



**PLANNING COMMISSION
STAFF REPORT**

July 17, 2025

AGENDA ITEM: Planning File No. **MAJ-25-0004**, a Major Site Plan application for a proposed multi-unit residential development and **CU-25-0001**, a Conditional Use application to allow multi-unit residential uses in the Gateway (GW) Zone District.

LOCATION: 92 Beaver Lodge Rd Bldg A, 86 Beaver Lodge Rd, Bldg B, and 80 Beaver Lodge Rd, Bldg C / Lot 5 RainTree Two Sub, Lot 6 RainTree Two Sub and Lot 7 RainTree Two Sub

ZONING: Gateway (GW) District

APPLICANT: Michael Shult, Michael Shult Architect
975 N Ten Mile Dr
Frisco, CO 80443

OWNER: Drake Landing LLC
C/O Thomas Silengo
5218 Venice Way Ne
Saint Petersburg, FL 33703-3106

TOWN STAFF: Kris Valdez, Principal Planner

PROJECT DESCRIPTION

The applicant, Michael Shult Architect, representing Drake Landing LLC, proposes a new residential development at 80, 86, and 92 Beaver Lodge Road.

The application proposes a multi-unit residential development project consisting of 20 units spread across six architecturally distinctive buildings. The application will include two and three-story buildings, each with a roof deck and an interior elevator.

The application includes dedicated resident parking, which will be accommodated in attached private garages. Additionally, surface parking areas will be allocated for accessible spaces and visitors, ensuring that the development meets ADA compliance.

Buildings A, B, and C

- Three-level structures, with the ground floor partially below grade to maximize usable space.
- Three bedrooms and four and a half baths.

Buildings D, E, and F

- Three-story structures
- Three bedrooms and three and a half baths.

In the Gateway (GW) Zone District, multi-unit residential dwellings are a conditional use. The applicant is requesting consideration of a conditional use as part of the sketch plan review of the Major Site Plan application.

For a more complete project description, please refer to the attached application materials.

BACKGROUND

The subject property, Lot 5, Lot 6, and Lot 7, is located within the RainTree Two Sub. RainTree Two was approved by the Town Council on April 19, 1994, with the plat filed on April 22, 1994.

In 2015, the Town approved a development application and conditional use for a thirty-seven unit multi-unit residential project located on these three lots and an additional property across Beaver Lodge Road. The project did not move forward and prior approvals have expired.

All the surrounding properties are zoned Gateway. Across Beaver Lodge Road, to the north is a vacant parcel and the Pointe at Lake Dillon residential units containing twenty-four residential units in four buildings. The properties to the east contain the Bay Club Condominiums containing thirty-two units within three structures. The properties to the west contain Summit Inn and Adventure Time Rentals. To the south of the property is hotel use.

Below is a vicinity map of the subject property with an aerial photography base layer. The location of the property lines shown on this map vary in accuracy and should only be used for reference purposes.



Vicinity Map

SKETCH PLAN REVIEW

A sketch plan review is the first step in the Major Site Plan review process, and is an opportunity for Planning Commission to comment on the various aspects of a development proposal including proposed uses, parking and traffic circulation, architecture, landscape design, and compatibility with the neighborhood. It is also an opportunity for the applicant to listen to the Commissioners' comments and make changes to the proposal prior to the final stage of the major site plan application review. From Section 180-2.5.D.3, Frisco Town Code:

- a. All applications for major site plans shall present an informal sketch plan of the development before a regularly scheduled meeting of the Planning Commission.
- b. The Planning Commission may require an applicant to return for additional sketch plan presentations if sufficient information is not received or if substantial changes to a proposal are recommended. Presentation of a sketch plan neither binds the Planning Commission to approve a site plan, nor does it confer the applicant any vested rights.
- c. The sketch plan presentation shall become null and void if a complete major site plan application is not submitted to the Community Development Department within 180 days after the date of the Planning Commission's review of the sketch plan.

The Planning Commission will have the opportunity to review the project again at the final review step in the Major Site Plan review process. The proposal will be reviewed in detail for conformance with the Frisco Community Plan and compliance with the Frisco Unified Development Code (UDC) at that time.

ANALYSIS - FRISCO COMMUNITY PLAN

***Community Plan Vision and Guiding Principles:** The vision and guiding principles are a statement of community values. Together, they reflect characteristics that residents value about Frisco today, and the kind of community that residents would like to see Frisco become as it continues to grow and evolve over time. The vision and guiding principles serve as an organizing framework for subsequent chapters and policy guidance in the Community Plan, as well as for the Town Council's Strategic Plan.*

The following elements of the Frisco Community Plan are some of the plan elements that are applicable to the review of the proposed development:

Guiding Principle 2: Thriving Economy - *The Frisco economy is built upon a unique balance of tourism and its role as a commercial-service hub for the region. Tourism, driven by recreational opportunities, and the small, mountain town appeal of Main Street, creates jobs and revenue. Locals and visitors utilize the large retailers, grocery stores, and services located along Summit Boulevard, and support the small businesses on Main Street. While the Frisco economy has seen steady growth in the past decade, diversification of the economy is important. More year-round opportunities will provide stability through the seasons and economic downturns. The Town should focus on small, incremental changes that preserve the town character and a healthy small business community that attracts residents and visitors.*

2.1: Maintain a diverse and strong economy

- **2.1A** *Continue to attract and retain businesses that support and enhance Frisco's tourism revenues, while also seeking to build upon entrepreneurship and new or emerging niches.*
- **2.1B** *Provide opportunities for a balanced mix of housing and services to support local businesses, employees, residents and visitors.*
- **2.1C** *As development and infill occurs, ensure that the Town's overall mix of land uses remains aligned with community goals.*
- **2.1D** *Participate in regional and state economic development efforts that support a diverse economy.*

The addition of multi-unit residential units to this area provides a greater balance of uses in the immediate area. The units may support the local businesses, which would contribute to the local economy.

Guiding Principle 6: Sustainable Environment - Frisco's natural environment is the primary quality that attracts residents and visitors. It supports our economy and drives our recreational pursuits. Protecting the surrounding mountains, forests, waterways, and views are all deeply important to the community. These natural assets make Frisco beautiful, unique, and drive a thriving year-round economy. Pollution, wildfires, avalanches, and floods are threats to Town resources that should be recognized and minimized to the extent possible. The community should embrace measures for sustainability that reduce greenhouse gas emissions and conserve its water resources.

6.1 Lead by example on efforts to advance community sustainability and the region's ability to prepare for, and adapt to, the impacts of climate change

- 6.1A Support implementation of the Climate Action Plan and 100% Renewable Energy initiatives.
- 6.1B Expand waste reduction and recycling rates within the Town organization and the community as a whole.
- 6.1C Expand the use of alternative energy sources, water conservation measures, and other sustainable development practices in Town facilities and operations.
- 6.1D Explore opportunities to incentivize the use of green building practices for development.

The proposed development incorporates native and drought-tolerant landscaping, which conserves water and minimizes the need for irrigation. However, the application materials do not specifically mention any renewable energy installations, such as solar panels, or low-carbon building systems that would directly support the Town's draft Climate Action Plan or its goal of achieving 100% renewable energy.

The site plan includes a dedicated refuse and recycling enclosure, which facilitates proper waste management and recycling for residents. The design promotes shared waste services, aligning with the Town's broader waste reduction objectives. Additionally, the automatic drip irrigation system specified for the new plantings further conserves water, and the use of native plant materials reduces irrigation needs, adhering to best practices for water conservation.

The snow management plan and landscaping strategies outlined for the site address water runoff and help reduce flood risk, supporting climate resilience goals. Nevertheless, there is no direct mention of wildfire-resistant design, or alternative energy use in the project plans.

ANALYSIS - FRISCO STRATEGIC HOUSING PLAN

The Strategic Housing Plan (Plan) identifies properties located at 80, 86, and 92 Beaver Lodge Road as potential sites for mixed-income housing. The properties are designated as Tier 2 in the Plan which were identified as vacant, privately held parcels. It is important to note that

these sites were identified due to the potential for housing if the town was able to partner with the property owner, or purchase the property. However, there have been no discussions with the property owner regarding partnering on the property and the Town's housing fund does not currently have the money available to purchase the properties. The proposed design and density in the Plan were created based on the assumption that the parcels are Town owned and developed. The applicant has no requirement to implement workforce housing on these properties. Additionally, the plan serves as an illustrative example, showcasing the Town's existing development standards, procedures, and estimated costs associated with creating attainable housing in the Gateway District.

ANALYSIS – ADMINISTRATION [§180-2]

Simultaneous Processing of Development Applications: (§180-2.3.4.F) - Where possible without creating an undue administrative burden on the Town's decision-making bodies and staff, this Chapter intends to accommodate the simultaneous processing of applications for different permits and approvals that may be required for the same development project in order to expedite the overall review process. Review and decision-making bodies considering applications submitted simultaneously shall render separate reports, recommendations, and decisions on each application based on the specific standards applicable to each approval.

1. An example of a concurrent filing and processing of applications include, but are not limited to, a site plan, subdivision plan, and conditional use.
2. Generally, no rezoning application shall be accepted or processed while an application for any of the permits or approvals listed in this Chapter is pending for the same property, and vice versa. An exception to this rule is that a rezoning to an HO and/or PUD overlay may be considered concurrently with a site plan and/or subdivision plan.
3. Some forms of approval depend on the applicant having previously received another form of approval, or require the applicant to take particular action within some time period following the approval in order to avoid having the approval lapse. Therefore, even though this Chapter intends to accommodate simultaneous processing, applicants should note that each of the permits and approvals set forth in this Chapter has its own timing and review sequence.

The applicant has submitted a Conditional Use application to be reviewed concurrently with the sketch plan-level review of the Major Site Plan application. The conditional use is required for multi-unit residential use in the Gateway District. Staff is seeking Planning Commission feedback on the Conditional Use request at the time of the sketch plan review.

ANALYSIS – GATEWAY (GW) DISTRICT [§180-3.8]

This parcel shall be developed in accordance with the requirements of the Gateway (GW) District as follows:

Purpose: The purpose of the GW district is to allow for the development of different types of visitor accommodations, commercial, and service oriented facilities in close proximity to Highway 9 and the Interstate 70 interchange area, to provide connections to mass transit and multi-modal transportation systems, and to allow for residential uses as a conditional use.

Maximum Density: The maximum density in the GW District is 16 dwelling units per acre. The lot size is 2.18 acres; therefore, the allowable density is **34** units. The application proposes **20** multi-unit residential units on this lot.

Minimum Lot Area: There is no minimum lot area in the GW District.

Minimum Lot Frontage: There is no minimum lot frontage in the GW District.

Maximum Lot coverage: Maximum lot coverage in the GW District is 60%. The total lot coverage of the proposed development, including footprint, walkways, driveways, and parking areas, is 46,880 square feet or 48.8% of the site. The application meets this requirement. Lot coverage will be verified at the final stage of the Major Site Plan review process.

GW District Roof Eave Exception. *Upon approval from Planning Commission, and if it adds to the aesthetic character of the structure and meets the intent of the GW District, roof eaves two feet and greater are permitted to encroach up to five feet into the side and/or rear setbacks.* The application does not show an encroachment into the setback, but Staff wanted the Planning Commission to be aware of this exception.

Setbacks: Setbacks on this property are governed by setback requirement for the GW Zone District:

	Minimum Setback	Proposed Setback
Front Yard	20 feet	~20 feet
Side Yard	10 feet	~10 feet
Rear Yard	10 feet	~10 feet

The application appears to meet the setback standards, but exact measurements were not provided on the site plan. An Improvement Location Certificate (ILC) will be required during construction to ensure the structure, including roof eaves, does not encroach into the setback.

Maximum Building Height: The application proposes a pitched roof with dormers and ridgeline breaks around the perimeter of the building. The maximum building height is 50 feet for pitched roofs and 40 feet for flat roofs in the GW District. The maximum height of the pitched roof is 47.71 feet. The application includes a building height table detailing the proposed heights of buildings A through F. The highlighted sections of the table show the maximum heights of the buildings.

BUILDING HEIGHT TABLE

Point	Natural Grade	Finished Grade	Measured from	Roof Elevation	Calculation		Height	Notes
A.1	9056.80	NA	Natural Grade	9091.47	9091.47	-9056.80	34.67	Sloped
A.2	9059.50	9060.75	Natural Grade	9094.21	9094.21	-9059.50	34.71	Sloped
A.3	9055.20	9050.00	Finished Grade	9085.00	9085.00	-9050.00	35.00	Flat
A.4	9058.00	9059.00	Natural Grade	9086.00	9086.00	-9058.00	28.00	Flat
B.1	9057.00	NA	Natural Grade	9089.88	9089.88	-9057.00	32.88	Sloped
B.2	9061.70	9059.00	Finished Grade	9092.71	9092.71	-9059.00	33.71	Sloped
B.3	9054.30	9048.50	Finished Grade	9083.50	9083.50	-9048.50	35.00	Flat
B.4	9060.20	9058.70	Finished Grade	9084.50	9084.50	-9058.70	25.80	Flat
C.1	9050.00	NA	Natural Grade	9089.38	9089.38	-9050.00	39.38	Sloped
C.2	9053.90	9053.70	Natural Grade	9092.21	9092.21	-9053.90	38.31	Sloped
C.3	9049.00	9048.00	Finished Grade	9083.00	9083.00	-9048.00	35.00	Flat
C.4	9053.00	9054.00	Natural Grade	9084.00	9084.00	-9053.00	31.00	Flat
D.1	9044.50	NA	Natural Grade	9088.88	9088.88	-9044.50	44.38	Sloped
D.2	9045.00	NA	Natural Grade	9091.21	9091.21	-9045.00	46.21	Sloped
D.3	9043.80	9047.50	Natural Grade	9083.50	9083.50	-9043.80	39.70	Flat
D.4	9044.30	9047.50	Natural Grade	9082.50	9082.50	-9044.30	38.20	Flat
E.1	9044.50	NA	Natural Grade	9088.88	9088.88	-9044.50	44.38	Sloped
E.2	9044.80	NA	Natural Grade	9091.21	9091.21	-9044.80	46.41	Sloped
E.3	9044.20	9047.50	Natural Grade	9083.50	9083.50	-9044.20	39.30	Flat
E.4	9044.30	9047.50	Natural Grade	9082.50	9082.50	-9044.30	38.20	Flat
F.1	9043.00	NA	Natural Grade	9087.88	9087.88	-9043.00	44.88	Sloped
F.2	9042.50	NA	Natural Grade	9090.21	9090.21	-9042.50	47.71	Sloped
F.3	9043.10	9046.50	Natural Grade	9082.50	9082.50	-9043.10	39.40	Flat
F.4	9042.30	9045.00	Natural Grade	9081.50	9081.50	-9042.30	39.20	Flat

The Applicant provided in a subsequent email on July 10, 2025, included in Attachment A: Application, that states, “All sloped roofs will be min 2:12 pitch. I will note accordingly on the roof plan. All roof heights account for elevator clearance, and no elevator shafts extend higher than the sloped roofs shown.”



Plan A – Front Elevation



ANALYSIS – USE STANDARDS [§180-5]

CONDITIONAL USE [§180-2.5.1]

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appropriate conditions imposed by the Planning Commission. Review is based primarily on compatibility of the use with its proposed location and with surrounding land uses and by reviewing the impacts a conditional use may have. Conditions are intended to minimize or ameliorate any negative circumstances that might arise by the use. Conditional uses shall not be allowed where the conditional use would create a nuisance, traffic congestion, a threat to the public health, safety, or welfare of the community or a violation of any provision of the Town Code, state law, rule, or regulation promulgated pursuant thereto.

The property is located in the Gateway (GW) Zone District. There is one conditional use request associated with the Major Site Plan application:

CU-25-0001: Section 180-5.1.5, Table of Allowed Uses, indicates that multi-unit residential dwellings are permitted in the Gateway Zone District only through approval of a conditional use.

It shall be the duty of the applicant to establish that each of the conditional use criteria has been met. Section 2.5.1.D of the Unified Development Code states that the Planning Commission may approve a conditional use application upon finding that each of six criteria are met. The applicant has provided the following in response to each criteria:

1. The conditional use is consistent with the purpose and intent of the zone district in which it is proposed to be located, furthers the applicable goals of the Frisco Community Plan, and is a desirable use that will contribute to the general welfare of the community; and

Applicant Response: *The Gateway District allows multi-unit residential. The Landing at Frisco will increase residential housing and is compatible with the surrounding area.*

Staff Analysis: The proposed development infills a currently underutilized existing property, and the multi-unit residential use may support businesses in the area. Strategy 1.2-e and 1.5-c of the Community Plan support integration of workforce housing into commercial areas; however, it should be noted that at this time, the proposed development is not considered workforce or affordable housing per the Code, as the application does not propose a deed restriction covenant for any of the units. Goal 2.1 of the Community Plan identifies the need to maintain a balance of land uses to support the economy.

2. The conditional use is compatible with the mix of development in the immediate vicinity of the parcel in terms of density, height, bulk, architecture, landscaping, and open space, as well as with any applicable adopted regulatory master plan or PUD; and

Applicant Response: *The Landing at Frisco meets all of the density, height, bulk, architecture, lot coverage and landscaping requirements in the Gateway District.*

Staff Analysis: The development as presented is generally compatible in design with the surrounding area including with regards to density, bulk, architecture and landscaping.

3. The conditional use is consistent and compatible with the character of the immediate vicinity of the parcel proposed for development and surrounding land uses and enhances the mixture of complimentary uses and activities in the immediate vicinity of the parcel proposed for development; and

Applicant Response: *The immediate vicinity is low density residential condominiums. The Landing at Frisco is low density residential.*

Staff Analysis: Surrounding the property are a variety of similar density residential properties and commercial properties. Across Beaver Lodge Road, to the north is a vacant parcel and the Pointe at Lake Dillon residential units containing twenty-four residential units in four buildings. The properties to the east contain the Bay Club Condominiums containing thirty-two units within three structures. The properties to the west contain Summit Inn and Adventure Time Rentals. To the south of the property is hotel use. The proposed residential use on the subject parcels appears to be compatible with the surrounding character of the immediate vicinity.

4. The location, size, design and operating characteristics of the proposed conditional use minimizes adverse effects, including visual impacts, impacts on pedestrian and vehicular circulation, parking, refuse and recycling services/area, service delivery, noise, vibrations and odor on surrounding properties; and

Applicant Response: *The Landing at Frisco will have no adverse impact on any surrounding properties.*

Staff Analysis: The applicant should continue discussions with the Town of Frisco and neighboring HOA board members to explore the possibility of cooperatively installing a pedestrian and bicycle pathway connection from the subject property and the Bay Club at Frisco private property to 9000 Divide Road. The proposed pathway could improve access to the adjacent pathways and Lake Dillon; therefore, satisfying the concerns of the neighbors and providing an additional benefit to the community. However, this is not a requirement or a standard for the application to comply with. Additionally, the application demonstrates through the use of landscaping, utilizing the natural grade, and a dumpster enclosure, impacts to adjacent properties are minimized.

5. There are adequate public facilities and services to serve the conditional use including but not limited to roads, potable water, sewer, solid waste, parks, police, fire protection, emergency medical services, hospital and medical services, drainage systems and schools; and

Applicant Response: *All services are available to The Landing at Frisco.*

Staff Analysis: Service providers have indicated that basic infrastructure and services are available to serve the development. The appropriate agencies will review the drainage

and utility plans as part of the Major Site Plan final submittal review to confirm the appropriate location of water and sewer service lines and main lines and whether any existing utilities need to be relocated.

6. The Community Development Director may recommend and the Planning Commission may impose such conditions on a conditional use that are necessary to maintain the integrity of the Town's Zone Districts and to ensure the conditional use complies this Chapter; is compatible with surrounding land uses; and is served by adequate public facilities. This includes, but is not limited to, imposing conditions on size, bulk, location, open space, landscaping, buffering, lighting, signage, off-street parking and other similar design features, the construction of public facilities to serve the conditional use and limitations on the operating characteristics and hours of operation.

Applicant Response: None given

Staff Analysis: Staff recommends that the Planning Commission consider special conditions to the conditional use request to ensure the project complies with the Town Code and the 2019 Community Plan.

Staff requests that the Planning Commission provide feedback to the applicant regarding the proposed conditional use to allow multi-unit residential in the Gateway Zone District, and any conditions that may be necessary to maintain the integrity of the Gateway Zone District.

ANALYSIS - DEVELOPMENT STANDARDS [180-6]

This project will be reviewed for compliance with all development standards of the Unified Development Code (UDC) at the time of the final stage of the major site plan. Standards that are not included in the discussion of this section have been analyzed to determine whether they are applicable, and are not included in the staff report if not applicable.

Buildings Occupying More Than One Lot (§180-6.3.2.) Where a residential or non-residential project has been resubdivided into more than one lot, it shall be considered to be occupying one lot for purposes of complying with district regulations such as density, floor area ratio (FAR) lot coverage, open space, lot size, lot frontage, and setbacks. For purposes of this section, the boundaries of the one lot shall be the outermost lot lines of all lots occupied by the project. Except in the case of a condominium building or a property line between duplex or townhouse units, for any proposed development, no building shall be constructed over a property line and any proposal to construct a building over an existing property line shall be accompanied by a plat application to cause the property line to be vacated.

Per the requirements of this section, the applicable development regulations are applied to the entire lot as a whole, including density, lot coverage, parking, drainage, and other requirements. The application meets this standard. If the application is approved at the final site plan, the applicant will need to replat the property to vacate the existing property lines. This will be a condition of approval for the final site plan.

Site Grading and Development (§180-6.5) and **Drainage Plan** (§180-6.6): Grading plans and drainage plan submittal requirements, design standards, and erosion and sediment control will be reviewed for compliance with these standards at the time of the final stage of the Major Site Plan review. A grading permit will be required as part of a building permit application.

Development on Steep Slopes (§180-6.5.1): All development in areas with steep slopes greater than 15% shall comply with the following standards:

- On slopes from 15% to less than 30%, net site disturbance shall not exceed 50% of the total area within this range of slopes.
- On slopes greater than 30%, net site disturbance shall not exceed 15% of the total area over this range of slope.

The subject property contains steep slopes and therefore must meet the requirements of this Code section. The table below details the specifics of the slopes on site.

Slope Disturbance Lot 6 and Lot 7			
Slope Percentage	Existing Slope Area	Allowed Disturbance	Area of Proposed Disturbance
15%-30%	24,220 SF	12,110 SF	7,195 SF
>30%	264 SF	39.6 SF	Unknown

The application provided the total disturbance of steep slopes at 7,195 square feet. However, as part of the final site plan application, the slope disturbance will need to be broken out by percentages of slope. Also, any development application that proposes to disturb any slope greater than 15 percent shall be based on a detailed site survey, including a geologic and engineering analysis prepared by an appropriately licensed professional. This will be required at the time of the final site plan application.

Access (§180-6.11): All vehicle access shall comply with the standards set forth in Chapter 155, Minimum Street Design and Access Criteria. Where development abuts a Town road, the location and design of access points to the road must be approved by the Frisco Public Works Director. Per the Street Design Criteria, *“Driveway Spacing – No two driveways connecting to a public or private street, alley or highway shall be within thirty (30) feet of one another measured from edge of driveway to edge of driveway within the Town ROW or private street ROW. When this spacing cannot be achieved (for example, due to topography or lot size) effort shall be made to place the driveways as far apart as possible and must be approved by the Public Works Director in accordance with Section VI, Waivers to These Criteria.*

When a new driveway is requested adjacent to a vacant lot, fifteen (15) foot spacing from that property line may be required. The intent is not to restrict the adjacent property owner on the location of their driveway due to the thirty (30) foot separation required.”

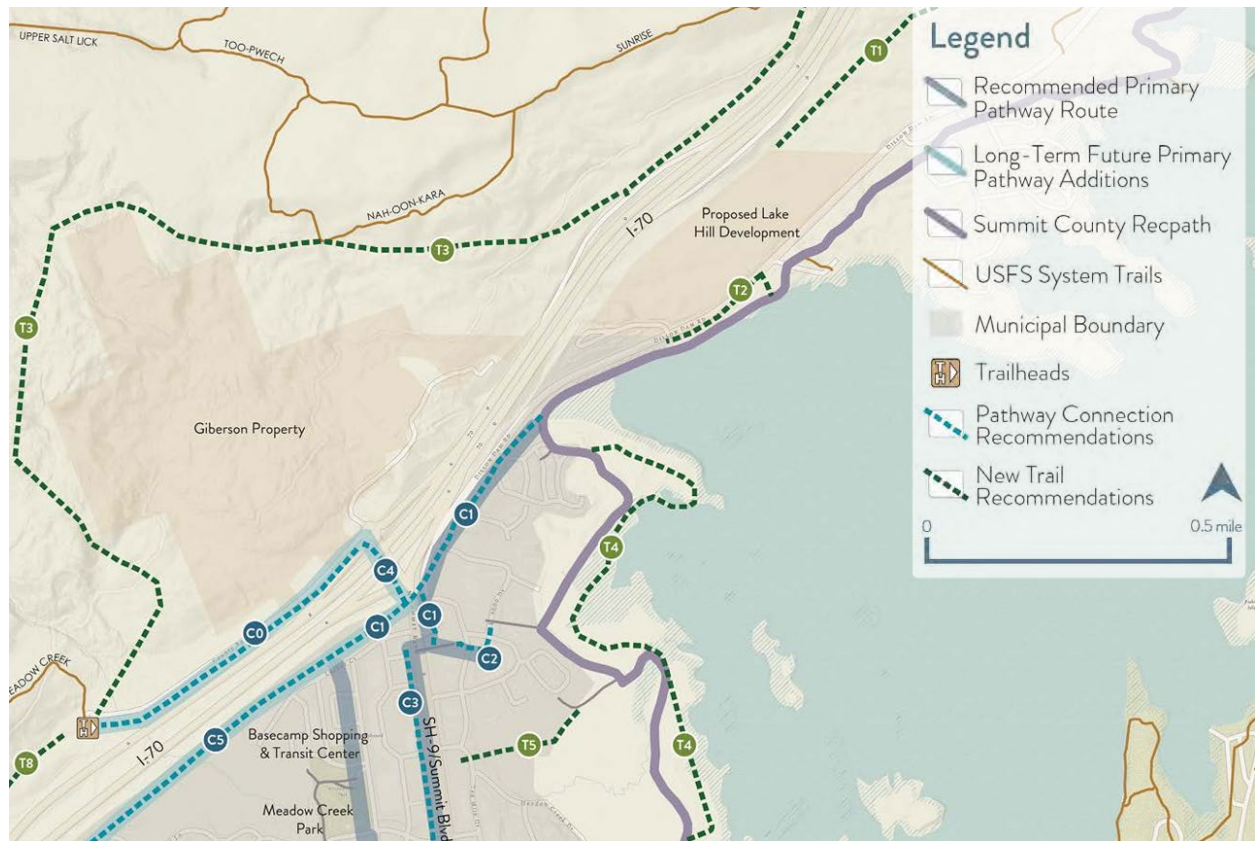
The application appears to meet these standards at this time. The access will be further reviewed for compliance with these standards at the final stage of the Major Site Plan review, where the Frisco Public Works Director will review it.

Non-vehicular Access Requirements (§180-6.11.2): It is the purpose of this section to promote the use of non-vehicular modes of transportation through a Town- wide network of connecting non-vehicular pathways and provide safe access year round. All site plans shall provide for and show non-vehicular access in accordance with the standards set forth in the Frisco Trails Master Plan and Chapter 155, Minimum Street Design and Access Criteria. In addition, all non-vehicular access shall meet the following standards:

- A. All multi-unit residential, mixed-use, non-residential developments, and residential subdivisions shall provide safe and convenient non-vehicular access to a public street or road year-round. Developments shall install paved, year round access from and through the development to adjacent public sidewalks, bicycle and pedestrian facilities, or right of way both existing and proposed pursuant to the Frisco Trails Master Plan and in accordance with the Standards of Chapter 155, Minimum Street Design and Access Criteria.
- B. Every principal structure shall provide access to adjacent trail systems or public open space usable for recreation activities.
- C. Developments shall integrate pedestrian ways, trails, and/or bicycle paths with similar existing and planned facilities on adjacent properties. The Frisco Trails Master Plan should be used as a reference when planning for the integration of these facilities.

Application materials do not show internal sidewalks connecting to proposed internal roadways which will access Beaver Lodge Road. Non-vehicular access will be reviewed in further detail at the time of the final review of the Major Site Plan application.

The 2023 Frisco Trails and Pathways Master Plan does not show a trail connection in this area, as shown in the picture below. Staff has received questions on this as the 2017 Frisco Trails Plan Master Plan stated this recommendation, *“Connection 17: A paved sidewalk/multi-use path between Beaver Lodge Road and 900 Divide. This area contains multiple cul-de-sacs that do not connect to each other. A connection here would enhance access to nearby bike lanes and the Holiday Inn Summit State Transit Stop.”* Staff has researched why the trail connection was removed in the 2023 Frisco Trails and Pathways Master Plan and cannot confirm why.



Traffic Study (§180-6.12): Frisco Town Code requires a traffic study, prepared by a professional engineer licensed in the State of Colorado, be submitted for any large project that:

- A. Requires a conditional use or rezoning approval;
- B. Is located adjacent to either Main Street or Summit Boulevard;
- C. Contains only one point of access;
- D. Contains an access point off an unimproved roadway or unincorporated area;
- E. Contains an access point off a road with a service level of D or F; or
- F. Is expected to generate 400 or more daily trips per day.

A large project is defined in Frisco Town Code, 180-9.3 as any commercial or mixed-use project, occurring on a lot of 10,500 square feet or greater or occurring on a group of lots combined for a unified development project which contain a total lot area of 10,500 square feet or greater; or any residential development occurring on a lot of 21,000 square feet or greater or any development of 5 or more dwelling units.

This project meets the definition of a large project. A traffic study shall be submitted at time of the final review of the Major Site Plan application. The traffic study will be reviewed by the Public Works Department and the Town Engineer at that time.

On-Premise Parking Requirements (§180-6.13.3.D): One (1) parking space is required per bedroom, with a maximum of four (4) parking spaces per unit. One visitor parking space is required for every five units. So, for 20, 3-bedroom units, 60 spaces are required for the units and four (4) visitor spaces are required, and one (1) accessible space for a total of 64 parking spaces. The submitted plans show a total of 67 spaces, including four (4) guest and three (3) van accessible spaces, so this standard appears to be met at this time, but the dimensions of the guest parking and accessible parking spaces need to be provided during the final site plan application.

Tandem Parking (§180-6.13.6): For multifamily residential projects, two (2) stacked (tandem) spaces may be permitted if the Planning Commission finds that the layout of the parking is functional and, at a minimum, finds two (2) out of the following four (4) criteria are met:

- i. That some of the spaces could be used as potential visitor parking space; and/or,
- ii. That, given the layout and design of the building, adequate storage space is provided for the residents so that it is not anticipated the parking space(s) will be needed predominately for storage; and/or,
- iii. That the architecture of the building façade which faces or accesses the parking spaces avoids a canyon effect, such that movement is provided in the building design; and/or,
- iv. That an adequate turning radius area is provided with the parking layout to allow for turning and backing into or out of the tandem parking spaces.

The proposed parking plan features two stacked tandem spaces for the garages with three (3) spaces. The Planning Commission must determine if the tandem spaces in each of the garages meet the intent of the parking regulations.

Electric Vehicle Charging Stations: Chapter 65 of the Code of Ordinances of the Town of Frisco concerning Building Construction and Housing Standards, Section C405.10.1, references electric vehicle charging stations for new construction. The Application will be required to comply with requirements as outlined in Section C405.10.1 at the time of building permit submittal.

Bicycle Parking (§180-6.13.4): All multifamily residential developments must provide both enclosed, secure bicycle parking and outdoor bicycle parking facilities. Dwelling units with a private garage are not required to provide enclosed, secure bicycle parking. The Application is still required to provide outdoor parking spaces. The site plan will need to demonstrate outdoor bicycle parking at the time of the final site plan review.

Snow Storage Areas (§180-6.13.7): The Code requirements state that *“snow storage shall be provided on premises in the amount of twenty-five percent of paved surface area and any unpaved parking and driveway areas, including uncovered decks. The Applicant must demonstrate that snow removal operations for upper floor decks will not impact adjacent property”*. When considering the property as a whole, there is a total of 22,011 square feet of paved area shown on the submitted application materials. This amount of paved parking,

terraces, patios and walkway area requires 5,502.75 square feet of snow storage. 5,801 square feet of snow storage is provided, so the application complies with this requirement.

The landscaping plan includes some trees in the snow storage area. Landscaping may be permitted in snow storage areas if the landscaping is designed to be compatible with large amounts of snow. The applicant should include additional information on this compatibility as part of the full submittal review of the Major Site Plan.

Landscaping and Revegetation (§180-6.14): This proposal is subject to the landscaping requirements for a Residential Development.

1. For every 875 square feet of project lot area or fraction thereof, a minimum of one tree must be planted on the site. One shrub shall be required for every 1,500 square feet.
2. A minimum of one tree shall be planted within the yard setback adjacent to any public street for every 30 feet of total street frontage or fraction thereof. Street trees shall be placed at least eight feet away from the edges of driveways and alleys and to the extent reasonably feasible, be positioned at evenly spaced intervals.

The landscape plan submitted shows numerous existing trees around the property, and proposes 100 additional trees around the property and 64 shrubs. The application does not detail how many trees will remain on site or how many street trees are being provided. To comply with the Code, the application would need 109 trees and 63 shrubs, and 5 street frontage trees. The application will be reviewed for full compliance with the Landscaping and Revegetation standards at the time of final site plan application. The application materials will be required to comply with the Firewise program, including defensible space zones, as regulated by Summit Fire & EMS at the time of building permit review.

Refuse Management (§180-6.17): All commercial, mixed-use and multi-unit residential development projects containing five or more units shall utilize dumpster enclosures for the storage of all refuse, recycling, grease traps, and compost collection. The proposed refuse and recycling facilities must be located within an enclosure with walls and a roof. The enclosure must also be wildlife proof. The application materials note proposed locations for two dumpster enclosures but does not provide details on the design.

The applicant will be required to submit a letter from a waste disposal company showing that proposed refuse, recycling, and compost facilities are located and sized appropriately for the proposed project. The dumpster enclosure design will be reviewed for full compliance at time of the final stage of the Major Site Plan.

ANALYSIS – RESIDENTIAL DEVELOPMENT STANDARDS [§180-6.22]

Residential Development Standards (§180-6.22): The purpose of the residential development standards is to promote high quality development while still providing for creative and unique building designs; to establish minimum standards related to scale, mass, architecture, materials,

and overall design character of development and provide incentives to help achieve desired attributes; and to preserve established neighborhood scale and character, ensuring that residential areas contribute to the streetscape and are conducive to walking.

Staff has provided some initial comments for the Planning Commission to discuss and offer feedback to the applicant. At the time of the final site plan review, the proposed building will be reviewed for compliance with the Code requirements for building elements, building façade articulation, roof design, and project amenities, together with all other Code requirements.

Façade Standards (§180-6.22.3.A): To ensure that the façade design of development is compatible with Frisco's small mountain town character and provides a human scale to enhance the walking experience in the neighborhood.

- ***Building Elements.*** *All building elevations shall employ varied articulation of wall surfaces, as shown in Figure 6-UU. Each façade shall be articulated through the use of at least four of the following techniques:*
 - a. *Deep eaves or overhangs, at least 24 inches in depth;*
 - The roof and balcony overhangs appear to extend significantly beyond wall planes, particularly at roof decks and patio areas, satisfying the 24" depth requirement.
 - b. *Balconies, porches, or patios;*
 - Numerous roof decks and ground-level patios are visible for most units, especially for Buildings D, E, and F, which include private terraces.
 - c. *Building elements that provide shelter from natural elements;*
 - Covered entries and roof overhangs above decks and terraces serve this function, enhancing protection from snow and rain.
 - d. *Offsets, insets, bays, or other similar architectural features to add a variety of depths to the wall plane;*
 - The building elevations and footprints (shown in the site and floor plans) exhibit clear variations in wall depth through stepped designs and offset planes.
 - e. *A change in texture or material, provided all exterior wall textures and materials are consistent with the overall architectural style of the building;*
 - Although full elevations aren't included, the plans reference "dry stack stone retaining walls" and a variety of facade features, implying different materials/textures across the base, mid-body, and roof lines.
 - f. *Variation in roof planes or roof forms, including dormers or gables; or*
 - Multiple roof decks, shed-style slopes, and roof elevations are used. Each building contains distinct roof forms (see roof labels A.1–F.4), indicating variation across the complex.
 - g. *Variation in window sizes and shapes.*

- Floor plans display various window types and sizes (e.g., vertical narrow windows, standard bedroom windows, and large view-side windows), which meet this requirement.

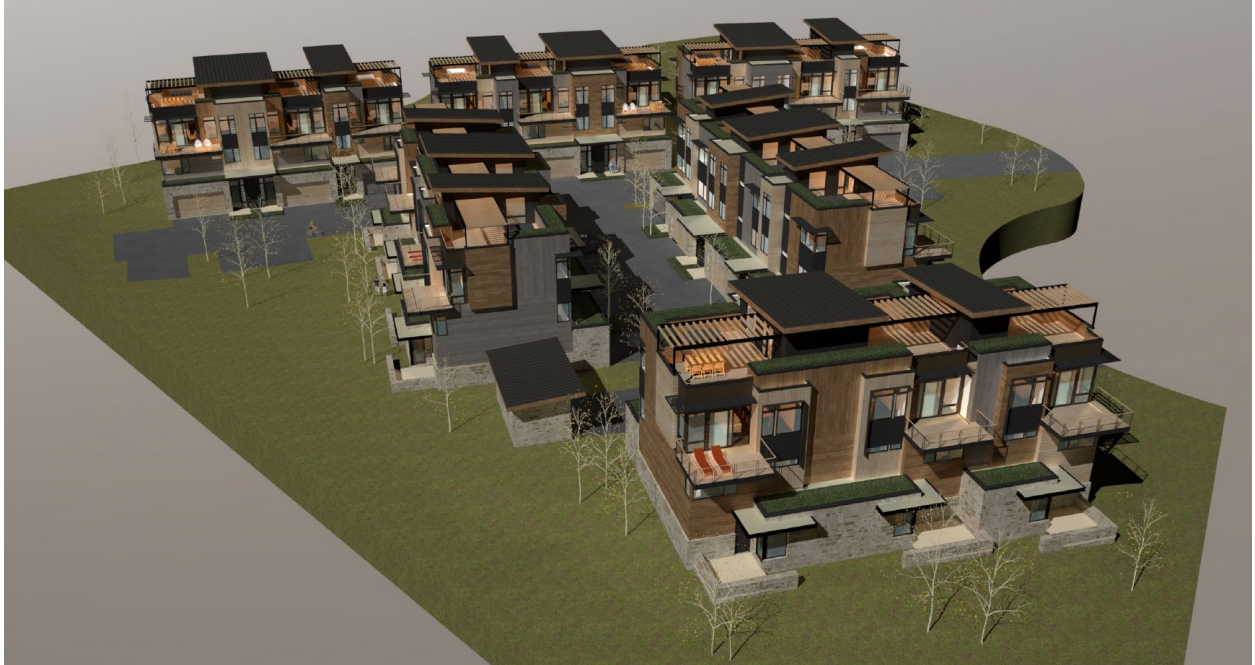
- ***Duplicate Building Design Prohibited.***

- a. *Building designs that duplicate, or are substantially similar in terms of roof pitch, building articulation, materials, colors, and building elements to existing or proposed structures within a 300-foot radius of the property shall not be allowed, with the exception that accessory structures on the same lot or parcel as the primary structure may be similar in design as the primary structure.*

- There's no indication in the plans for nearby buildings on properties within 300-feet being duplicated. The six proposed buildings are proposed in the style of mountain architecture.
- The application materials only show building elevations for two building types. Staff cannot verify that the proposed six building are proposed to be unique. At time of full site plan review, elevations of each building shall be submitted and show full compliance.

- b. *Where a project contains two or more buildings or units, not identical units, the building design shall provide architectural relief from the duplication of buildings and units by utilizing a variety of windows, decks, balconies, or exterior facade composition.*

- The project includes two distinct building types:
 1. Buildings A, B, C: Plan 1, 3BR/4.5BA, 3-story, with roof decks, garage partially below grade.
 2. Buildings D, E, F: Plan 2, 3BR/3.5BA, 3-story, first floor includes private terrace.
- These differences in internal layout, building footprints, roof configuration, and façade articulation help provide variety. Additionally, the plans suggest variety in window placements, entry orientations, and roof decks, further reducing repetition.
- The application materials only show building elevations for two building types. Staff cannot verify that the proposed six buildings are proposed to be unique. At time of full site plan review, elevations of each building shall be submitted and show full compliance including that units and the buildings shall not be duplicated.





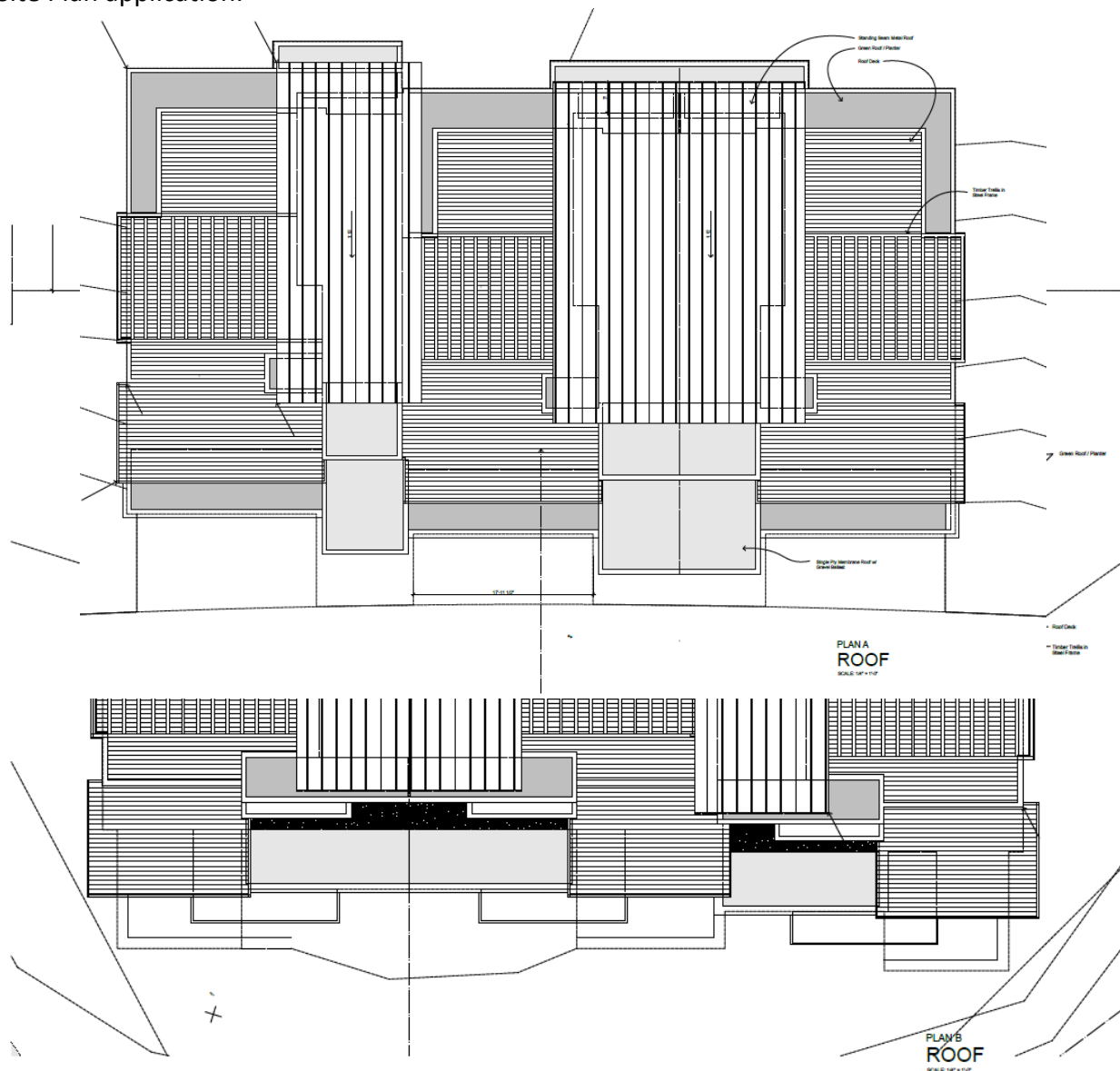
Staff requests that the Planning Commission provide feedback to the applicant on the building design variety.

Roof Standards (§180-6.22.C): The intent of the Roof Standards is to ensure that roof elements are compatible with or complementary to existing historic or contributing buildings in the area and to encourage visibly pitched roofs or roof elements.

- **Roof Pitch.** Steep pitched roofs are encouraged; flat roof construction shall be augmented with pitched roof elements, including but not limited to, peaked or sloped facade elements or parapets facing all street sides; pitched roof elements shall vary by a minimum of two feet in elevation; and mansard roofs are not appropriate and are not allowed.
- **Roof Design.**
 - a. Where pitched roofs are utilized a minimum pitch of 4/12 is required; dormers shall be incorporated to break up the roof, to enhance the usability of attic spaces, and to add architectural interest; and ridgelines shall change elevation by no less than two feet for each 27 feet of building length. Architectural elements which intersect with the ridgeline may qualify as ridgeline changes upon a finding that the design furthers the purpose of this section.
 - b. Shed roofs with a minimum pitch of 3/12 may be utilized only if the shed roof element is below the primary roof level and terminates into the roof or wall of the structure.
 - c. No more than 66 percent of a ridgeline or roofline shall be on the same elevation.
 - d. Rooflines shall be designed in a manner where they do not substantially deposit snow onto required parking areas, sidewalks, trash storage areas, stairways, decks, balconies, or entryways.
- **Roof Materials.** These standards generally direct that roof materials should be durable, non-reflective, provide substantial relief and shadow, with colors that are compatible with the building.

The application with the email from the Applicant on July 10, 2025, notes that the roof plan will be greater than 2:12 for Buildings D, E and F. The roof plan for the final site plan application will be required to show compliance with the roof design standards in the Code. The north and south elevations of the north building have rooflines approximately 160 feet in length, with a single break, so the roof contains a segment that is greater than 66% of the total ridgeline length. The ridgeline also does not change elevation by at least two feet every 27 feet. The east and west elevations of the east building have rooflines of approximately 56 feet in length, with no breaks or changes in elevation. The application will be required to show full compliance with roof pitch and design requirements at time of full site plan review.

The application indicates the roof materials will be a grey color, asphalt shingles and ribbed steel roof panels for the lower sections, which appears to meet this standard. The application will be further reviewed for compliance with the Roof Standards at the time of final review of the Major Site Plan application.



Staff requests that the Planning Commission provide feedback to the applicant on the roof design and compliance with the Roof Standards.

Building Material Standards (§180-6.22.D):

1. *Intent. To ensure that building materials are compatible and complementary to existing historic and contributing buildings in the area, using a combination of mainly natural materials.*
2. *Primary Materials*
 - a. *Building materials shall be predominantly natural, including but not limited to, wood siding, wood shakes, logs, stone, brick, or other similar materials.*
 - b. *Other materials that imitate natural materials are also acceptable provided their texture, shape, and size are substantially similar to the natural materials they are imitating, and are not obviously artificial materials.*
 - c. *Stucco or steel are acceptable materials when used in combination with other acceptable materials.*

Primary building materials shall be predominantly natural, including but not limited to, wood siding, woodshakes, logs, stone, brick, or other similar materials. Other materials that imitate natural materials are also acceptable, provided their texture, shape, and size are similar to those of the natural materials they imitate, and they are not obviously artificial.

Finalized exterior material, color samples, and specifications will be reviewed at the final Major Site Plan review.

Bulk Standards (§180-6.23): Table 6-K of the Code outlines bulk plane requirements. Building forms may deviate from bulk plane standards if they do not exceed the maximum building height and provide substantial architectural relief with the approval of the Planning Commission. There are no bulk plane encroachment requirements for residential units in the Gateway District.

PUBLIC COMMENT

The Community Development Department public comment concerning the installation of a trail along Beaver Lodge Road and Divide Road included as Attachment C.

Name	Comment	Date
Craig Kinney	Thanks for the update on the proposed project. I have copied everyone on the board for their info. We would appreciate a notice when the	June 23, 2025

	<p>project has been put on the website.</p> <p>On the 2017 Frisco Master Trails plan, there was a planned trail from Beaver Lodge Circle to Divide Road (C17). There are over 400 condos to the northwest of Bay Club. The only direct route those people have to walk or bike to town is through Bay Club's western driveway. It is heavily traveled in the summer. All the city utilities run under Bay Club's side of the property line with Silengo's property, so the path could not be placed on our property. It was agreed that if Silengo ever developed that property, the trail would be part of the plan. Under the most current trails plan, that trail (C17) has been taken off. Do you know why?</p>	
Craig Kinney	<p>Thanks Kris. I have looked at the site plan application for Tom Silengo's Landing development on the town website. I noticed that there was no path between Beaver Lodge Road and Divide Road on the plan. I think the four HOA's to the north of us would like to have a meeting to discuss a possible solution.</p>	July 2, 2025

STAFF RECOMMENDATIONS

Staff recommends the Planning Commission provide the applicant feedback on the sketch plan application submitted for the project and associated improvements in the context of the recommendations and requirements of the Frisco Community Plan, the Gateway Zone District, and the Frisco Town Code.

Staff Observations:

1. There are a number of standards in which there is insufficient detail to make an initial determination of whether or not the standard is being met, including but not limited to maximum building height, steep slope disturbance, bicycle parking, landscaping, and refuse management. These are not required at sketch plan review and will be required at final site plan review.
2. Staff requests the Commission provide feedback regarding the proposed conditional use to allow multi-unit residential use in the Gateway Zone District; specifically compatibility with Neighborhood Character requirements of the proposed buildings in relation to nearby properties.
3. Staff requests that the Planning Commission provide feedback to the applicant regarding the lack of non-vehicular access plans for the project.
4. Recognizing that the application materials will be required to show full compliance at final site plan review for façade standards, Staff requests that the Planning Commission provide feedback to the applicant on the proposed façade standards relating to building elements, articulation, variation in wall planes and duplicity as shown in the sketch plan materials.
5. Recognizing that the application materials will be required to show full compliance at final site plan review for roof standards, Staff requests that the Planning Commission provide feedback to the applicant on the roof design as shown in the sketch plan materials.
6. Staff requests that the Planning Commission provide feedback to the applicant on the proposed building materials, colors, and design variety.

The application will need to be revised to show compliance with the applicable Code requirements prior to proceeding with the final major site plan review process.

ATTACHMENTS

Attachments:

- Attachment A – Application
- Attachment B – Application Renderings
- Attachment C – Public Comments

cc: Michael Shult and Thomas Silengo