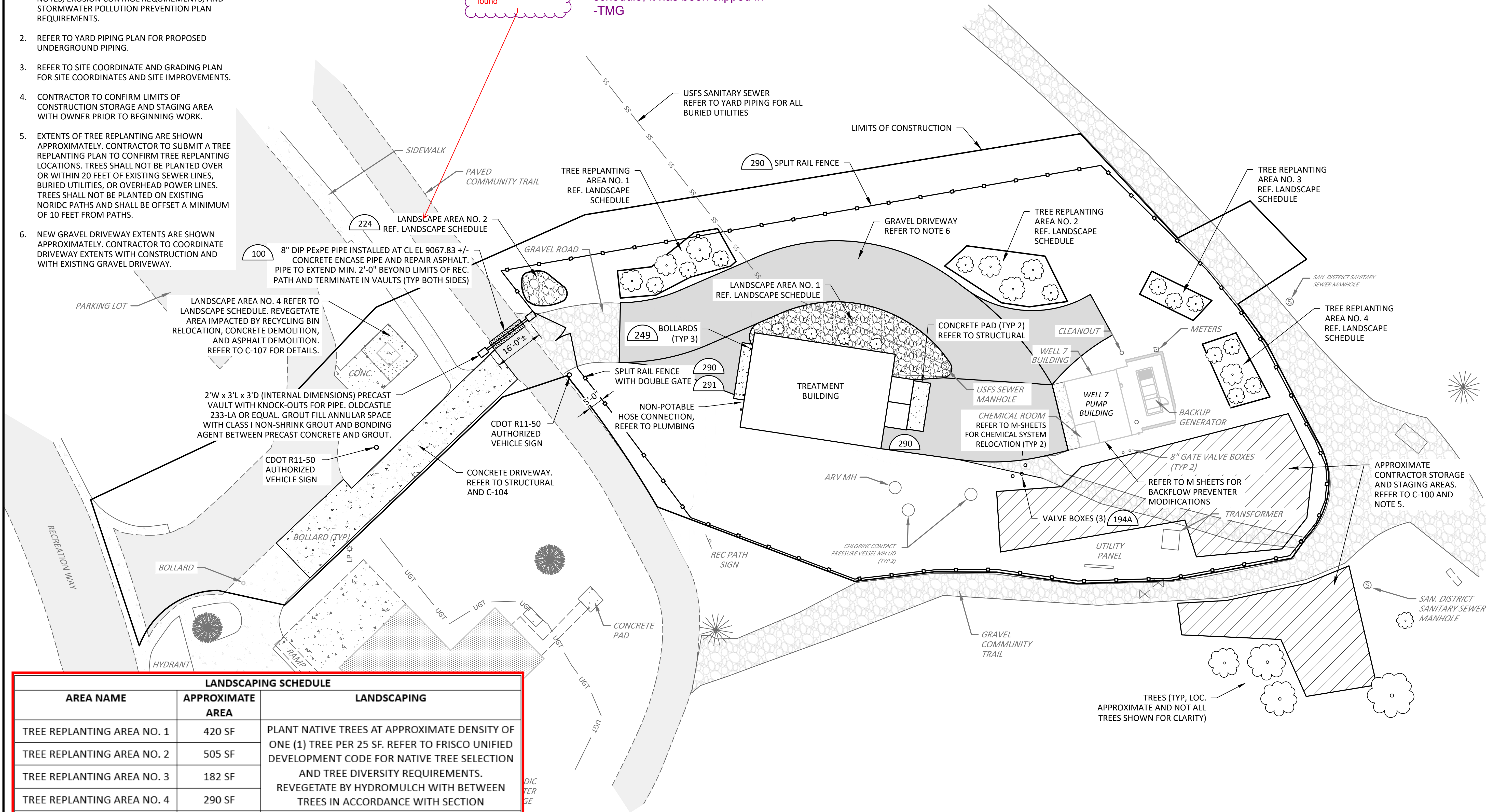
DocuSigned by

Thomas C. Fisher

Thomas C. Fisher
Town Manager

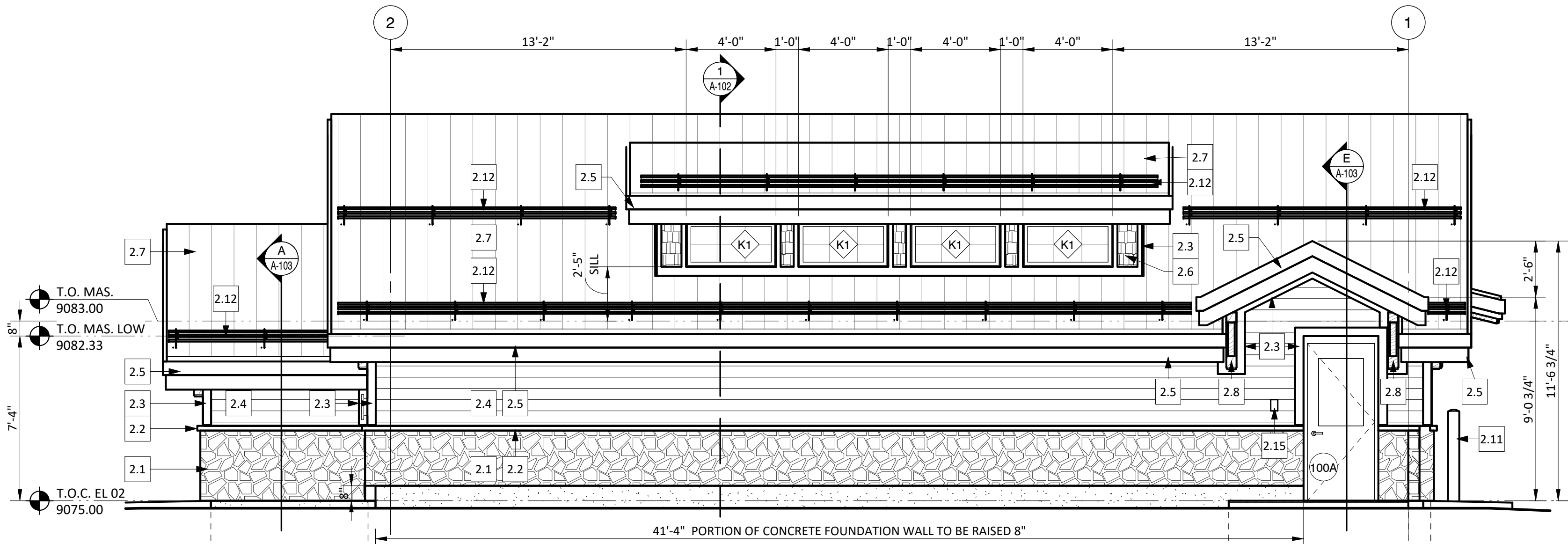
1. REFER TO G-002 FOR ADDITIONAL CONSTRUCTION NOTES, EROSION CONTROL REQUIREMENTS, AND STORMWATER POLLUTION PREVENTION PLAN REQUIREMENTS.
2. REFER TO YARD PIPING PLAN FOR PROPOSED UNDERGROUND PIPING.
3. REFER TO SITE COORDINATE AND GRADING PLAN FOR SITE COORDINATES AND SITE IMPROVEMENTS
4. CONTRACTOR TO CONFIRM LIMITS OF CONSTRUCTION STORAGE AND STAGING AREA WITH OWNER PRIOR TO BEGINNING WORK.
5. EXTENTS OF TREE REPLANTING ARE SHOWN APPROXIMATELY. CONTRACTOR TO SUBMIT A TREE REPLANTING PLAN TO CONFIRM TREE REPLANTING LOCATIONS. TREES SHALL NOT BE PLANTED OVER OR WITHIN 20 FEET OF EXISTING SEWER LINES, BURIED UTILITIES, OR OVERHEAD POWER LINES. TREES SHALL NOT BE PLANTED ON EXISTING NORIDC PATHS AND SHALL BE OFFSET A MINIMUM OF 10 FEET FROM PATHS.
6. NEW GRAVEL DRIVEWAY EXTENTS ARE SHOWN APPROXIMATELY. CONTRACTOR TO COORDINATE DRIVEWAY EXTENTS WITH CONSTRUCTION AND WITH EXISTING GRAVEL DRIVEWAY.

Sheet got printed without landscape
schedule, it has been clipped in
-TMG



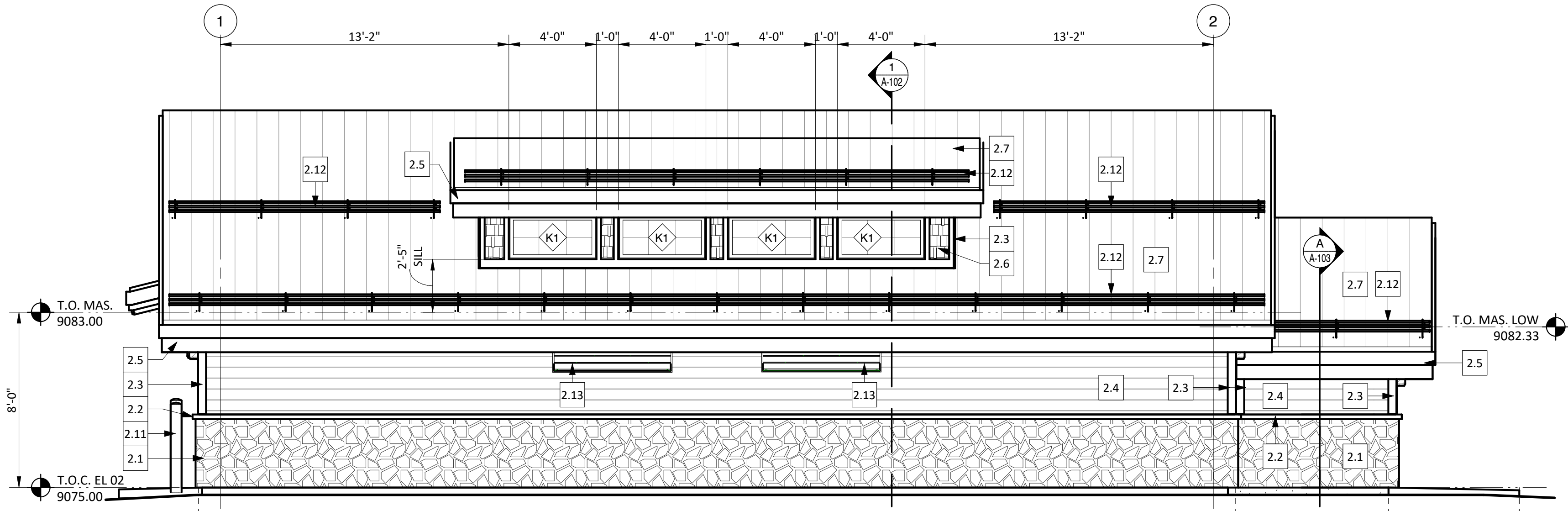
LANDSCAPING SCHEDULE		
AREA NAME	APPROXIMATE AREA	LANDSCAPING
TREE REPLANTING AREA NO. 1	420 SF	PLANT NATIVE TREES AT APPROXIMATE DENSITY OF ONE (1) TREE PER 25 SF. REFER TO FRISCO UNIFIED DEVELOPMENT CODE FOR NATIVE TREE SELECTION AND TREE DIVERSITY REQUIREMENTS. REVEGETATE BY HYDROMULCH WITH BETWEEN TREES IN ACCORDANCE WITH SECTION
TREE REPLANTING AREA NO. 2	505 SF	
TREE REPLANTING AREA NO. 3	182 SF	
TREE REPLANTING AREA NO. 4	290 SF	
LANDSCAPING AREA NO. 1	400 CF (ROCK)	3 TO 6 INCH DIAMETER ASSORTED RIVER ROCK. ROCK CAN BE SOURCED FROM NATIVE EXCAVATION IF PRESENT AT A CREDIT TO THE OWNER. PLANT FOUR (4) NATIVE SHRUBS EQUALLY SPACED ALONG WALL, OFFSET AT LEAST 3-FT FROM WALL. REFER TO FRISCO UNIFIED DEVELOPMENT CODE FOR NATIVE SHRUB SELECTION.
LANDSCAPING AREA NO. 2	65 CF (ROCK)	3 TO 6 INCH DIAMETER ASSORTED RIVER ROCK. ROCK CAN BE SOURCED FROM NATIVE EXCAVATION IF PRESENT AT A CREDIT TO THE OWNER

PROPOSED SITE PLAN



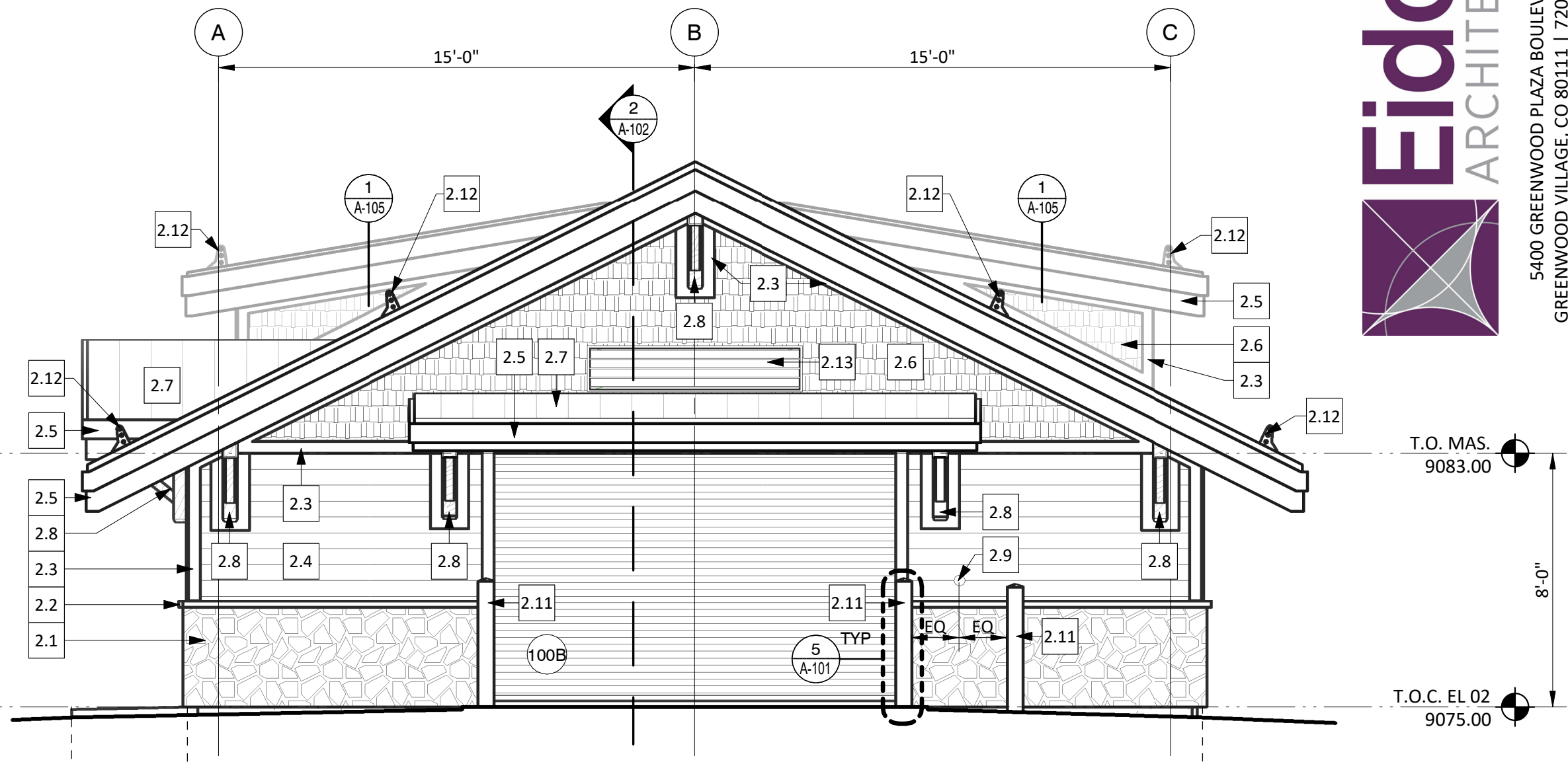
1. NORTH ELEVATION

1/4" = 1'-0"



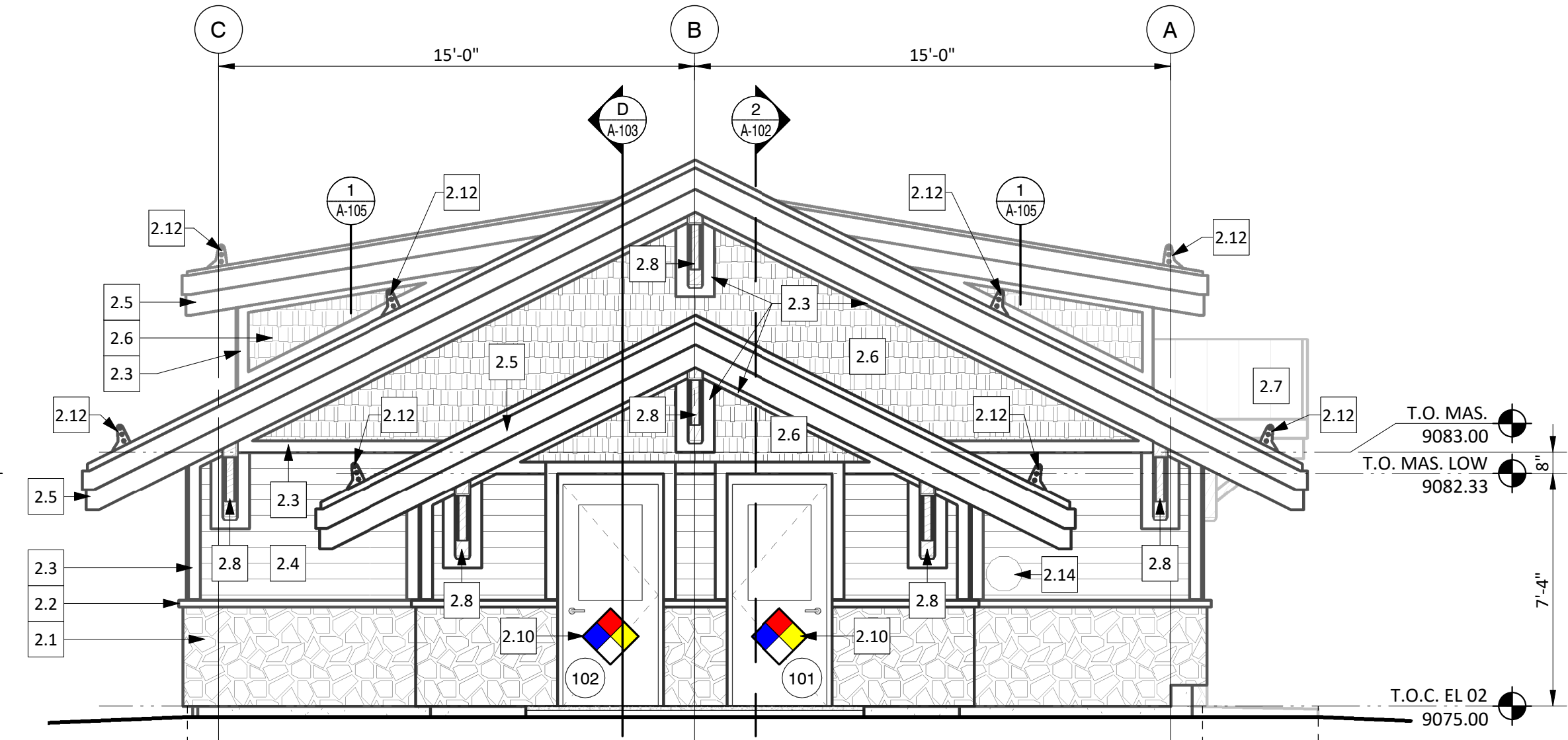
3. SOUTH ELEVATION

1/4" = 1'-0"



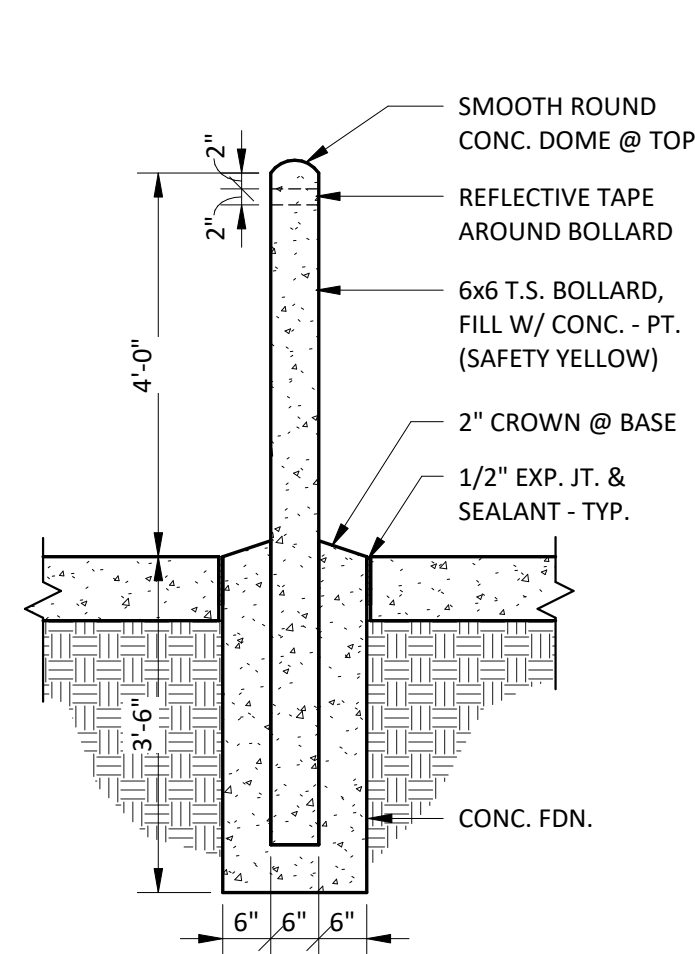
2. WEST ELEVATION

1/4" = 1'-0"



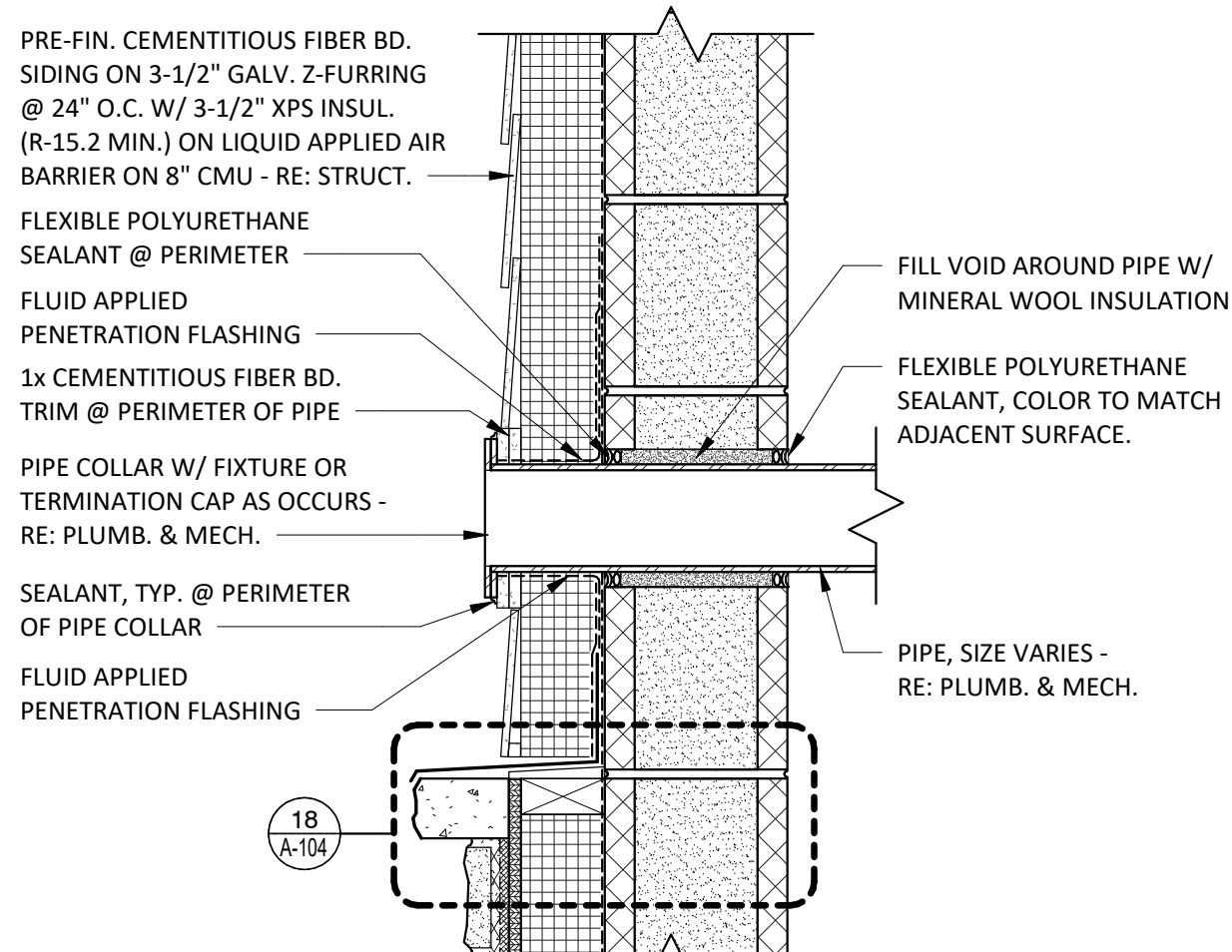
4. EAST ELEVATION

1/4" = 1'-0"



5. EXTERIOR BOLLARD DETIAL

1/2" = 1'-0"



6. TYP. PIPE PENETRATION DETAIL

1 1/2" = 1'-0"

KEYNOTE LEGEND - ELEVATIONS

- 2.1 STONE WAINSCOT
- 2.2 STONE CAP
- 2.3 PRE-FIN. CEMENTITIOUS FIBER BD. TRIM.
- 2.4 PRE-FIN. CEMENTITIOUS FIBER BD. LAP SIDING.
- 2.5 PRE-FIN. MTL. FASCIA & TRIM.
- 2.6 PRE-FIN. CEMENTITIOUS FIBER BD. SHINGLE SIDING.
- 2.7 PRE-FIN. STANDING SEAM METAL ROOF.
- 2.8 DECORATIVE WD. BRACKETS - PT.
- 2.9 HOSE BIB. SEE 6/A-101. - RE: PLUMBING
- 2.10 NFPA CHEMICAL HAZARD LABEL. VERIFY VALUES W/ CURRENT HAZARD RATINGS FOR CHEMICALS BEING STORED.
- 2.11 6" CONC. FILLED PIPE BOLLARD. - RE: CIVIL
- 2.12 PRE-FIN. MTL SNOW GUARDS.
- 2.13 PRE-FIN. MTL LOUVER. SEE 6/A-104 FOR TYPICAL HJS DETAILS - RE: MECH.
- 2.14 PIPE PENETRATION. SEE 6/A-101. - RE: PLUMBING
- 2.15 KNOX BOX. COORDINATE MOUNTING LOCATION W/ OWNER.



5400 GREENWOOD PLAZA BOULEVARD
GREENWOOD VILLAGE, CO 80111 | 720.200.0630



1221 AURARIA PKWY | DENVER, CO 80204
303-300-3464 | TBPE REGISTERED FIRM NUMBER F-13



102 SCHOOL ROAD
PO BOX 4100
FRISCO CO 80443

TOWN OF FRISCO
WELL 7 PFAS MITIGATION IMPROVEMENTS

ARCHITECTURAL
EXTERIOR ELEVATIONS

THESE DOCUMENTS ARE
FOR INTERIM REVIEW AND
ARE NOT INTENDED FOR
CONSTRUCTION, BIDDING
OR PERMIT PURPOSES.

IF THIS BAR DOES NOT
MEASURE ONE INCH,
DRAWING IS NOT TO
LABELED SCALE

DESIGNED LH
DRAWN CM
CHECKED LH
REVIEWED LH

Seq.

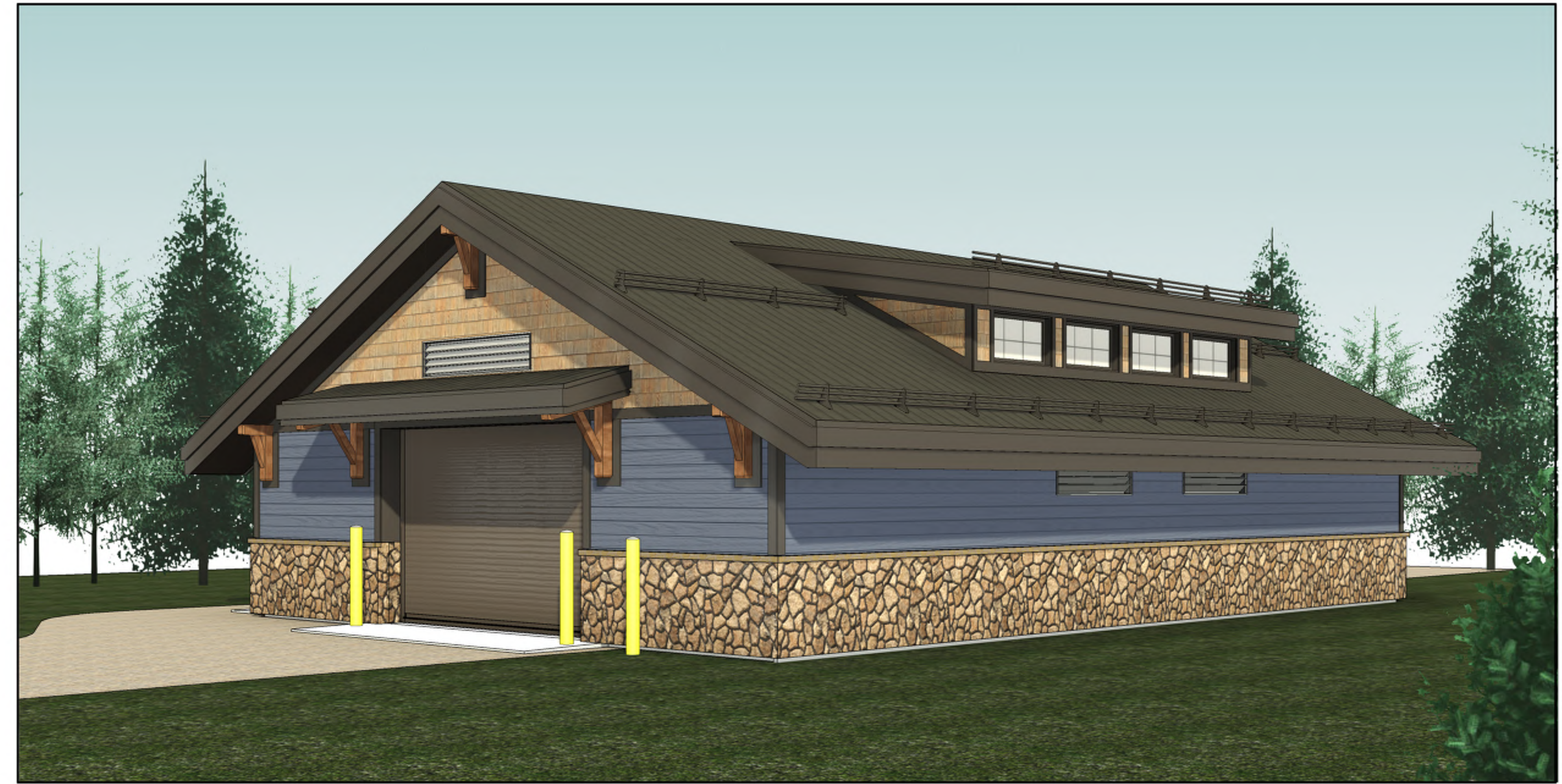
Dwg. No. A-101

4131-002-09

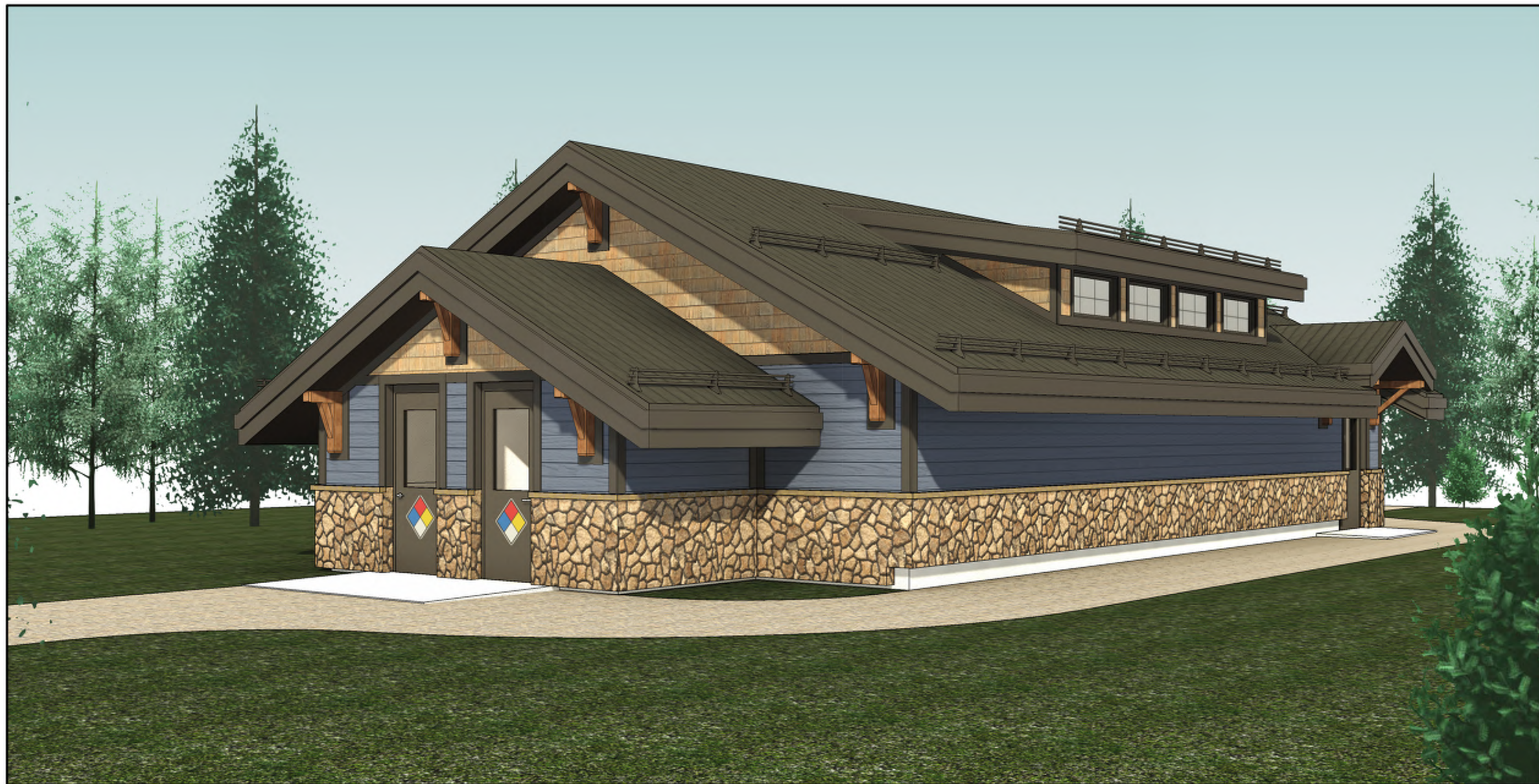
WELL 7 PFAS MITIGATION IMPROVEMENTS



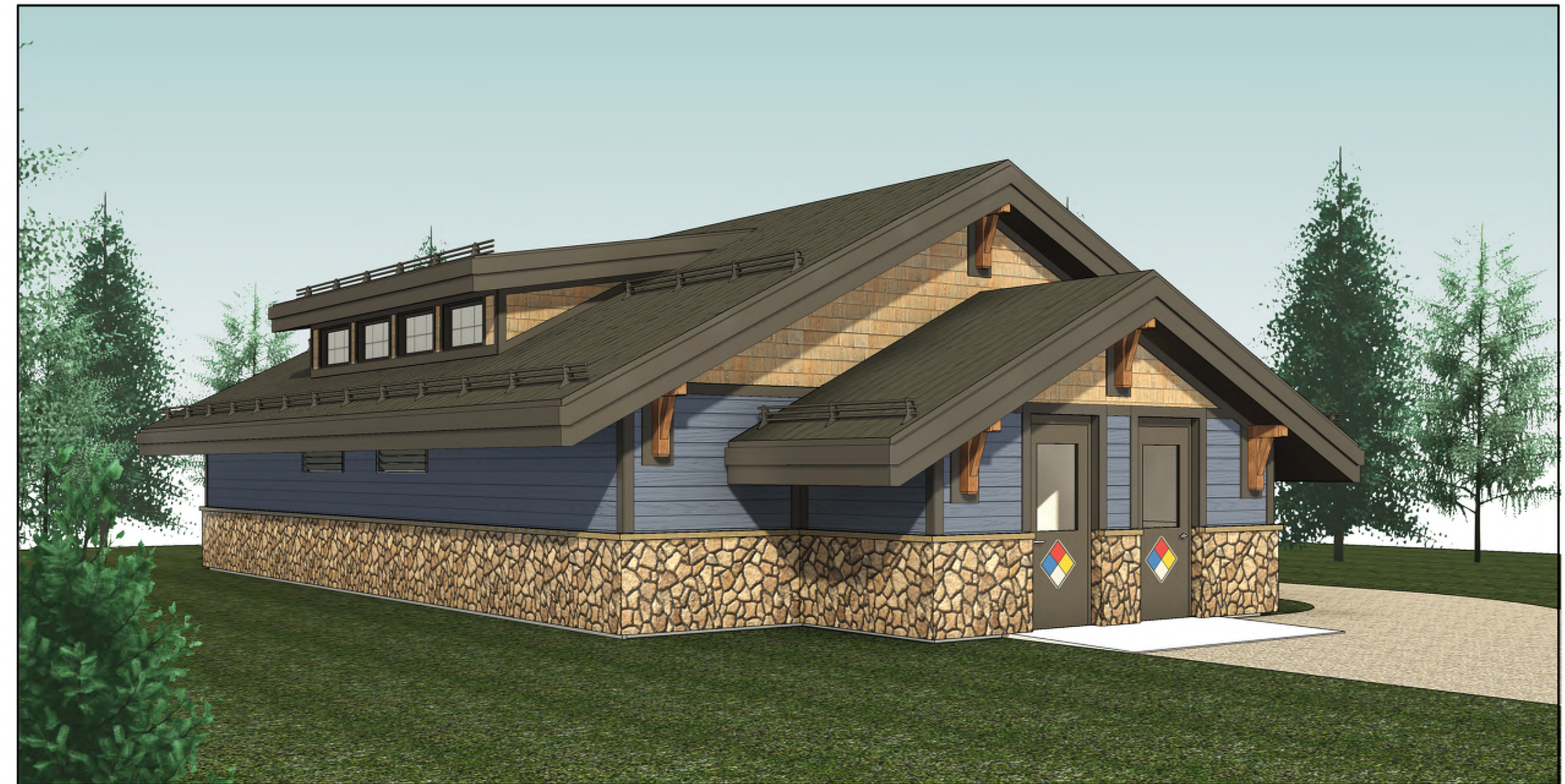
Perspective - Southwest Corner



Perspective - Southeast Corner



Perspective - Northwest Corner



Perspective - Northeast Corner

Well 7 PFAS Mitigation Improvements Project – Building Materials

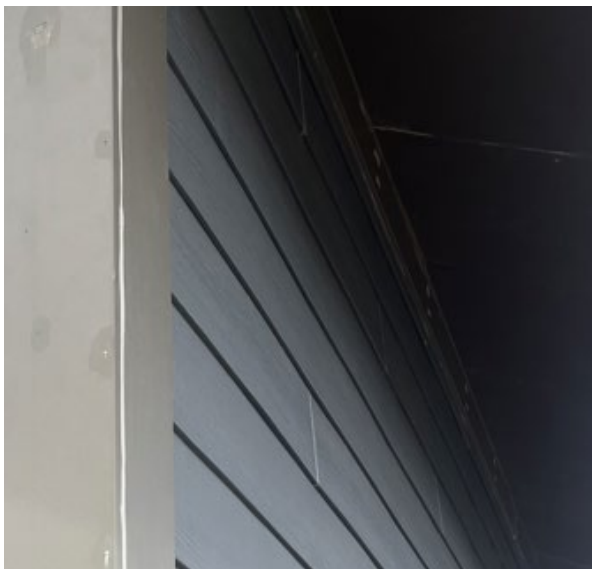
2.1 Stone Wainscot



2.2 Stone Cap



2.3 Pre-Fin Cementitious Fiber Bd. Trim



2.4 Pre-Fin Cementitious Fiber Bd. Lap Siding



2.5 Pre-Fin Mtl Fascia & Trim



2.6 Pre-fin Cementitious Fiber Bd. Shingle Siding



2.7 Pre-Fin Standing Seam Metal Roof



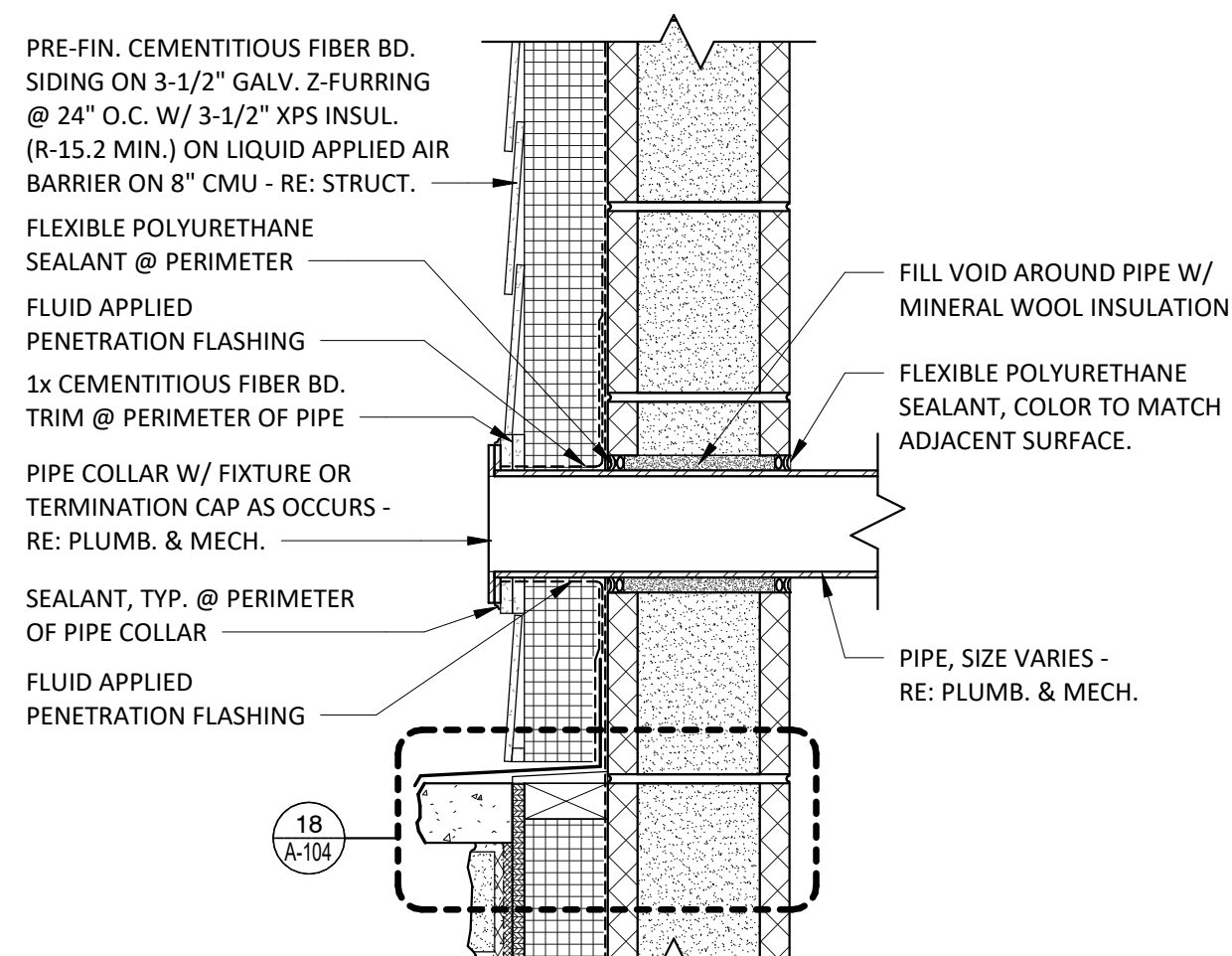
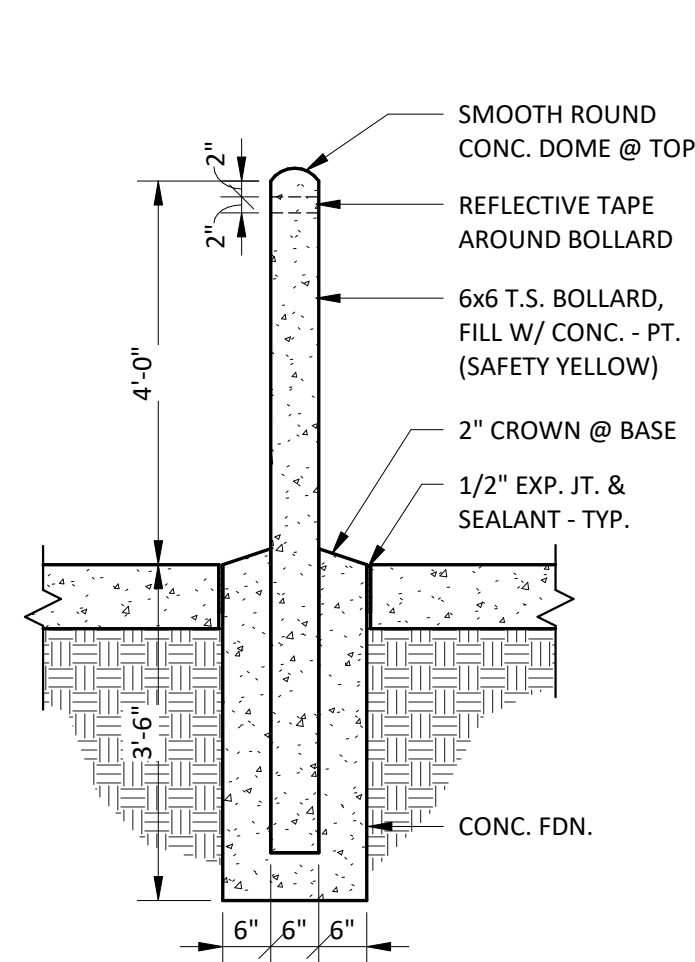
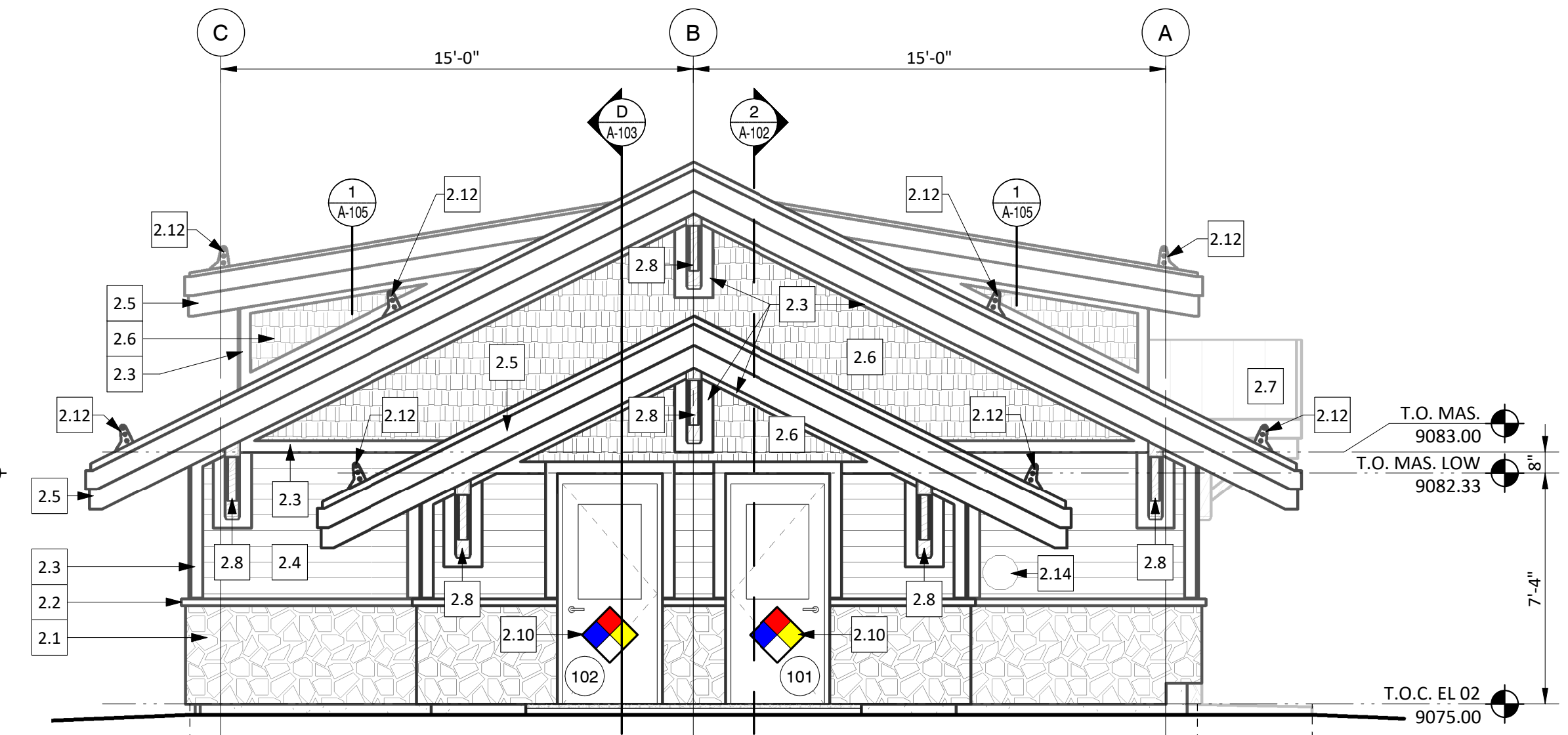
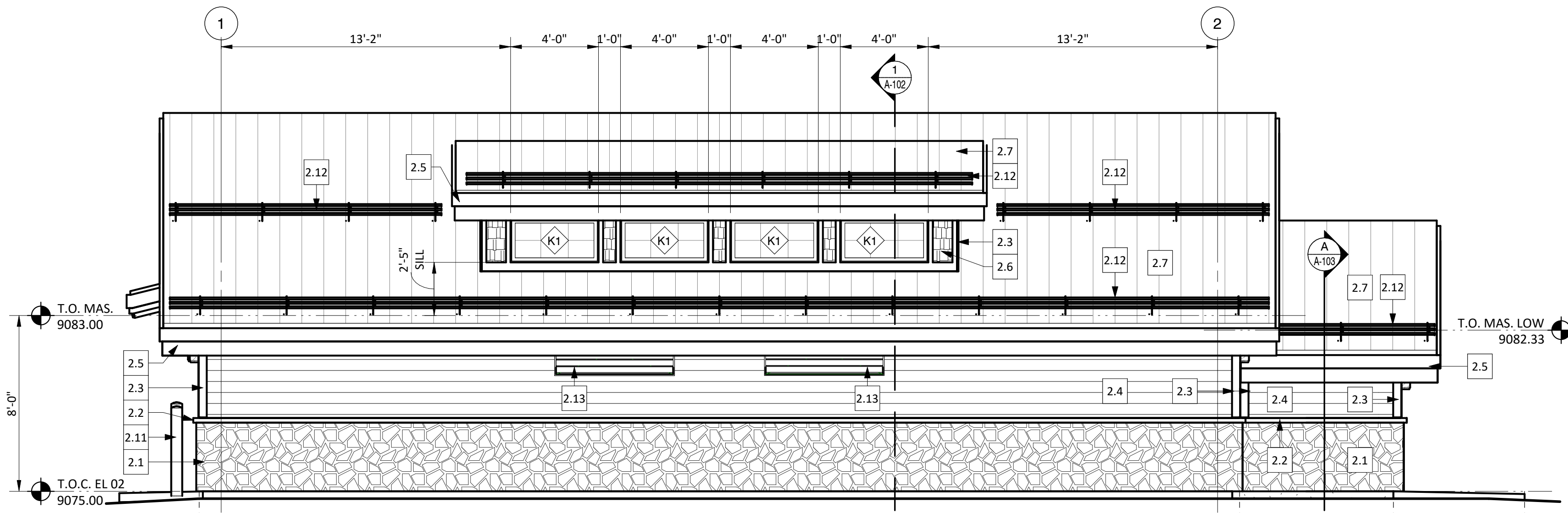
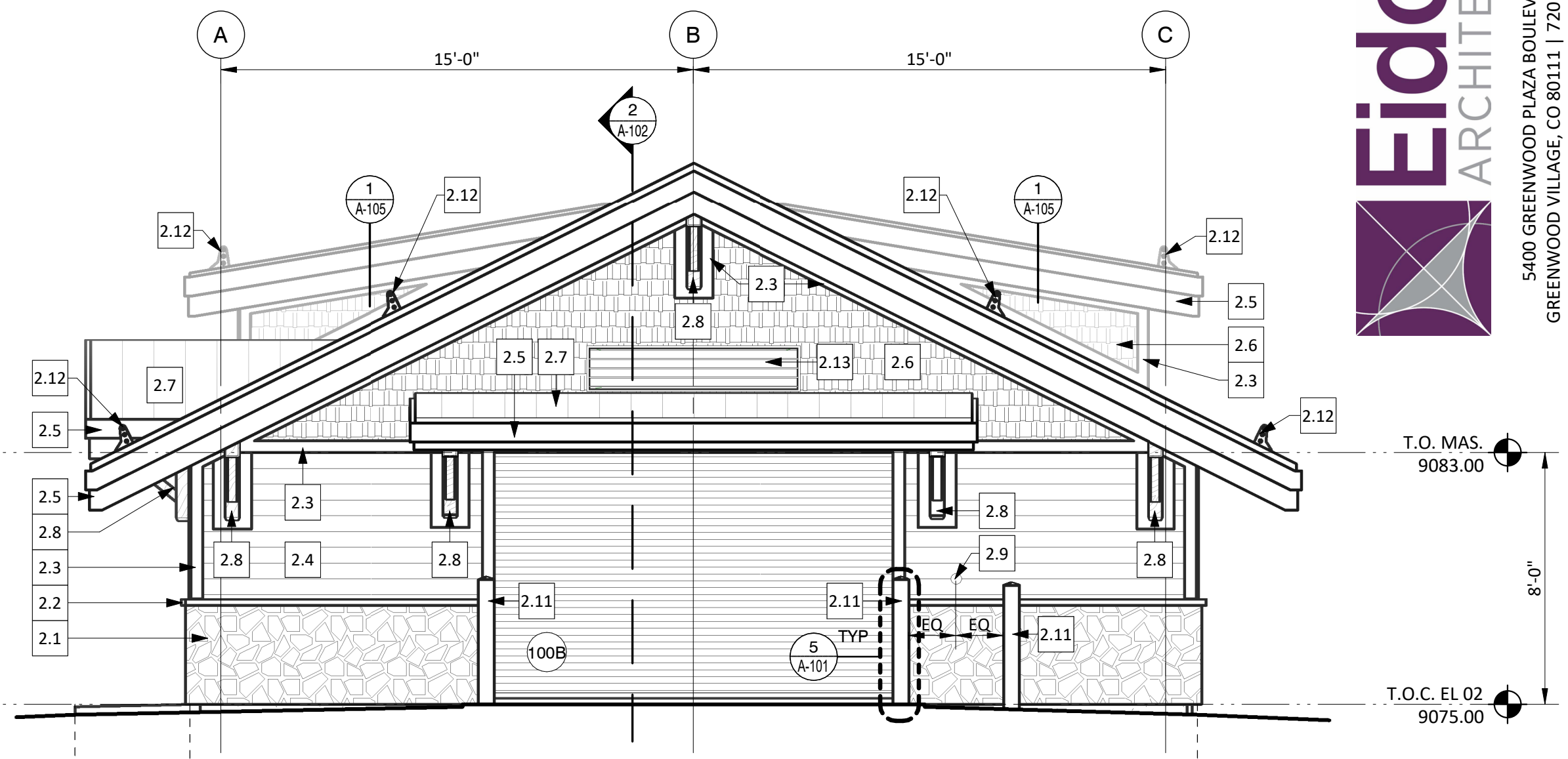
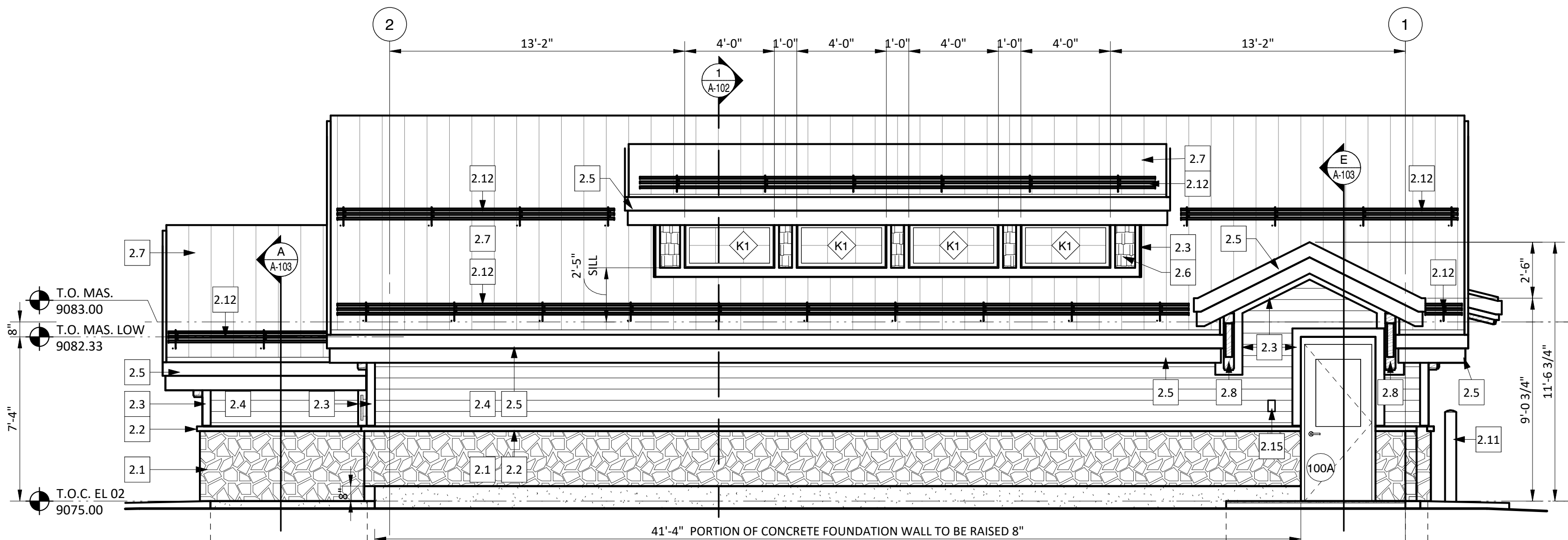
Doors



Windows (translucent insulated fiberglass panels)



Note: Material finishes to match existing Well 7 building.



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