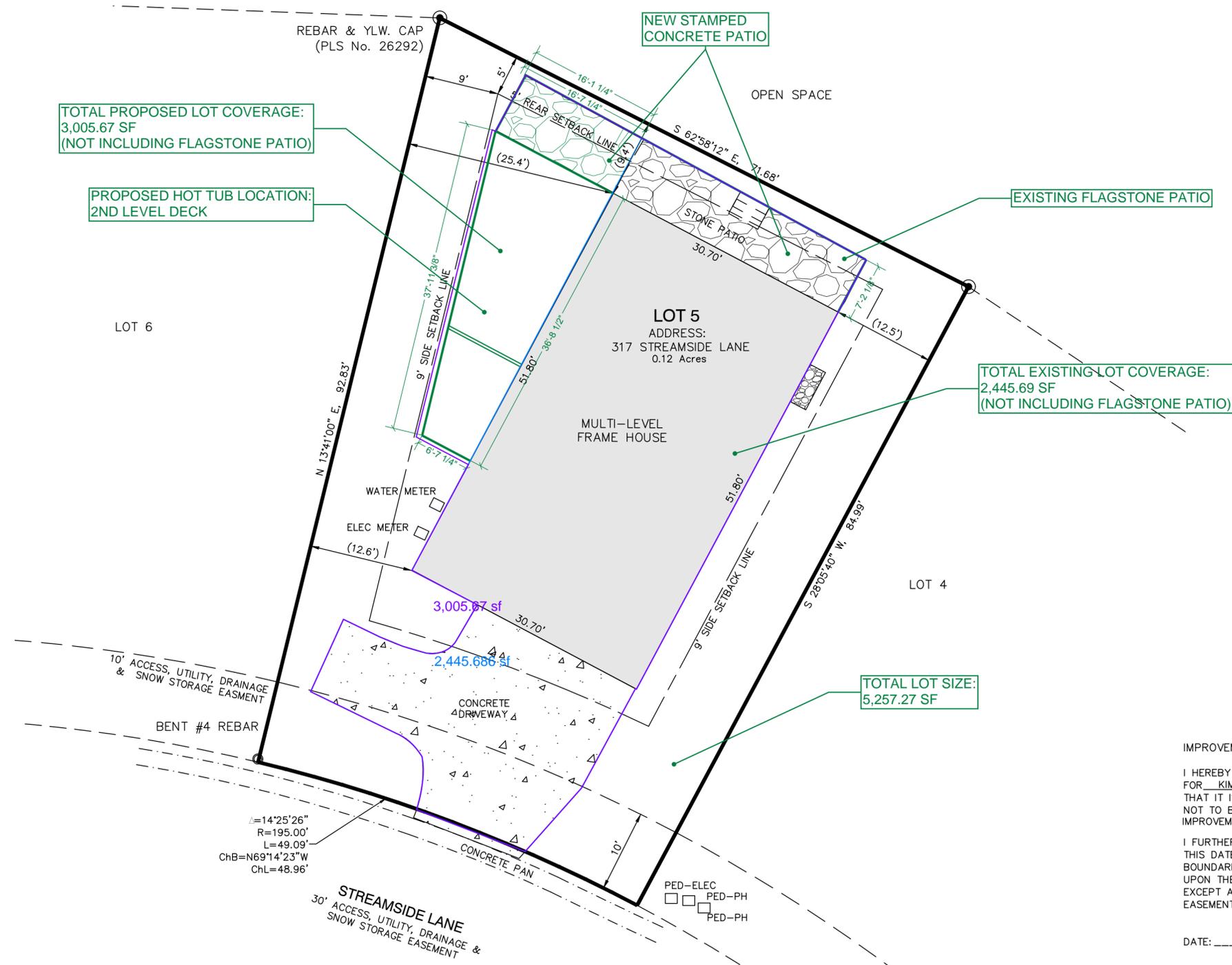
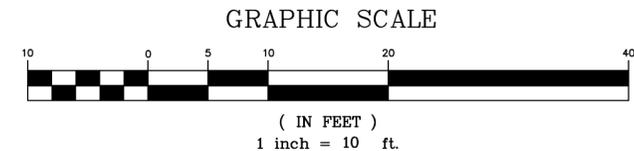


IMPROVEMENT LOCATION CERTIFICATE
LOT 5, CREEK AT FRISCO
 TOWN OF FRISCO, SUMMIT COUNTY, COLORADO



TOTAL PROPOSED LOT COVERAGE:
 3,005.67 SF
 (NOT INCLUDING FLAGSTONE PATIO)

PROPOSED HOT TUB LOCATION:
 2ND LEVEL DECK

EXISTING FLAGSTONE PATIO

TOTAL EXISTING LOT COVERAGE:
 2,445.69 SF
 (NOT INCLUDING FLAGSTONE PATIO)

TOTAL LOT SIZE:
 5,257.27 SF

$\Delta=14'25'26''$
 $R=195.00'$
 $L=49.09'$
 $ChB=N69'14'23''W$
 $ChL=48.96'$

IMPROVEMENT LOCATION CERTIFICATE

I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR KIMBERLY DYER THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING OR OTHER FUTURE IMPROVEMENT LINES.

I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON THIS DATE, 7/14/20, EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING PREMISES, EXCEPT AS INDICATED, AND THAT THERE IS NO APPARENT EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED.

DATE: _____



Elizabeth Schmidt
 ELIZABETH SCHMIDT
 COLORADO P.L.S. NO. 37047

GENERAL NOTES

- 1 DATE OF SURVEY: JULY 14, 2020.
- 2 THE FINAL PLAT OF THE CREEK AT FRISCO WAS RECORDED AUGUST 8, 1997 AT RECEPTION No. 544392 IN THE SUMMIT COUNTY CLERK AND RECORDERS OFFICE.
- 3 BUILDING TIES ARE INDICATED IN PARENTHESIS.
- 4 SCHMIDT LAND SURVEYING, INC. DID NOT PERFORM A TITLE SEARCH OF THE SUBJECT PROPERTY TO ESTABLISH OWNERSHIP, EASEMENTS OR RIGHTS-OF-WAY OF RECORD.

NOTICE:
 ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

Drawn BNT	Dwg 2366 ILC.dwg	Project 2366
Date 7/14/20	Scale 1" = 10'	Sheet 1 of 1

SCHMIDT
 LAND SURVEYING, INC.
 P.O. Box 5761
 FRISCO, CO 80443 970-409-9963

GENERAL NOTES

1. MISCELLANEOUS NOTES

THESE PLANS ARE DESIGNED FOR THE FINISHED PRODUCT. SHORING, STAGING, AND ORDER OF OPERATION ARE OUTSIDE THE SCOPE OF OUR SERVICES AND SHOULD BE DESIGNED AND MONITORED BY THE CONTRACTOR DURING CONSTRUCTION.

FINISH MATERIAL, INSULATION REQUIREMENTS, AND WATERPROOFING ARE OUTSIDE OF OUR SCOPE OF SERVICES AND SHOULD BE DESIGN BY THE ARCHITECT.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. CONTACT INSPIRE ENGINEERING IF DISCREPANCIES ARE FOUND.

SHOP DRAWINGS AND SUBMITTALS, WHERE REQUIRED, SHALL DEMONSTRATE HOW THE CONTRACTOR IS PROPOSING TO CONFORM TO THE INFORMATION GIVEN ON THESE PLANS AND THE DESIGN CONCEPT EXPRESSED IN THE CONSTRUCTION DOCUMENTS. PRIOR TO PROVIDING INSPIRE ENGINEERING SUBMITTALS TO REVIEW, THE CONTRACTOR MUST:

- REVIEW & APPROVE THE SUBMITTAL
- DETERMINE AND VERIFY MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA
- CHECK & COORDINATE THE INFORMATION IN THE SUBMITTAL WITH THE CONTRACT REQUIREMENTS

2. DESIGN CRITERIA

THESE PLANS WERE PREPARED FOLLOWING THE 2018 IRC CODES AND ANY LOCAL AMENDMENTS. OUR DESIGN WAS PREPARED USING ASCE 7-16, ACI-332, AND THE 2018 NDS.

RISK CATEGORY:	II
WIND SPEED:	Vult = 115 mph
EXPOSURE CATEGORY:	C
GROUND SNOW LOAD:	80 psf
ROOF LOAD:	80 psf (SNOW) / 15 psf (DEAD)
FLOOR LOAD:	40 psf (LIVE) / 110 psf (HOT TUB) / 15 psf (DEAD)
SEISMIC DESIGN CATEGORY:	B

3. SOILS

SOILS REPORT BY:	ASSUMED
REPORT DATE:	N/A
REPORT NUMBER:	N/A

RECOMMENDATIONS:	FOUNDATION TYPE:	SHALLOW FOOTINGS
	MAX. BEARING PRESSURE =	2,500 psf
	MIN. BEARING PRESSURE =	N/A
	BALANCED PRESSURE =	1200 psf
	MIN. FROST DEPTH =	40" (in.)
	SOIL SITE CLASS =	D
	EQ. FLUID DENSITY =	50 pcf

FOUNDATION DESIGN WAS BASED ON ASSUMED BEARING SOILS CONSISTING OF SANDY GRAVEL AND/OR GRAVEL AS DESCRIBED IN TABLE R401.4.1 OF THE IRC.

WE REQUIRE AN OPEN HOLE OBSERVATION BE PERFORMED PRIOR TO POURING THE FOUNDATION FOOTINGS. OPEN HOLE OBSERVATIONS ARE TO VERIFY THAT THE SOILS CONDITIONS ARE CONSISTENT WITH THE ASSUMED SOILS. IF SOIL CONDITIONS DIFFER FROM THE ASSUMED SOILS, CONTACT INSPIRE ENGINEERING. THIS MAY RESULT IN AN ADDITIONAL EVALUATION OR FOUNDATION RE-DESIGN.

WE RECOMMEND FOUNDATION WALLS NOT BE BACKFILLED FOR A MINIMUM OF (8) DAYS AFTER PLACEMENT OF CONCRETE. ALL FLOOR SYSTEMS SHOULD BE IN PLACE PRIOR TO BACKFILLING AGAINST ANY FOUNDATION WALL. ADEQUATELY BRACING THE FOUNDATION WALLS MAY BE USED AS AN ALTERNATIVE.

4. CONCRETE

STRUCTURAL CONCRETE FOR FOUNDATION ELEMENTS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 4,000 psi, WITH A MAX. W/C RATIO OF .45, AND AIR ENTRAINMENT OF 5-8%.

CONCRETE FOR INTERIOR SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 3,500 psi. INTERIOR SLAB SHRINKAGE SHALL BE MAXIMUM OF .04% AS DETERMINED BY ASTM C157.

CONCRETE FOR EXTERIOR SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 4,500 psi, WITH A MAX. W/C RATIO OF .45, AND AIR ENTRAINMENT OF 5-8%.

ALL CONCRETE SHALL BE DESIGNED, MIXED AND PLACED IN ACCORDANCE WITH ACI-301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".

CEMENT SHALL BE TYPE I/II AND FOLLOW ASTM C150.

AGGREGATES SHALL BE PER ASTM C33.

COLD WEATHER CONCRETING REQUIREMENTS PER ACI-308R SHALL BE FOLLOWED WHEN THE AMBIENT TEMPERATURE IS 40° F OR BELOW.

HOT WEATHER CONCRETE PRODUCTION, DELIVERY, PLACEMENT, CURING, TESTING AND INSPECTIONS SHALL BE IN ACCORDANCE WITH ACI-305R.

READY MIXED CONCRETE SHALL COMPLY WITH ASTM C94.

5. FOUNDATION

FOUNDATION WALLS WERE DESIGNED BASED ON AN 8" THICK WALL. ADDITIONAL WALL THICKNESS WAS UTILIZED IN CERTAIN LOCATIONS IN ORDER TO INCREASE BEARING WIDTH AND IMPROVE CONSTRUCTABILITY.

FOOTINGS SHALL BEAR A MINIMUM OF 40" BELOW FINISHED GRADE.

FOOTINGS OVER 24" WIDE REQUIRE #4 TRANSVERSE REINFORCING BARS AT 24" O.C.

REINFORCING SHALL BE DEFORMED GRADE 60 STEEL, UNLESS NOTED OTHERWISE (U.N.O.) ON THE PLAN AND SHALL CONFORM TO ASTM A615.

ALL FOUNDATION WALL REINFORCEMENT SHALL BE WIRED IN PLACE. SLAB AND FOOTING REINFORCEMENT SHALL UTILIZE CHAIRS OR OTHER ACCEPTABLE METHODS TO ACHIEVE THE REQUIRED CROSS SECTION.

MINIMUM CONCRETE COVER SHALL BE 2" U.N.O. ON THE PLAN.

REBAR OVERLAPS SHALL BE 40x BAR DIAMETERS BUT NOT LESS THAN 24". DETAIL REINFORCING BARS IN ACCORDANCE TO THE ACI DETAILING MANUAL AND ACI CODE.

FOUNDATION ANCHOR BOLTS SHALL CONFORM TO ASTM A307 AND BE ½" DIAMETER BY 10" LONG, SPACED AT 4'-0" O.C. MAX AND 12" MAX FROM CORNERS AND PLATE SPLICES.

IT IS THE CONTRACTOR/OWNERS RESPONSIBILITY TO VERIFY AND COORDINATE ALL DIMENSIONS PRIOR TO CONSTRUCTION.

6. SLAB ON GRADE

MAX CONTROL JOINT SPACING SHALL BE 2x THE SLAB THICKNESS. CONTROL JOINTS SHALL BE ¼" WIDE WITH A DEPTH OF ¼" x SLAB THICKNESS PLUS ¼".

CONTROL JOINTS SHALL BE CUT AS SOON AS PRACTICAL.

REINFORCING SHALL BE PER THE PLANS. CENTER REINFORCING IN THE SLAB.

SLABS SHALL BE CURED PER THE METHODS DESCRIBED IN ACI-302.1, R-15 "GUIDE TO CONCRETE FLOOR AND SLAB CONSTRUCTION".

SECTIONS OF SLABS SHALL ONLY BE POURED IN LARGE SQUARES OR RECTANGLES.

PROVIDE A GRANULAR LEVELING COURSE CONSISTING OF ¾" MINUS CLEAN GRAVEL UNDER SLABS, EXCEPT WHERE NOTED AT EXTERIOR STRUCTURAL SLABS.

7. WOOD FRAMING

MATERIAL SPECIFICATIONS:	DIMENSIONAL LUMBER: TIMBER BEAMS & POSTS: GLULAM BEAMS: FLOOR SHEATHING: WALL SHEATHING: ROOF SHEATHING:	HEM-FIR #2 SEE PLAN SEE PLAN ¾" T&G ½" OSB (STRUCTURAL) 19/32" OSB (STRUCTURAL)
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ALL FRAMING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE GOVERNING CODE. ALL CONNECTIONS OR MEMBERS NOT SHOWN ARE PER CODE. ALL MANUFACTURED WOOD PRODUCTS SHALL BE INSTALLED PER THE MANUFACTURERS PRINTED INSTALLATION INSTRUCTIONS. FLUSH MULTI-PLY LVL BEAMS ARE TO BE ATTACHED PER THE BELOW SCHEDULE UNLESS NOTED OTHERWISE ON THE PLANS.

MULTI-PLY CONNECTIONS FOR FLUSH LVL BEAMS				
NUMBER OF PLYS	FASTENER TYPE	NUMBER OF ROWS	FASTENER ON-CENTER SPACING	FASTENER ON BOTH FACES
2	10d NAIL (0.128"x3") OR (0.131"x3")	3	12"	NO
3	10d NAIL (0.128"x3") OR (0.131"x3")	3	12"	YES
4	6" LONG SIMPSON SDS SCREW	3	16"	YES

NOTE: CONTACT INSPIRE ENGINEERING FOR ALTERNATIVES TO THE ABOVE FASTENERS, IF REQUIRED

ALL EXTERIOR WALL FRAMING SHALL BE WALL SHEATHING PER ABOVE OVER 2x6 STUDS AT 16" O.C., U.N.O. SHEATHING SHALL BE ATTACHED PER THE SHEAR WALL SCHEDULE TO THE RIGHT.

BUILT UP COLUMNS SHALL BE A MINIMUM OF (3) 2x STUDS, U.N.O. ON THE PLANS

1 ½" MINIMUM SOLID RIM REQUIRED AT FLOOR SYSTEM.

FLOOR SHEATHING SHALL BE GLUED AND NAILED TO THE FLOOR FRAMING WITH 8d NAILS @ 6" O.C AT THE EDGES AND 12" O.C. IN THE FIELD. PROVIDE BLOCKING AT SUPPORTS AS REQUIRED BY CODE.

ROOF SHEATHING SHALL BE ATTACHED TO THE ROOF FRAMING WITH 8d NAILS @ 6" O.C AT THE EDGES AND 12" O.C. IN THE FIELD. PROVIDE BLOCKING AT SUPPORTS AS REQUIRED BY CODE.

RAFTERS SHALL BE ATTACHED AT LOW-END BEARING WALLS WITH SIMPSON H2.5A CLIPS.

ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

PROVIDE SOLID BLOCKING TO TRANSMIT ALL POINT LOADS CONTINUOUS TO THE FOUNDATION.

IF THERE ARE 20% OF OVERDRIVEN NAILS IN SHEATHING, THEN SHEATHING MUST BE RE-NAILED WITH PROPER GUN PRESSURE NOT TO BREAK SURFACE OF SHEATHING.

ALL FASTENERS AND CONNECTORS IN CONTACT WITH PRESSURE TREATED LUMBERS HALL BE G185 HOT-DIP GALVANIZED, TYPE 304 STAINLESS STEEL OR TYPE 316 STAINLESS STEEL.

8. TRUSSES

SUBMIT TRUSS DESIGN TO INSPIRE ENGINEERING FOR REVIEW PRIOR TO CONSTRUCTION.

TRUSSES SHOWN ON ROOF PLAN ARE SHOWN IN APPROXIMATE LOCATIONS WITH FINAL LAYOUT AND DESIGN TO BE SUPPLIED BY TRUSS MANUFACTURER.

CONTACT INSPIRE ENGINEERING IF TRUSS LAYOUT DEVIATES FROM ROOF PLAN SHOWN ON PLANS. A RE-DESIGN MAY BE REQUIRED.

MAXIMUM TRUSS SPACING TO BE 24" O.C.

TRUSS BRACING, BLOCKING, AND ATTACHMENT DESIGN PER TRUSS MANUFACTURER.

ALL TRUSSES ARE ASSUMED TO HAVE NO HORIZONTAL THRUST DUE TO THE TRUSS SHAPE. IF STRUCTURAL DESIGN OF THE WALLS REQUIRES RESISTANCE TO TRUSS THRUST, A RE-DESIGN MAY BE REQUIRED.

9. STRUCTURAL STEEL

ALL BEAMS SHALL CONFORM TO ASTM A992 (Fy = 50 ksi).

ALL HSS COLUMNS SHALL CONFORM TO ASTM A500, GRADE B (Fy = 46 ksi).

3"(IN) I.D. ADJUSTABLE STEEL COLUMNS SHALL BE SCHEDULE 40 OR BETTER AND RATED FOR A SAFE ALLOWABLE LOAD OF NOT LESS THAN 30 KIPS FOR COLUMNS UP TO 9'-0" IN HEIGHT. 3 1/2" (IN) I.D. ADJUSTABLE STEEL COLUMNS SHALL BE SCHEDULE 40 AND RATED FOR A SAFE ALLOWABLE LOAD OF NOT LESS THAN 40 KIPS FOR COLUMNS UP TO 9'-0" IN HEIGHT. ALL ADJUSTABLE STEEL COLUMNS SHALL HAVE 1"-3" (IN) OF THREAD EXPOSED.

ALL PLATES & ANGLES SHALL CONFORM TO ASTM A36 (Fy = 36 ksi).

ALL WELDS SHALL BE PRE-QUALIFIED WITH ULTIMATE STRENGTH OF 70 ksi, AS DEFINED BY ANSI/AWS D1.1, ORD.1.3, LATEST EDITION. ALL MISCELLANEOUS WELDS (FIELD OR SHOP) SHALL BE MINIMUM SIZE FILLET WELDS ALL AROUND IN ACCORDANCE WITH AISC. WELDING OF CONTINUOUS MEMBERS SHALL BE A MINIMUM ⅜" FILLET STITCH WELDS OF 2" LENGTH AT 12" O.C. STAGGERED EACH SIDE, U.N.O.

THE STEEL SUPPLIER SHALL PROVIDE SHOP DRAWINGS TO GENERAL CONTRACTOR AND TO INSPIRE ENGINEERING PRIOR TO CONSTRUCTION TO VERIFY DESIGN INTENT.

10. QUALITY ASSURANCE

OBSERVATION/SUBMITTAL	PERFORMED BY (RECOMMENDED)
OPEN HOLE/SOIL VERIFICATION	LOCAL JURISDICTION
FOOTING	LOCAL JURISDICTION
FOUNDATION REINFORCING	LOCAL JURISDICTION

WE RECOMMEND THE ABOVE COMPANIES FOR OBSERVATIONS. OTHER COMPANIES MAY BE USED AT THE CLIENTS DISCRETION. CONTACT FOR PRICING PRIOR TO SCHEDULING OBSERVATIONS. OTHER OBSERVATIONS MAY BE REQUIRED BY THE LOCAL JURISDICTION OR OTHER ENGINEERS WORKING ON THIS PROJECT.

DYER ADDITION & REMODEL

WALL SHEATHING & SHEAR WALL SCHEDULE

WALL TYPE	SHEATHING TYPE	SHEATHING THICKNESS	EDGE BLOCKING	FASTENERS	EDGE SPACING	FIELD SPACING
EXTERIOR, U.N.O.	OSB OR PLYWOOD (EXTERIOR)	7/16"	YES	8d COMMON 16 ga. x 1 3/8" STAPLES	6" 3"	12" 6"

NOTES:

- ALL EXTERIOR SHEATHING VERTICAL EDGES SHALL FALL UPON 2x6 STUDS SPACED AT 16" O.C. MAX.
- HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE WALL STUDS, EXCEPT WHERE INDICATED ABOVE.
- EXTERIOR WALL SOLE PLATES AND TOP PLATES SHALL BE ATTACHED TO FRAMING ABOVE AND BELOW IN ACCORDANCE WITH THE I-CODES.
- WHERE JOISTS ARE PERPENDICULAR TO THE INTERIOR SHEAR WALL LINES ABOVE, BLOCKING BETWEEN JOISTS SHOULD BE INSTALLED BELOW THE SHEAR WALL.
- WHERE JOISTS ARE PARALLEL TO THE INTERIOR SHEAR WALL LINES ABOVE, DOUBLE JOISTS SHOULD BE INSTALLED BELOW THE SHEAR WALL.
- ATTACH INTERIOR SHEAR WALLS TO FRAMING ABOVE AND BELOW IN ACCORDANCE WITH THE I-CODES.

HEADER SCHEDULE

HEADER DESIGNATION	HEADER	MATERIAL	# OF TRIMMER STUDS (U.N.O.)
HF28	(2) 2x8	HEM-FIR	1
HF310	(3) 3x10	HEM-FIR	1
LVL38	(3) 1 3/4" x 7 1/4"	LVL	2
LVL312	(3) 1 3/4" x 11 3/8"	LVL	2

KING STUD SCHEDULE

OPENING WIDTH	# OF KING STUDS PER SIDE (U.N.O.)
1'-4" TO 5'-0"	1
5'-1" TO 10'-0"	2

FRAMING HARDWARE SCHEDULE

CONNECTION TYPE	HANGER
JOIST TO WOOD BEAM - FLUSH	HU-SERIES
DOUBLE JOIST TO WOOD BEAM - FLUSH	MIU-SERIES

NOTES:

- HANGERS SHALL BE PROVIDED PER SCHEDULE U.N.O. ON THE PLANS.
- SOME HANGERS ARE SPECIAL ORDER.
- HANGERS SHALL HAVE ZMAX CORROSION PROTECTION FOR ALL EXTERIOR APPLICATIONS OR WHERE PRESSURE TREATED LUMBER IS USED.
- CONTACT INSPIRE ENGINEERING IF ALTERNATIVE HANGER OPTIONS ARE PREFERRED.
- ALL HANGERS ARE SIMPSON MFR. INSTALL HANGERS PER MFR. SPECIFICATIONS.

SHEET INDEX

S0.0	PROJECT INFORMATION
S1.0	FOUNDATION & FRAMING PLANS
S2.0	N/A
S3.0	N/A
S4.0	FOUNDATION DETAILS

INSPIRE ENGINEERING



4833 INNOVATION DRIVE, SUITE 4
FORT COLLINS, CO 80525
PHONE: (319) 631-5935

CLIENT:
DAN & KIM DYER

317 STREAMSIDE LANE
FRISCO, COLORADO

CLIENT CONTACT:
dandyer63@gmail.com

ADDITION & REMODEL

317 STREAMSIDE LANE
FRISCO, COLORADO



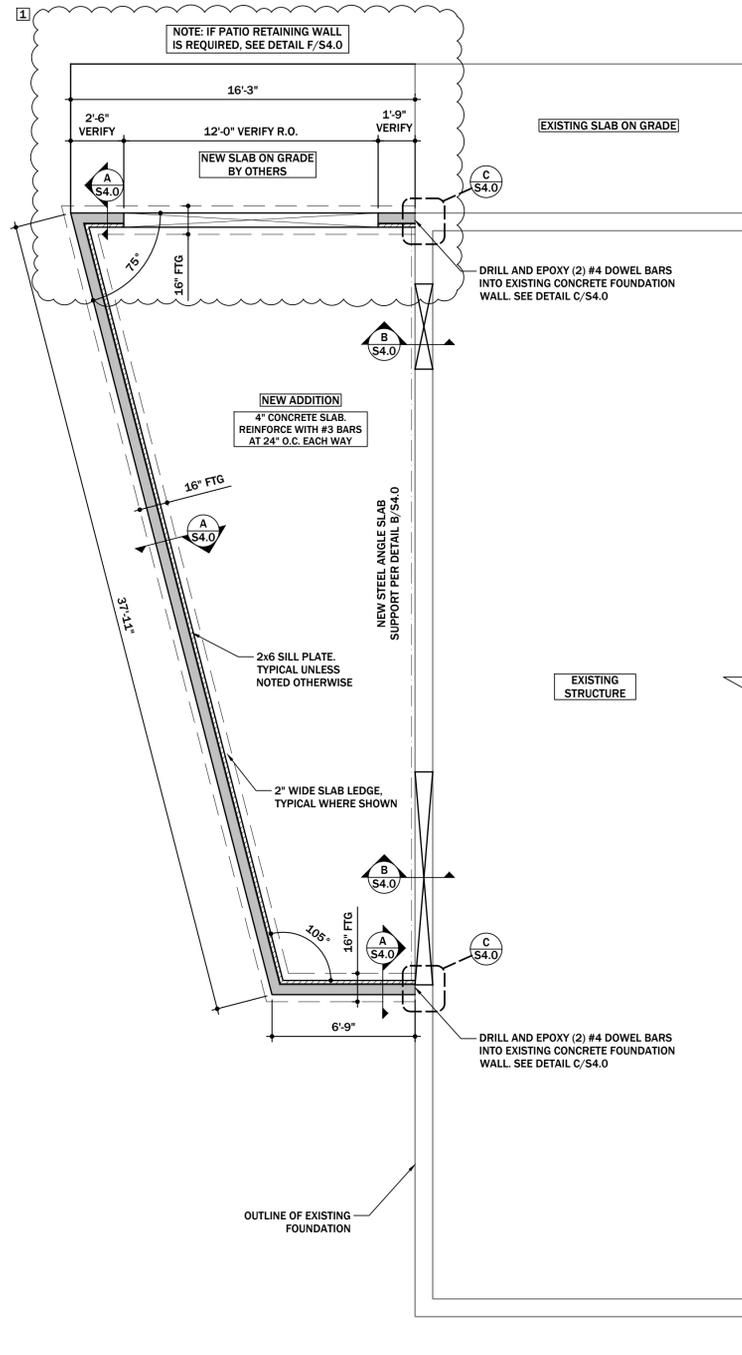
DRAWN BY: JV
DESIGN BY: NTR
DATE: 09/20/2023
PROJECT #: ENG23.0169

REVISION	DATE
1	PLAN UPDATES 6/20/24
2	
3	
4	
5	
6	

PROJECT INFORMATION

SCALE: PER PLAN

S0.0

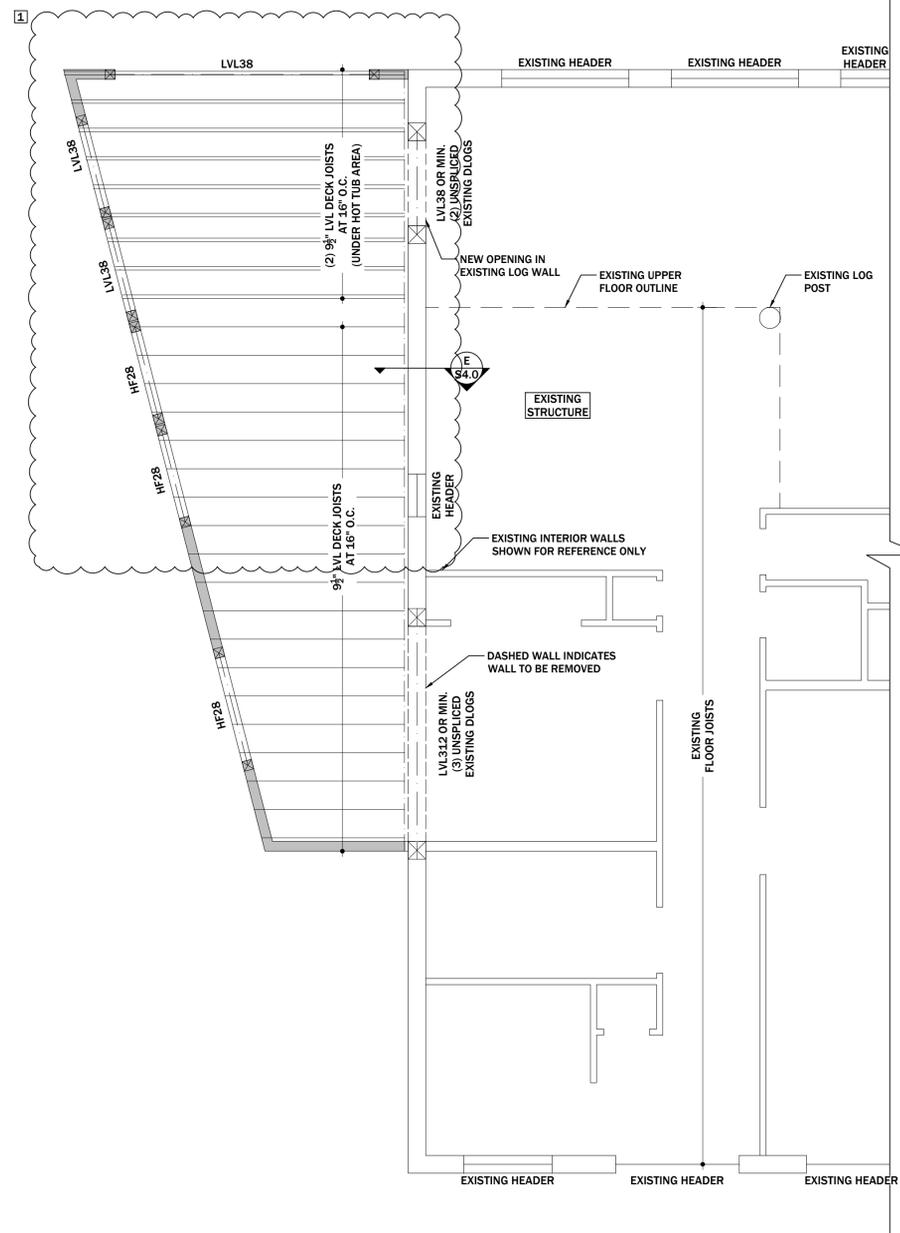


FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION ELEVATIONS

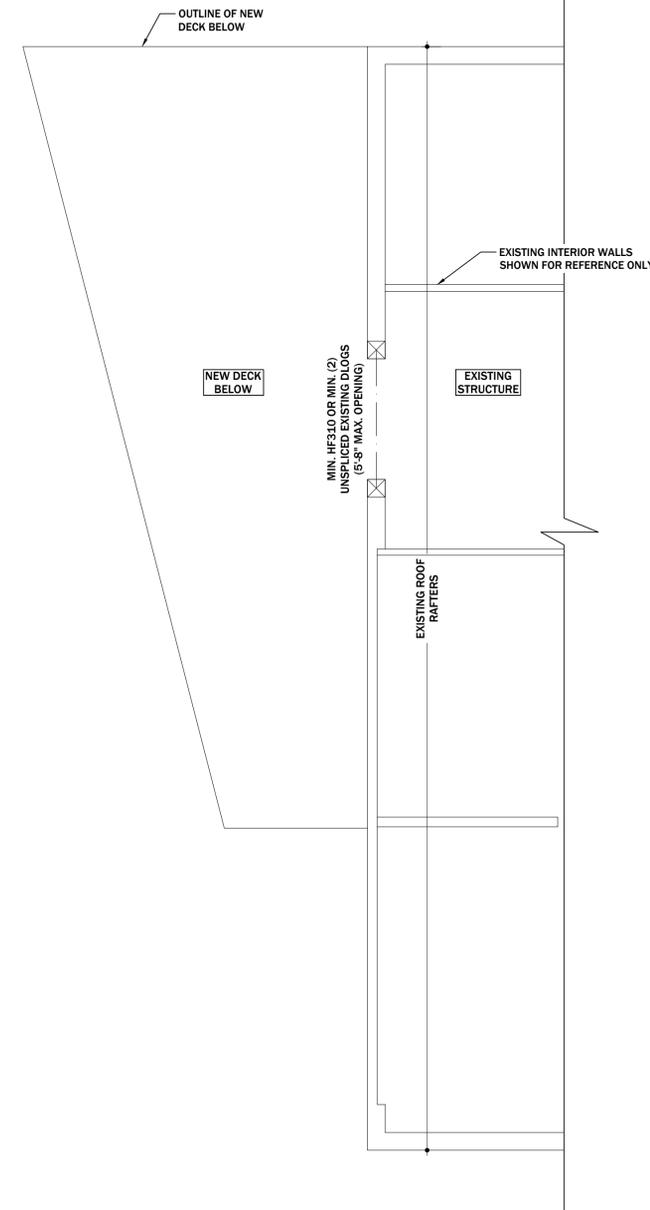
(E) T.O.S. = EXISTING TOP OF SLAB = 100'-0"
 (N) T.O.S. = NEW TOP OF SLAB = 100'-0"
 (N) T.O.F. = TOP OF FOUNDATION = 100'-0"
 NOTE: DROP T.O.F. 8" AT DOORWAY
 (N) B.O.FTG. = BOTTOM OF FOOTING = 96'-0" (VERIFY AT EXISTING)



UPPER FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTE: EXISTING FRAMING TO REMAIN UNLESS NOTED OTHERWISE



UPPER ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTE: EXISTING FRAMING TO REMAIN UNLESS NOTED OTHERWISE



4803 INNOVATION DRIVE, SUITE 4
 FORT COLLINS, CO 80525
 PHONE: (315) 631-6935
 CLIENT:
DAN & KIM DYER
 317 STREAMSIDE LANE
 FRISCO, COLORADO
 CLIENT CONTACT:
 danedyer63@gmail.com

ADDITION & REMODEL
317 STREAMSIDE LANE
FRISCO, COLORADO

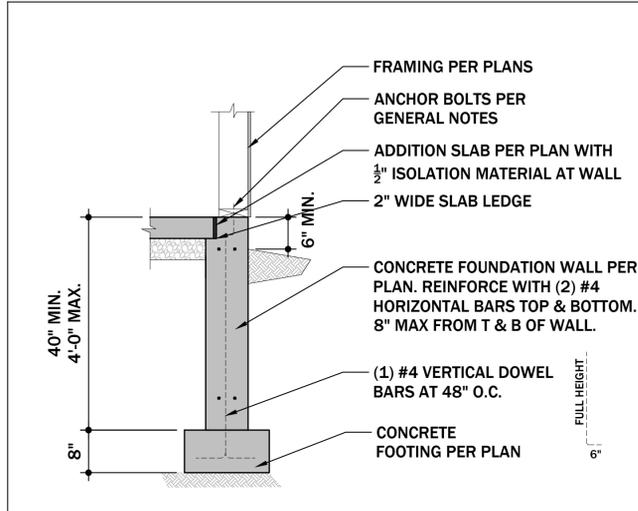


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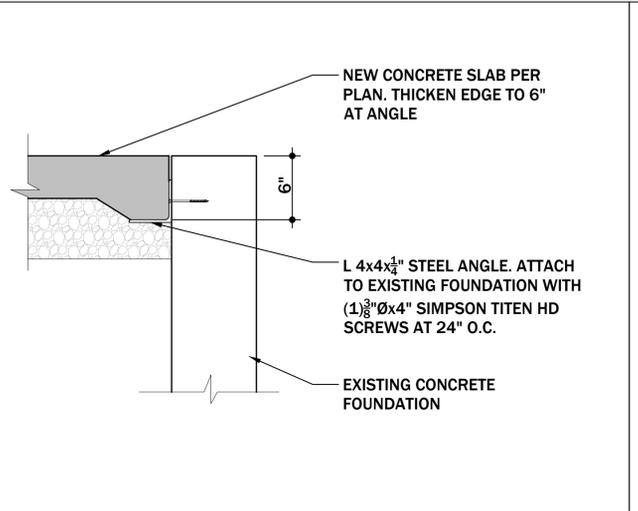
STRUCTURAL PLANS
 SCALE: PER PLAN

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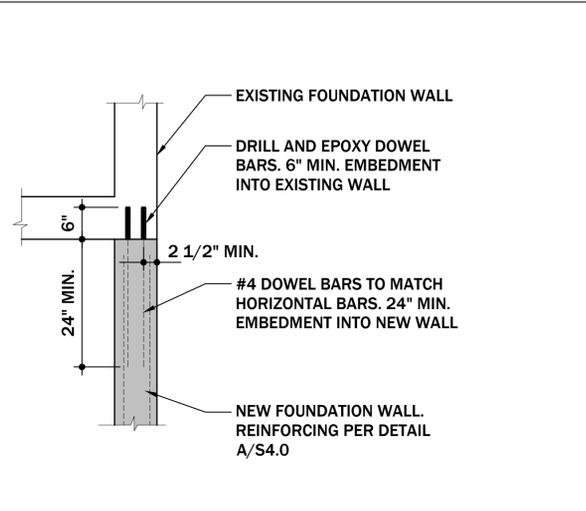
TYPICAL FOUNDATION
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A



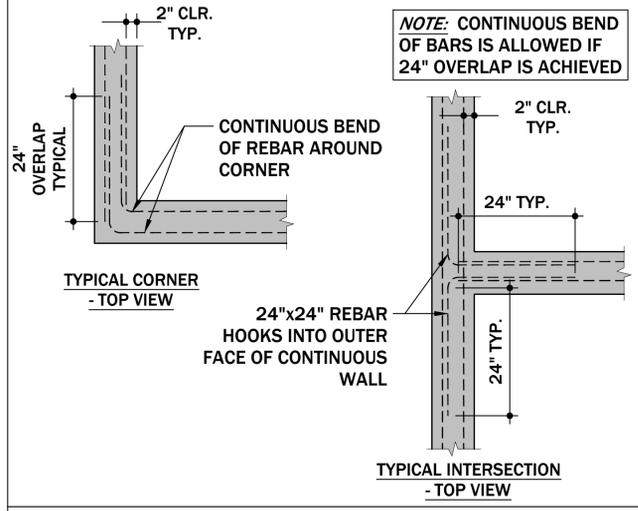
NEW SLAB TO EXISTING
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B



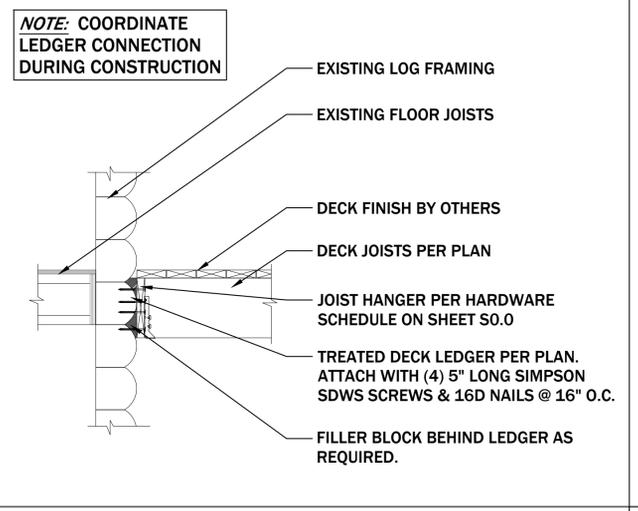
NEW FOUNDATION TO EXISTING
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C



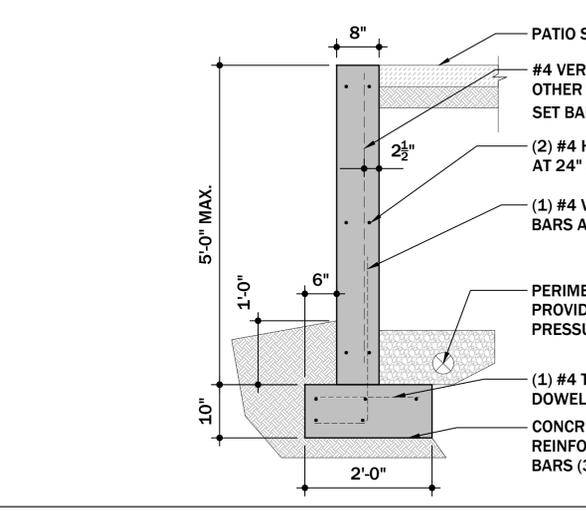
REINFORCING AT CORNERS
(SCALE: $\frac{3}{4}$ " = 1'-0")

D



DECK LEDGER
(SCALE: $\frac{3}{4}$ " = 1'-0")

E



PATIO RETAINING WALL
(SCALE: $\frac{3}{4}$ " = 1'-0")

F

OPEN
(SCALE: $\frac{3}{4}$ " = 1'-0")



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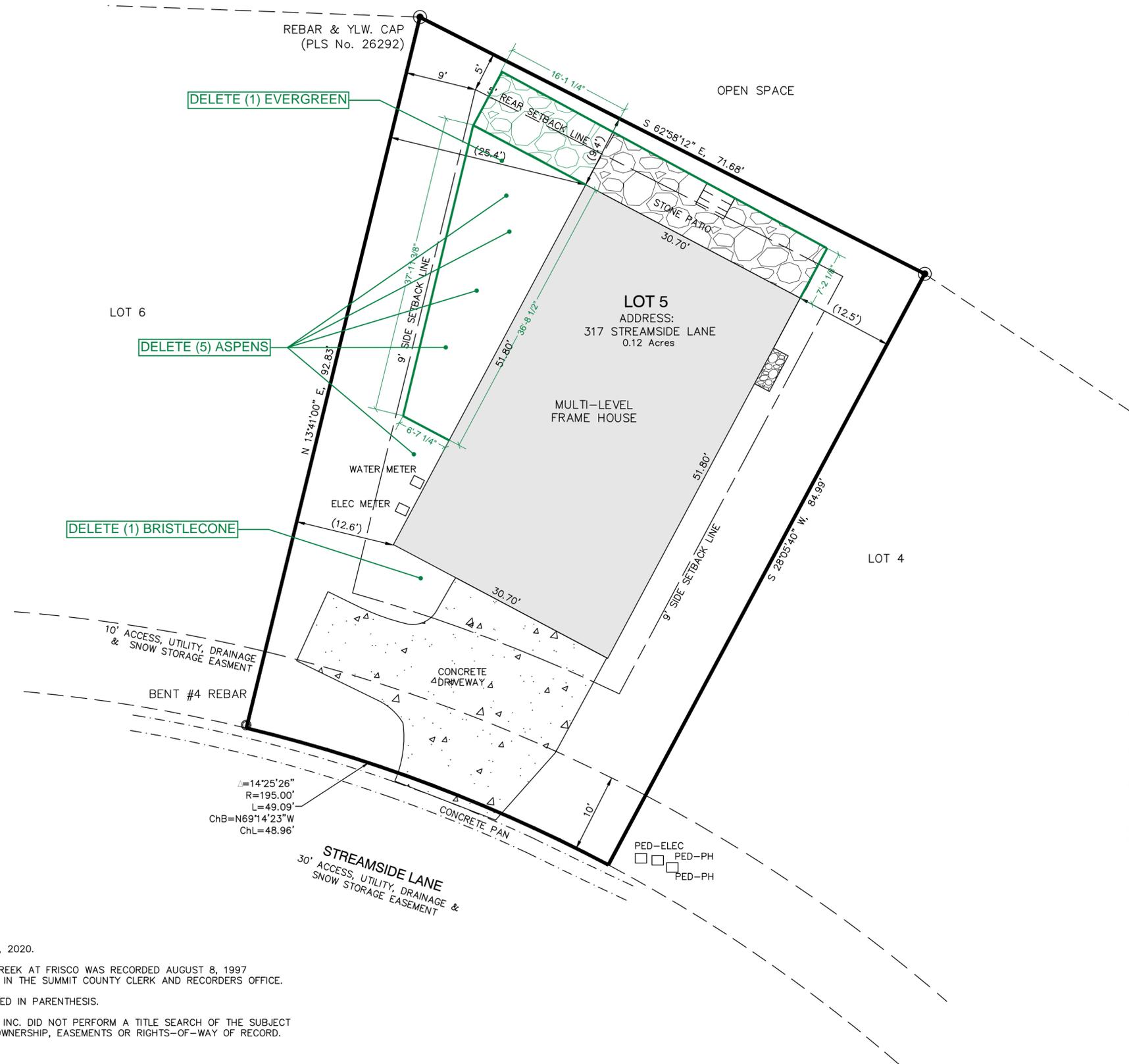
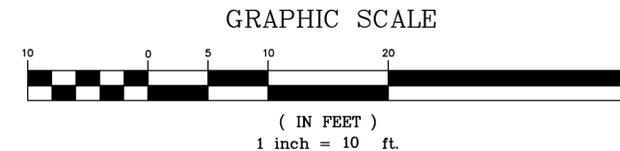
REVISION	DATE
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DETAILS

SCALE: PER PLAN

S4.0

IMPROVEMENT LOCATION CERTIFICATE
LOT 5, CREEK AT FRISCO
 TOWN OF FRISCO, SUMMIT COUNTY, COLORADO



IMPROVEMENT LOCATION CERTIFICATE

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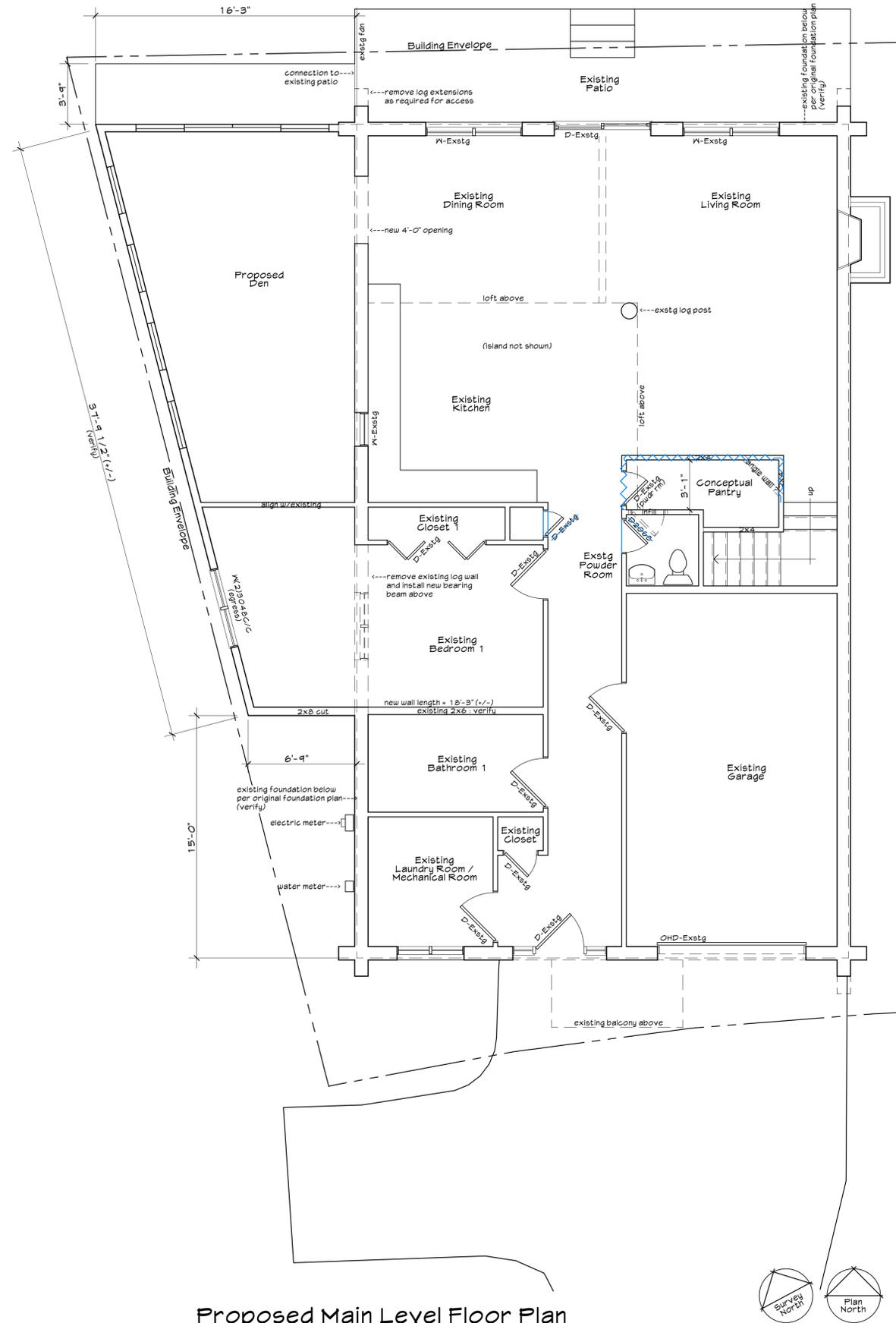
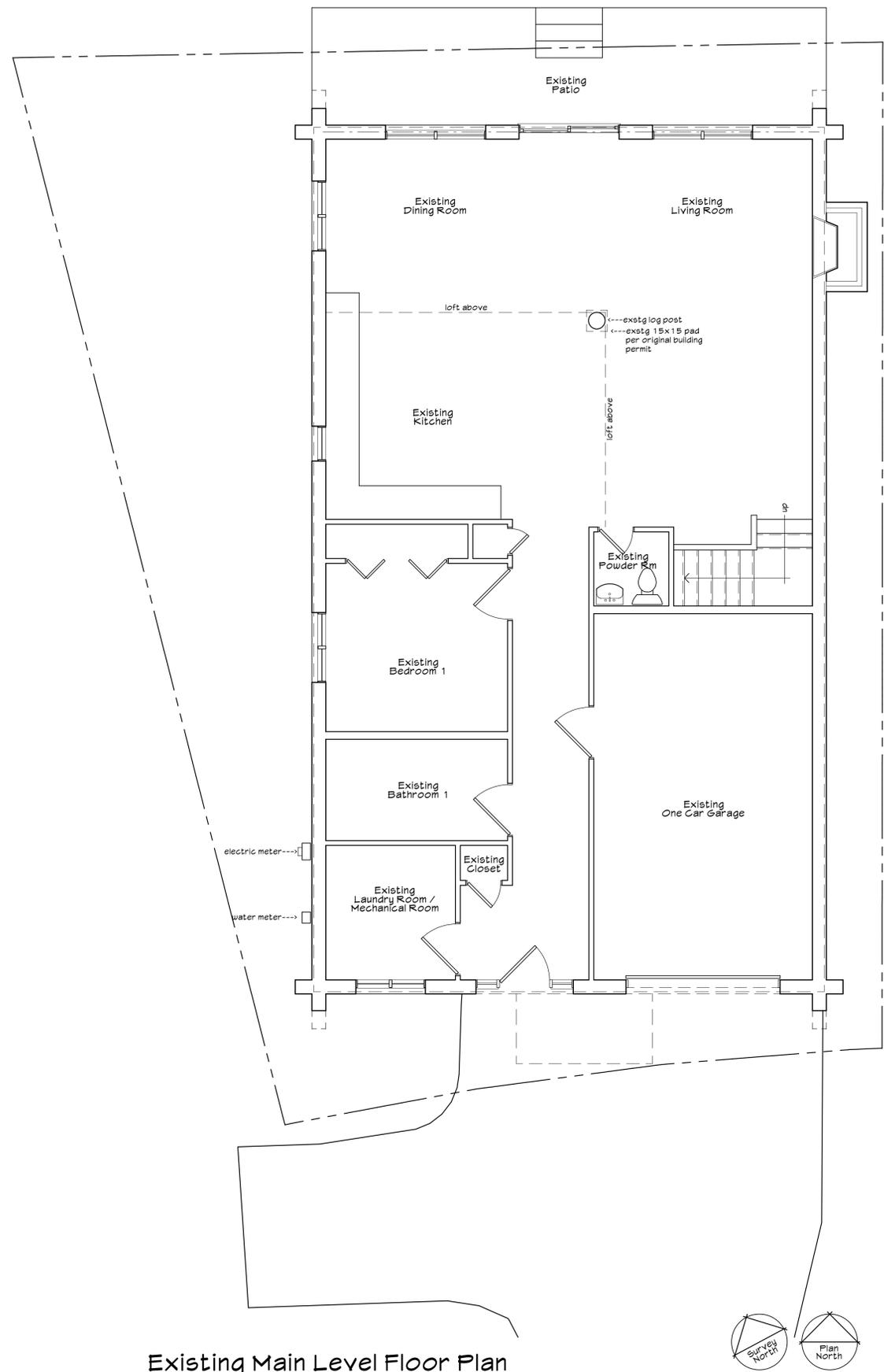
Elizabeth Schmidt
 ELIZABETH SCHMIDT
 COLORADO P.L.S. NO. 37047

- GENERAL NOTES**
- 1 DATE OF SURVEY: JULY 14, 2020.
 - 2 THE FINAL PLAT OF THE CREEK AT FRISCO WAS RECORDED AUGUST 8, 1997 AT RECEPTION No. 544392 IN THE SUMMIT COUNTY CLERK AND RECORDERS OFFICE.
 - 3 BUILDING TIES ARE INDICATED IN PARENTHESIS.
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Drawn BNT	Dwg 2366 ILC.dwg	Project 2366
Date 7/14/20	Scale 1" = 10'	Sheet 1 of 1

SCHMIDT
 LAND SURVEYING, INC.
 P.O. Box 5761
 FRISCO, CO 80443 970-409-9963

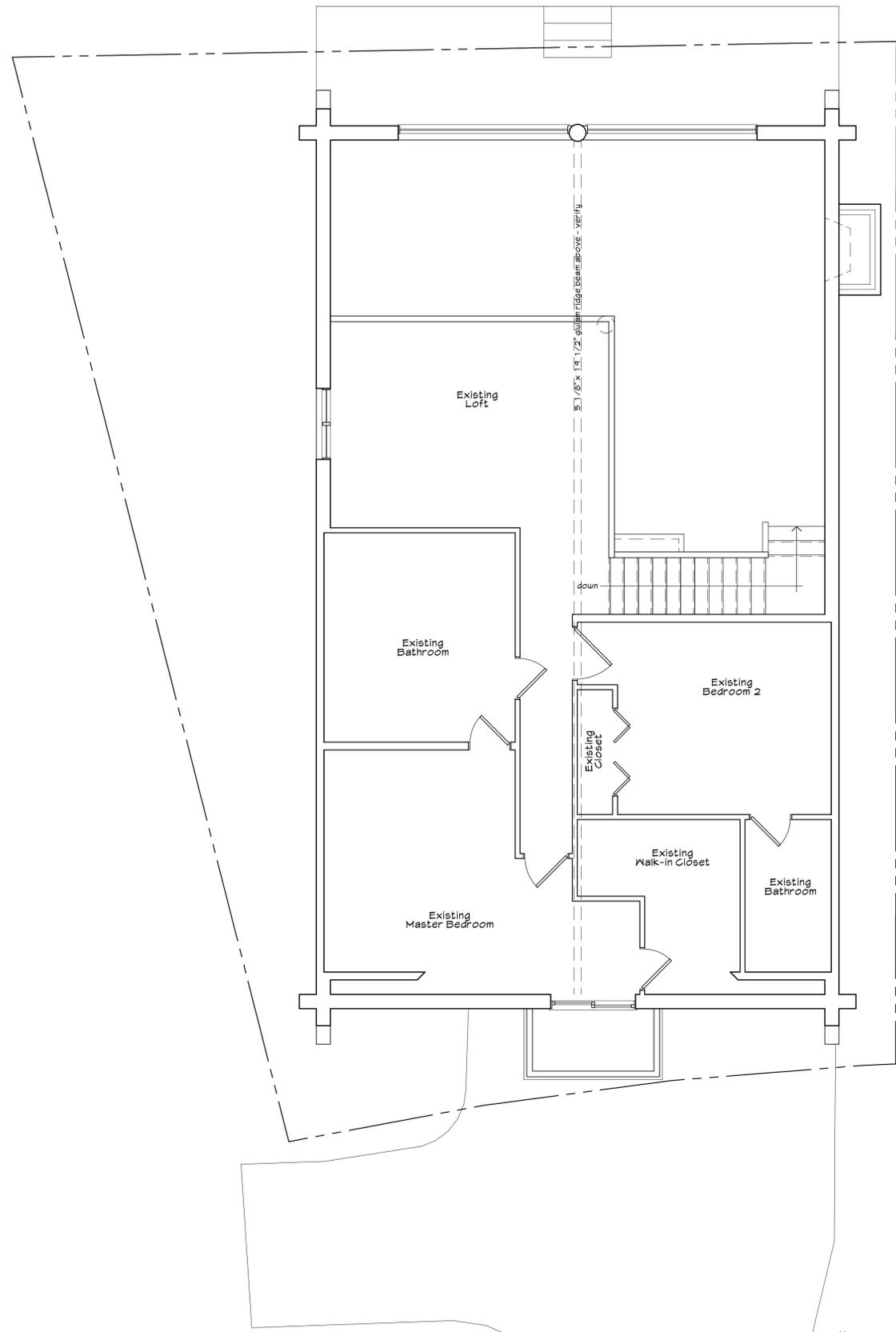


Dyer Residence
 317 Streamside Lane
 Lot 5, Creek at Frisco
 Frisco, Colorado 80443

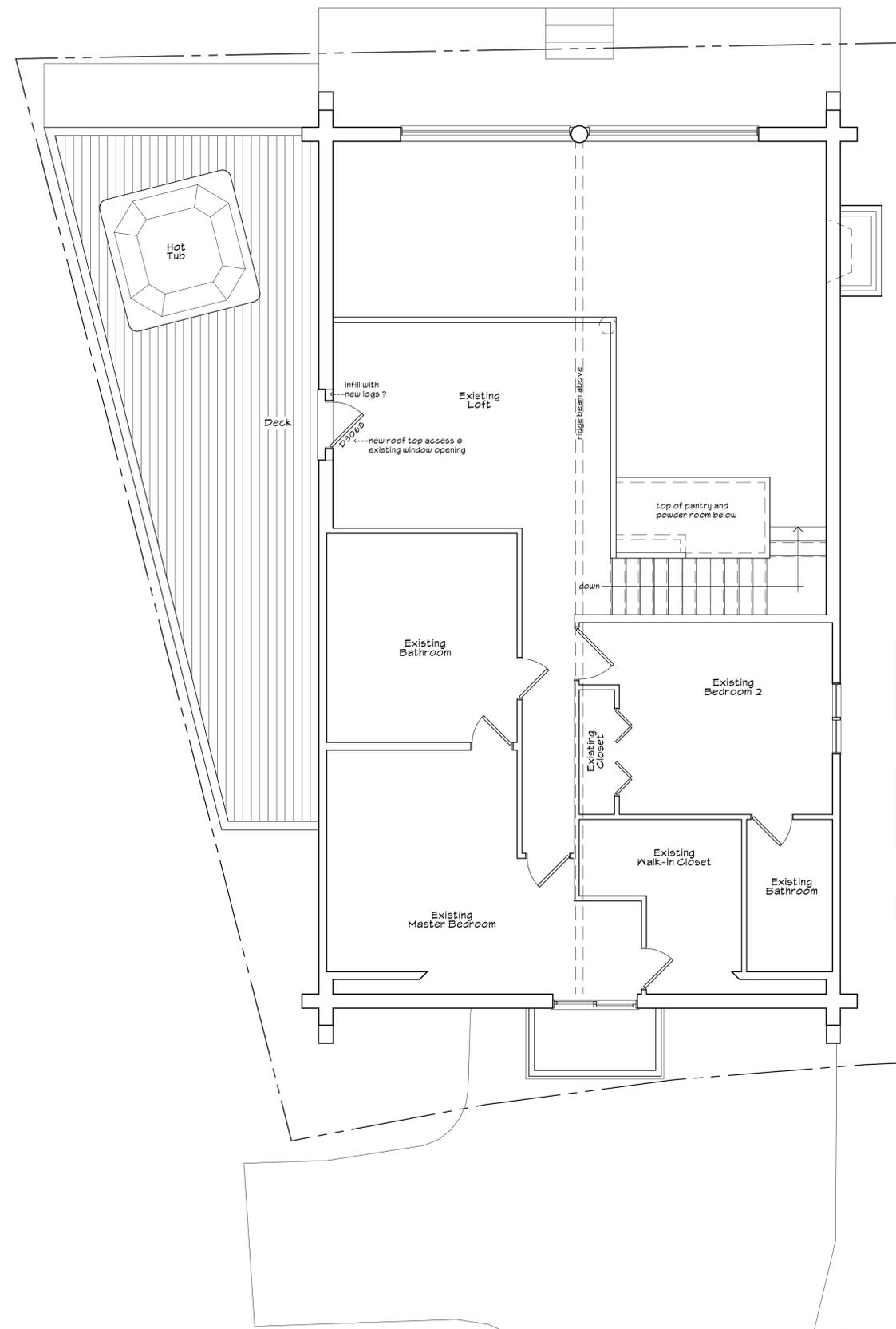
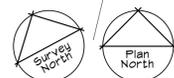
Issued for Town of Frisco interpretation verification 02.20.2022
 Issued for GC packets 03.20.2022
 NOT FOR PLANNING PERMIT
 NOT FOR BUILDING PERMIT
 NOT FOR CONSTRUCTION

Job No.:
 File No.:
 Date: 03.20.2022
 Drawn By:
 Checked By:

A2.1



Existing Upper Level Floor Plan
 scale: 1/4" = 1'-0"



Proposed Upper Level Floor Plan
 scale: 1/4" = 1'-0"

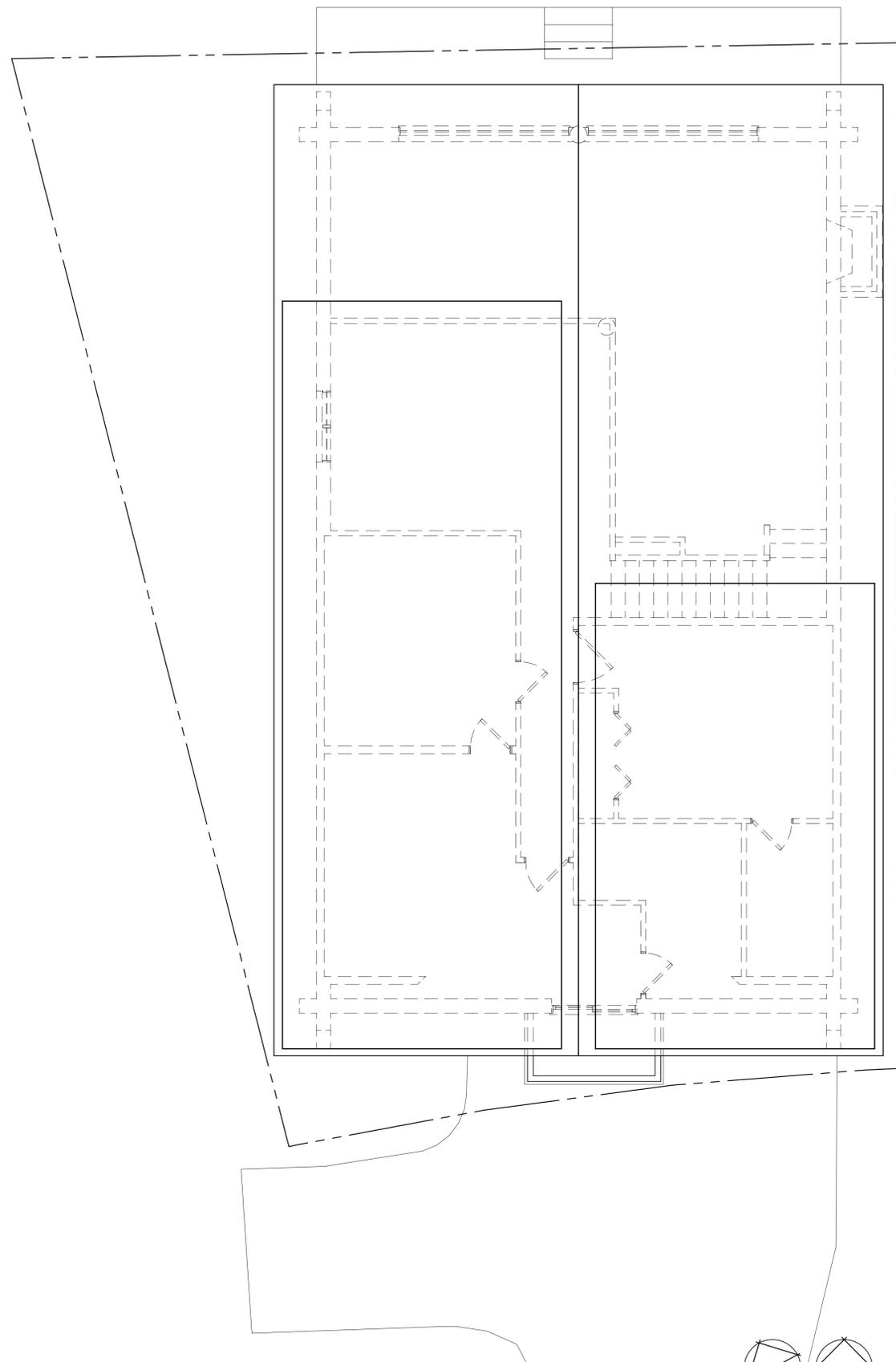


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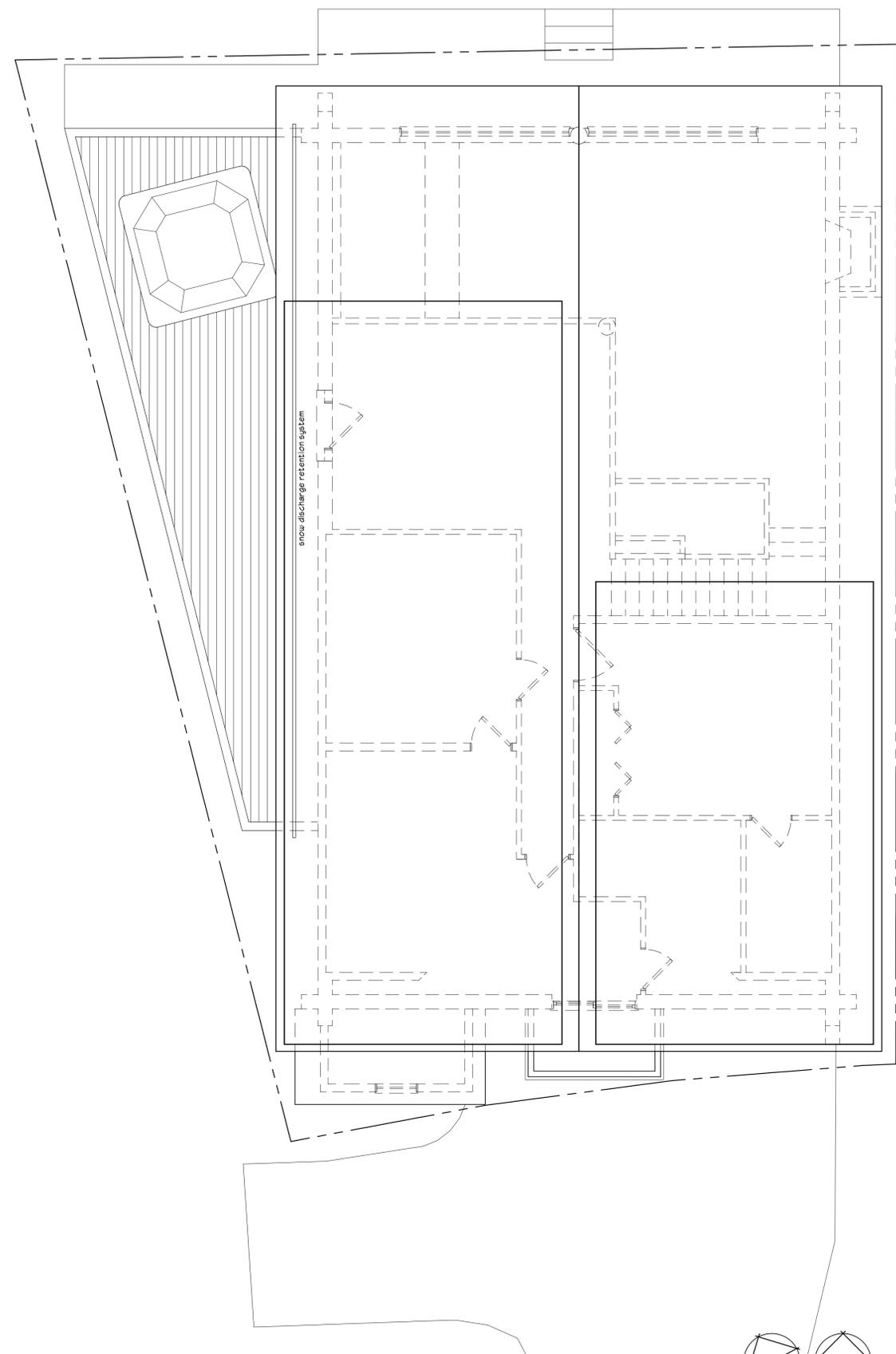
- Issued for Town of Frisco
 Interpretation verification
 02.28.2022
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 03.20.2022
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 NOT FOR CONSTRUCTION

Job No.:
 File No.:
 Date: 09.20.2022
 Drawn By:
 Checked By:

A2.2



Existing Roof Plan
 scale : 1/4" = 1'-0"



Proposed Roof Plan
 scale : 1/4" = 1'-0"



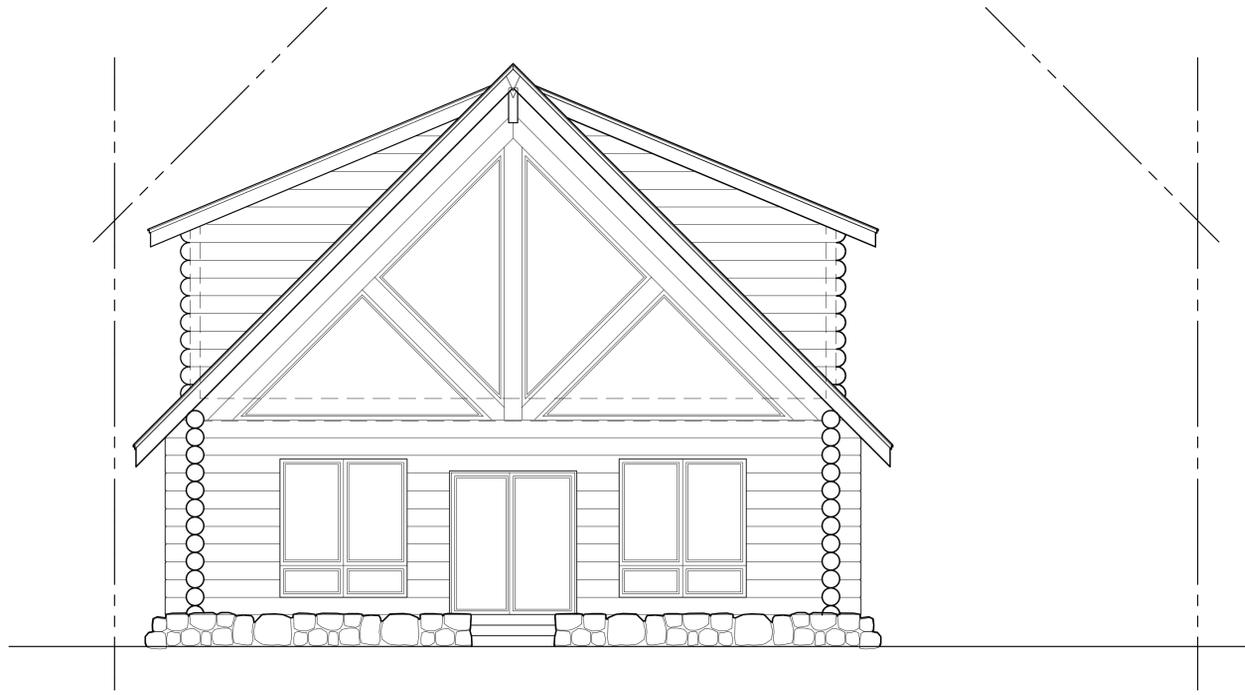
Dyer Residence

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 Frisco, Colorado 80443

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 interpretation verification
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 03.20.2022
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Job No.:
 File No.:
 Date: 09.20.2022
 Drawn By:
 Checked By:

A2.4



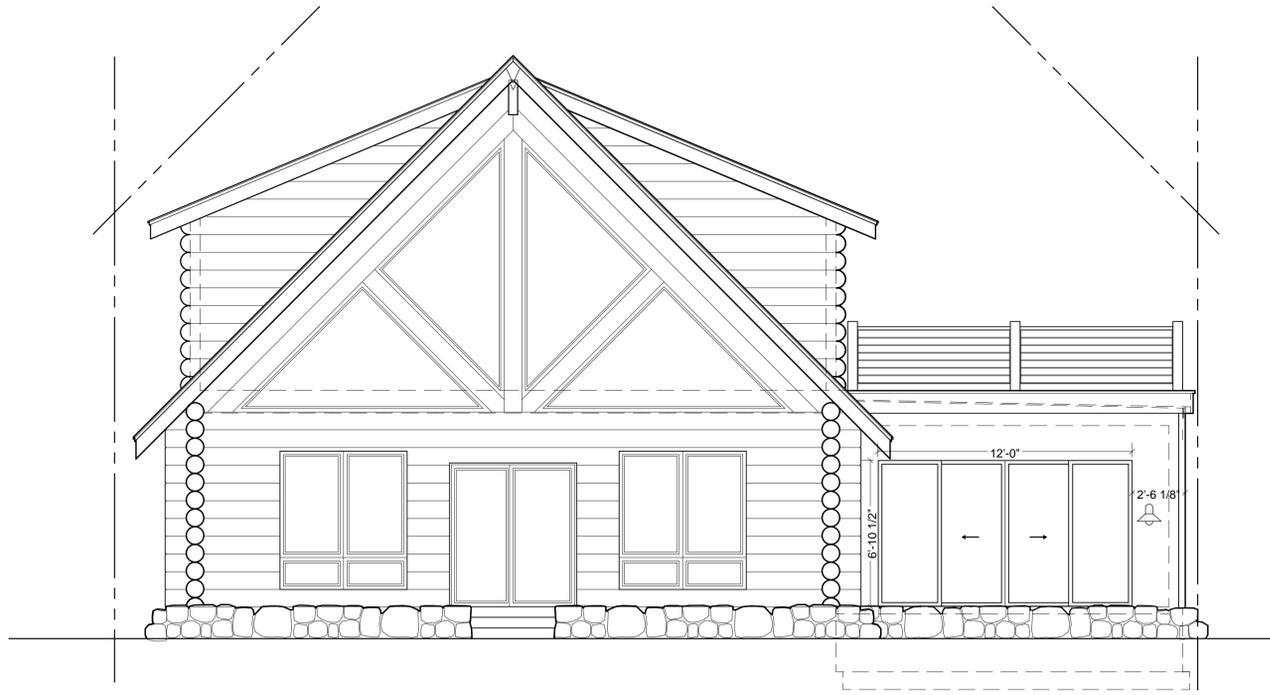
Existing North (Back) Elevation

scale: 1/4" = 1'-0"



Existing South (Front) Elevation

scale: 1/4" = 1'-0"



Proposed North (Back) Elevation

scale: 1/4" = 1'-0"



Proposed South (Front) Elevation

scale: 1/4" = 1'-0"

Dyer Residence

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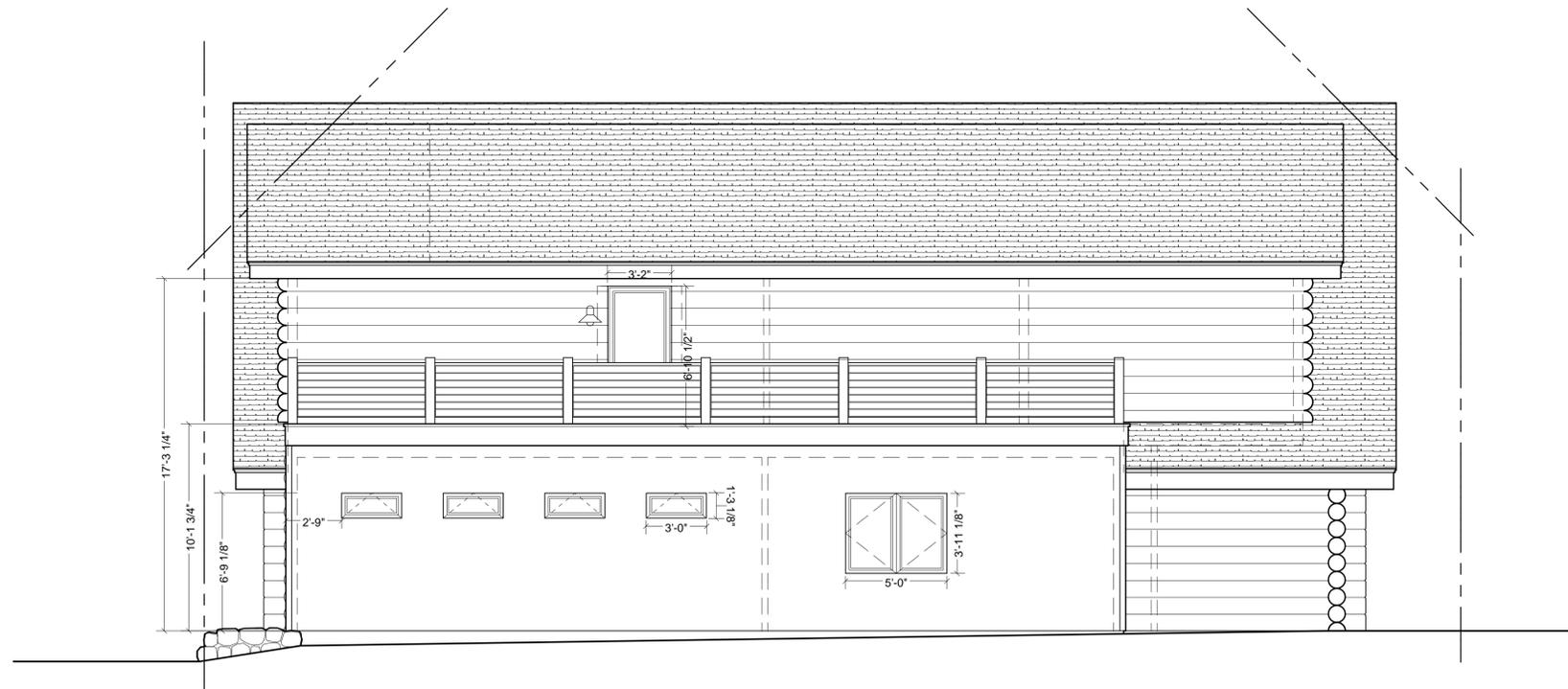
- Issued for Town of Frisco
 interpretation verification
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A3.1



Existing West (Left) Elevation
 scale: 1/4" = 1'-0"



Proposed West (Left) Elevation
 scale: 1/4" = 1'-0"

Dyer Residence

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Job No.:
 File No.:
 Date: 09.20.2022
 Drawn By:
 Checked By:

A3.2

1. GENERAL APPLICATION INFORMATION

Project Street Address & Unit Number

317 Streamside Ln, Frisco, CO 80443, LOT 5

Property Legal Description

Dan & Kim Dyer Living Trust

Owner Name/Address

Dan & Kim Dyer / 317 Streamside Ln, Frisco, CO 80443

Applicant Name/Address

Custom Mountain Renovations

Eli Brown, Owner

eli@custommountainrenovations.com

P.O. Box 2301-86, Silverthorne, Colorado 80498

Description of Work

- Excavation and pour foundation and pad, 418 SF
- Add new den and extend the size of an existing bedroom
- Add new EPDM roof and decking with deck rails
- Add (Qty 4) new windows and (Qty 2) new doors
- Add all electrical to meet code compliancy
- Add in-floor heating

Zoning District

Residential

Lot Size (SF)

5,257.27 SF

Lot Coverage Information (Existing/Proposed)

Parking Spaces

3

Lot Coverage (Existing/Proposed)

2,445.69 SF / 3,005.67 SF

Number of Residential Units (Existing/Proposed)

1 / 1

Non-Residential GFA (Existing/Proposed)

0 / 0

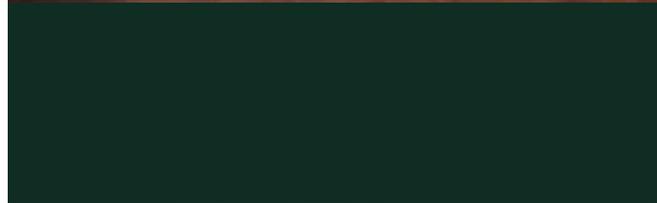
DAN & KIM DYER LIVING TRUST
317 STREAMSIDE, FRISCO, COLORADO 80443

COLOR BOARD

SIDING - CRICKET
EXISTING LOG & CHINKING



SKIRT
METAL



SIDING - NEW ADDITION
CEDAR BOARD & BATTEN



DECKING
TIMBER TECH ADVANCE PVC
LANDMARK COLLECTION



RAILING
CABLE RAILING



ROOF
SHINGLES



PATIO
STAMPED CONCRETE

