

#### RE: The Glade - 200 N 7th Ave - Xcel Final Site Plan Review

From Kunz, Peter H < Peter.H.Kunz@xcelenergy.com>

Date Fri 7/18/2025 7:29 AM

**To** Kris Valdez <krisv@townoffrisco.com>

Cc Amy Lagace <amy.lagace@xcelenergy.com>

#### This Message Is From an External Sender

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Hey Kris,

I have been in conversation with Seth and he architects about my comments and they have made the needed changes to satisfy our standards.

- -They have shown that the N and S structures are physically connected via foundation making them one structure, so gas service to the stated meter location will work for us.
- -They have adjusted the roof line to pitch in a different direction making the meter location to standard.
- -They understand the needed clearances/easement for our new transformer and are planning for a better location outside of snow storage as a result.

They can present to the planning commission with the changes they have made.

Thanks,

#### **Peter Kunz**

#### Xcel Energy

Planner, Mountain Division

200 West 6<sup>th</sup> St. PO Box 1819 Silverthorne, CO 80498

P: 970-409-9123

E: Peter.H.Kunz@xcelenergy.com

My Office Hours: Tuesday to Friday, 7:00am - 4:30pm

From: Kris Valdez <krisv@townoffrisco.com> Sent: Tuesday, July 15, 2025 12:29 PM

**To:** Kunz, Peter H < Peter.H.Kunz@xcelenergy.com> **Cc:** Lagace, Amy S < Amy.Lagace@xcelenergy.com>

Subject: Re: The Glade - 200 N 7th Ave - Xcel Final Site Plan Review

**EXTERNAL - STOP & THINK** before opening links and attachments.

Hi Peter,

Thank you for the referral comments. Would you prefer to make these items a condition of approval before submitting the building permit, or would you like these comments addressed before we present the project to the planning commission?

I appreciate your guidance on this!

Take care,

Kris

Kris Valdez, AICP, MURP | Principal Planner | Community Development



Mailing PO Box 4100, Frisco, CO 80443
Physical 1 Main Street, Frisco, CO 80443
Email KrisV@TownofFrisco.com
Office 970-668-9121
FriscoGov.com
TownofFrisco.com

#### **Hours of Operation:**

- Monday Thursday, 8 AM 5 PM
- Friday, 8 AM 12 PM

From: Kunz, Peter H < Peter.H.Kunz@xcelenergy.com>

**Sent:** Wednesday, July 9, 2025 4:47 PM **To:** Seth Francis < < sjfrancis1985@gmail.com >

Cc: Amy Lagace <a href="mailto:amy.lagace@xcelenergy.com">amy.lagace@xcelenergy.com</a>; Kris Valdez <a href="mailto:krisv@townoffrisco.com">krisv@townoffrisco.com</a>

Subject: RE: The Glade - 200 N 7th Ave - Xcel Final Site Plan Review

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**Report Suspicious** 

Hey Everyone, sorry for the delay here, see comments attached.

Thanks,

#### **Peter Kunz**

#### Xcel Energy

Planner, Mountain Division

200 West 6<sup>th</sup> St. PO Box 1819 Silverthorne. CO 80498

P: 970-409-9123

E: Peter.H.Kunz@xcelenergy.com

My Office Hours: Tuesday to Friday, 7:00am - 4:30pm

From: Seth Francis < sjfrancis1985@gmail.com >

**Sent:** Tuesday, July 8, 2025 6:14 PM

To: Kunz, Peter H < Peter.H.Kunz@xcelenergy.com>

Cc: Lagace, Amy S < <a href="mailto:Amy.Lagace@xcelenergy.com">Amy.Lagace@xcelenergy.com</a>; Kris Valdez < <a href="mailto:krisv@townoffrisco.com">krisv@townoffrisco.com</a>

Subject: Re: The Glade - 200 N 7th Ave - Xcel Final Site Plan Review

**EXTERNAL - STOP & THINK** before opening links and attachments.

Thanks Peter. I appreciate that.

Have a good evening, Seth

#### **Seth Francis**

Managing Partner
Blue River Real Estate
PO Box 7035, Breckenridge, CO 80424

Cell: 347-834-1009 sjfrancis1985@gmail.com

On Tue, Jul 8, 2025 at 4:26 PM Kunz, Peter H < <a href="mailto:Peter.H.Kunz@xcelenergy.com">Peter H < <a href="mailto:Peter.H.Kunz@xcelenergy.com">Peter.H.Kunz@xcelenergy.com</a>> wrote:

Hey Seth, Sorry for the delay on this, Ill get to this first thing tomorrow in the morning and get this review off to Kris

#### **Peter Kunz**

#### Xcel Energy

**Planner, Mountain Division** 

200 West 6<sup>th</sup> St. PO Box 1819

Silverthorne, CO 80498 **P: 970-409-9123** 

1. 370-403-3123

E: Peter.H.Kunz@xcelenergy.com

My Office Hours: Tuesday to Friday, 7:00am - 4:30pm

From: Seth Francis < sifrancis1985@gmail.com >

**Sent:** Tuesday, July 8, 2025 11:45 AM

To: Lagace, Amy S < Amy.Lagace@xcelenergy.com>; Kunz, Peter H < Peter.H.Kunz@xcelenergy.com>

**Cc:** Kris Valdez < krisv@townoffrisco.com >; Seth Francis < sjfrancis1985@gmail.com >

**Subject:** The Glade - 200 N 7th Ave - Xcel Final Site Plan Review

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Hi Amy and Peter,

My name is Seth Francis and I'm the developer of a proposed project at 200 N 7th Ave in Frisco Colorado (also known as "The Glade").

I submitted a final site plan application in early May and we are waiting for Xcel's comments in order to get a final planning commission hearing scheduled.

Do you think you would be able to provide comments before the end of this week?

I have attached the plans that were uploaded to community core.

Thank you, Seth

#### **Seth Francis**

Managing Partner
Blue River Real Estate
PO Box 7035, Breckenridge, CO 80424

Cell: 347-834-1009

sjfrancis1985@gmail.com

### Xcel Energy – Review Comments – Plat and/or Site Plan

#### Project Information:

7/9/2025

Reviewing: The Glades Development 200 N 7<sup>th</sup> St – Civils & Architectural for Electric Distribution

Address: 200 N 7th St - Frisco CO

Customer did not indicate any proposed gas or electric loads

#### **Existing Facilities**

Known existing Xcel facilities onsite or near project

- UG Primary is running North/South of west property line 1ph transformer and 3ph transformer with subsequent primary wire. Gas Main is running North to South in the ROW of Summit Blvd.
- Gas service to existing structure will need to be removed prior to start of construction
- Transformers and subsequent primary wire will need to be removed and relocated prior to start of construction
- If any grading or landscape work is planned over existing Xcel Facilities, Xcel will need
  the customer to have the lines surveyed and located to review for proper clearance and
  depth.
- Any encroachment/grade change +/-6" over the existing Xcel facilities in ROW UG and above ground will need to be reviewed to maintain proper clearances and depth.
- Please call 811 for locates before digging.

#### **Proposed Facilities**

- Plan shows proposed transformer locations on west side of property near parking area.
  - Note transformer CANNOT be place in dedicated snow storage area
  - Xcel's facilities will need to be installed on property in a 15'x15' dry utility easement.
  - Proposed location will require bollards
  - SW transformer shown butting against 'water quality setback'. This is not against our standards, but this does not seem advisable to have oil-filled equipment butting up against this setback.
- Customer must ensure that all Company facilities meet all local setback and zoning requirements and remain accessible at all times for routine maintenance purposes.

- Every independent structure must have its own gas service line in order to eliminate customer owned gas 'yard lines' between structures. There appear to be 6 independent structures that will all need their own gas service line and their own gas meter location that meets our standards. This will most likely need a gas main extension through the drive and subsequent services tapped into said gas main. Standard clearances will need to be maintained from this new main to any deep utilities.
- Elevations do not show if windows are opening or not must maintain clearance from transformer to any opening doors/windows, see below
- Meter locations do not meet our standard located under a drip edge and access to meter locations from drive traverses under a drip edge
- Show actual size of electric meter stack for both structures current illustration does not represent actual size of electric metering equipment. This is needed to confirm the feasibility of fitting both gas and electric meters in the proposed meter location and also hitting our standard clearances.
- Will you be installing a separate electric 'house meter' to serve the common facilities? If so this will change who is responsible for the electric service line. Please indicate if you intend to install any house meters.

#### Easements

Easements are required to accommodate Xcel facilities needed to serve. Size and location dependent on transformer size/location and trench routing.

### Gas and Electric Cable/Trench Clearances

Clearances required from buried Xcel facilities:

- 10' Min from Sewer and Water
- 1' Min Horizontal from Communications
- 1' vertical from gas and electric
- 5' Min from Gas pipe to any structure
- No private customer owned facilities allowed in Xcel's electric/gas trench

#### Above Ground Equipment Locations and Clearances

All Above ground Xcel owned equipment:

- Must be located outside
- Cannot be located under any overhang (roof, balcony, stairs, etc)
- Requires safe access
  - Cannot be located under a drip edge
  - Must be accessible by a truck

• Cannot be placed in dedicated snow areas

Transformers require safety clearance from structures including:

- 10' from any combustible structures
  - o 30" from non-combustible 2hr rated wall
- 1<sup>st</sup> story:
  - No exits within 20' (including garage doors when attached to structure)
  - No operable windows within 10'
- 2<sup>nd</sup> story and higher:
  - If the transformer is within 20' from building, there can be NO operable windows or doors on the 2<sup>nd</sup> story and higher in the 20' zone.

Further details relating specifically to transformers can be found the Xcel Energy Standard for Electric Installation and Use, Section 5. Refer to the Illustrations in the CR – Clearance requirement section, for typical pad-mounted transformer installation and clearance requirements.

#### Meter Location and Required Clearances

All meter locations will need to be approved by Xcel. Proposed electric meter location indicated on elevation is not in an approved location.

- Meters shall be located outdoors, on the front 1/3<sup>rd</sup> of the structure with safe access under a non-drip edge(gable) wholly on the customers property.
  - Including CT enclosures
- Meters shall not be installed:
  - Where the meter will, in the Company's opinion, interfere with traffic on sidewalks, driveways, hallways or passageways.
  - Where the meter will, in the Company's opinion, obstruct the opening of doors or windows.
- In locations with heavy snowfall or ice loading and in locations above 6000 feet in elevation, all meters shall be installed on the gable or non-drip side of a building or other structure, and there shall be no adjacent rooflines, which will drip directly on or towards a neighboring meter installation.
- Xcel does not allow ice or snow shields in Summit County. Meters must be located under a non-drip edge and there shall be no adjacent rooflines, which will drip directly on or towards a neighboring meter installation.
  - Note: Due to excessive snowfall, ice and snow shields will not be permitted in the following Colorado counties: Eagle, Lake, Park and Summit. Meters shall be installed on the gable or non-drip side of a building or in an approved remote location from the building or structure in these counties.

Further details relating specifically to meters and meter locations can be found the Xcel Energy Standard for Electric Installation and Use, Sections 4.14 thru 4.18 and the Illustrations on CR-10 and SC-20B

#### Installation of Xcel Facilities

Xcel will install all Xcel owned facilities. Installation of Xcel facilities will start once a final design has been approved, paid for and the site is ready, equipment locations at final grade and trench route at +/- 6" of final grade. The customer is responsible for staking the trench line and above ground equipment prior to start of construction. Also, all easements must be in place and staked prior to start of construction.

- Where existing slopes prohibit trenching, Customer must provide temporary grade for trenching equipment.
- Pouring/paving of roads, driveways, sidewalks, and landscaping must be delayed until after installation of facilities (services excluded).
- Water line, sewer lines septic systems, leach fields, and any other underground obstruction must be staked, flagged, and installed prior to Company gas and/or electric construction.
- Only shallow root vegetation allowed over any Xcel gas or electric lines. No trees or other tall vegetation in the front of the transformer doors.
- Transformers, switch cabinet locations, pedestals, gas regulator stations, meter installations, and other surface mounted equipment must be exact final grade. All other street/easements/service lateral routes must be within plus or minus six (6) inches of final grade.
- All roof drains must be directed away from Company equipment in a manner that prevents damage or settling of facilities, or both.
- If transformers, switch cabinets, or gas meters require bumper protection, Customer must install protection at Customer's sole cost. Customer must contact design engineer for bumper protection clearance requirements.
- When construction consists of five (5) sites or fewer, all sites must be ready. For projects with more than five (5) sites, approximately fifty (50) percent of the sites must be ready.
- As determined by Company, required property pins, necessary curve points, easements, proposed structures, and facility equipment locations must be staked and visible in the

field.

If gas service is requested, the service line from the main to the structure will be installed/owned and maintained by Xcel.

• Please note no private customer owned facilities can join in gas trench.

If the electric services to the structures are anticipated to be commercial/customer owned – they will be installed/owned and maintained by the customer

- Please note –electric services require one point of service to structure, ie, transformer/Ped
- A transformer or Ped will be required to be placed on the property being served in utility easement and will be sized once final building loads have been received.

Additional information on the design and installation process can be found on our website here. <u>Planning Your Project (xcelenergy.com)</u> & <u>Building & Remodeling (xcelenergy.com)</u>

#### Design Layout and Estimate

When the customer is ready to submit their application for a design, they will need to submit the following:

- Approved site plans (as required by local jurisdiction(s))
- Civil grading and utility plan with proposed transformer/PED locations
  - Please include deep and shallow utilities
- Final approved plat with required utility easements
- Landscape Plan
- Elevations of buildings with proposed meter locations highlighted.
- Gas Loads once gas loads are determined and application for new service submitted –
  we will submit a capacity check to engineering to determine if our gas system can
  handle the added load. If a reinforcement is determined as needed in order to serve the
  added load, the cost for said reinforcement will be on the customer to furnish.
- Electric one line and panel schedule with loads
  - Please indicate # of EVS and EV ready with kW per charges
  - Please indicate if 1 phase or 3 phase service will be needed we cap new 1ph services to 800A loads coming out of a 100kvz transformer. If a larger service is needed, 3 phase will be required.
  - Any electric heating needs
  - Please indicate if solar
    - If yes, please make sure to apply for review and approval through the Xcel Solar Rewards application process
      - <u>Solar\*Re</u>wards | Xcel Energy
- Builders Call line application are needed for:
  - New Electric & Gas Distribution
  - DEMO for each service on property

Services – new applications for each residential service (as needed)

Online Application link - <u>Building and Remodeling | Partner Resources | Xcel Energy</u>

Also – please check out the free Xcel Energy programs for new building projects <u>New Building</u> Programs (xcelenergy.com)

Link to full version - Xcel Energy Standards of Installation and Use Manual

Please note – this is not a final assessment of what the request will entail. There may be additional things in the field I cannot see. Once an application has been submitted to XCEL we can start the full design process and identify the scope of work for this request.

Thank you,

Peter Kunz Xcel Energy Designer

PO Box 4910 Frisco, CO 80443 (970) 262-5100 www.summitfire.org

May 6<sup>th</sup>, 2025

Seth Francis
Managing Partner
Blue River Real Estate

RE: "The Glade" 200 N 7th Avenue, Frisco Colorado

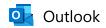
Thank you for submitting your letter and drawings for consideration. In discussing the matter with our executive team, we will allow this project to extend the distance without a turn around if the following conditions are met.

- 1. All buildings will have a NFPA 13 Sprinkler system installed. 13D and 13R are not an option.
- 2. A fire hydrant needs to be installed between building 106 and 108 with bollards for protection and meet all requirements of the 2018 IFC.
- 3. The entire length of the drive access will be designated a Fire Lane and signage shall be posted.
- 4. Snow storage shall be shown on drawings and maintained so as not to interfere with emergency vehicles.
- 5. The width of 24 feet is acceptable for the driveway if there is a clear distance of 26 feet x 13 feet 6 and there is no encroachment.

Please let me know if there are any questions or you need further information

Warmest Regards

Scott Benson
Division Chief of Community Risk
sbenson@summitfire.org
970-262-5100 Ext 523



#### **RE: Request for Comments**

From SPA-RD-CO <SPA-RD-CO@usace.army.mil>

Date Mon 6/9/2025 6:23 PM

To Kris Valdez < krisv@townoffrisco.com >

#### This Message Is From an Untrusted Sender

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Please review the email and report as suspicious if you have any doubts of the integrity of the message.

Report Suspicious

#### Good afternoon,

Thank you for requesting comments from our office regarding the proposed subject project or activities that may have the potential to impact aquatic resources. We appreciate that you are considering our potential regulatory role in the project.

Unfortunately, we do not have the ability at this time to respond to requests for comments such as this due to recent losses of staff from government efficiency efforts.

If the subject activity should have the potential to result in the discharge of dredged or fill material into waters of the United States, then the project proponent should work directly with our office to acquire necessary Corps permits, if applicable, as described in the following general comment:

Section 404 of the Clean Water Act requires a permit from us for the discharge of dredged or fill material into waters of the United States. Waters of the United States may include, but are not limited to, rivers, streams, lakes, ponds, wetlands, wet meadows, seeps, and some irrigation ditches. To ascertain the extent of waters on the project site, the applicant should prepare a delineation of aquatic resources, in accordance with the applicable standards, including the 1987 Wetland Delineation Manual and appropriate regional supplements. These standards can be found on our website at: <a href="https://urldefense.com/v3/">https://www.spa.usace.army.mil/Missions/Regulatory-Program-and-Permits/Jurisdiction/</a> ;!!Darphol7Al4AHw!uLOW9HGIZHmX8-w68\_VmMWBK9fl193fsP89vtTsM-OshriONHR55mIMF-ZhtB4lKUErKdezh71Azwk7N5ObBpP4qkR0\$

An aquatic resource delineation should be evaluated prior to designing a project to ensure the project proponent avoids and minimizes impacts to waters of the United States to the greatest practicable extent. The range of alternatives considered for this project should include alternatives that avoid and minimize impacts to wetlands, streams, or other waters of the United States. Every effort should be made to avoid project features which require the discharge of dredged or fill material into waters of the United States. In the event it can be clearly demonstrated there are no practicable alternatives to discharging dredged or fill material into waters of the United States, compensatory mitigation may be required.

For more information about our program or to locate a list of consultants that prepare aquatic resource delineations and permit application documents, please visit our website at: <a href="https://urldefense.com/v3/">https://www.spa.usace.army.mil/Missions/Regulatory-Program-and-</a>

Permits ;!!Darphol7Al4AHw!uLOW9HGlZHmX8-w68 VmMWBK9fl193fsP89vtTsM-OshriONHR55mlMF-ZhtB4lKUErKdezh71Azwk7N5ObBvlwkYxU\$

#### Respectfully,

U.S. Army Corps of Engineers Albuquerque District - Regulatory Division 4101 Jefferson Plaza, NE Albuquerque, New Mexico 87109-3435

----Original Message-----

From: krisv@townoffrisco.com <krisv@townoffrisco.com>

Sent: Friday, June 6, 2025 1:09 PM

Subject:

Desc.png

X-EEMSG-Attachment-filesize: 5513

X-EEMSG-check-001: true X-EEMSG-SBRS: 4.3 X-EEMSG-check-021: 3

X-EEMSG-ORIG-IP: 40.107.199.27

Subject: [Non-DoD Source] Referral Review for Town of Frisco, Colorado

X-EEMSG-check-002: true X-EEMSG-check-022: false

X-ThreatScanner-Verdict: Negative

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#### **RE: Request for Comments**

From McGinnis, Chris < ChrisM@townoffrisco.com>

Date Tue 6/10/2025 5:14 PM

To Kris Valdez <krisv@townoffrisco.com>Cc Kent, Katie <katiek@townoffrisco.com>

Hi Kris,

Thanks for forwarding the response from the Army Corps of Engineers.

The Corps requirements generally apply to cases where .1 acres or more of wetlands are being filled. Since this development does not involve filling any wetlands, I am not overly concerned about their lack of response. I believe that requiring a wetlands disturbance permit and a floodplain permit will be sufficient. I will also review closely when the permits are submitted and add conditions.

Let me know if you want to discuss further.

Thanks,

Chris McGinnis, PE | Public Works Director/Town Engineer



Mailing PO Box 4100, Frisco, CO 80443
Physical 102 School Road, Frisco, CO 80443
Email Chrism@TownofFrisco.com
Office 970-668-4579
Cell 970-216-9659
FriscoGov.com
TownofFrisco.com

From: Kris Valdez <krisv@townoffrisco.com> Sent: Tuesday, June 10, 2025 3:59 PM

**To:** McGinnis, Chris < ChrisM@townoffrisco.com> **Cc:** Kent, Katie < katiek@townoffrisco.com>

Subject: Fw: Request for Comments

Hey Chris,

Below is the response from the Army Corps of Engineers regarding the wetlands on 200 N  $7^{th}$  Ave. It appears they no longer have the staff to review these applications. How should we proceed with the application for Seth Francis?

Thank you!

Take care,

Kris Valdez, AICP, MURP | Principal Planner | Community Development



Mailing PO Box 4100, Frisco, CO 80443
Physical 1 Main Street, Frisco, CO 80443
Email KrisV@TownofFrisco.com
Office 970-668-9121
FriscoGov.com
TownofFrisco.com

#### **Hours of Operation:**

Monday – Thursday, 8 AM – 5 PM

• Friday, 8 AM – 12 PM

From: SPA-RD-CO < <u>SPA-RD-CO@usace.army.mil</u>>

**Sent:** Monday, June 9, 2025 6:21 PM **To:** Kris Valdez < <u>krisv@townoffrisco.com</u>> **Subject:** RE: Request for Comments

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limited to, rivers, streams, lakes, ponds, wetlands, wet meadows, seeps, and some irrigation ditches. To ascertain the extent of waters on the project site, the applicant should prepare a delineation of aquatic resources, in accordance with the applicable standards, including the 1987 Wetland Delineation Manual and appropriate regional supplements. These standards can be found on our website at:

https://urldefense.com/v3/\_\_https://www.spa.usace.army.mil/Missions/Regulatory-Program-and-Permits/Jurisdiction/ ;!!Darphol7Al4AHw!uLOW9HGIZHmX8-

w68 VmMWBK9fl193fsP89vtTsM-OshriONHR55mlMF-

ZhtB4IKUErKdezh71Azwk7N5ObBpP4qkR0\$

An aquatic resource delineation should be evaluated prior to designing a project to ensure the project proponent avoids and minimizes impacts to waters of the United States to the greatest practicable extent. The range of alternatives considered for this project should include alternatives that avoid and minimize impacts to wetlands, streams, or other waters of the United States. Every effort should be made to avoid project features which require the discharge of dredged or fill material into waters of the United States. In the event it can be clearly demonstrated there are no practicable alternatives to discharging dredged or fill material into waters of the United States, compensatory mitigation may be required.

For more information about our program or to locate a list of consultants that prepare aquatic resource delineations and permit application documents, please visit our website at: <a href="https://urldefense.com/v3/\_\_https://www.spa.usace.army.mil/Missions/Regulatory-Program-and-Permits\_\_;!!Darphol7Al4AHw!uLOW9HGIZHmX8-w68\_VmMWBK9fl193fsP89vtTsM-OshriONHR55mlMF-ZhtB4lKUErKdezh71Azwk7N5ObBvlwkYxU\$</a>

#### Respectfully,

U.S. Army Corps of Engineers Albuquerque District - Regulatory Division 4101 Jefferson Plaza, NE Albuquerque, New Mexico 87109-3435

----Original Message-----

From: <a href="mailto:krisv@townoffrisco.com">krisv@townoffrisco.com</a>>

Sent: Friday, June 6, 2025 1:09 PM

Subject:

Desc.png

X-EEMSG-Attachment-filesize: 5513

X-EEMSG-check-001: true X-EEMSG-SBRS: 4.3 X-EEMSG-check-021: 3

X-EEMSG-ORIG-IP: 40.107.199.27

Subject: [Non-DoD Source] Referral Review for Town of Frisco, Colorado

X-EEMSG-check-002: true X-EEMSG-check-022: false

X-ThreatScanner-Verdict: Negative

X-IPAS-Result: =?us-ascii?q?A0GtBgDJcNJnjxvHayhXAxwBAQE8AQEEBAEBAgEBBwEBF?=

=?us-ascii?q?

YFTAoE/MVJ9WzIEC0illgOFLYh0nEGBVhSBQigPAQEBAQEBAQEBBAMCFAIBA?=



#### Re: FOR REVIEW: Sketch Plan Application and Conditional Use for 200 N 7th Ave

From Killian - CDOT, Brian <bri> State.co.us>

Date Tue 4/1/2025 1:47 PM

To Kris Valdez <krisv@townoffrisco.com>

Cc Kandis Aggen - CDOT < kandis.aggen@state.co.us>

You don't often get email from brian.killian@state.co.us. Learn why this is important

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Kris,

Since they are accessing 7th St and will most likely not increase traffic by 20% or more at the Main St intersection with Hwy 9, CDOT has no comment.

Thanks,

Brian Killian Region 3 Access Program Manager Traffic & Safety

P 970-683-6284 | C 970-210-1101 | F 970-683-6290 222 S. 6th St, Room 100 Grand Junction, CO 81501 brian.killian@state.co.us | www.codot.gov | www.cotrip.org

On Thu, Mar 27, 2025 at 3:24 PM Kris Valdez < <u>krisv@townoffrisco.com</u>> wrote: Hello all,

Frisco Planning received an updated Sketch Plan Application for 200 N 7<sup>th</sup> Ave. I'm sending this email to you for informational purposes only. You will receive another referral request when the application for the Final Site Plan is submitted.

However, due to the scale of this project, we want to notify referral agencies sooner rather than later. If you have comments on the Sketch Plan, please provide them by **April 8, 2025**.

### Proposed multi-family development at 200 N 7<sup>th</sup> Ave

- Permit Number: MAJ-24-0005 and CU-24-0001
- **Zoning**: Mixed Use
- **Project Description**: A sketch plan review of the Major Site Plan Application for a proposed multi-family residential development consisting of 11 units and a conditional use application to allow for less than 20% mix of uses in the mixed-use zone district
- Property Constraints:
  - There are significant wetlands on the site
  - Property is located within the floodplain
- The application can be found here: <u>Planning Projects Under Review Frisco Town Government</u>

Please let me know if you have any questions, and I'll happily answer them.

Take care,

Kris

Kris Valdez, AICP, MURP | Principal Planner | Community Development

Mailing PO Box 4100, Frisco, CO 80443
Physical 1 Main Street, Frisco, CO 80443
Email KrisV@TownofFrisco.com
Office 970-668-9121
FriscoGov.com
TownofFrisco.com

#### **Hours of Operation:**

- Monday Thursday, 8 AM 5 PM
- Friday, 8 AM 12 PM



#### INFORMATION SYSTEMS DEPARTMENT

970-668-4200 Post Office Box 5660 County Commons 0037 County Road 1005 Frisco, Colorado, 80443

TO: Town of Frisco Planning Department FROM: Chandler Morehardt, GIS Analyst

SUBJECT: Project Review DATE: June 10, 2025

Property Location: 200 N 7<sup>th</sup> Ave, Frisco Colorado 80443

Property Description: LOT E-2 RIVER PINES SUB RESUB OUTLOT E REPLAT A RIVER PINES

Project Description: Proposed multi-family development

New Comments: It seems like "N" and "S" were added since the last review. These prefixed are unnecessary as there are no duplicate unit numbers. Please drop the prefixes and only use the Unit Numbers 101-111 going forward.

It appears that the applicant would like to continue using 200 N 7th Ave, so we will use that going forward.

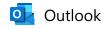
<u>Previous Comments:</u> "The Glade" is an acceptable project name.

This project can retain the existing physical address (200 N 7<sup>th</sup> AVE) and assign unique unit numbers to each unit as shown in the current plans. Current unit numbering system (Units 101-111) are acceptable.

We can also assign a new physical address (for example, 202 N 7<sup>th</sup> Ave) if desired. The benefit to this would be not having old permits from 200 N 7<sup>th</sup> Ave come up in a search for example. Please let us know how you would like to proceed.

Sincerely,

Chandler Morehardt
Information Systems
Summit County Government
GIS Analyst
Chandler.Morehardt@summitcountyco.gov
970-668-4219
PO Box 5660
Frisco, CO 80443



#### RE: The Glade - Civil Plans Submission

From McGinnis, Chris < ChrisM@townoffrisco.com>

Date Fri 7/11/2025 9:16 AM

To Seth Francis <sjfrancis1985@gmail.com>

Cc Kris Valdez <krisv@townoffrisco.com>; Ted Shaffer <tshaffer@bhhpartners.com>; Joseph Maglicic <joe@tenmileengineering.com>; rockysengineering1@gmail.com <rockysengineering1@gmail.com>

Hi Seth,

I spoke to Ryan and we are okay with less than 15' on one side of the waterline. I uploaded plans with comments and a memo to Community Core – these will need to be addressed prior to building permit issuance. Let me know if you have any questions.

Thanks,

#### Chris McGinnis, PE | Public Works Director/Town Engineer



TownofFrisco.com

Mailing PO Box 4100, Frisco, CO 80443
Physical 102 School Road, Frisco, CO 80443
Email Chrism@TownofFrisco.com
Office 970-668-4579
Cell 970-216-9659
FriscoGov.com

From: Seth Francis <sjfrancis1985@gmail.com>

**Sent:** Thursday, July 10, 2025 8:57 AM

To: McGinnis, Chris < ChrisM@townoffrisco.com>

Cc: Kris Valdez <krisv@townoffrisco.com>; Ted Shaffer <tshaffer@bhhpartners.com>; Joseph Maglicic

<joe@tenmileengineering.com>; rockysengineering1@gmail.com

Subject: Re: The Glade - Civil Plans Submission

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I spoke to Ryan yesterday (water department) and he mentioned that he was going to talk to you about the waterline coming down the drive-aisle and to see if we can have less than 15' on one side of the waterline. Were you able to work this out with him?

Thanks, Seth

#### **Seth Francis**

Managing Partner Blue River Real Estate PO Box 7035, Breckenridge, CO 80424

Cell: 347-834-1009 <a href="mailto:sjfrancis1985@gmail.com">sjfrancis1985@gmail.com</a>

On Thu, Jul 10, 2025 at 8:50 AM McGinnis, Chris < <a href="mailto:chrisM@townoffrisco.com">chrisM@townoffrisco.com</a>> wrote:

Hi Seth,

I'll send comments today in Community Core.

Thanks,

Chris McGinnis, PE | Public Works Director/Town Engineer



Mailing PO Box 4100, Frisco, CO 80443 Physical <u>102 School Road, Frisco, CO</u> 80443

Email <u>Chrism@TownofFrisco.com</u> Office <u>970-668-4579</u>

Cell <u>970-216-9659</u>

FriscoGov.com
TownofFrisco.com

From: Seth Francis < sifrancis1985@gmail.com >

**Sent:** Tuesday, July 8, 2025 11:47 AM

To: McGinnis, Chris < <a href="mailto:ChrisM@townoffrisco.com">ChrisM@townoffrisco.com</a>>

Cc: Kris Valdez <a href="mailto:krisv@townoffrisco.com">krisv@townoffrisco.com</a>; Ted Shaffer <a href="mailto:krisv@townoffr

<joe@tenmileengineering.com>; rockysengineering1@gmail.com

Subject: Re: The Glade - Civil Plans Submission

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Hi Chris,

I spoke to Kris and she mentioned that your comments were not uploaded to community core and that currently it says "on hold" in the system.

Would you be able to upload your comments to community core? We missed the July 17th PC hearing deadline as we hadn't received all referral agency comments. We are now targeting the August 7th PC hearing.

Thanks, Seth

#### **Seth Francis**

Managing Partner
Blue River Real Estate
PO Box 7035, Breckenridge, CO 80424

Cell: 347-834-1009 sjfrancis1985@gmail.com

On Mon, Jun 23, 2025 at 2:24 PM Seth Francis < <a href="mailto:sjfrancis1985@gmail.com">sjfrancis1985@gmail.com</a>> wrote:

Hi Chris.

That is correct. First level is garage/storage/entryway.

Write Water is putting together the floodplain development permit and is good with the elevations.

Just wanted to make sure you didn't have any comments to the grading plan that may impact the current elevations on the grading plan. Sounds like you are good with the elevations.

Thank you, Seth

On Jun 23, 2025, at 2:08 PM, McGinnis, Chris < <a href="mailto:ChrisM@townoffrisco.com">ChrisM@townoffrisco.com</a>> wrote:

Hi Seth,

The first level is all proposed to be parking/storage and not habitable space, correct? If so, then my understanding is that the slab elevations are acceptable. I would also recommend confirming with Wright Water as well.

Thanks,

Chris McGinnis, PE | Public Works Director/Town Engineer <image001.png>
Mailing PO Box 4100, Frisco, CO 80443

Physical 102 School Road, Frisco, CO 80443

Email <a href="mailto:Chrism@TownofFrisco.com">Chrism@TownofFrisco.com</a>

Office <u>970-668-4579</u> Cell <u>970-216-9659</u>

FriscoGov.com

**TownofFrisco.com** 

From: Seth Francis < sjfrancis1985@gmail.com >

Sent: Monday, June 23, 2025 1:53 PM

To: McGinnis, Chris < <a href="mailto:ChrisM@townoffrisco.com">ChrisM@townoffrisco.com</a>>

Cc: Kris Valdez <a href="mailto:krisv@townoffrisco.com">krisv@townoffrisco.com</a>; Ted Shaffer <a href="mailto:krisv@townoffrisco.com">krisv@townoffrisco.com</a>; Ted Shaffer <a href="mailto:krisv@townoffrisco.com">krisv@townoffrisco.com</a>; Ted Shaffer <a href="mailto:krisv@townoffrisco.com">krisv@townoffrisco.com</a>; Ted Shaffer <a href="mailto:krisv@townoffrisco.com">krisv@townoffrisco.com</a>; Joseph

Maglicic < joe@tenmileengineering.com >; rockysengineering1@gmail.com

Subject: Re: The Glade - Civil Plans Submission

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#### Hi Chris,

I wanted to double check you are good with the finished slab elevations on the civil plans so we can proceed with updating the architecturals.

Thanks, Seth

#### **Seth Francis**

Managing Partner
Blue River Real Estate
PO Box 7035, Breckenridge, CO 80424

Cell: 347-834-1009 sjfrancis1985@gmail.com

On Thu, Jun 19, 2025 at 1:54 PM Seth Francis < sjfrancis1985@gmail.com > wrote:

Hi Chris.

Thanks for the call earlier.

When you send your comments to Kris, can you also send them my way?

I want to make sure you don't have any comments that impact finished slab elevations so we can go ahead and update the architecturals to match the

civil elevations.

Seth

On Jun 18, 2025, at 12:33 PM, Seth Francis <sifrancis1985@gmail.com> wrote:

Hi Chris,

I received your voicemail. See attached a letter from the fire department regarding an exemption to a turnaround.

I'm available before 2pm to chat if you want to try giving me a call.

Thanks, Seth

#### **Seth Francis**

Managing Partner
Blue River Real Estate
PO Box 7035, Breckenridge, CO 80424

Cell: 347-834-1009 <a href="mailto:sjfrancis1985@gmail.com">sjfrancis1985@gmail.com</a>

On Mon, Jun 16, 2025 at 7:30 AM Seth Francis <sifrancis1985@gmail.com> wrote:

Good morning Chris,

Appreciate the extra time on getting you the civil plans for the Glade for your review.

I have uploaded the plans to CommunityCore and have attached it here as well.

Note that we had to make some minor changes to the finished floor heights in the civils vs the architecturals submitted, as such, there is currently a discrepancy. We will await your comments before we adjust the architecturals to match the civils.

We are looking to attend the July 17th PC hearing pending we get comments back from all the agencies in time.

Thank you, Seth

#### **Seth Francis**

Managing Partner
Blue River Real Estate
PO Box 7035, Breckenridge, CO 80424

Cell: 347-834-1009 <u>sjfrancis1985@gmail.com</u>

<200 N 7th Ave - The Glade - Letter from Fire Department (5-6-25).docx>



#### **M**EMORANDUM

#### P.O. Box 4100 ♦ FRISCO, COLORADO 80443

**TO:** Kris Valdez; Principal Planner, Seth Francis

FROM: CHRISTOPHER McGINNIS, PUBLIC WORKS DIRECTOR/TOWN ENGINEER

**RE:** MAJ 24-0005 ENGINEERING/PUBLIC WORKS REVIEW

**DATE:** July 11<sup>™</sup>, 2025

The MAJ-24-0005 submittals were reviewed for general conformance with Town Code, standards, and general engineering principles. Comments were added to the plans and are also included below; these comments shall be addressed by the applicant prior to issuance of building permit.

Please see attached documents for full comments. Here is a summary of the major comments:

- Wetlands disturbance permit shall be submitted with the project. Narrative shall be included for limiting disturbance within the setback. Required prior to issuance of building permit.
- Floodplain development permit required. Garages only on first floor (no habitable space on this level). Applicant to meet all floodplain requirements of Town code and FEMA NFIP. Required prior to issuance of building permit.
- Demolition of existing building and structures will require disturbance within the wetlands setback. The CMP shall include two phases a phase 1 for removal within the setback and then a phase 2 which reduces the disturbance limit after removal.
- Right of Way Permit required for utility connections and new sidewalk.
- Sidewalk shall include Type 1B curb, driveway cuts per CDOT detail M-608-1, boulder walls where needed to avoid wetland disturbance, and inlets/drains where needed for drainage. The south limits of sidewalk also need to be detailed. Additional detail for sidewalk and roadway required at building permit.
- Contours near SW corner of unit 102 should be adjusted to limit wetlands setback disturbance.
- Soils report indicates groundwater will be encountered during excavation. CDPHE dewatering and stormwater permits will likely be required.
- Depth of infiltration bed to be detailed on building permit plans. Depending on depth, groundwater could be an issue.
- Soils report recommends foundation drains.
- 25' easement shall be dedicated to Town for waterline on the final plat.
- Water main shall be extended to an additional hydrant (no dead ends allowed).
- Water services shall be perpendicular.
- Revise landscaping plan. No trees allowed within 5' of proposed sidewalk for snow storage.
- Traffic Study was reviewed and approved. Study indicates minimal traffic increase and no mitigation required per Town code.

Please reach out with any questions to chrism@townoffrisco.com

## **OVERALL GENERAL NOTES:**

THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.

2. TRENCHES SHALL BE EXCAVATED AND THE PIPE EXPOSED FOR INSPECTION AT ANY LOCATION ON THE PROJECT IF SO ORDERED. 3. ALL STREET STATIONING IS ALONG THE CENTERLINE OF THE ROADWAY UNLESS OTHERWISE NOTED. FOR SEPARATE WATER & SANITARY SEWER PLANS THE STATIONING IS ALONG THE

CENTERLINE OF THE PIPE. 4. THE PROFILE GRADE ON THE PLANS IS ALONG THE ROADWAY CENTERLINE UNLESS

5. THE CONTRACTOR SHALL HAVE ON HIS POSSESSION AT THE SITE A COPY OF THE APPROVED CONSTRUCTION PLANS.

OTHERWISE NOTED

6. LIMITS OF WORK: NO AREAS SHALL BE DISTURBED OUTSIDE OF THE TEMPORARY CONSTRUCTION EASEMENTS AND THE ROADWAY DISTURBANCE LIMITS.

7. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF FRISCO STANDARDS AND SPECIFICATIONS AS APPLICABLE. ALL WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DEVELOPER, SUMMIT COUNTY, OR THEIR REPRESENTATIVES. ONE OR ALL OF THE PARTIES HAS THE RIGHT TO REJECT MATERIALS AND WORKMANSHIP WHICH DO NOT CONFORM TO SPECIFICATIONS.

8. THE CONTRACTOR SHALL NOTIFY THE TOWN OF FRISCO AND THE PUBLIC UTILITY COMPANIES PRIOR TO PROCEEDING WITH ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY EXISTING UTILITY (INCLUDING DEPTHS) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION. ALL EXISTING UTILITIES SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. DAMAGED UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE. ALL ITEMS SHOWN ON THE PLANS AS EXISTING ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE ACTUAL LOCATIONS MAY VARY FROM THE PLANS, ESPECIALLY IN THE CASE OF UNDERGROUND UTILITIES. WHENEVER THE CONTRACTOR DISCOVERS A DISCREPANCY IN LOCATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY. ALL WORK PERFORMED IN THE AREA OF THE PUBLIC UTILITIES SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS OF THESE AGENCIES.

9. CONTRACTOR SHALL GIVE 48 HOURS NOTICE TO TOWN OF FRISCO PERSONNEL TO PERFORM REQUIRED NSPECTIONS AND PRIOR TO ANY CONSTRUCTION ON THIS SITE. 10. ALL EXCAVATION SHALL COMPLY WITH OSHA SAFETY REGULATIONS.

11. CONTRACTOR SHALL OBTAIN APPROVAL FOR ALL TRAFFIC CONTROL AND ROAD/ALLEY REQUIREMENTS NECESSARY FROM THE TOWN OF FRISCO. NO ROAD/ALLEY CLOSURES MAY OCCUR WITHOUT APPROVAL AND NOTIFICATION OF TOWN OF FRISCO AND THE FIRE DEPARTMENT. 12. CONTRACTOR SHALL OBTAIN APPROVAL FOR ALL CONSTRUCTION STAGING REQUIREMENTS OFF THE PROPERTY NECESSARY FROM THE TOWN OF FRISCO.

### DISTURBED AREA SEEDING NOTES:

- All areas to be seeded will be properly prepared to provide a friable soil surface in the upper 6 inches, minimum.
- Areas to be seeded will be drill seeded with the appropriate mix (Table 2 or 3) at the rates specified. Seed may be broadcast or hydroseeded on steep slopes. The specified seeding rate will be doubled for broadcast seeding or increased by 50 percent for hydroseedina.
- seeded areas will be mulched at a rate of at least two tons per acre of certified, weed-free straw mulch, or one ton per acre of wood cellulose, if hydromulching is completed. Hydromulching will be completed as a separate step after seeding. Straw mulch will be secured by use of m-binder tackifier at a rate of 3 pounds/1,000 square feet on slopes flatter than 2:1. Mulch will be secured with netting on slopes steeper than 3:1.

	SEED MIX TYPE I		
COMMON NAME	SCIENTIFIC NAME	% MIX	POUNDS PLS/ACRE
IDAHO FESCUE	FESTUCA IDAHOENSIS	20	3.9
ALPINE BLUEGRASS	POA ALPINA	20	1.7
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	20	15.8
JUNE GRASS	KOELERIA CRISTATA	15	0.6
ARIZONA FESCUE	FESTUCA ARIZONICA	20	3.2
WHITE YARROW	ACHILLEA MILLEFOLIUM	5	0.2
TOTAL			25.4

1. Mix should be drill seeded, except on steep slopes where broadcast or hydroseeding are acceptable at 200 and 150

-California Poppy

- percent of rate shown, respectively. 2. The following wildflowers may also be seeded in certain areas. 0.8 Pounds PLS/Acre -Blanket Flower 4.4 Pounds PLS/Acre -Firecracker Penstemon 0.2 Pounds PLS/Acre
- 3. Divide Pounds PLS/Acre by 43.5 to obtain Pounds PLS/1,000 SQ.

0.4 Pounds PLS/Acre

SEED MIX TYPE II				
COMMON NAME	SCIENTIFIC NAME	% MIX	POUNDS PLS/ACRE	
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	20	15.8	
REDTOP	AGROSTIS ALBA	15	0.3	
TUFTED HAIRGRASS	DESCHAMPSIA CAESPITOSA	15	0.5	
IDAHO FESCUE	FESTUCA IDAHOENSIS	30	5.8	
ALPINE BLUEGRASS	POA ALPINA	20	1.7	
TOTAL			24.1	

1. Mix should be drill seeded, except on steep slopes where broadcast or hydroseeding are acceptable at 200 and 150 percent of rate shown, respectively.

2. Divide Pounds PLS/Acre by 43.5 to obtain Pounds PLS/1,000 SQ

## **ROADWAY GENERAL NOTES:**

 EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT FOR THE PROJECT.

2. PAVING SHALL NOT START UNTIL SUBGRADE COMPACTING TESTS ARE TAKEN AND MEET THE REQUIREMENTS OF THE PLANS AND SPECS AND FINAL PAVEMENT DESIGN BY GEOTECHINCAL ENGINEER AND/OR TOWN OF FRISCO STANDARDS, WHICHEVER ARE MORE STRINGENT. THE PAVEMENT SECTION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT FOR THS

3. THE CONTRACTOR SHALL SAW-CUT ALL EXISTING PAVEMENT WHERE MATCH LINES WITH EXISTING EDGE OF PAVEMENT OCCUR.

PROJECT. THE MINIMUM DEPTH OF ASPHALT SHALL BE 3 INCHES.

4. PORTLAND CEMENT CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS: SECTION TO END SECTION. THEREFORE, DISTANCES SHOWN ON THE PLANS ARE APPROXIMATE ONLY AND COULD VARY. END SECTIONS ARE INCLUDED IN THE PIPE LENGTH SHOWN ON THE A. COMPRESSIVE STRENGTH OF 4000 PSI AFTER 28 DAYS OF CURE TIME;

B. AIR CONTENT OF  $6.5\% \pm 1.5\%$ ;

EACH LANE SHALL BE STAGGERED.

C. MAXIMUM SLUMP OF 3"; D. "FIBER MESH" FIBERS SHALL BE ADDED TO CONCRETE FOR STRENGTH, AT A RATE

OF 1.5 POUNDS OF FIBER PER CUBIC YARD OF CONCRETE. 5. ROADWAY RETAINING WALL VERTICAL AND HORIZONTAL INFORMATION HAVE BEEN ESTABLISHED AS PART OF THESE ROADWAY PLANS. STRUCTURAL, GEOTECHNICAL, AND DRAINAGE ENGINEERING FOR THE WALLS IS BY OTHERS (SEE SEPARATE DESIGN DOCUMENTS). 6. COMPACTION TESTING FOR THE BASE COURSE IN THE ROADWAY SHALL MEET 95% OF MODIFIED PROCTOR (ASTM D-1557) THE MATERIAL BEING WITHIN 2.0 PERCENT OF OPTIMUM MOISTURE. EACH LIFT OF ASPHALT SHALL MEET THE MINIMUM DENSITY OF 92-96 PERCENT MAXIMUM THEORETICAL DENSITY AS DETERMINED BY THE RICE DENSITY METHOD (ASTM D-2041). TESTS SHALL BE MADE AT A FREQUENCY OF EVERY 200 LINEAR FEET AND AT EVERY 12" COMPACTED LIFT OF FILL PLACED, AND FOR EVERY LIFT OF ASPHALT PLACED OR ROLLED. ASPHALT DENSITY TESTING SHALL BE PERFORMED ON EACH LIFT AT INTERVALS OF ONE TEST PER EVERY 250 LINEAR FEET PER LANE. TEST LOCATIONS ON EACH LIFT AND

7. DURING EARTHWORK OPERATION GEOTECHNICAL ENGINEER SHALL ASSESS ACTUAL SUB-SURFACE CONDITIONS AND REQUEST ADDITIONAL REQUIREMENTS IF NECESSARY.

## STORM SEWER GENERAL NOTES

1. LOCATION AND ELEVATION OF EXISTING STORM SEWER AND CULVERTS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DIFFERENCES FROM DESIGN PLAN SHALL BE REPORTED TO DESIGN ENGINEER.

2. STORM SEWER SHALL BE HDPE (HIGH DENSITY POLYETHYLENE).

3. ALL CULVERTS SHALL HAVE END SECTIONS ON BOTH THE UPSTREAM AND DOWNSTREAM ENDS OF THE PIPE UNLESS OTHERWISE NOTED ON THE PLANS AND SHALL EXTEND 1 TO 3 FEET BEYOND EACH EDGE OF SHOULDERED PAVED DRIVE

4. STORM SEWER BEDDING AND PIPE ZONE BACKFILL SHALL BE 3/4 APPROVED ALTERNATE.

5. PIPE LENGTHS FOR STORM SEWER ARE APPROXIMATE HORIZONTAL" DISTANCESA FROMSENOR PLANS. FINAL LENGTH OF STORM SEWER SHALL BE SUFFICIENT TO PROVIDE THE ROAD SHOULDERS AND SIDE SLOPES TO NOT BE STEEPER THAN SHOWN ON THE TYPICAL ROAD SECTION.

## SANITARY SEWER GENERAL NOTES:

1. ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO FRISCO SANITATION DISTRICT "DESIGN STANDARDS AND SPECIFICATIONS FOR SEWER CONSTRUCTION"

2. ALL SEWER MAINS AND SERVICES SHALL BE SDR 35 (UNLESS OTHERWISE NOTED). 3. ALL MANHOLE RIMS WITHIN THE 100-YEAR FLOOD PLAIN SHALL BE SET AT THE 100-YEAR FLOOD PLAIN ELEVATION AND SHALL HAVE GASKETTED BOLT DOWN LIDS. 4. MANHOLES SHALL BE WRAPPED WITH BITUTHENE.

5. SANITARY SEWER BEDDING AND PIPE ZONE BACKFILL GRADATION SHALL BE 1/4" TO 3/4" OR APPROVED ALTERNATE.

6. PIPELINE FLUSHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A CLEANING COMPANY THAT WILL HIGH-PRESSURE JET CLEAN THE LINES TO INSURE THAT SAND, ROCKS, OR OTHER FOREIGN MATERIAL ARE NOT LEFT IN ANY OF THE PIPELINES. WHEN FLUSHING, CARE SHOULD BE TAKEN TO PREVENT DAMAGE TO PROPERTY OR ROADWAYS OR EROSION OF SURROUNDING SOILS. FLUSHING WATER AND FLUSHED DEBRIS SHALL NOT BE ALLOWED TO ENTER THE EXISTING SEWER SYSTEM.

7. SEWER LINE ALIGNMENT, AND GRADE VERIFICATION. ONCE THE SEWER PIPELINES HAVE BEEN FLUSHED, THE SEWER PIPELINES SHALL BE INSPECTED BY MEANS OF CLOSED CIRCUIT TELEVISION (CCTV). DOCUMENTATION SHALL CONSIST OF A COLOR, VHS-FORMAT VIDEOTAPE, LOG SHEETS, AND A WRITTEN REPORT DETAILING THE CONDITION OF THE PIPELINE AND LATERAL CONNECTIONS/OPENINGS. THE REPORT SHALL NOTE THE TIME AND DATE OF VIDEO INSPECTION. STREET NAME, UPSTREAM AND DOWNSTREAM MANHOLE, DIRECTION OF VIEW, DIRECTION OF FLOW, SURFACE MATERIAL, PIPELINE LENGTH, PIPE SECTION LENGTH, PIPE SIZE, PIPE MATERIAL, LATERAL CONNECTIONS, VIDEO TAPE NUMBER, COUNTER NUMBER, AND A DETAILED LOGGING OF DEFECTS ENCOUNTERED. ANY REJECTED WORK SHALL BE REPAIRED, THEN RE-TELEVISED. 8. LEAKAGE. ALL PIPELINES SHALL BE TESTED FOR LEAKAGE BY MEANS OF AN AIR PRESSURE

PREPARATION FOR TESTS: FLUSH AND CLEAN THE PIPELINE PRIOR TO TESTING IN ORDER TO WET THE PIPE SURFACES AND PRODUCE MORE CONSISTENT RESULTS. PLUG AND BRACE ALL OPENINGS IN THE PIPELINE AND THE UPPER CONNECTIONS. CHECK ALL PIPE PLUGS WITH A SOAP SOLUTION TO DETECT ANY AIR LEAKAGE. IF LEAKS ARE FOUND, RELEASE THE AIR PRESSURE, ELIMINATE THE LEAKS, AND START THE TEST PROCEDURE OVER

PROCEDURE OF TEST: ADD AIR UNTIL THE INTERNAL PRESSURE OF THE PIPELINE IS RAISED TO APPROXIMATELY 4.0 PSI, AT WHICH TIME THE FLOW OF AIR SHALL BE REDUCED AND THE PRESSURE MAINTAINED BETWEEN 3.5 AND 4.5 PSI FOR A SUFFICIENT TIME TO ALLOW THE AIR TEMPERATURE TO COME TO EQUILIBRIUM WITH THE TEMPERATURE OF THE PIPE.

AFTER THE TEMPERATURE HAS STABILIZED, PERMIT THE PRESSURE TO DROP TO 3.5 PSIG IN EXCESS OF THE GROUND WATER PRESSURE ABOVE THE TOP OF THE SEWER, AT WHICH TIME A STOP WATCH OR SWEEP SECOND HAND WATCH SHALL BE USED TO DETERMINE THE TIME LAPSE REQUIRED FOR THE AIR PRESSURE TO DROP TO 3.0 PSIG.

D. THE TIME ELAPSED SHALL NOT BE LESS THAN THE FOLLOWING:

PIPE SIZE TIME (INCHES) (MINUTES)

E. BRACE ALL PLUGS SUFFICIENTLY TO PREVENT BLOWOUTS AND VENT THE PIPELINE COMPLETELY BEFORE ATTEMPTING TO REMOVE PLUGS

F. PROVIDE PRESSURIZING EQUIPMENT WITH A RELIEF VALVE SET AT 5 PSI TO AVOID OVER-PRESSURIZING AND DAMAGING AN OTHERWISE ACCEPTABLE LINE.

9. MANHOLE VISUAL EXAMINATION. THE ENGINEER SHALL VISUALLY CHECK EACH MANHOLE. BOTH EXTERIOR AND INTERIOR, FOR FLAWS, CRACKS, HOLES, OR OTHER INADEQUACIES, WHICH INADEQUACIES BE FOUND, THE CONTRACTOR, AT ITS OWN EXPENSE, SHALL MAKE ANY REPAIRS DEEMED NECESSARY BY THE ENGINEER. CONTRACTOR TO NOTIFY ENGINEER 48 HOURS PRIOR TO

10. MANHOLE LEAKAGE TEST (VACUUM). ALL MANHOLES SHALL BE TESTED FOR LEAKAGE AND ALL TESTS SHALL BE WITNESSED BY THE ENGINEER. THE LEAKAGE TEST SHALL BE CONDUCTED PRIOR TO BACK-FILLING AROUND THE MANHOLE AND SHALL BE CARRIED OUT IN THE FOLLOWING

A. MANHOLES SHALL BE VACUUM TESTED AFTER ASSEMBLY AND PRIOR TO BACKFILLING.

B. CARE SHALL BE TAKEN LO EFFECT A SEAL BETWEEN THE VACUUM BASE AND THE MANHOLE RIM. PIPE PLUGS SHALL BE SECURED TO PREVENT MOVEMENT WHILE THE VACUUM IS

C. A VACUUM OF 10 INCHES OF MERCURY SHALL BE DRAWN. THE TIME FOR THE VACUUM TO DROP TO 9 INCHES OF MERCURY SHALL BE RECORDED.

D. ACCEPTANCE SHALL BE DEFINED AS WHEN THE TIME TO DROP TO 9 INCHES MEETS OR EXCEEDS THE FOLLOWING:

120 SECONDS

120 SECONDS E. IF THE MANHOLE FAILS THE TEST, MAKE NECESSARY REPAIRS. REPAIRS AND REPAIR PROCEDURES MUST BE ACCEPTABLE TO TOWN.

IF PREFORMED PLASTIC GASKETS ARE PULLED OUT DURING THE VACUUM TEST, THE MANHOLE SHALL BE DISASSEMBLED AND THE GASKETS SHALL BE REPLACED. 11. ALL SEWER LINE WORK SHALL BE INSPECTED BY THE DESIGN ENGINEER DURING CONSTRUCTION.

12. AS BUILT DRAWINGS SHALL BE PROVIDED BY A PROFESSIONAL ENGINEER. 13. EXISTING SEWER MAIN ELEVATIONS MUST BE FIELD VERIFIED.

## WATER GENERAL NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE TOWN OF FRISCO WATER DISTRICT CURRENT RULES AND REGULATIONS. WATER SYSTEM SPECIFICATIONS AND TESTING PROCEDURES SHALL BE IN CONFORMANCE WITH TOWN OF FRISCO WATER DISTRICT STANDARDS.

2. ALL WATER MAINS SHALL BE AWWA, CLASS 52, PUSH ON JOINT, DUCTILE IRON PIPE (DIP) WITH RUBBER GASKET.. 3. SERVICE LINES SHALL BE 1" K COPPER.

ALL SERVICE LINES SHALL HAVE A BACKFLOW PREVENTION DEVICE INSTALLED UPSTREAM OF THE WATER METER CONSISTING OF A DOUBLE CHECK VALVE ASSEMBLY SIMILAR OR EQUAL TO A WATTS REGULATOR NO. 7. 4. MINIMUM COVER WITHIN STREETS IS 9.5 FEET AND 8.5 FEET IN UNPAVED LOCATIONS. INSULATION REQUIRED AT DEPTHS BELOW 8.5'.

5. THE CONTRACTOR IS RESPONSIBLE FOR: A. NOTIFYING ALL CUSTOMERS POSSIBLY AFFECTED BY OUTAGE OF WATER DURING CONSTRUCTION.

MEETING AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

B. THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL APPLICABLE LICENSES, PERMITS, BONDS, ETC. REQUIRED FOR THE MAIN INSTALLATION/SYSTEM MODIFICATION. C. CONTACTING TOWN OF FRISCO WATER DISTRICT FOR PRE-CONSTRUCTION

NOTE: BE ADVISED THAT OCCASIONALLY VALVES IN OUR SYSTEM MAY BE INOPERABLE. ON SUCH OCCASIONS IT MAY BECOME NECESSARY TO BACK UP AN ADDITIONAL BLOCK FOR THE SHUT OUT. IT WILL THEN BE NECESSARY TO MAKE THE ADDITIONAL NOTIFICATIONS TO GIVE THE AFFECTED CUSTOMERS THE MANDATORY 24 HOURS ADVANCE NOTICE. ALSO BE ADVISED THAT WHEN VALVE MAINTENANCE IS REQUIRED, A DELAY OF SEVERAL

DAYS SHOULD BE EXPECTED. 6. ALL WATER LINE WORK SHALL BE INSPECTED BY THE DESIGN ENGINEER DURING CONSTRUCTION

7. AS BUILT DRAWINGS SHALL BE PREPARED BY A COLORADO PROFESSIONAL ENGINEER PER THE TOWN OF FRISCO WATER DISTRICT REQUIREMENTS. 8. FOR DETAILS OF IRRIGATION REQUIREMENTS AND METER REQUIREMENTS SEE

9. CONTRACTOR IS RESPONSIBLE FOR VERIFING THE MECHINICAL DESIGN ACCOUNTS FOR FIRE PROTECTION AND CONFIRMING THE 4" WATER SERVICE SPECIFIED IS SIZE APPROPRIATELY.

10. VALVES SHALL BE RESILIENT SEAT NRS GATE VALVES AND SHALL OPEN-LEFT (MUELLER. US, WATEROUS OR CLOW BRAND RESILIENT WEDGE VALVES ONLY). CHECK WITH WATER SUPT. FOR VERIFICATION OF SPECIFIC MODEL NUMBERS. 1. VALVE BOXES SHALL BE OVAL BASE BOTTOM TYPE. CHECK WITH WATER SUPT. FOR VERIFICATION OF SPECIFIC MODEL NUMBERS. 12. ALL FIRE HYDRANTS SHALL BE WATEROUS "PACER" WITH 34-INCH MOUNTAIN STANDARD

FLANGE MEETING THE FOLLOWING REQUIREMENTS: NOZZLE

6 INCH FOR MECHANICAL JOINT INLET DEPTH OF BURY 9'-6" OR 8'-6" (AS REQUIRED TO MEET THE WATERLINE COVER) OPERATING NUT1 1 INCH PENTAGON OUTLETS TWO 2-1/2 INCH, ONE 5-1/4 INCH PUMPER NOZZLE

(THREADS TO MATCH EXISTING) THREADS NATIONAL STANDARD CAPS CAP WITH PENTAGON NUT COLOR RED (ALL ABOVE GROUND PARTS) BOTTOM THRUST BLOCK AND 2-3/4" TIE RODS FROM MAIN TEE THRUST RESTRAINT

TO HYDRANT BOTTOM. ELEVATION OF NOZZLE 42" ± 3" OPERATING NUT ABOVE FINISHED GROUND SURFACE AT TRAFFIC FLANGE ALL HYDRANTS TO BE SHOP PRIMED AND PAINTED RED. BOLLARDS AS SPECIFIED BY TOWN. 13. WATER METER KIT WILL BE PROVIDED BY TOWN. THE CHARGE FOR THE WATER METER KIT

WILL BE PAID BY THE DEVELOPER AT THE TIME OF THE BUILDING PERMIT ISSUANCE. THE METER KIT WILL HAVE REMOTE READOUT. 14. AIR RELEASE VALVES (ARV'S) SHALL BE APCO MODEL NO. 143 C COMBINATION AIR/VACUUM VALVE OR APPROVED EQUAL. 15. MECHANICAL JOINT RESTRAINT DEVICES SHALL BE:

FOR DUCTILE IRON PIPE: FOR C900 PVC PIPE: IBEE IRON INC. SERIES 1500 MEGALUG 1700 SERIES ROMAL ROM GRIP UNI-FLANGE 1400 SERIES STAR GRIP 3000 SERIES

16. PIPE JOINT RESTRAINT DEVICES, TIE RODS AND THRUST BLOCKS SHALL BE INSTALLED PER DETAILS. ALL RESTRAINT RODS AND HARDWARE ARE TO BE STAINLESS STEEL OR CORTEN. 17. CHLORINATION

ALL MAIN EXTENSIONS AND PRIVATE PIPE EXTENSIONS SHALL BE CHLORINATED IN ACCORDANCE WITH AWWA C651. THE CHLORINATING AGENT AND METHOD OF APPLICATION, SHALL BE APPROVED BY THE TOF. THE CHLORINATION OF THE FINISHED PIPELINE SHALL BE DONE PRIOR TO THE HYDROSTATIC TESTING. BEFORE FILLING THE PIPE WITH WATER. THE PIPE SHALL BE CLEAN AND FREE OF DEBRIS TO THE SATISFACTION OF THE TOWN. TOS WILL NOT PROVIDE LABOR OR MATERIAL FOR DISINFECTION TO APPLICANT'S INSTALLING MAINS UNDER PRIVATE CONTRACT.

CHLORINE TABLETS MAY BE USED FOR DISINFECTION IN 12-INCH AND SMALLER PIPE. SIXTEEN INCH AND LARGER PIPE REQUIRES A CHLORINE SLURRY FED INTO THE WATER USED IN FILLING THE PIPE. CHLORINE TABLETS SHALL BE ATTACHED TO THE INSIDE TOP OF THE PIPE WITH AN APPROVED ADHESIVE CERTIFIED TO NSF STANDARD 61 PRIOR TO THE PIPE INSTALLATION IN THE TRENCH. AN APPROVED ADHESIVE IS DOW CORNING 732 MULTI-PURPOSE SEALANT. NUMBER OF HYPOCHLORITE TABLETS OF 5 GRAM STRENGTH

REQUIRED FOR A DOSE OF 50 MILLIGRAMS/LITER\* PIPE LENGTH PIPE DIAMETER (INCHES) <u>6 8 12</u>

#### \*BASED ON 3 3/4" GRAM AVAILABLE CHLORINE PER TABLET

AFTER THE PIPE IS FILLED WITH WATER AND CHLORINE, THE CHLORINATED WATER SHALL BE HELD IN CONTACT WITH THE PIPE FOR 24 HOURS. AT THE END OF THE 24 HOUR PERIOD, THE WATER IN THE PIPELINE SHALL BE TESTED BY THE TOWN OF FRISCO TO INSURE A RESIDUAL CHLORINE CONTENT OF NOT LESS THAN 25 MILLIGRAMS PER LITTER. THE PIPE LINE THEN SHALL BE THOROUGHLY FLUSHED TO REMOVE THE HEAVILY CHLORINATED WATER. THE CONTRACTOR SHALL TAKE CARE IN FLUSHING THE PIPELINE TO PREVENT PROPERTY, ENVIRONMENTAL OR DANGER TO

SAMPLES OF WATER WILL BE COLLECTED FOR BACTERIOLOGICAL EXAMINATION AND RESIDUAL CHLORINE CONTENT TESTING BEFORE THE PIPE IS PUT INTO SERVICE. TESTING OF RESIDUAL CHLORINE AND SAMPLING WILL BE DONE BY THE LOCAL HEALTH AUTHORITY OR THEIR DESIGNATED REPRESENTATIVE. 18. HYDROSTATIC TESTING

NO HYDROSTATIC TESTS SHALL BE MADE ON ANY PORTION OF THE PIPELINE UNTIL FIELD PLACED CONCRETE HAS HAD ADEQUATE CURING TIME, DEFINED AS FOLLOWS: CONCRETE SHALL BE CURED BY A METHOD RECOMMENDED BY ACI 308. WHEN THE DAILY MEAN AMBIENT TEMPERATURE IS ABOVE 40°F, THE FINISHED CONCRETE SHALL BE CURED CONTINUOUSLY FOR A MINIMUM OF 7 DAYS OR FOR THE TIME NECESSARY TO ATTAIN 70% OF THE SPECIFIED COMPRESSIVE STRENGTH, WHICHEVER PERIOD IS LESS. WHEN THE MEAN DAILY AMBIENT TEMPERATURE IS 40°F OR LOWER. THE FINISHED CONCRETE SHALL BE CONTINUALLY CURED AT A MINIMUM TEMPERATURE OF 55° F FOR THE PERIOD RECOMMENDED BY ACI 306 TO PREVENT DAMAGE FROM EARLY-AGE FREEZING AND PROVIDE THE SERVICE CATEGORY STRENGTHS REQUIRED FOR EACH PLACEMENT TOF SHALL BE NOTIFIED 24 HOURS IN ADVANCE OF TESTING. ALL TESTING SHALL BE MADE IN THE PRESENCE OF TOF WATER DEPARTMENT STAFF

ONLY THE FOLLOWING METHODS ARE ACCEPTABLE FOR SUPPLYING POTABLE WATER FOR HYDROSTATIC TESTING: WATER MAY BE TAKEN FROM A NEARBY PRESSURIZED WATER SOURCE WHICH HAS BEEN PREVIOUSLY CHLORINATED, TESTED AND ACCEPTED, SUCH AS A FIRE HYDRANT. CAPACITY OF 300 GALLONS. THE WATER TRUCK SHALL BE USED EXCLUSIVELY FOR THE

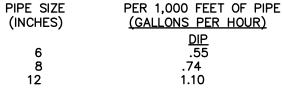
WATER MAY BE DELIVERED TO THE SITE IN A CHLORINATED WATER TRUCK HAVING A MINIMUM

TRANSPORTATION OF POTABLE WATER. 3. ANY PREVIOUSLY TESTED, CHLORINATED AND ACCEPTED WATER MAIN, WHICH IS PRESSURIZED AND IS TO SERVE THE NEW MAIN EXTENSION, MAY BE TAPPED ON THE PRESSURIZED SIDE OF THE CLOSED VALVE.

IN ANY EVENT, THE METHOD OF SUPPLYING WATER AS WELL AS THE SOURCE OF WATER FOR HYDROSTATIC TESTING MUST BE CERTIFIED AND APPROVED BY TOB. USE OF BARRELS, SANITARY OR OTHERWISE, TO SUPPLY WATER FOR HYDROSTATIC TESTING IS STRICTLY PROHIBITED. TOF WILL FURNISH ONLY THE CALIBRATED METER BUT NOT THE PUMP FOR TESTING. THE PIPELINE SHALL BE PROPERLY BACKFILLED AND SHALL BE IN A STATE OF READINESS FOR TESTING. ALL BULKHEADS, PUMPS, TAPS, AND APPURTENANCES NECESSARY TO FILL THE PIPELINE AND MAINTAIN THE REQUIRED PRESSURE SHALL BE IN PLACE. THE PIPELINE SHALL BE FILLED WITH WATER AND THE TEST PRESSURE OF 150 POUNDS PER SQUARE INCH SHALL BE APPLIED TO THE PIPELINE BY MEANS OF A CONTINUOUSLY OPERATING PUMP, EQUIPPED WITH A BYPASS VALVE FOR REGULATING PRESSURE. WHEN FILLING THE PIPELINE, IT SHALL BE FILLED AT A RATE, WHICH WILL NOT CAUSE ANY SURGES, NOR WILL IT EXCEED THE RATE AT WHICH THE AIR CAN BE RELEASED. ALL AIR IN THE LINE SHALL BE PROPERLY PURGED. WHERE BLOWOFFS OR HYDRANTS ARE NOT AVAILABLE OR ARE NOT EFFECTIVE IN PURGING AIR FROM THE LINE, TOF SHALL REQUIRE A TAP TO PURGE THE LINE. THE LOCATION AND SIZE OF TAP SHALL BE AT TOF'S DISCRETION. WHILE THE TEST PRESSURE IS MAINTAINED, AN EXAMINATION SHALL BE MADE OF THE PIPELINE IN GENERAL. AND ANY LEAKS SHALL BE REPAIRED. ANY PIPE OR FITTING FOUND TO BE FAULTY SHALL BE REMOVED AND REPLACED. NO LEAKAGE IS ALLOWED THROUGH THE BONNET OF THE LINE VALVE. ANY VALVE LEAKING THROUGH THE BONNET SHALL BE REPAIRED IN PLACE OR REMOVED

NECESSARY PARTS OF LOCATING AND REPAIRING LEAKS DISCOVERED BY PRESSURE TESTING OF AFTER ALL VISIBLE LEAKS HAVE BEEN STOPPED, THE FULL TEST-PRESSURE SHALL BE MAINTAINED FOR 2 CONTINUOUS HOURS. ALLOWABLE LEAKAGE FOR EACH SECTION BETWEEN LINE VALVES SHALL NOT EXCEED THE FOLLOWING LEAKAGE RATES FOR 4-INCH THROUGH 20-INCH DISTRIBUTION AND TRANSMISSION MAINS: ALLOWABLE LEAKAGE

AND REPLACED. CUTTING AND REPLACING PAVEMENT, EXCAVATING, AND BACKFILLING MAY ALL BE



SHOULD TESTING SHOW A LEAKAGE RATE IN EXCESS OF THE RATES SHOWN, THE PIPELINE SHALL NOT BE ACCEPTED. THE PIPELINE SHALL BE REPAIRED, RECHLORINATED AS DESCRIBED IN NOTE 12, AND RETESTED UNTIL IT MEETS THE TEST REQUIREMENTS. 19. THE CONTRACTOR IS RESPONSIBLE FOR:

A. NOTIFYING ALL CUSTOMERS POSSIBLY AFFECTED BY OUTAGE OF WATER DURING CONSTRUCTION. B. THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL APPLICABLE LICENSES, PERMITS, BONDS, ETC. REQUIRED FOR THE MAIN INSTALLATION/SYSTEM MODIFICATION. C. CONTACTING TOWN OF FRISCO FOR PRE—CONSTRUCTION MEETING AND INSPECTION. 970-XXX-XXXX, AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION. D. IN CASE OF AN EMERGENCY AFTER WORKING HOURS, CALL TOWN OF FRISCO AT 970-668-0836 (JEFF GOBLE)

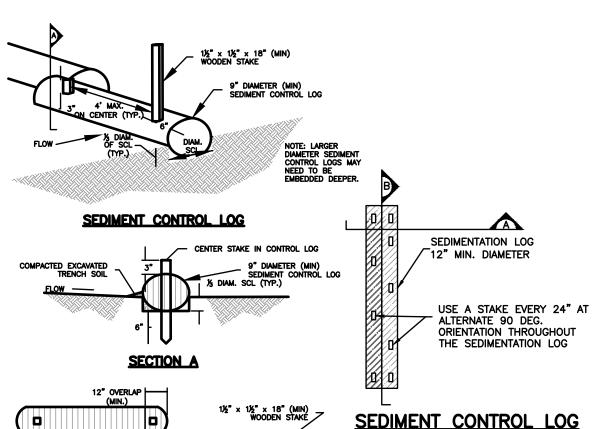
NOTE: BE ADVISED THAT OCCASIONALLY VALVES IN OUR SYSTEM MAY BE INOPERABLE. ON SUCH OCCASIONS IT MAY BECOME NECESSARY TO BACK UP AN ADDITIONAL BLOCK FOR THE SHUT OUT, IT WILL THEN BE NECESSARY TO MAKE THE ADDITIONAL NOTIFICATIONS TO GIVE THE AFFECTED CUSTOMERS THE MANDATORY 24 HOURS ADVANCE NOTICE. ALSO BE ADVISED THAT WHEN VALVE MAINTENANCE IS REQUIRED, A DELAY OF SEVERAL DAYS SHOULD BE EXPECTED. 20. WATER TRENCH BEDDING AND PIPE ZONE BACKFILL SHALL BE GRADED AS FOLLOWS: TOTAL PASSING BY SIZE SIEVE SIZE

(% BY WEIGHT)

OR TOWN OF FRISCO APPROVED CONTRACTOR ALTERNATE 21. IRRIGATION METER TO BE CONSTRUCTED WITHIN BUILDING 22. CLAY CHECK DAMS MAY BE REQUIRED IF GROUNDWATER IS ENCOUNTERED.



90 DEG. TO EACH OTHER 12" SEDIMENT CONTROL LOG FLOW FROM CONSTRUCTION SITE,
SOIL STOCKPILE OR OTHER ROADS, WETLANDS, INLETS OF OTHER FEATURES REQUIRING DISTURBED AREA REQUIRING <u>SEDIMENT CONTROL LOG - SECTION E</u>



SEDIMENT CONTROL LOG DETAIL - SECTION A



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SEDIMENT CONTROL LOG INSTALLATION NOTES 1. SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOGS. 2. SEDIMENT CONTROL LOGS THAT ACT AS A PERIMETER CONTROL SHALL BE INSTALLED PRIOR TO ANY UPGRADIENT LAND-DISTURBING ACTIVITIES. 3. SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELSIOR OR COCONUT FIBER, AND SHALL BE FREE OF ANY NOXIOUS WEED SEEDS OR DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR. 4. SEDIMENT CONTROL LOGS MAY BE USED AS SMALL CHECK DAMS IN DITCHES AND SWALES. HOWEVER, THEY SHOULD NOT BE USED IN PERENNIAL STREAMS OR HIGH VELOCITY DRAINAGE 5. IT IS RECOMMENDED THAT SEDIMENT CONTROL LOGS BE TRENCHED INTO THE GROUND TO A DEPTH OF APPROXIMATELY & OF THE DIAMETER OF THE LOG. IF TRENCHING TO THIS DEPTH IS NOT FEASIBLE AND/OR DESIRABLE (SHORT TERM INSTALLATION WITH DESIRE NOT O DAMAGE LANDSCAPE) A LÉSSER TRENCHING DEPTH MAY BE ACCEPTABLE WITH MORE

END OF LO

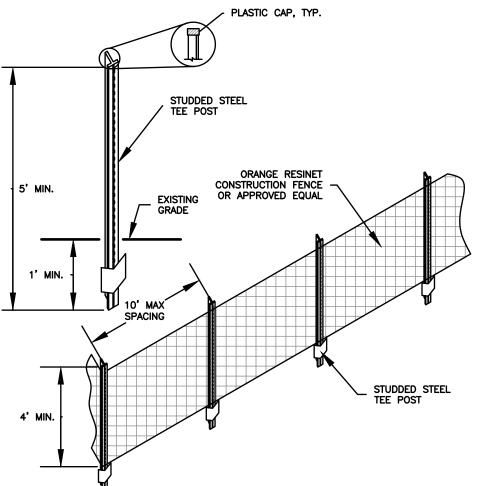
3. THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL THAT S FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED INTO THE SHAPE OF A RIGHT TRIANGLE USING A SHOVEL OR WEIGHTED LAWN ROLLER. 7. FOLLOW MANUFACTURERS' GUIDANCE FOR STAKING. IF MANUFACTURERS' INSTRUCTIONS DO NOT SPECIFY SPACING, STAKES SHALL BE PLACED ON 4' CENTERS AND EMBEDDED A MINIMUM OF 6" INTO THE GROUND. 3" OF THE STAKE SHALL PROTRUDE FROM THE TOP OF THE LOG. STAKES THAT ARE BROKEN PRIOR TO INSTALLATION SHALL BE REPLACED.

SEDIMENT CONTROL LOG MAINTENANCE NOTES 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs in effective operating condition. Inspections and corrective measures should be documented thoroughly. 3. WHERE  $\mbox{BMPs}$  have failed, repair or replacement should be initiated upon discovery of the failure. 4. SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOG SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE SEDIMENT CONTROL

5. SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION. IF DISTURBED AREAS EXIST AFTER REMOVAL, THEY SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL

## SCL-1. SEDIMENT CONTROL LOG



SEDIMENT CONTROL LOG JOINTS

### CONSTRUCTION FENCE INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
-LOCATION OF CONSTRUCTION FENCE.

2. CONSTRUCTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING 3. CONSTRUCTION FENCE SHALL BE COMPOSED OF ORANGE, CONTRACTOR-GRADE MATERIAL THAT IS AT LEAST 4' HIGH. METAL POSTS SHOULD HAVE A PLASTIC CAP FOR SAFETY. 4. STUDDED STEEL TEE POSTS SHALL BE UTILIZED TO SUPPORT THE CONSTRUCTION FENCE. MAXIMUM SPACING FOR STEEL TEE POSTS SHALL BE 10'. 5. CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO THE TOP, MIDDLE, AND BOTTOM OF EACH POST.

CONSTRUCTION FENCE MAINTENANCE NOTES

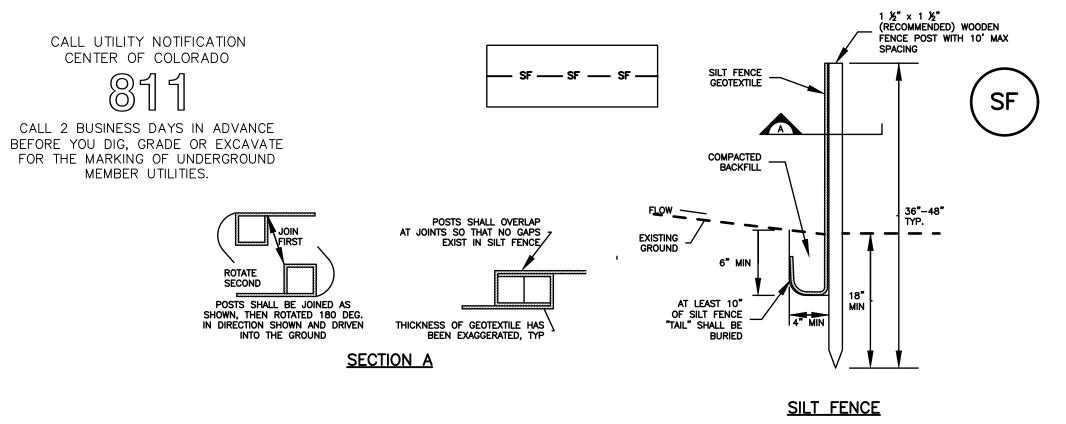
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY. . WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON

4. CONSTRUCTION FENCE SHALL BE REPAIRED OR REPLACED WHEN THERE ARE SIGNS OF DAMAGE SUCH AS RIPS OR SAGS. CONSTRUCTION FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION. 6. WHEN CONSTRUCTION FENCES ARE REMOVED, ALL DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE FENCE SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED AS APPROVED BY LOCAL

MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARIETIES OF STREET WHEN CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN

# CF PLASTIC MESH CONSTRUCTION FENCE



# SF SILT FENCE

1. SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION. 2. A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCEINSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED. 5. COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND. 4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES. 5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE

6. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20'). 7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED

THORCOGNET.

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6". 5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE, . SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT 7. WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

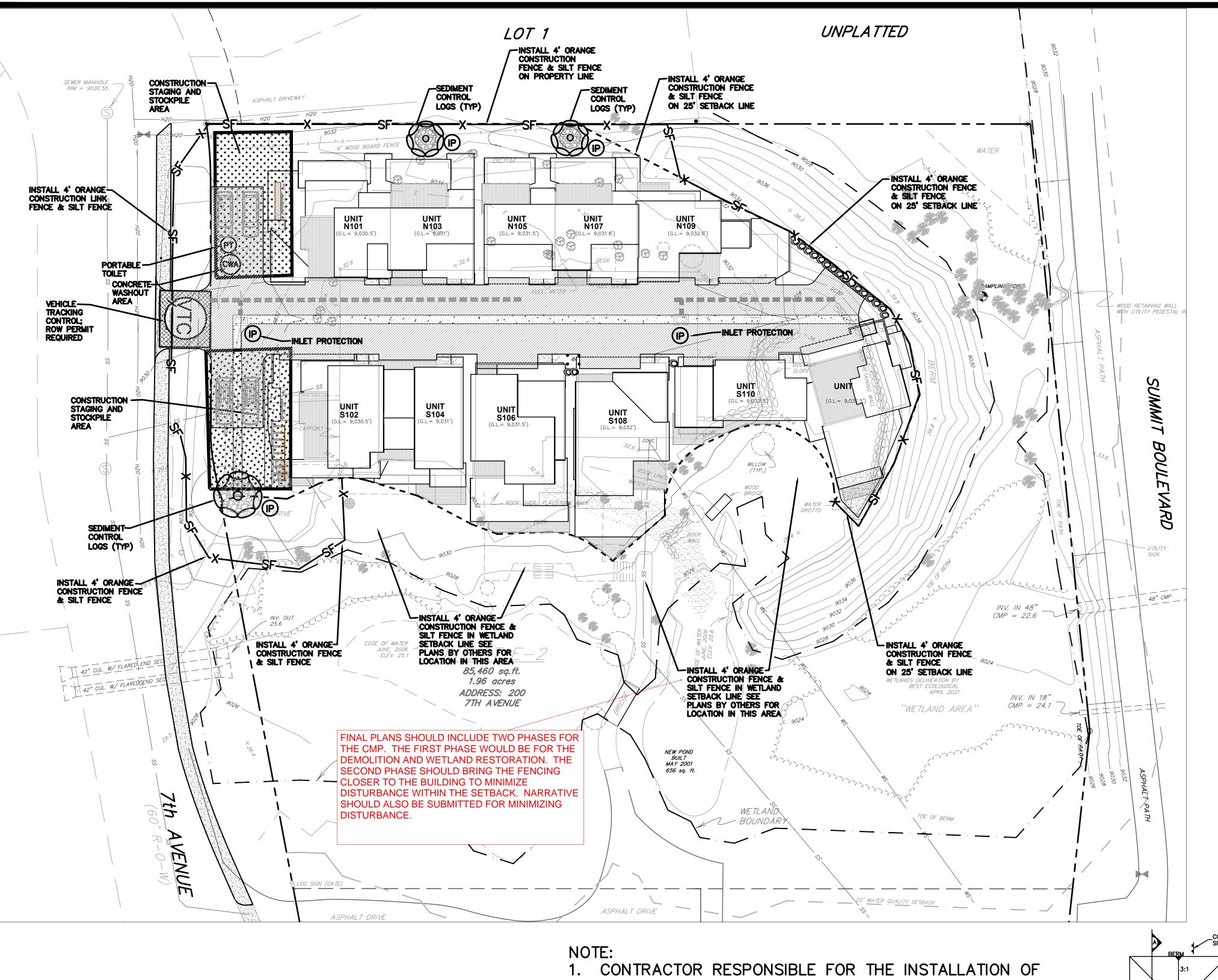
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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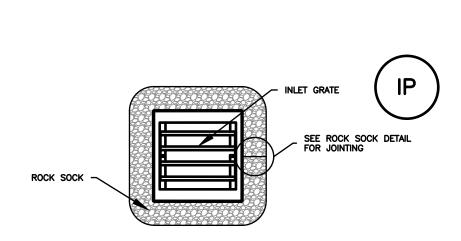
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NOTE: FILL IS BEING PROPOSED WITHIN THE FLOODPLAIN. CONTRACTOR AND OWNER TO REVIEW REQUIRED FEMA PERMITS AND ABIDE BY ALL RULES AND REGULATIONS WITHIN THOSE PERMITS. NO FILL OR DISTURBANCE TO EXISTING FLOODPLAIN SHALL OCCUR UNTIL FEMA PERMITS ARE RECEIVED.



### IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION

2. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR NLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

GENERAL INLET PROTECTION INSTALLATION NOTES

1. SEE PLAN VIEW FOR:

-LOCATION OF INLET PROTECTION.

-TYPE OF INLET PROTECTION (IP.1, IP.2, IP.3, IP.4, IP.5, IP.6)

2. INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS). IF A RAINFALL/RUNOFF EVENT IS FORECAST, INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT. 3. MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

INLET PROTECTION MAINTENANCE NOTES 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

4. SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN STORAGE VOLUME REACHES 50% OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR 1/4. OF THE HEIGHT FOR STRAW BALES. 5. INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL OF INLET PROTECTION IN STREETS. 6. WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

 $\underline{\text{NOTE:}}$  many jurisdictions have BMP details that vary from udfCD standard details. Consult with local jurisdictions as to which detail should be used when differences are noted. NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION METHODS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN

NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.

CWA MAINTENANCE NOTES

PERFORM NECESSARY MAINTENANCE.

BE DOCUMENTED THOROUGHLY.

REACHED A DEPTH OF 2'.

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM

IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF

BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE

4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR

PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE

5. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A

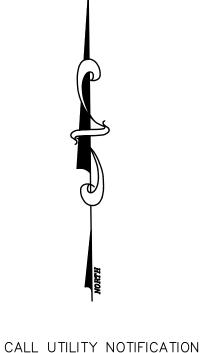
WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY

CONCRETE FOR THE PROJECT IS PLACED.

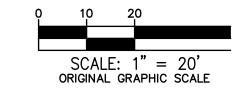
6. THE CWA SHALL REMAIN IN PLACE UNTIL ALL

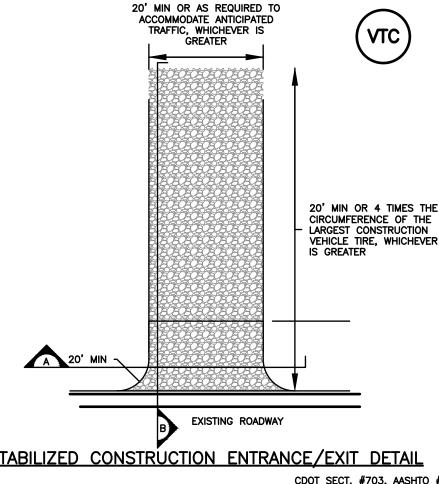
CONCRETE WASTE. CONCRETE MATERIALS, ACCUMULATED IN

AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND



CENTER OF COLORADO CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.





SECTION A

## STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

2. CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS. WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

VEHICLE TRACKING CONTROL

1. SEE PLAN VIEW FOR -LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).
-TYPE OF CONSTRUCTION ENTRANCE(S)/EXITS(S) (WITH/WITHOUT WHEEL WASH,

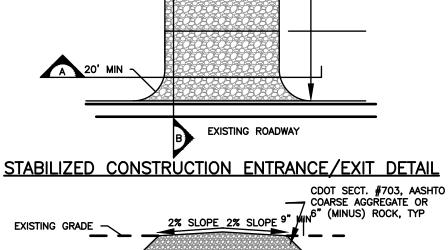
3. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS 4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND 5. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.

6. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK. STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

3. WHERE  $\mbox{BMPs}$  have failed, repair or replacement should be initiated upon discovery of the failure. 4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.

5. SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

**VTC AGGREGATE** 

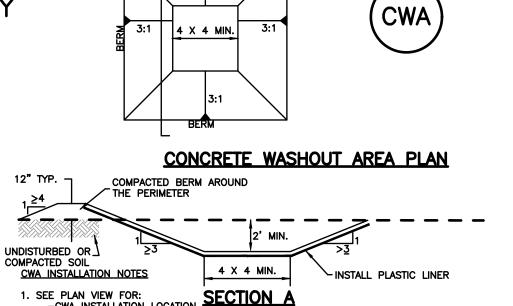


STABILIZED CONSTRUCTION ENTRANCE/EXIT DETAIL -

## STANDARD EROSION & SEDIMENT CONTROL NOTES:

- 1. The contractor must notify Town of Frisco at least 48 hours prior to starting construction. 2. All grading, erosion, and sediment control must conform with approved plans. Revisions to disturbance areas, slopes, and/or erosion and sediment control measures are not permitted without prior approval from the Town of Frisco.
- 3. Erosion control measures must be installed prior to grading activities. 4. All temporary and permanent soil erosion and sediment control practices must be maintained and repaired as needed to assure continued performance of their intended function. For example, erosion control blankets, straw bale dikes or silt fences may require periodic replacement. Sediment traps and basins will require periodic sediment removal.
- 5. All topsoil, where physically practicable, must be salvaged and not topsoil shall be removed from the site except as set forth in the approved plans. Topsoil and overburden must be segregated and stockpiled separately. Topsoil and overburden must be redistributed within the graded area after rough grading to provide a suitable base for areas, which must be seeded and planted. Runoff from the stockpiled area must be controlled to prevent erosion and resultant sedimentation of receiving water.
- 6. The landowner and/or contractor must immediately take all necessary steps to control increased sediment discharge. The landowner and/or contractor is responsible for clean up and removal of all sediment and debris from all drainage 8. The landowner and/or contractor must take reasonable precautions to ensure that vehicles don not track or spill earth
- materials on to streets/roads and must immediately remove such material if this occurs. 9. The landowner and/or contractor is responsible for controlling waste such as discarded building materials, concrete
- truck washout, chemicals, litter, and sanitary waste, as applicable. In addition, spill prevention and containment BMP's for construction materials, waste and fuel must be provided, as applicable. 10. If it is necessary to move material in excess of 300 cubic yards and/or 10,000 square feet of land disturbance area to or from another Town of Frisco site, an approved grading and erosion control plan and is necessary for the off—site property. If the material is moved to a property located within another jurisdiction, evidence is required that
- the local government has approved the grading operation. 11. The storm water volume capacity of detention ponds must be restored and storm sewer lines will be cleaned upon completion of the project. 12. Soil stabilization measures must be applied within 30 days to the disturbed areas that may not be at final grade,
- but will be left dormant for longer than 60 days. 13. Fugitive dust emissions resulting from grading activities and/or wind shall be controlled using the best available
- control technology, as defined by the Colorado Department of Public Health and Environment, at the time of grading. 14. The erosion and sediment control plan may be modified by the Town of Frisco, or its authorized representative, as field conditions warrant.

- HEAT TAPE. ACTUAL LIMITS TO BE FIELD DETERMINED BY CONTRACTOR AND OWNER.
- 2. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR DETERMINING ACTUAL VERTICAL & HORIZONTAL LOCATIONS PRIOR TO START OF CONSTRUCTION. REPORT ALL CONFLICTS TO ENGINEER. ACTUAL LOCATION OF PROPOSED UTILITIES VERTICALLY MAY VARY.
- 3. INSTALL INSULATION OVER SEWER MAINLINE AND SERVICES WHERE DEPTH IS LESS THAN 8'.
- 4. INSTALL INSULATION ON ALL WATER MAINS AND SERVICES.
- 5. CONTRACTOR TO OBTAIN A ROW PERMIT FROM TOWN OF FRISCO PRIOR TO INSTALLATION OF UTILITIES.
- 6. CONTRACTOR OBTAIN DEWATERING PERMIT FROM STATE OF COLORADO. GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR TO ABIDE BY ALL RULES AND REGULATIONS OF THE PERMIT



-CWA INSTALLATION LOCATION. 7. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL 2. DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OF NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED. SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.

3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE. 4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT

DING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.

CWA-1. CONCRETE WASHOUT AREA 5. BERM SURROUNDING

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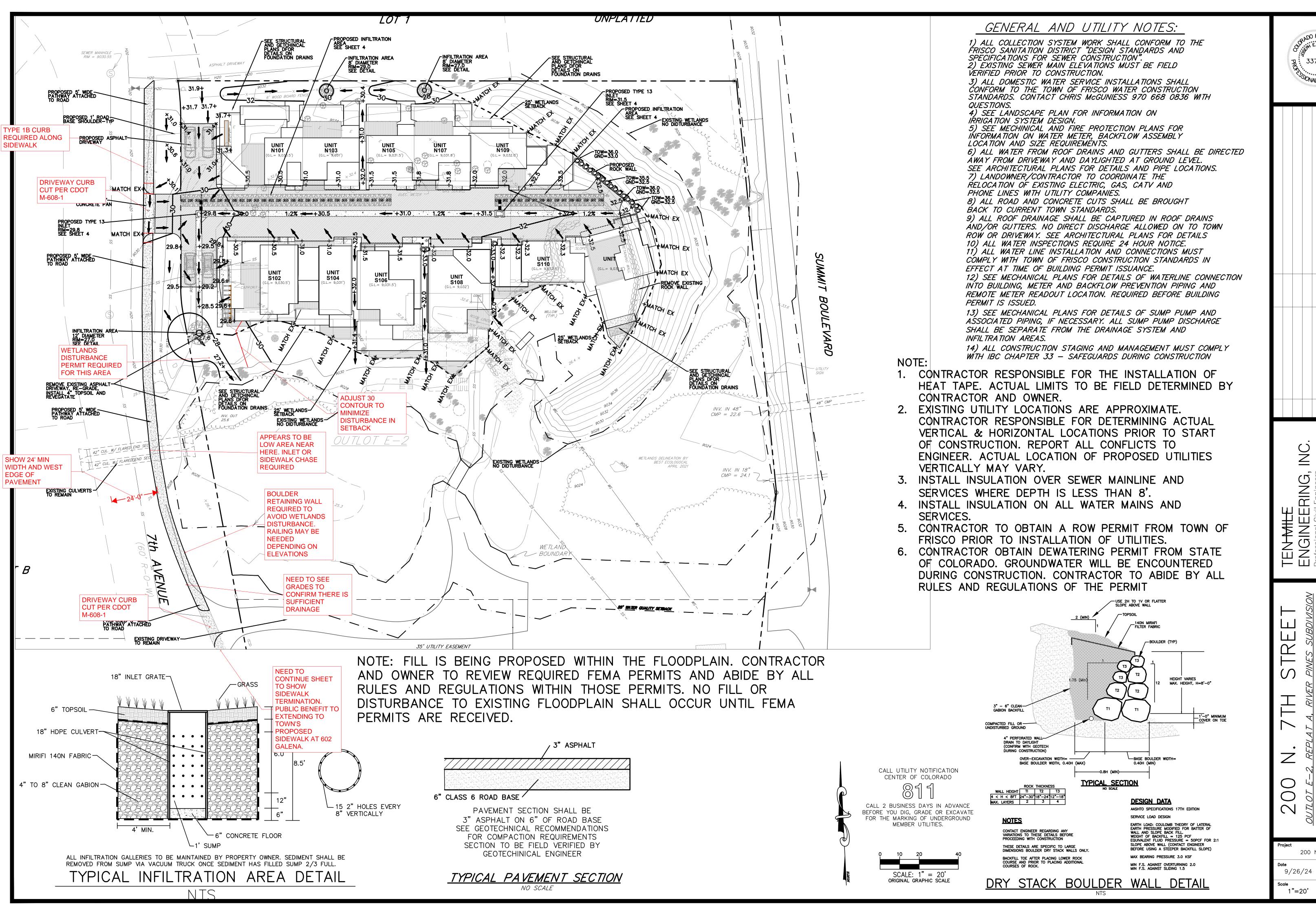
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200 N. 7TH 9/26/24

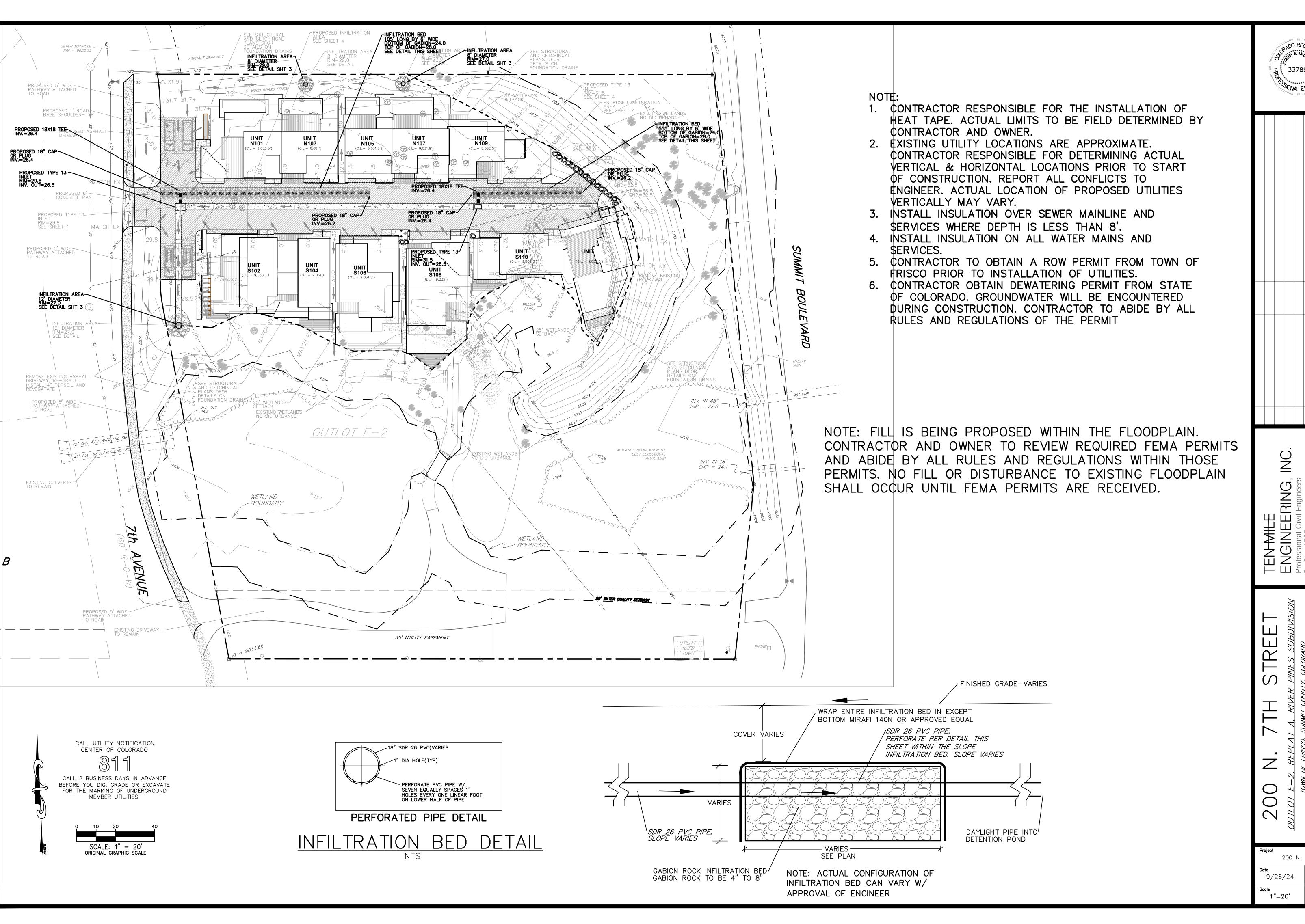
1"=20"





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200 N. 7TH 9/26/24





200 N. 7TH

GENERAL AND UTILITY NOTES:

1) ALL COLLECTION SYSTEM WORK SHALL CONFORM TO THE FRISCO SANITATION DISTRICT "DESIGN STANDARDS AND SPECIFICATIONS FOR SEWER CONSTRUCTION

2) EXISTING SEWER MAIN ELEVATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND ORDERING MANHOLES..

3) ALL DOMESTIC WATER SERVICE INSTALLATIONS SHALL CONFORM TO THE TOWN OF FRISCO WATER CONSTRUCTION STANDARDS. CONTACT CHRIS McGUINESS 970 668 0836 WITH

4) SEE LANDSCAPE PLAN FOR INFORMATION ON IŘRIGATION SYSTEM DESIGN.

5) SEE MECHINICAL AND FIRE PROTECTION PLANS FOR INFORMATION ON WATER METER, BACKFLOW ASSEMBLY LOCATION AND SIZE REQUIREMENTS.

6) SEE SITE PLAN FOR INFORMATION ON SNOW STORAGE. 7) ALL WATER FROM ROOF DRAINS AND GUTTERS SHALL BE PIPED AND DAYLIGHTED AWAY FROM THE DRIVEWAY. SEE ARCHITECTURAL PLANS FOR DETAILS AND PIPE LOCATIONS. 8) LANDOWNER/CONTRACTOR TO COORDINATE THE RELOCATION OF EXISTING ELECTRIC, GAS, CATV AND PHONE LINES WITH UTILITY COMPANIES.

9) ALL ROAD AND CONCRETE CUTS SHALL BE BROUGHT BACK TO CURRENT TOWN STANDARDS.

10) ALL ROOF DRAINAGE SHALL BE CAPTURED IN ROOF DRAIN AND/OR GUTTERS. NO DIRECT DISCHARGE ALLOWED ON TO TOWN ROW. SEE ARCHITECTURAL PLANS FOR DETAILS

11) ALL WATER INSPECTIONS REQUIRE 24 HOUR NOTICE. 12) CONTACT TOWN OF FRISCO PUBLIC WORKS TO DETERMINE

IF ADDITIONAL TAP FEES ARE REQUIRED. 13) ALL WATER LINE INSTALLATION AND CONNECTIONS MUST COMPLY WITH TOWN OF FRISCO CONSTRUCTION STANDARDS IN

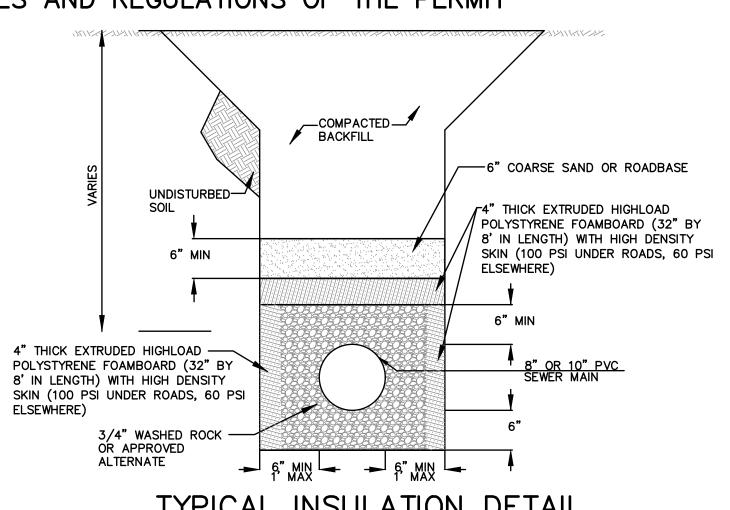
EFFECT AT TIME OF BUILDING PERMIT ISSUANCE. 14) SEE MECHANICAL PLANS FOR DETAILS OF WATERLINE CONNECTION INTO BUILDING, METER AND BACKFLOW PREVENTION PIPING AND REMOTE METER READOUT LOCATION. REQUIRED BEFORE BUILDING

15) SEE MECHANICAL PLANS FOR DETAILS OF SUMP PUMP AND ASSOCIATED PIPING. ALL SUMP PUMP CONNECTIONS TO STORM DRAINAGE SYSTEM MUST BE DOWN STREAM OF PERFORATED MANHOLE AND INFILTRATION AREA.

16) SEE MECHANICAL PLANS FOR DETAILS OF GREASE TRAP AND ASSOCIATED PIPING WITHIN AND OUTSIDE OF BUILDING. 17) ALL CONSTRUCTION STAGING AND MANAGEMENT MUST COMPLY WITH IBC CHAPTER 33 - SAFEGUARDS DURING CONSTRUCTION

PERMIT IS ISSUED.

- CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF HEAT TAPE. ACTUAL LIMITS TO BE FIELD DETERMINED BY CONTRACTOR AND OWNER.
- 2. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR DETERMINING ACTUAL VERTICAL & HORIZONTAL LOCATIONS PRIOR TO START OF CONSTRUCTION. REPORT ALL CONFLICTS TO ENGINEER. ACTUAL LOCATION OF PROPOSED UTILITIES VERTICALLY MAY VARY.
- 3. INSTALL INSULATION OVER SEWER MAINLINE AND SERVICES WHERE DEPTH IS LESS THAN 8'.
- 4. INSTALL INSULATION ON ALL WATER MAINS AND SERVICES.
- 5. CONTRACTOR TO OBTAIN A ROW PERMIT FROM TOWN OF FRISCO PRIOR TO INSTALLATION OF UTILITIES.
- 6. CONTRACTOR OBTAIN DEWATERING PERMIT FROM STATE OF COLORADO. GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR TO ABIDE BY ALL RULES AND REGULATIONS OF THE PERMIT



TYPICAL INSULATION DETAIL

200 N. 7TH 9/26/24 1"=20'

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DW-4. DEWATERING FILTER BAG

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD

DEWATERING OPERATIONS. ANY DISTURBED AREA SHALL BE COVERED WITH TOPSOIL, SEEDED

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN

AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL

STRAW BALES

OR ROCK PAD

**DEWATERING INSTALLATION NOTES** 

-LOCATION OF DEWATERING EQUIPMENT.

FREE OF WATER UNTIL BACK-FILLED TO FINAL GRADE.

-TYPE OF DEWATERING OPERATION (DW-1 TO DW-4).

2. THE OWNER OR CONTRACTOR SHALL OBTAIN A CONSTRUCTION DISCHARGE (DEWATERING)

PERMIT FROM THE STATE PRIOR TO ANY DEWATERING OPERATIONS DISCHARGING FROM THE

SITE, ALL DEWATERING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMIT

3. THE OWNER OR OPERATOR SHALL PROVIDE, OPERATE, AND MAINTAIN DEWATERING SYSTEMS

OF SUFFICIENT SIZE AND CAPACITY TO PERMIT EXCAVATION AND SUBSEQUENT CONSTRUCTION

IN DRY CONDITIONS AND TO LOWER AND MAINTAIN THE GROUNDWATER LEVEL A MINIMUM OF 2-FEET BELOW THE LOWEST POINT OF EXCAVATION AND CONTINUOUSLY MAINTAIN EXCAVATIONS

