
RE: The Glade - 200 N 7th Ave - Xcel Final Site Plan Review

From Kunz, Peter H <Peter.H.Kunz@xcelenergy.com>

Date Fri 7/18/2025 7:29 AM

To Kris Valdez <krisv@townoffrisco.com>

Cc Amy Lagace <amy.lagace@xcelenergy.com>

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Hey Kris,

I have been in conversation with Seth and the architects about my comments and they have made the needed changes to satisfy our standards.

- They have shown that the N and S structures are physically connected via foundation making them one structure, so gas service to the stated meter location will work for us.
- They have adjusted the roof line to pitch in a different direction making the meter location to standard.
- They understand the needed clearances/easement for our new transformer and are planning for a better location outside of snow storage as a result.

They can present to the planning commission with the changes they have made.

Thanks,

Peter Kunz

Xcel Energy

Planner, Mountain Division

200 West 6th St. PO Box 1819

Silverthorne, CO 80498

P: 970-409-9123

E: Peter.H.Kunz@xcelenergy.com

My Office Hours: Tuesday to Friday, 7:00am – 4:30pm

From: Kris Valdez <krisv@townoffrisco.com>

Sent: Tuesday, July 15, 2025 12:29 PM

To: Kunz, Peter H <Peter.H.Kunz@xcelenergy.com>

Cc: Lagace, Amy S <Amy.Lagace@xcelenergy.com>

Subject: Re: The Glade - 200 N 7th Ave - Xcel Final Site Plan Review

EXTERNAL - STOP & THINK before opening links and attachments.

Hi Peter,

Thank you for the referral comments. Would you prefer to make these items a condition of approval before submitting the building permit, or would you like these comments addressed before we present the project to the planning commission?

I appreciate your guidance on this!

Take care,

Kris

Kris Valdez, AICP, MURP | Principal Planner | Community Development



Mailing PO Box 4100, Frisco, CO 80443

Physical 1 Main Street, Frisco, CO 80443

Email KrisV@TownofFrisco.com

Office 970-668-9121

FriscoGov.com

TownofFrisco.com

Hours of Operation:

- Monday – Thursday, 8 AM – 5 PM
- Friday, 8 AM – 12 PM

From: Kunz, Peter H <Peter.H.Kunz@xcelenergy.com>

Sent: Wednesday, July 9, 2025 4:47 PM

To: Seth Francis <sjfrancis1985@gmail.com>

Cc: Amy Lagace <amy.lagace@xcelenergy.com>; Kris Valdez <krisv@townoffrisco.com>

Subject: RE: The Glade - 200 N 7th Ave - Xcel Final Site Plan Review

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[Report Suspicious](#)

Hey Everyone, sorry for the delay here, see comments attached.

Thanks,

Peter Kunz

Xcel Energy.

Planner, Mountain Division

200 West 6th St. PO Box 1819

Silverthorne, CO 80498

P: 970-409-9123

E: Peter.H.Kunz@xcelenergy.com

My Office Hours: Tuesday to Friday, 7:00am – 4:30pm

From: Seth Francis <sjfrancis1985@gmail.com>

Sent: Tuesday, July 8, 2025 6:14 PM

To: Kunz, Peter H <Peter.H.Kunz@xcelenergy.com>

Cc: Lagace, Amy S <Amy.Lagace@xcelenergy.com>; Kris Valdez <krisv@townoffrisco.com>

Subject: Re: The Glade - 200 N 7th Ave - Xcel Final Site Plan Review

EXTERNAL - STOP & THINK before opening links and attachments.

Thanks Peter. I appreciate that.

Have a good evening,
Seth

Seth Francis

Managing Partner

Blue River Real Estate

PO Box 7035, Breckenridge, CO 80424

Cell: 347-834-1009

sjfrancis1985@gmail.com

On Tue, Jul 8, 2025 at 4:26 PM Kunz, Peter H <Peter.H.Kunz@xcelenergy.com> wrote:

Hey Seth, Sorry for the delay on this, Ill get to this first thing tomorrow in the morning and get this review off to Kris

Peter Kunz

Xcel Energy.

Planner, Mountain Division

200 West 6th St. PO Box 1819

Silverthorne, CO 80498

P: 970-409-9123

E: Peter.H.Kunz@xcelenergy.com

My Office Hours: Tuesday to Friday, 7:00am – 4:30pm

From: Seth Francis <sjfrancis1985@gmail.com>

Sent: Tuesday, July 8, 2025 11:45 AM

To: Lagace, Amy S <Amy.Lagace@xcelenergy.com>; Kunz, Peter H <Peter.H.Kunz@xcelenergy.com>

Cc: Kris Valdez <krisv@townoffrisco.com>; Seth Francis <sjfrancis1985@gmail.com>

Subject: The Glade - 200 N 7th Ave - Xcel Final Site Plan Review

EXTERNAL - STOP & THINK before opening links and attachments.

Hi Amy and Peter,

My name is Seth Francis and I'm the developer of a proposed project at 200 N 7th Ave in Frisco Colorado (also known as "The Glade").

I submitted a final site plan application in early May and we are waiting for Xcel's comments in order to get a final planning commission hearing scheduled.

Do you think you would be able to provide comments before the end of this week?

I have attached the plans that were uploaded to community core.

Thank you,
Seth

Seth Francis

Managing Partner

Blue River Real Estate

PO Box 7035, Breckenridge, CO 80424

Cell: 347-834-1009

sjfrancis1985@gmail.com

Xcel Energy – Review Comments – Plat and/or Site Plan

Project Information:

7/9/2025

Reviewing: The Glades Development 200 N 7th St – Civils & Architectural for Electric Distribution

Address: 200 N 7th St – Frisco CO

Customer did not indicate any proposed gas or electric loads

Existing Facilities

- Known existing Xcel facilities onsite or near project
 - UG Primary is running North/South of west property line – 1ph transformer and 3ph transformer with subsequent primary wire. Gas Main is running North to South in the ROW of Summit Blvd.
 - Gas service to existing structure will need to be removed prior to start of construction
 - Transformers and subsequent primary wire will need to be removed and relocated prior to start of construction
- If any grading or landscape work is planned over existing Xcel Facilities, Xcel will need the customer to have the lines surveyed and located to review for proper clearance and depth.
- Any encroachment/grade change +/-6" over the existing Xcel facilities in ROW UG and above ground will need to be reviewed to maintain proper clearances and depth.
- Please call 811 for locates before digging.

Proposed Facilities

- Plan shows proposed transformer locations on west side of property near parking area.
 - Note transformer CANNOT be place in dedicated snow storage area
 - Xcel's facilities will need to be installed on property in a 15'x15' dry utility easement.
 - Proposed location will require bollards
 - SW transformer shown butting against 'water quality setback'. This is not against our standards, but this does not seem advisable to have oil-filled equipment butting up against this setback.
- Customer must ensure that all Company facilities meet all local setback and zoning requirements and remain accessible at all times for routine maintenance purposes.

- Every independent structure must have its own gas service line in order to eliminate customer owned gas 'yard lines' between structures. There appear to be 6 independent structures that will all need their own gas service line and their own gas meter location that meets our standards. This will most likely need a gas main extension through the drive and subsequent services tapped into said gas main. Standard clearances will need to be maintained from this new main to any deep utilities.
- Elevations do not show if windows are opening or not – must maintain clearance from transformer to any opening doors/windows, see below
- Meter locations do not meet our standard – located under a drip edge and access to meter locations from drive traverses under a drip edge
- Show actual size of electric meter stack for both structures – current illustration does not represent actual size of electric metering equipment. This is needed to confirm the feasibility of fitting both gas and electric meters in the proposed meter location and also hitting our standard clearances.
- Will you be installing a separate electric 'house meter' to serve the common facilities? If so this will change who is responsible for the electric service line. Please indicate if you intend to install any house meters.

Easements

Easements are required to accommodate Xcel facilities needed to serve. Size and location dependent on transformer size/location and trench routing.

Gas and Electric Cable/Trench Clearances

Clearances required from buried Xcel facilities:

- 10' Min from Sewer and Water
- 1' Min Horizontal from Communications
- 1' vertical from gas and electric
- 5' Min from Gas pipe to any structure
- No private customer owned facilities allowed in Xcel's electric/gas trench

Above Ground Equipment Locations and Clearances

All Above ground Xcel owned equipment:

- Must be located outside
- Cannot be located under any overhang (roof, balcony, stairs, etc)
- Requires safe access
 - Cannot be located under a drip edge
 - Must be accessible by a truck

- Cannot be placed in dedicated snow areas

Transformers require safety clearance from structures including:

- 10' from any combustible structures
 - 30" from non-combustible 2hr rated wall
- 1st story:
 - No exits within 20' (including garage doors when attached to structure)
 - No operable windows within 10'
- 2nd story and higher:
 - If the transformer is within 20' from building, there can be NO operable windows or doors on the 2nd story and higher in the 20' zone.

Further details relating specifically to transformers can be found the Xcel Energy Standard for Electric Installation and Use, Section 5. Refer to the Illustrations in the CR – Clearance requirement section, for typical pad-mounted transformer installation and clearance requirements.

Meter Location and Required Clearances

All meter locations will need to be approved by Xcel. Proposed electric meter location indicated on elevation is not in an approved location.

- Meters shall be located outdoors, on the front 1/3rd of the structure with safe access under a non-drip edge(gable) wholly on the customers property.
 - Including CT enclosures
- Meters shall not be installed:
 - Where the meter will, in the Company's opinion, interfere with traffic on sidewalks, driveways, hallways or passageways.
 - Where the meter will, in the Company's opinion, obstruct the opening of doors or windows.
- In locations with heavy snowfall or ice loading and in locations above 6000 feet in elevation, all meters shall be installed on the gable or non-drip side of a building or other structure, and there shall be no adjacent rooflines, which will drip directly on or towards a neighboring meter installation.
- Xcel does not allow ice or snow shields in Summit County. Meters must be located under a non-drip edge and there shall be no adjacent rooflines, which will drip directly on or towards a neighboring meter installation.
 - *Note: Due to excessive snowfall, ice and snow shields will not be permitted in the following Colorado counties: Eagle, Lake, Park and Summit. Meters shall be installed on the gable or non-drip side of a building or in an approved remote location from the building or structure in these counties.*

Further details relating specifically to meters and meter locations can be found the Xcel Energy Standard for Electric Installation and Use, Sections 4.14 thru 4.18 and the Illustrations on CR-10 and SC-20B

Installation of Xcel Facilities

Xcel will install all Xcel owned facilities. Installation of Xcel facilities will start once a final design has been approved, paid for and the site is ready, equipment locations at final grade and trench route at +/- 6" of final grade. The customer is responsible for staking the trench line and above ground equipment prior to start of construction. Also, all easements must be in place and staked prior to start of construction.

- Where existing slopes prohibit trenching, Customer must provide temporary grade for trenching equipment.
- Pouring/paving of roads, driveways, sidewalks, and landscaping must be delayed until after installation of facilities (services excluded).
- Water line, sewer lines septic systems, leach fields, and any other underground obstruction must be staked, flagged, and installed prior to Company gas and/or electric construction.
- Only shallow root vegetation allowed over any Xcel gas or electric lines. No trees or other tall vegetation in the front of the transformer doors.
- Transformers, switch cabinet locations, pedestals, gas regulator stations, meter installations, and other surface mounted equipment must be exact final grade. All other street/easements/service lateral routes must be within plus or minus six (6) inches of final grade.
- All roof drains must be directed away from Company equipment in a manner that prevents damage or settling of facilities, or both.
- If transformers, switch cabinets, or gas meters require bumper protection, Customer must install protection at Customer's sole cost. Customer must contact design engineer for bumper protection clearance requirements.
- When construction consists of five (5) sites or fewer, all sites must be ready. For projects with more than five (5) sites, approximately fifty (50) percent of the sites must be ready.
- As determined by Company, required property pins, necessary curve points, easements, proposed structures, and facility equipment locations must be staked and visible in the

field.

If gas service is requested, the service line from the main to the structure will be installed/owned and maintained by Xcel.

- Please note no private customer owned facilities can join in gas trench.

If the electric services to the structures are anticipated to be commercial/customer owned – they will be installed/owned and maintained by the customer

- Please note –electric services require one point of service to structure, ie, transformer/Ped
- A transformer or Ped will be required to be placed on the property being served in utility easement and will be sized once final building loads have been received.

Additional information on the design and installation process can be found on our website here. [Planning Your Project \(xcelenergy.com\)](https://www.xcelenergy.com/en-us/energy-services/building-energy/energy-efficiency/planning-your-project) & [Building & Remodeling \(xcelenergy.com\)](https://www.xcelenergy.com/en-us/energy-services/building-energy/building-remodeling)

Design Layout and Estimate

When the customer is ready to submit their application for a design, they will need to submit the following:

- Approved site plans (as required by local jurisdiction(s))
- Civil grading and utility plan with proposed transformer/PED locations
 - Please include deep and shallow utilities
- Final approved plat with required utility easements
- Landscape Plan
- Elevations of buildings – with proposed meter locations highlighted.
- Gas Loads – once gas loads are determined and application for new service submitted – we will submit a capacity check to engineering to determine if our gas system can handle the added load. If a reinforcement is determined as needed in order to serve the added load, the cost for said reinforcement will be on the customer to furnish.
- Electric one line and panel schedule with loads –
 - Please indicate # of EVs and EV ready with kW per charges
 - Please indicate if 1 phase or 3 phase service will be needed – we cap new 1ph services to 800A loads coming out of a 100kvz transformer. If a larger service is needed, 3 phase will be required.
 - Any electric heating needs
 - Please indicate if solar
 - If yes, please make sure to apply for review and approval through the Xcel Solar Rewards application process
 - [Solar*Rewards | Xcel Energy](https://www.xcelenergy.com/en-us/energy-services/building-energy/solar-rewards)
- Builders Call line application are needed for:
 - New Electric & Gas Distribution
 - DEMO for each service on property

- Services – new applications for each residential service (as needed)

Online Application link - [Building and Remodeling | Partner Resources | Xcel Energy](#)

Also – please check out the free Xcel Energy programs for new building projects [New Building Programs \(xcelenergy.com\)](#)

Link to full version - [Xcel Energy Standards of Installation and Use Manual](#)

Please note – this is not a final assessment of what the request will entail. There may be additional things in the field I cannot see. Once an application has been submitted to XCEL we can start the full design process and identify the scope of work for this request.

Thank you,

Peter Kunz
Xcel Energy
Designer



SUMMIT FIRE & EMS

PO Box 4910
Frisco, CO 80443
(970) 262-5100
www.summitfire.org

May 6th, 2025

Seth Francis
Managing Partner
Blue River Real Estate

RE: "The Glade" 200 N 7th Avenue, Frisco Colorado

Thank you for submitting your letter and drawings for consideration. In discussing the matter with our executive team, we will allow this project to extend the distance without a turn around if the following conditions are met.

1. All buildings will have a NFPA 13 Sprinkler system installed. 13D and 13R are not an option.
2. A fire hydrant needs to be installed between building 106 and 108 with bollards for protection and meet all requirements of the 2018 IFC.
3. The entire length of the drive access will be designated a Fire Lane and signage shall be posted.
4. Snow storage shall be shown on drawings and maintained so as not to interfere with emergency vehicles.
5. The width of 24 feet is acceptable for the driveway if there is a clear distance of 26 feet x 13 feet 6 and there is no encroachment.

Please let me know if there are any questions or you need further information

Warmest Regards

Scott Benson
Division Chief of Community Risk
sbenson@summitfire.org
970-262-5100 Ext 523

RE: Request for Comments

From SPA-RD-CO <SPA-RD-CO@usace.army.mil>

Date Mon 6/9/2025 6:23 PM

To Kris Valdez <krisv@townoffrisco.com>

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Please review the email and report as suspicious if you have any doubts of the integrity of the message.

Report Suspicious

Good afternoon,

Thank you for requesting comments from our office regarding the proposed subject project or activities that may have the potential to impact aquatic resources. We appreciate that you are considering our potential regulatory role in the project.

Unfortunately, we do not have the ability at this time to respond to requests for comments such as this due to recent losses of staff from government efficiency efforts.

If the subject activity should have the potential to result in the discharge of dredged or fill material into waters of the United States, then the project proponent should work directly with our office to acquire necessary Corps permits, if applicable, as described in the following general comment:

Section 404 of the Clean Water Act requires a permit from us for the discharge of dredged or fill material into waters of the United States. Waters of the United States may include, but are not limited to, rivers, streams, lakes, ponds, wetlands, wet meadows, seeps, and some irrigation ditches. To ascertain the extent of waters on the project site, the applicant should prepare a delineation of aquatic resources, in accordance with the applicable standards, including the 1987 Wetland Delineation Manual and appropriate regional supplements. These standards can be found on our website at: [https://urldefense.com/v3/_https://www.spa.usace.army.mil/Missions/Regulatory-Program-and-Permits/Jurisdiction/_;!!Darphol7AI4AHw!uLOW9HGIZHmX8-w68_VmMWBK9fl193fsP89vtTsM-OshriONHR55mlMF-ZhtB4IKUErKdezh71Azwk7N5ObBpP4qkR0\\$](https://urldefense.com/v3/_https://www.spa.usace.army.mil/Missions/Regulatory-Program-and-Permits/Jurisdiction/_;!!Darphol7AI4AHw!uLOW9HGIZHmX8-w68_VmMWBK9fl193fsP89vtTsM-OshriONHR55mlMF-ZhtB4IKUErKdezh71Azwk7N5ObBpP4qkR0$)

An aquatic resource delineation should be evaluated prior to designing a project to ensure the project proponent avoids and minimizes impacts to waters of the United States to the greatest practicable extent. The range of alternatives considered for this project should include alternatives that avoid and minimize impacts to wetlands, streams, or other waters of the United States. Every effort should be made to avoid project features which require the discharge of dredged or fill material into waters of the United States. In the event it can be clearly demonstrated there are no practicable alternatives to discharging dredged or fill material into waters of the United States, compensatory mitigation may be required.

For more information about our program or to locate a list of consultants that prepare aquatic resource delineations and permit application documents, please visit our website at:

[https://urldefense.com/v3/_https://www.spa.usace.army.mil/Missions/Regulatory-Program-and-Permits/_;!!Darphol7AI4AHw!uLOW9HGIZHmX8-w68_VmMWBK9fl193fsP89vtTsM-OshriONHR55mlMF-ZhtB4IKUErKdezh71Azwk7N5ObBvlwkYxU\\$](https://urldefense.com/v3/_https://www.spa.usace.army.mil/Missions/Regulatory-Program-and-Permits/_;!!Darphol7AI4AHw!uLOW9HGIZHmX8-w68_VmMWBK9fl193fsP89vtTsM-OshriONHR55mlMF-ZhtB4IKUErKdezh71Azwk7N5ObBvlwkYxU$)

U.S. Army Corps of Engineers
Albuquerque District - Regulatory Division
4101 Jefferson Plaza, NE
Albuquerque, New Mexico 87109-3435

IronPort-PHdr: A9a23:o/JbkRYrdJFhYE7lLBybab/LTFv34qcDmcuAnoPtbtCf+yZ8oj4O
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PDCOb3sGovAlHrenLn7Ybhx90pRxRQ9wtxD+55YF6sNIPXuWk/tr9PYCQl5MwqgzOr9ENV9z

RE: Request for Comments

From McGinnis, Chris <ChrisM@townoffrisco.com>

Date Tue 6/10/2025 5:14 PM

To Kris Valdez <krisv@townoffrisco.com>

Cc Kent, Katie <katiek@townoffrisco.com>

Hi Kris,

Thanks for forwarding the response from the Army Corps of Engineers.

The Corps requirements generally apply to cases where .1 acres or more of wetlands are being filled. Since this development does not involve filling any wetlands, I am not overly concerned about their lack of response. I believe that requiring a wetlands disturbance permit and a floodplain permit will be sufficient. I will also review closely when the permits are submitted and add conditions.

Let me know if you want to discuss further.

Thanks,

Chris McGinnis, PE | Public Works Director/Town Engineer



Mailing PO Box 4100, Frisco, CO 80443

Physical 102 School Road, Frisco, CO 80443

Email ChrisM@TownofFrisco.com

Office 970-668-4579

Cell 970-216-9659

FriscoGov.com

TownofFrisco.com

From: Kris Valdez <krisv@townoffrisco.com>

Sent: Tuesday, June 10, 2025 3:59 PM

To: McGinnis, Chris <ChrisM@townoffrisco.com>

Cc: Kent, Katie <katiek@townoffrisco.com>

Subject: Fw: Request for Comments

Hey Chris,

Below is the response from the Army Corps of Engineers regarding the wetlands on 200 N 7th Ave. It appears they no longer have the staff to review these applications. How should we proceed with the application for Seth Francis?

Thank you!

Take care,

Kris

Kris Valdez, AICP, MURP | Principal Planner | Community Development



Mailing PO Box 4100, Frisco, CO 80443
Physical 1 Main Street, Frisco, CO 80443
Email KrisV@TownofFrisco.com
Office 970-668-9121

FriscoGov.com

TownofFrisco.com

Hours of Operation:

- Monday – Thursday, 8 AM – 5 PM
- Friday, 8 AM – 12 PM

From: SPA-RD-CO <SPA-RD-CO@usace.army.mil>

Sent: Monday, June 9, 2025 6:21 PM

To: Kris Valdez <krisv@townoffrisco.com>

Subject: RE: Request for Comments

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[Report Suspicious](#)

Good afternoon,

Thank you for requesting comments from our office regarding the proposed subject project or activities that may have the potential to impact aquatic resources. We appreciate that you are considering our potential regulatory role in the project.

Unfortunately, we do not have the ability at this time to respond to requests for comments such as this due to recent losses of staff from government efficiency efforts.

If the subject activity should have the potential to result in the discharge of dredged or fill material into waters of the United States, then the project proponent should work directly with our office to acquire necessary Corps permits, if applicable, as described in the following general comment:

Section 404 of the Clean Water Act requires a permit from us for the discharge of dredged or fill material into waters of the United States. Waters of the United States may include, but are not

limited to, rivers, streams, lakes, ponds, wetlands, wet meadows, seeps, and some irrigation ditches. To ascertain the extent of waters on the project site, the applicant should prepare a delineation of aquatic resources, in accordance with the applicable standards, including the 1987 Wetland Delineation Manual and appropriate regional supplements. These standards can be found on our website at:

[https://urldefense.com/v3/https://www.spa.usace.army.mil/Missions/Regulatory-Program-and-Permits/Jurisdiction/__;!!Darphol7AI4AHw!uLOW9HGIZHmX8-w68_VmMWBK9f1193fsP89vtTsM-OshriONHR55mIMF-ZhtB4IKUErKdezh71Azwk7N5ObBpP4qkR0\\$](https://urldefense.com/v3/https://www.spa.usace.army.mil/Missions/Regulatory-Program-and-Permits/Jurisdiction/__;!!Darphol7AI4AHw!uLOW9HGIZHmX8-w68_VmMWBK9f1193fsP89vtTsM-OshriONHR55mIMF-ZhtB4IKUErKdezh71Azwk7N5ObBpP4qkR0$)

An aquatic resource delineation should be evaluated prior to designing a project to ensure the project proponent avoids and minimizes impacts to waters of the United States to the greatest practicable extent. The range of alternatives considered for this project should include alternatives that avoid and minimize impacts to wetlands, streams, or other waters of the United States. Every effort should be made to avoid project features which require the discharge of dredged or fill material into waters of the United States. In the event it can be clearly demonstrated there are no practicable alternatives to discharging dredged or fill material into waters of the United States, compensatory mitigation may be required.

For more information about our program or to locate a list of consultants that prepare aquatic resource delineations and permit application documents, please visit our website at:
[https://urldefense.com/v3/https://www.spa.usace.army.mil/Missions/Regulatory-Program-and-Permits__;!!Darphol7AI4AHw!uLOW9HGIZHmX8-w68_VmMWBK9f1193fsP89vtTsM-OshriONHR55mIMF-ZhtB4IKUErKdezh71Azwk7N5ObBvLwkYxU\\$](https://urldefense.com/v3/https://www.spa.usace.army.mil/Missions/Regulatory-Program-and-Permits__;!!Darphol7AI4AHw!uLOW9HGIZHmX8-w68_VmMWBK9f1193fsP89vtTsM-OshriONHR55mIMF-ZhtB4IKUErKdezh71Azwk7N5ObBvLwkYxU$)

Respectfully,

U.S. Army Corps of Engineers
Albuquerque District - Regulatory Division
4101 Jefferson Plaza, NE
Albuquerque, New Mexico 87109-3435

-----Original Message-----

From: krisv@townoffrisco.com <krisv@townoffrisco.com>

Sent: Friday, June 6, 2025 1:09 PM

Subject:

Desc.png

X-EEMSG-Attachment-filesize: 5513

X-EEMSG-check-001: true

X-EEMSG-SBRS: 4.3

X-EEMSG-check-021: 3

X-EEMSG-ORIG-IP: 40.107.199.27

Subject: [Non-DoD Source] Referral Review for Town of Frisco, Colorado

X-EEMSG-check-002: true

X-EEMSG-check-022: false

X-ThreatScanner-Verdict: Negative

X-IPAS-Result: =?us-ascii?q?A0GtBgDJcNjnxvHayhXAxwBAQE8AQEEBAEBAgEBBwEBF?=
=?us-ascii?q?

YFTAoE/MVJ9WzIEC0iIlgOFLYh0nEGBVhSBQigPAQEBAQEBAQEBBAMCFAIBA?=-

Re: FOR REVIEW: Sketch Plan Application and Conditional Use for 200 N 7th Ave

From Killian - CDOT, Brian <brian.killian@state.co.us>
Date Tue 4/1/2025 1:47 PM
To Kris Valdez <krisv@townoffrisco.com>
Cc Kandis Aggen - CDOT <kandis.aggen@state.co.us>

You don't often get email from brian.killian@state.co.us. [Learn why this is important](#)

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Report Suspicious

Kris,

Since they are accessing 7th St and will most likely not increase traffic by 20% or more at the Main St intersection with Hwy 9, CDOT has no comment.

Thanks,

Brian Killian
Region 3 Access Program Manager
Traffic & Safety

P 970-683-6284 | C 970-210-1101 | F 970-683-6290
222 S. 6th St, Room 100 Grand Junction, CO 81501
brian.killian@state.co.us | www.codot.gov | www.cotrip.org

On Thu, Mar 27, 2025 at 3:24 PM Kris Valdez <krisv@townoffrisco.com> wrote:

Hello all,

Frisco Planning received an updated Sketch Plan Application for 200 N 7th Ave. I'm sending this email to you for informational purposes only. You will receive another referral request when the application for the Final Site Plan is submitted.

However, due to the scale of this project, we want to notify referral agencies sooner rather than later. If you have comments on the Sketch Plan, please provide them by **April 8, 2025**.

Proposed multi-family development at 200 N 7th Ave

- **Permit Number:** MAJ-24-0005 and CU-24-0001
- **Zoning:** Mixed Use
- **Project Description:** A sketch plan review of the Major Site Plan Application for a proposed multi-family residential development consisting of 11 units and a conditional use application to allow for less than 20% mix of uses in the mixed-use zone district
- **Property Constraints:**
 - There are significant wetlands on the site
 - Property is located within the floodplain
- The application can be found here: [Planning Projects Under Review - Frisco Town Government](#)

Please let me know if you have any questions, and I'll happily answer them.

Take care,

Kris

Kris Valdez, AICP, MURP | Principal Planner | Community Development

Mailing PO Box 4100, Frisco, CO 80443

Physical 1 Main Street, Frisco, CO 80443

Email KrisV@TownofFrisco.com

Office 970-668-9121

FriscoGov.com

TownofFrisco.com

Hours of Operation:

- Monday – Thursday, 8 AM – 5 PM
- Friday, 8 AM – 12 PM



INFORMATION SYSTEMS DEPARTMENT

970-668-4200
Post Office Box 5660
County Commons
0037 County Road 1005
Frisco, Colorado, 80443

TO: Town of Frisco Planning Department
FROM: Chandler Morehardt, GIS Analyst
SUBJECT: Project Review
DATE: June 10, 2025

Property Location: 200 N 7th Ave, Frisco Colorado 80443

Property Description: LOT E-2 RIVER PINES SUB RESUB OUTLOT E REPLAT A RIVER PINES

Project Description: Proposed multi-family development

New Comments: It seems like “N” and “S” were added since the last review. These prefixed are unnecessary as there are no duplicate unit numbers. Please drop the prefixes and only use the Unit Numbers 101-111 going forward.

It appears that the applicant would like to continue using 200 N 7th Ave, so we will use that going forward.

Previous Comments: “The Glade” is an acceptable project name.

This project can retain the existing physical address (200 N 7th AVE) and assign unique unit numbers to each unit as shown in the current plans. Current unit numbering system (Units 101-111) are acceptable.

We can also assign a new physical address (for example, 202 N 7th Ave) if desired. The benefit to this would be not having old permits from 200 N 7th Ave come up in a search for example. Please let us know how you would like to proceed.

Sincerely,

Chandler Morehardt
Information Systems
Summit County Government
GIS Analyst
Chandler.Morehardt@summitcountyco.gov
970-668-4219
PO Box 5660
Frisco, CO 80443

RE: The Glade - Civil Plans Submission

From McGinnis, Chris <ChrisM@townoffrisco.com>

Date Fri 7/11/2025 9:16 AM

To Seth Francis <sjfrancis1985@gmail.com>

Cc Kris Valdez <krisv@townoffrisco.com>; Ted Shaffer <tshaffer@bhhpartners.com>; Joseph Maglicic <joe@tenmileengineering.com>; rockysengineering1@gmail.com <rockysengineering1@gmail.com>

Hi Seth,

I spoke to Ryan and we are okay with less than 15' on one side of the waterline. I uploaded plans with comments and a memo to Community Core – these will need to be addressed prior to building permit issuance. Let me know if you have any questions.

Thanks,

Chris McGinnis, PE | Public Works Director/Town Engineer



Mailing PO Box 4100, Frisco, CO 80443

Physical [102 School Road, Frisco, CO 80443](#)

Email ChrisM@TownofFrisco.com

Office [970-668-4579](tel:970-668-4579)

Cell [970-216-9659](tel:970-216-9659)

FriscoGov.com

TownofFrisco.com

From: Seth Francis <sjfrancis1985@gmail.com>

Sent: Thursday, July 10, 2025 8:57 AM

To: McGinnis, Chris <ChrisM@townoffrisco.com>

Cc: Kris Valdez <krisv@townoffrisco.com>; Ted Shaffer <tshaffer@bhhpartners.com>; Joseph Maglicic <joe@tenmileengineering.com>; rockysengineering1@gmail.com

Subject: Re: The Glade - Civil Plans Submission

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Hi Chris,

I spoke to Ryan yesterday (water department) and he mentioned that he was going to talk to you about the waterline coming down the drive-aisle and to see if we can have less than 15' on one side of the waterline. Were you able to work this out with him?

Thanks,
Seth

Seth Francis

Managing Partner
Blue River Real Estate
PO Box 7035, Breckenridge, CO 80424
Cell: 347-834-1009
sjfrancis1985@gmail.com

On Thu, Jul 10, 2025 at 8:50 AM McGinnis, Chris <ChrisM@townoffrisco.com> wrote:

Hi Seth,

I'll send comments today in Community Core.

Thanks,

Chris McGinnis, PE | Public Works Director/Town Engineer



Mailing PO Box 4100, Frisco, CO 80443
Physical 102 School Road, Frisco, CO 80443
Email ChrisM@TownofFrisco.com
Office [970-668-4579](tel:970-668-4579)
Cell [970-216-9659](tel:970-216-9659)
FriscoGov.com
TownofFrisco.com

From: Seth Francis <sjfrancis1985@gmail.com>
Sent: Tuesday, July 8, 2025 11:47 AM
To: McGinnis, Chris <ChrisM@townoffrisco.com>
Cc: Kris Valdez <krisv@townoffrisco.com>; Ted Shaffer <tshaffer@bhhpartners.com>; Joseph Maglicic <joe@tenmileengineering.com>; rockysengineering1@gmail.com
Subject: Re: The Glade - Civil Plans Submission

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Hi Chris,

I spoke to Kris and she mentioned that your comments were not uploaded to community core and that currently it says "on hold" in the system.

Would you be able to upload your comments to community core? We missed the July 17th PC hearing deadline as we hadn't received all referral agency comments. We are now targeting the August 7th PC hearing.

Thanks,
Seth

Seth Francis

Managing Partner

Blue River Real Estate

PO Box 7035, Breckenridge, CO 80424

Cell: 347-834-1009

sjfrancis1985@gmail.com

On Mon, Jun 23, 2025 at 2:24 PM Seth Francis <sjfrancis1985@gmail.com> wrote:

Hi Chris,

That is correct. First level is garage/storage/entryway.

Write Water is putting together the floodplain development permit and is good with the elevations.

Just wanted to make sure you didn't have any comments to the grading plan that may impact the current elevations on the grading plan. Sounds like you are good with the elevations.

Thank you,
Seth

On Jun 23, 2025, at 2:08 PM, McGinnis, Chris <ChrisM@townoffrisco.com> wrote:

Hi Seth,

The first level is all proposed to be parking/storage and not habitable space, correct? If so, then my understanding is that the slab elevations are acceptable. I would also recommend confirming with Wright Water as well.

Thanks,

Chris McGinnis, PE | Public Works Director/Town Engineer

<image001.png>

Mailing PO Box 4100, Frisco, CO 80443

Physical [102 School Road, Frisco, CO 80443](#)
Email Chrism@TownofFrisco.com
Office [970-668-4579](tel:970-668-4579)
Cell [970-216-9659](tel:970-216-9659)
FriscoGov.com
TownofFrisco.com

From: Seth Francis <sjfrancis1985@gmail.com>
Sent: Monday, June 23, 2025 1:53 PM
To: McGinnis, Chris <ChrisM@townoffrisco.com>
Cc: Kris Valdez <krisv@townoffrisco.com>; Ted Shaffer <tshaffer@bhhpartners.com>; Joseph Maglicic <joe@tenmileengineering.com>; rockysengineering1@gmail.com
Subject: Re: The Glade - Civil Plans Submission

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Hi Chris,

I wanted to double check you are good with the finished slab elevations on the civil plans so we can proceed with updating the architecturals.

Thanks,
Seth

Seth Francis

Managing Partner
Blue River Real Estate
PO Box 7035, Breckenridge, CO 80424
Cell: 347-834-1009
sjfrancis1985@gmail.com

On Thu, Jun 19, 2025 at 1:54 PM Seth Francis <sjfrancis1985@gmail.com> wrote:

Hi Chris,

Thanks for the call earlier.

When you send your comments to Kris, can you also send them my way?

I want to make sure you don't have any comments that impact finished slab elevations so we can go ahead and update the architecturals to match the

civil elevations.

Seth

On Jun 18, 2025, at 12:33 PM, Seth Francis
<sjfrancis1985@gmail.com> wrote:

Hi Chris,

I received your voicemail. See attached a letter from the fire department regarding an exemption to a turnaround.

I'm available before 2pm to chat if you want to try giving me a call.

Thanks,
Seth

Seth Francis

Managing Partner
Blue River Real Estate
PO Box 7035, Breckenridge, CO 80424
Cell: 347-834-1009
sjfrancis1985@gmail.com

On Mon, Jun 16, 2025 at 7:30 AM Seth Francis
<sjfrancis1985@gmail.com> wrote:

Good morning Chris,

Appreciate the extra time on getting you the civil plans for the Glade for your review.

I have uploaded the plans to CommunityCore and have attached it here as well.

Note that we had to make some minor changes to the finished floor heights in the civils vs the architectural submitted, as such, there is currently a discrepancy. We will await your comments before we adjust the architectural to match the civils.

We are looking to attend the July 17th PC hearing pending we get comments back from all the agencies in time.

Thank you,
Seth

Seth Francis

Managing Partner

Blue River Real Estate

PO Box 7035, Breckenridge, CO 80424

Cell: 347-834-1009

sjfrancis1985@gmail.com

<200 N 7th Ave - The Glade - Letter from Fire Department (5-6-25).docx>



MEMORANDUM

P.O. Box 4100 ♦ FRISCO, COLORADO 80443

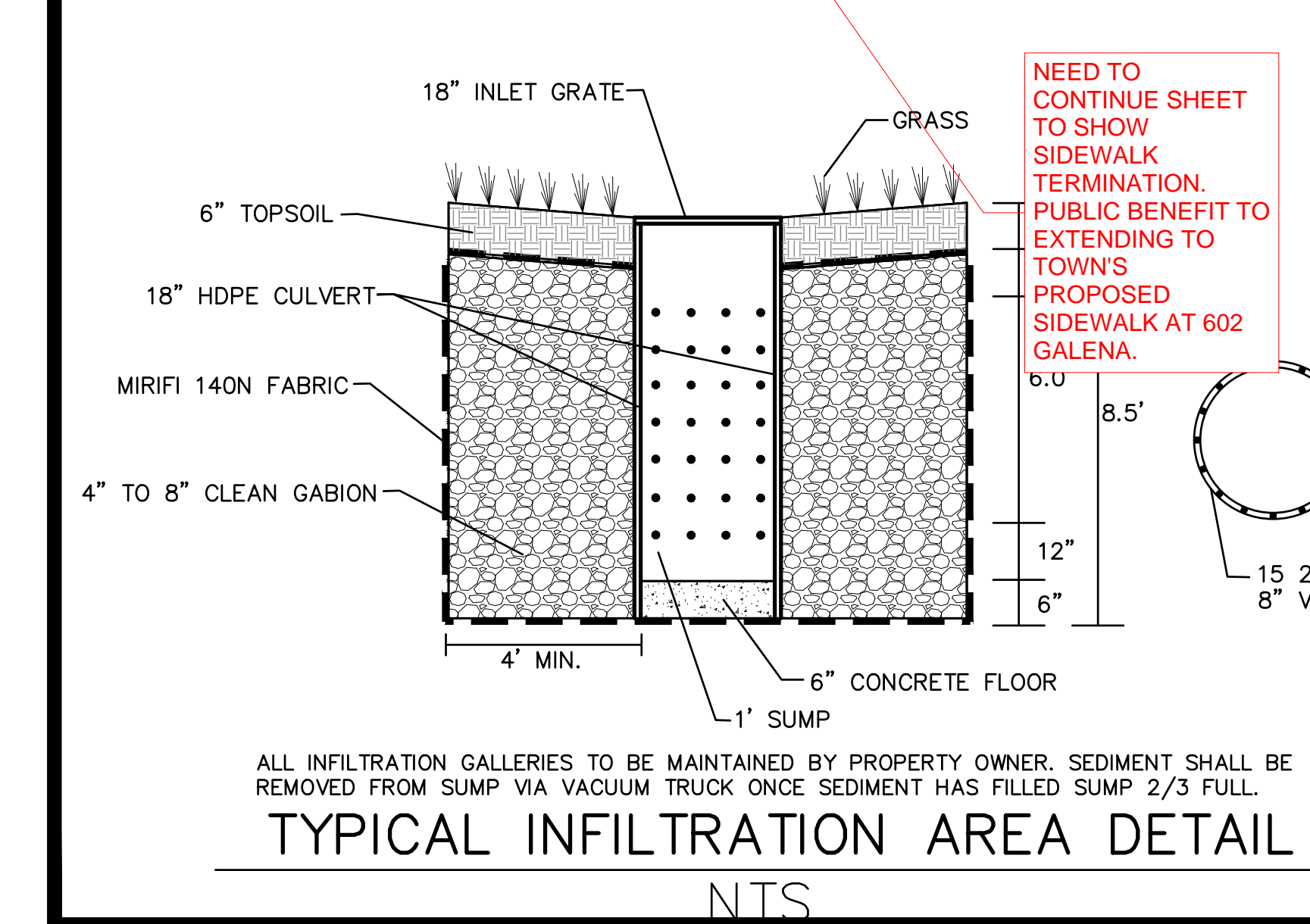
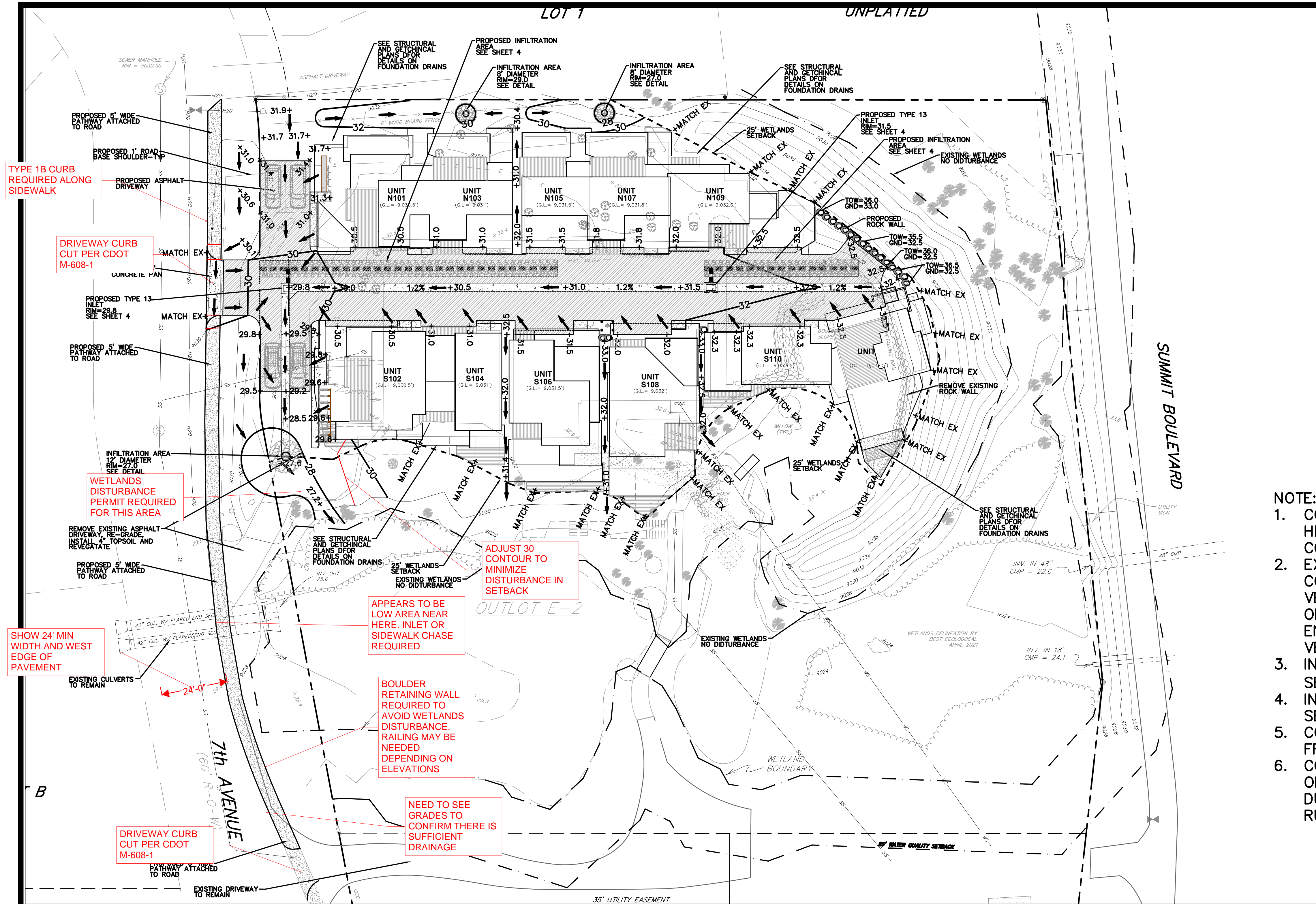
TO: KRIS VALDEZ; PRINCIPAL PLANNER, SETH FRANCIS
FROM: CHRISTOPHER MCGINNIS, PUBLIC WORKS DIRECTOR/TOWN ENGINEER
RE: MAJ 24-0005 ENGINEERING/PUBLIC WORKS REVIEW
DATE: JULY 11TH, 2025

The MAJ-24-0005 submittals were reviewed for general conformance with Town Code, standards, and general engineering principles. Comments were added to the plans and are also included below; these comments shall be addressed by the applicant prior to issuance of building permit.

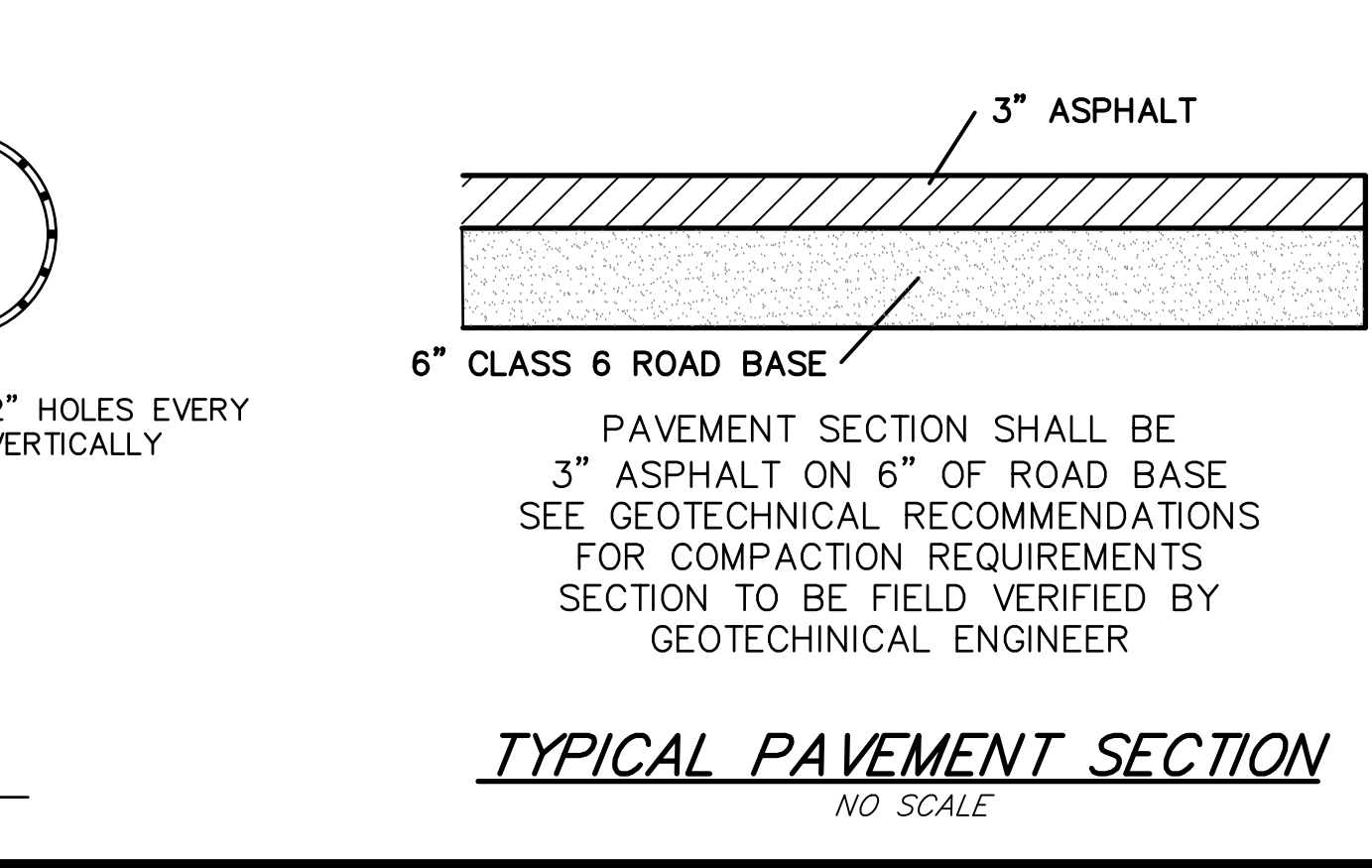
Please see attached documents for full comments. Here is a summary of the major comments:

- Wetlands disturbance permit shall be submitted with the project. Narrative shall be included for limiting disturbance within the setback. Required prior to issuance of building permit.
- Floodplain development permit required. Garages only on first floor (no habitable space on this level). Applicant to meet all floodplain requirements of Town code and FEMA NFIP. Required prior to issuance of building permit.
- Demolition of existing building and structures will require disturbance within the wetlands setback. The CMP shall include two phases – a phase 1 for removal within the setback and then a phase 2 which reduces the disturbance limit after removal.
- Right of Way Permit required for utility connections and new sidewalk.
- Sidewalk shall include Type 1B curb, driveway cuts per CDOT detail M-608-1, boulder walls where needed to avoid wetland disturbance, and inlets/drains where needed for drainage. The south limits of sidewalk also need to be detailed. Additional detail for sidewalk and roadway required at building permit.
- Contours near SW corner of unit 102 should be adjusted to limit wetlands setback disturbance.
- Soils report indicates groundwater will be encountered during excavation. CDPHE dewatering and stormwater permits will likely be required.
- Depth of infiltration bed to be detailed on building permit plans. Depending on depth, groundwater could be an issue.
- Soils report recommends foundation drains.
- 25' easement shall be dedicated to Town for waterline on the final plat.
- Water main shall be extended to an additional hydrant (no dead ends allowed).
- Water services shall be perpendicular.
- Revise landscaping plan. No trees allowed within 5' of proposed sidewalk for snow storage.
- Traffic Study was reviewed and approved. Study indicates minimal traffic increase and no mitigation required per Town code.

Please reach out with any questions to chrism@townoffrisco.com



NOTE: FILL IS BEING PROPOSED WITHIN THE FLOODPLAIN. CONTRACTOR AND OWNER TO REVIEW REQUIRED FEMA PERMITS AND ABIDE BY ALL RULES AND REGULATIONS WITHIN THOSE PERMITS. NO FILL OR DISTURBANCE TO EXISTING FLOODPLAIN SHALL OCCUR UNTIL FEMA PERMITS ARE RECEIVED.

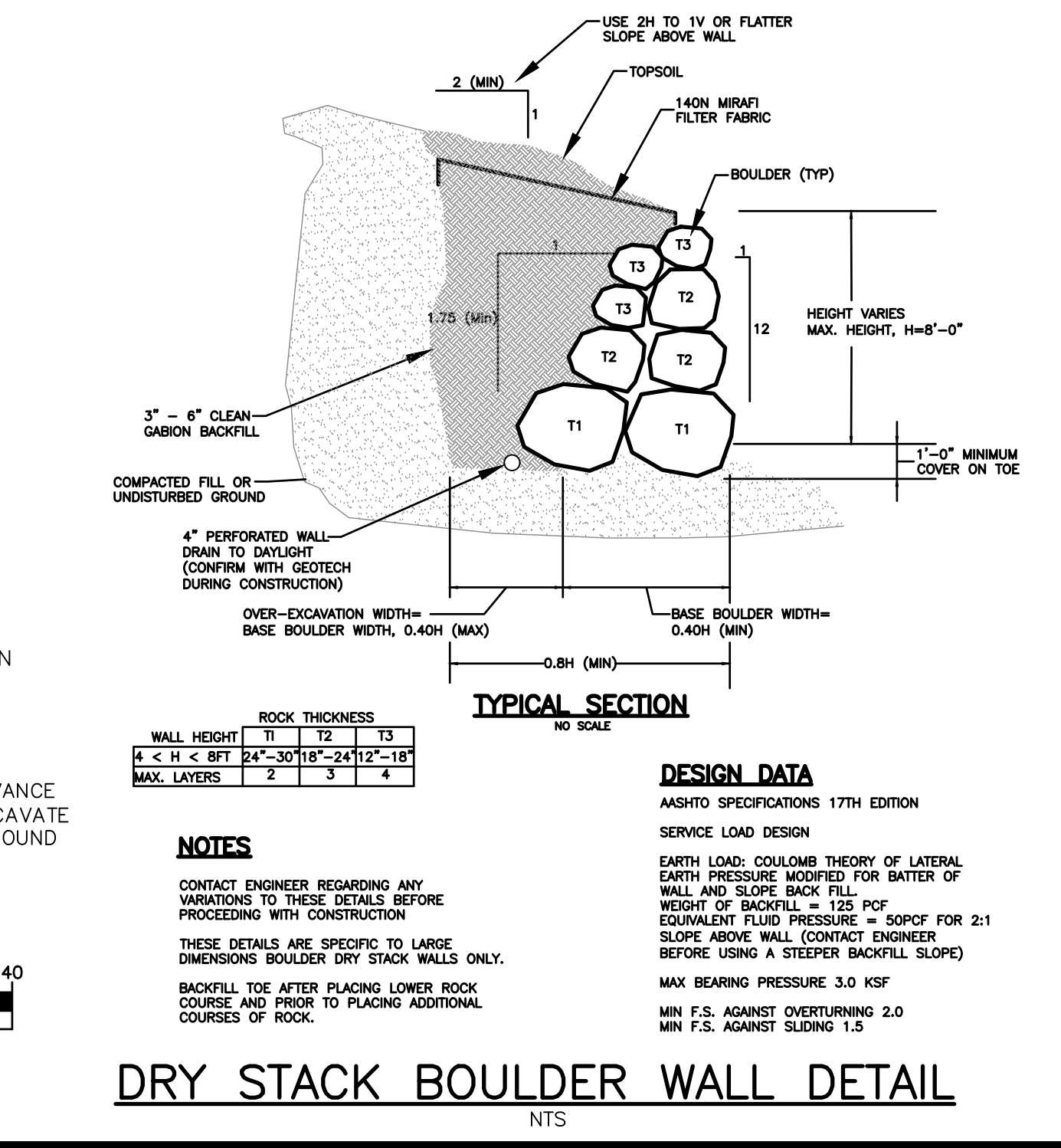


GENERAL AND UTILITY NOTES:

- 1) ALL COLLECTION SYSTEM WORK SHALL CONFORM TO THE FRISCO SANITATION DISTRICT "DESIGN STANDARDS AND SPECIFICATIONS FOR SEWER CONSTRUCTION".
- 2) EXISTING SEWER MAIN ELEVATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- 3) ALL DOMESTIC WATER SERVICE INSTALLATIONS SHALL CONFORM TO THE TOWN OF FRISCO WATER CONSTRUCTION STANDARDS. CONTACT CHRIS MCGUINNESS 970 668 0836 WITH QUESTIONS.
- 4) SEE LANDSCAPE PLAN FOR INFORMATION ON IRRIGATION SYSTEM DESIGN.
- 5) SEE MECHANICAL AND FIRE PROTECTION PLANS FOR INFORMATION ON WATER METER, BACKFLOW ASSEMBLY LOCATION AND SIZE REQUIREMENTS.
- 6) ALL WATER FROM ROOF DRAINS AND GUTTERS SHALL BE DIRECTED AWAY FROM DRIVEWAY AND DAYLIGHTED AT GROUND LEVEL. SEE ARCHITECTURAL PLANS FOR DETAILS AND PIPE LOCATIONS.
- 7) LANDOWNER/CONTRACTOR TO COORDINATE THE RELOCATION OF EXISTING ELECTRIC, GAS, CATV AND PHONE LINES WITH UTILITY COMPANIES.
- 8) ALL ROAD AND CONCRETE CUTS SHALL BE BROUGHT BACK TO CURRENT TOWN STANDARDS.
- 9) ALL ROOF DRAINAGE SHALL BE CAPTURED IN ROOF DRAINS AND/OR GUTTERS. NO DIRECT DISCHARGE ALLOWED ON TO TOWN ROW OR DRIVEWAY. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 10) ALL WATER INSPECTIONS REQUIRE 24 HOUR NOTICE.
- 11) ALL WATER LINE INSTALLATION AND CONNECTIONS MUST COMPLY WITH TOWN OF FRISCO CONSTRUCTION STANDARDS IN EFFECT AT TIME OF BUILDING PERMIT ISSUANCE.
- 12) SEE MECHANICAL PLANS FOR DETAILS OF WATERLINE CONNECTION INTO BUILDING, METER AND BACKFLOW PREVENTION PIPING AND REMOTE METER READOUT LOCATION. REQUIRED BEFORE BUILDING PERMIT IS ISSUED.
- 13) SEE MECHANICAL PLANS FOR DETAILS OF SUMP PUMP AND ASSOCIATED PIPING, IF NECESSARY. ALL SUMP PUMP DISCHARGE SHALL BE SEPARATE FROM THE DRAINAGE SYSTEM AND INFILTRATION AREAS.
- 14) ALL CONSTRUCTION STAGING AND MANAGEMENT MUST COMPLY WITH IBC CHAPTER 33 - SAFEGUARDS DURING CONSTRUCTION

NOTE:

1. CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF HEAT TAPE. ACTUAL LIMITS TO BE FIELD DETERMINED BY CONTRACTOR AND OWNER.
2. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR DETERMINING ACTUAL VERTICAL & HORIZONTAL LOCATIONS PRIOR TO START OF CONSTRUCTION. REPORT ALL CONFLICTS TO ENGINEER. ACTUAL LOCATION OF PROPOSED UTILITIES VERTICALLY MAY VARY.
3. INSTALL INSULATION OVER SEWER MAINLINE AND SERVICES WHERE DEPTH IS LESS THAN 8'.
4. INSTALL INSULATION ON ALL WATER MAINS AND SERVICES.
5. CONTRACTOR TO OBTAIN A ROW PERMIT FROM TOWN OF FRISCO PRIOR TO INSTALLATION OF UTILITIES.
6. CONTRACTOR OBTAIN DEWATERING PERMIT FROM STATE OF COLORADO. GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR TO ABIDE BY ALL RULES AND REGULATIONS OF THE PERMIT



No.	Revision/Issue	Date	Description
2	FINAL PLAN SUBMITTAL	6/11/25	TOF FINAL PLAN SUBMITTAL
1	SKETCH PLAN SUBMITTAL	9/26/24	TOF SKETCH PLAN SUBMITTAL

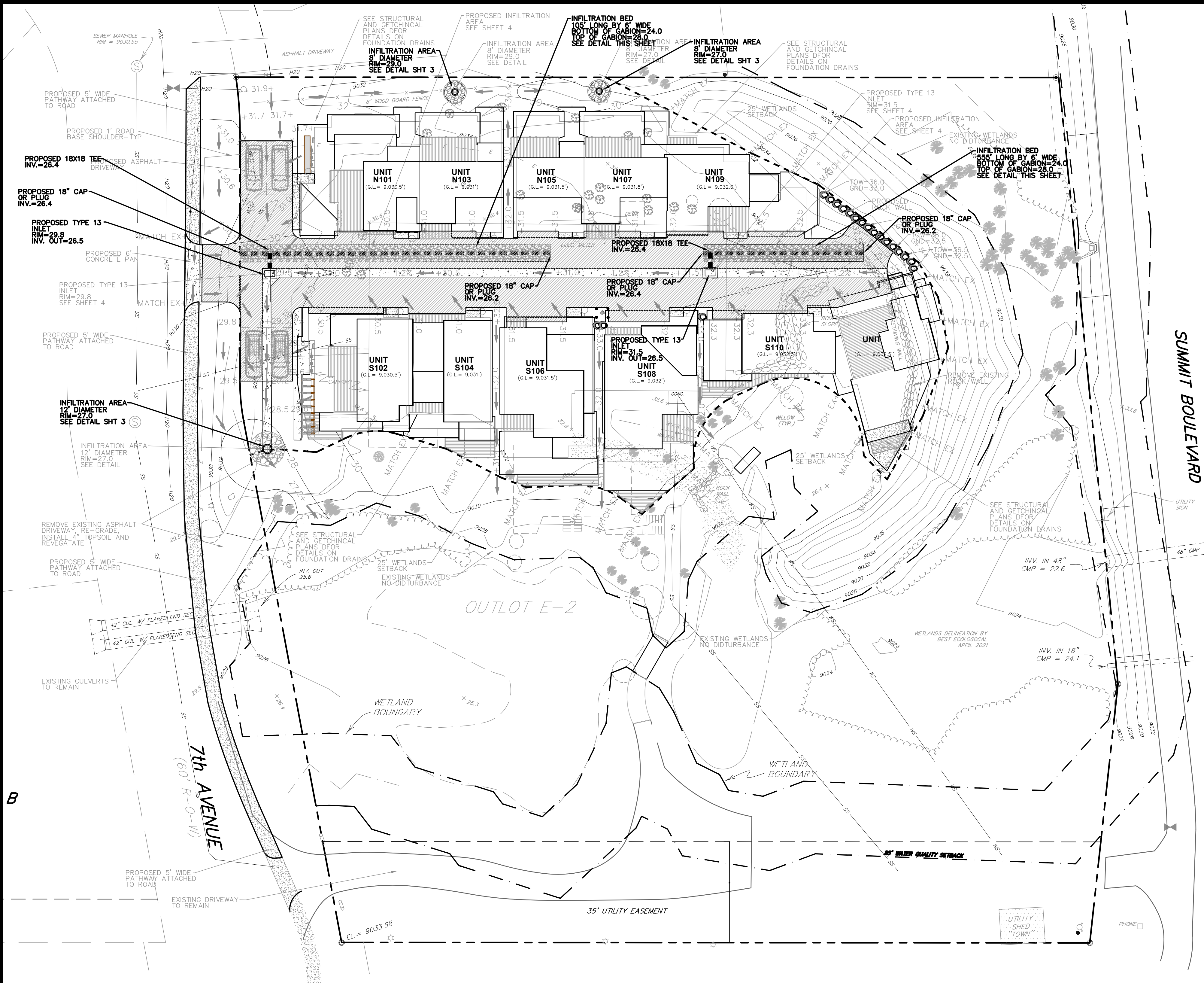
TENMILE ENGINEERING, INC.
Professional Civil Engineers
P.O. Box 1785
Frisco, CO 80443
970.485.5773
Joe@tenmileengineering.com

200 N. 7TH STREET
OUTLOT E-2, REPLAT A, RIVER PINES SUBDIVISION
TOWN OF FRISCO, SUMMIT COUNTY, COLORADO

FINAL PLAN
GRADING AND DRAINAGE PLAN

Project 200 N. 7TH

Date 9/26/24	Sheet 3
Scale 1"=20'	



- NOTE:
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 3. INSTALL INSULATION OVER SEWER MAINLINE AND SERVICES WHERE DEPTH IS LESS THAN 8'.
 4. INSTALL INSULATION ON ALL WATER MAINS AND SERVICES.
 5. CONTRACTOR TO OBTAIN A ROW PERMIT FROM TOWN OF FRISCO PRIOR TO INSTALLATION OF UTILITIES.
 6. CONTRACTOR OBTAIN DEWATERING PERMIT FROM STATE OF COLORADO. GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR TO ABIDE BY ALL RULES AND REGULATIONS OF THE PERMIT

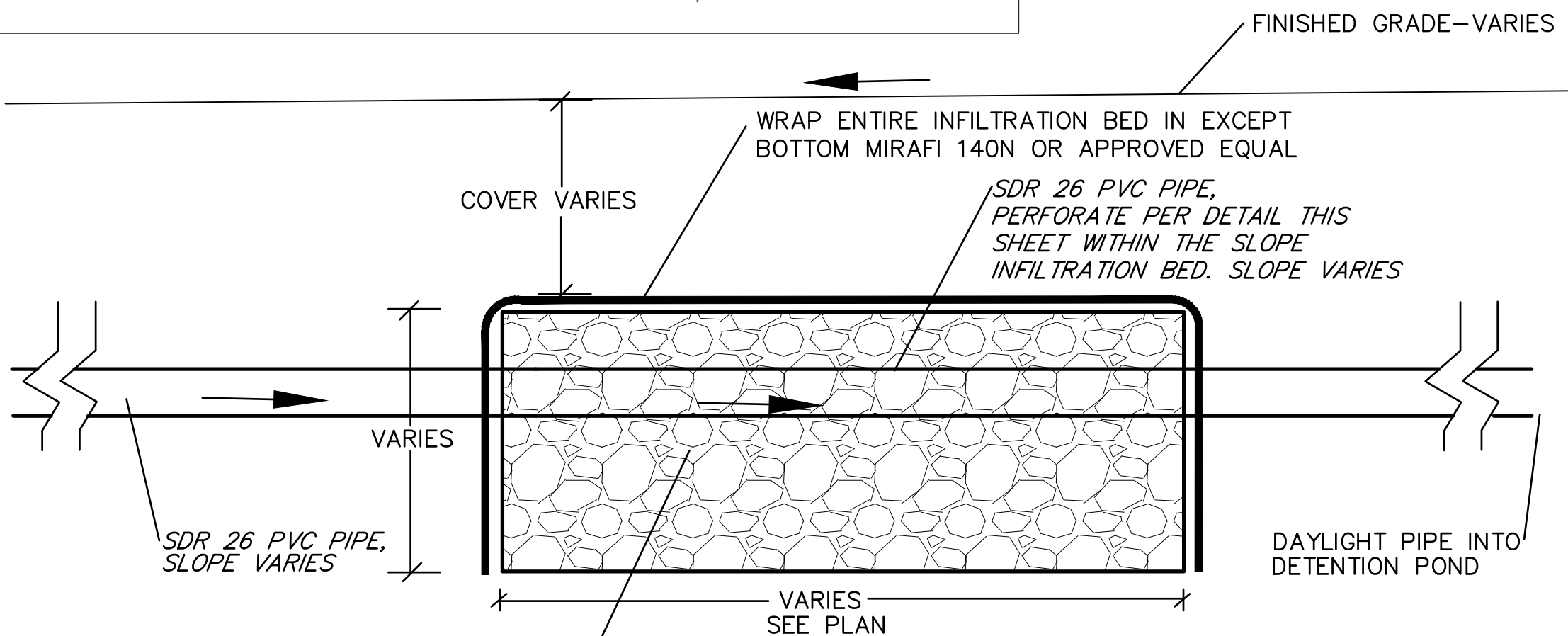
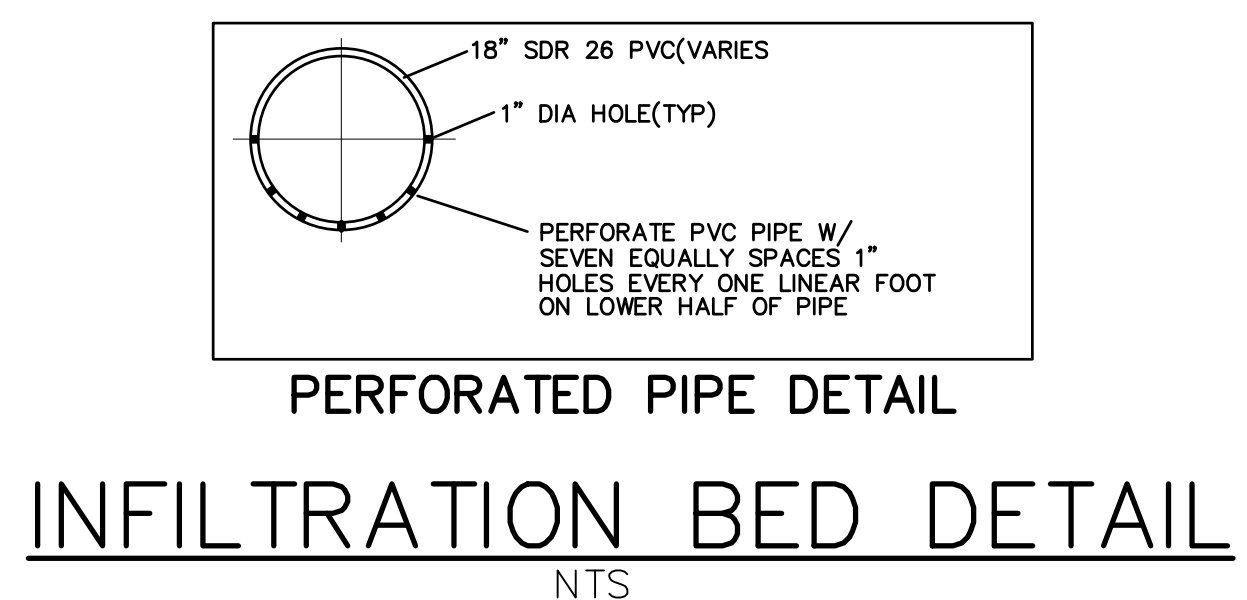
NOTE: FILL IS BEING PROPOSED WITHIN THE FLOODPLAIN. CONTRACTOR AND OWNER TO REVIEW REQUIRED FEMA PERMITS AND ABIDE BY ALL RULES AND REGULATIONS WITHIN THOSE PERMITS. NO FILL OR DISTURBANCE TO EXISTING FLOODPLAIN SHALL OCCUR UNTIL FEMA PERMITS ARE RECEIVED.

CALL UTILITY NOTIFICATION CENTER OF COLORADO

811

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

SCALE: 1" = 20'
ORIGINAL GRAPHIC SCALE



NOTE: ACTUAL CONFIGURATION OF INFILTRATION BED CAN VARY W/ APPROVAL OF ENGINEER

TENMILE ENGINEERING, INC.
Professional Civil Engineers
P.O. Box 1785
Frisco, CO 80443
970.485.5773
Joe@tenmileengineering.com

200 N. 7TH STREET

OUTLOT E-2, REPLAT A, RIVER PINES SUBDIVISION
TOWN OF FRISCO, SUMMIT COUNTY, COLORADO

SKETCH PLAN
DRAINAGE PLAN

Project 200 N. 7TH

Date 9/26/24 Sheet 4

Scale 1"=20'

CALL 2 BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

OT E-1

0 10 20 40

SCALE: 1" = 20'

ORIGINAL GRAPHIC SCALE

UNPLATTED

SUMMIT BOULEVARD

- 1) ALL COLLECTION SYSTEM WORK SHALL CONFORM TO THE FRISCO SANITATION DISTRICT "DESIGN STANDARDS AND SPECIFICATIONS FOR SEWER CONSTRUCTION".
- 2) EXISTING SEWER MAIN ELEVATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND ORDERING MANHOLES..
- 3) ALL DOMESTIC WATER SERVICE INSTALLATIONS SHALL CONFORM TO THE TOWN OF FRISCO WATER CONSTRUCTION STANDARDS. CONTACT CHRIS MCGUINNESS 970 668 0836 WITH QUESTIONS.
- 4) SEE LANDSCAPE PLAN FOR INFORMATION ON IRRIGATION SYSTEM DESIGN.
- 5) SEE MECHANICAL AND FIRE PROTECTION PLANS FOR INFORMATION ON WATER METER, BACKFLOW ASSEMBLY LOCATION AND SIZE REQUIREMENTS.
- 6) SEE SITE PLAN FOR INFORMATION ON SNOW STORAGE.
- 7) ALL WATER FROM ROOF DRAINS AND GUTTERS SHALL BE PIPED AND DAYLIGHTED AWAY FROM THE DRIVEWAY. SEE ARCHITECTURAL PLANS FOR DETAILS AND PIPE LOCATIONS.
- 8) LANDOWNER/CONTRACTOR TO COORDINATE THE RELOCATION OF EXISTING ELECTRIC, GAS, CATV AND PHONE LINES WITH UTILITY COMPANIES.
- 9) ALL ROAD AND CONCRETE CUTS SHALL BE BROUGHT BACK TO CURRENT TOWN STANDARDS.
- 10) ALL ROOF DRAINAGE SHALL BE CAPTURED IN ROOF DRAIN AND/OR GUTTERS. NO DIRECT DISCHARGE ALLOWED ON TO TOWN ROW. SEE ARCHITECTURAL PLANS FOR DETAILS
- 11) ALL WATER INSPECTIONS REQUIRE 24 HOUR NOTICE.
- 12) CONTACT TOWN OF FRISCO PUBLIC WORKS TO DETERMINE IF ADDITIONAL TAP FEES ARE REQUIRED.
- 13) ALL WATER LINE INSTALLATION AND CONNECTIONS MUST COMPLY WITH TOWN OF FRISCO CONSTRUCTION STANDARDS IN EFFECT AT TIME OF BUILDING PERMIT ISSUANCE.
- 14) SEE MECHANICAL PLANS FOR DETAILS OF WATERLINE CONJUNCTION TO BUILDING, METER AND BACKFLOW PREVENTION PIPING AND REMOTE METER READOUT LOCATION. REQUIRED BEFORE BUILDING PERMIT IS ISSUED.
- 15) SEE MECHANICAL PLANS FOR DETAILS OF SUMP PUMP AND ASSOCIATED PIPING. ALL SUMP PUMP CONNECTIONS TO STORAGE DRAINAGE SYSTEM MUST BE DOWN STREAM OF PERFORATED MANHOLE AND INFILTRATION AREA.
- 16) SEE MECHANICAL PLANS FOR DETAILS OF GREASE TRAP AND ASSOCIATED PIPING WITHIN AND OUTSIDE OF BUILDING.
- 17) ALL CONSTRUCTION STAGING AND MANAGEMENT MUST COMPLY WITH IBC CHAPTER 33 - SAFEGUARDS DURING CONSTRUCTION

1. CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF HEAT TAPE. ACTUAL LIMITS TO BE FIELD DETERMINED BY CONTRACTOR AND OWNER.
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5. CONTRACTOR TO OBTAIN A ROW PERMIT FROM TOWN OF FRISCO PRIOR TO INSTALLATION OF UTILITIES.
6. CONTRACTOR OBTAIN DEWATERING PERMIT FROM STATE OF COLORADO. GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR TO ABIDE BY ALL RULES AND REGULATIONS OF THE PERMIT

DEWATERING INSTALLATION NOTES

4. DEWATERING OPERATIONS SHALL USE ONE OR MORE OF THE DEWATERING SUMPS SHOWN ABOVE, ALL METHODS POINTS OR OTHER MEANS APPROVED BY THE LOCAL JURISDICTION TO REDUCE THE AMOUNT OF SEDIMENT, AND SHALL PROVIDE A TEMPORARY SEDIMENT BASIN OR FILTRATION BMP TO REDUCE SEDIMENT TO ALLOWABLE LEVELS PRIOR TO RELEASE OFF SITE OR TO A RECEIVING WATER. A SEDIMENT BASIN MAY BE USED IN LIEU OF SUMP DISCHARGE SETTLING BASIN SHOWN ABOVE IF A 4-FOOT-SQUARE RIPRAP PAD IS PLACED AT THE DISCHARGE POINT AND THE DISCHARGE END OF THE LINE IS STAKED IN PLACE TO PREVENT MOVEMENT OF THE LINE.

5. DEWATERING OPERATIONS MAY REQUIRE A LOCAL PERMIT IN ADDITION TO STATE REQUIREMENTS.

DEWATERING MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

4. DEWATERING BMPs ARE REQUIRED IN ADDITION TO ALL OTHER PERMIT REQUIREMENTS.

5. TEMPORARY SETTLING BASINS SHALL BE REMOVED WHEN NO LONGER NEEDED FOR DEWATERING OPERATIONS. ANY DISTURBED AREA SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)

DW-4. DEWATERING FILTER BAG

NOTE: FILL IS BEING PROPOSED WITHIN THE FLOODPLAIN. CONTRACTOR AND OWNER TO REVIEW REQUIRED FEMA PERMITS AND ABIDE BY ALL RULES AND REGULATIONS WITHIN THOSE PERMITS. NO FILL OR DISTURBANCE TO EXISTING FLOODPLAIN SHALL OCCUR UNTIL FEMA PERMITS ARE RECEIVED.

TYPICAL INSULATION DETAIL

NO SCALE



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200 N. / IH STREET
OUTLOT E-2, REPLAT A, RIVER PINES SUBDIVISION

TOWN OF FRISCO, SUMMIT COUNTY, COLORADO

FINAL PLAN OVERALL UTILITY PLAN

200 N. 7TH

te

9/26/24

1"=20'

9/26/24

1"=20'

LANDSCAPE NOTES

1. PROVIDE 3" (MIN.) CLAYFREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SHORT SEED MIX (AS APPROVED BY SUMMIT COUNTY STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.)
2. KEEP EXISTING TREES WHERE POSSIBLE, TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
3. GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS.
4. PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
5. LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE.
6. SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
7. ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. MAXIMUM 1,000 SF IRRIGATED SPACE. PROVIDE SUBMITTAL.
8. ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
9. NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
10. SCREEN ALL UTILITY PEDESTALS WITH LANDSCAPE MATERIAL.
11. PROVIDE 3" TO 4" DIAMETER STONE RIPRAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNDULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
12. INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
13. ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
14. PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.
15. LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER AS APPROVED BY TOWN OF BRECKENRIDGE PRIOR TO INSTALLATION.
16. ALL ROCK OUTCROPPINGS THAT ARE TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY.
17. ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.

NOTE: ALL LANDSCAPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH TOWN OF FRISCO AND HOA.

REVEGETATION NOTES

REVEGETATE ALL DISTURBED AREAS ON THE SITE WITH:

SHORT DRY GRASS MIX @2 LBS/1000 SF:

HARD FESCUE	30%
CREeping RED FESCUE	30%
SHEEP FESCUE	25%
CANADA BLUEGRASS	10%
CANBY BLUEGRASS	5%

SLOPES OVER 3:1 SHALL BE HAY TACKIFIED OR NETTED.

MOUNTAIN MAGIC WILDFLOWER MIX @1 LB/10,000 SF:

BABY'S BREATH	BLANKETFLOWER
CALIFORNIA POPPY	SHIRLEY POPPY
BLUE FLAX	LUPINE MIX
WALLFLOWER	MAIDEN PINKS
PENSTEMON, ROCKY MOUNTAIN	WILD THYME

ROCKY MOUNTAIN BLUE COLUMBINE MIX @1 LB/25,000 SF OR

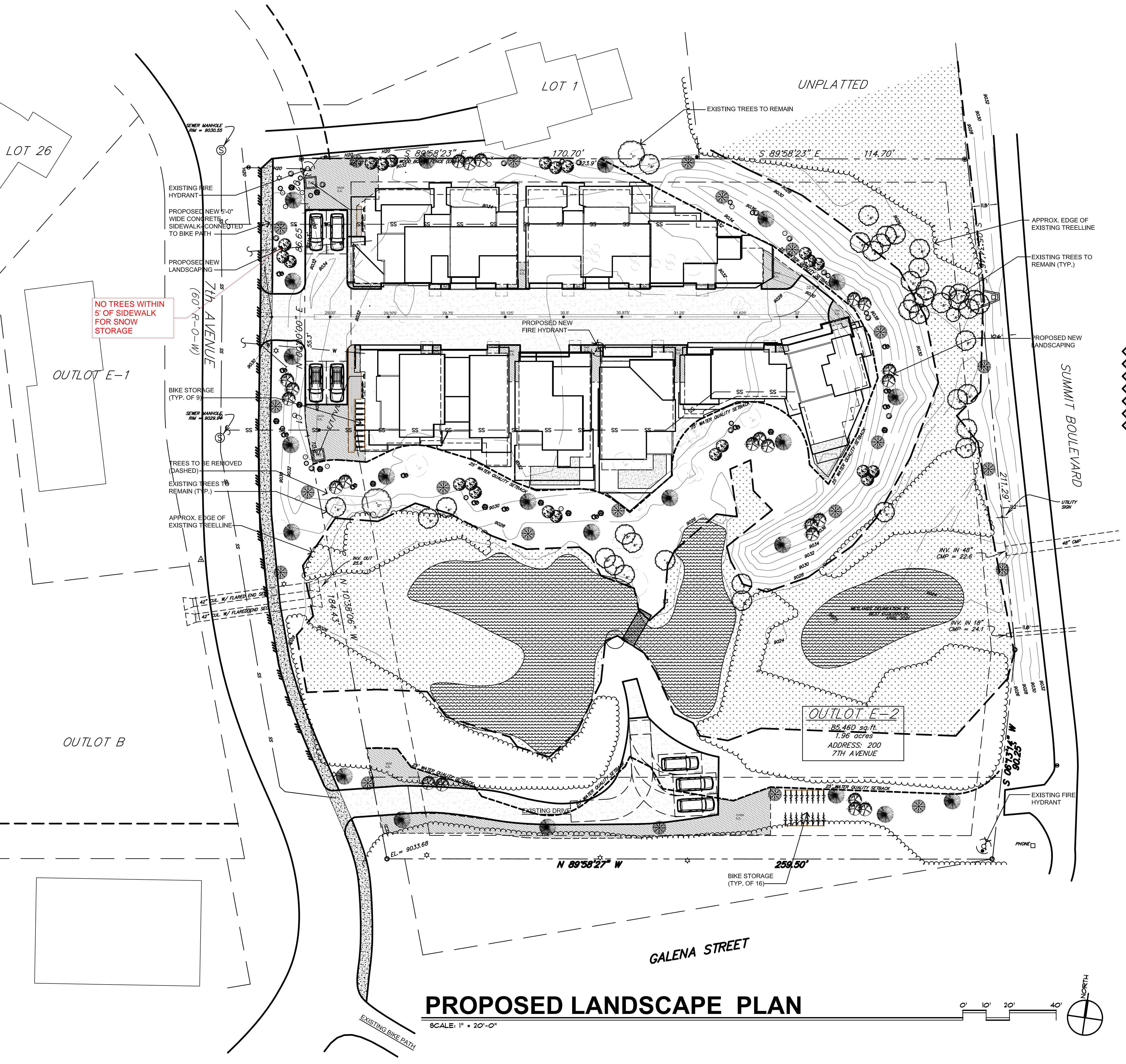
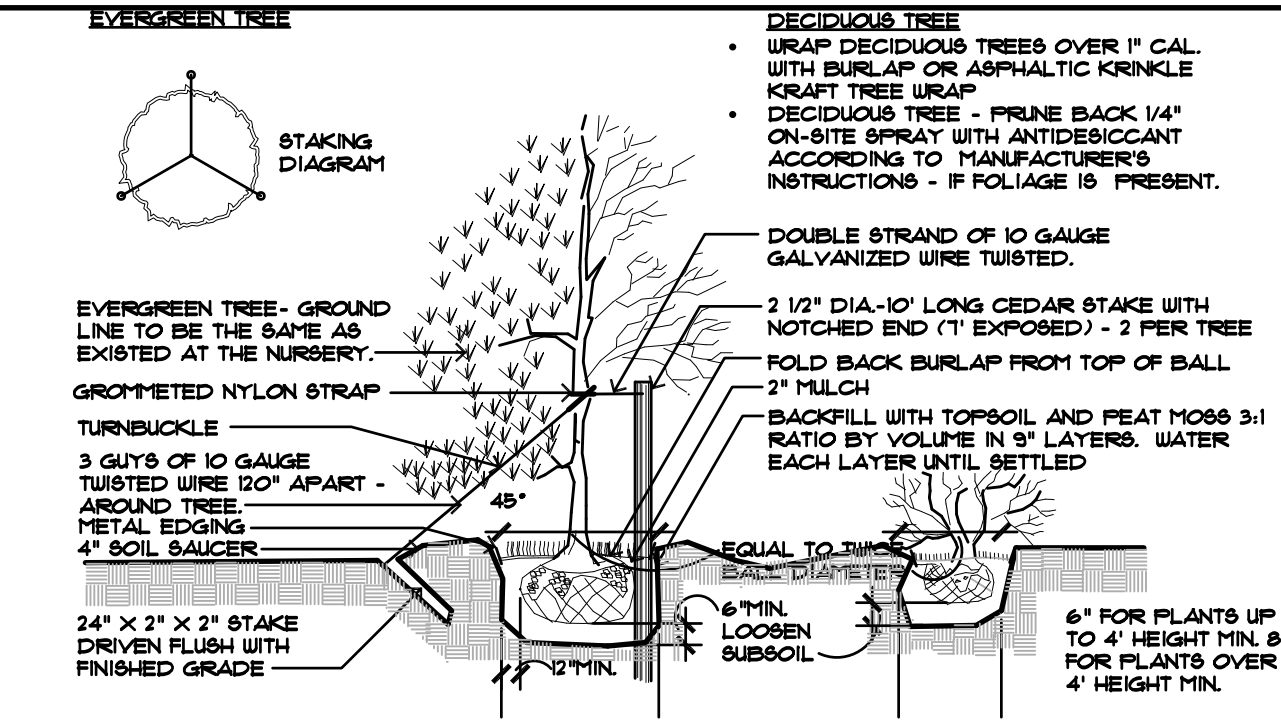
WESTERN NATIVE WILDFLOWER MIX @1 LB/6000 SF:

MOUNTAIN LUPINE	CONEFLOWER, WESTERN	PENSTEMON, SMALL FLOWERED
COLUMBINE, COLORADO	SULFUR FLOWER	PENSTEMON, ROCKY MOUNTAIN
GERANIUM, RICHARDSON	NODDING GROUNDSEL	PENSTEMON, WASATCH
ASTER, ENGLEMANNS	WESTERN LARKSPUR	PENSTEMON, RYDBERGS
ORANGE MOUNTAIN DAISY	AMERICAN VETCH	GALLIARDIA/BLANKETFLOWER
GIANT LOUSEWORT		

PLANTING LIST

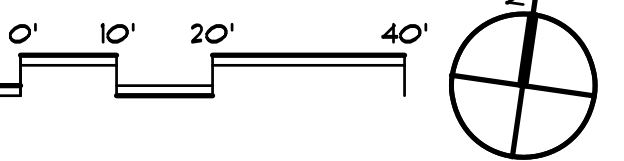
KEY	COMMON	BOTANICAL	NO.	SIZE	NOTES
EXISTING TREES					
	EXISTING	VARIES	--	SEE SITE PLAN	
EXISTING TREES TO BE REMOVED (NOTED PINE TREES >=6" & ASPENS >=4")					
	PINE TREE W/ TRUNK DIAMETER 6" <		3	SEE PLAN	
	SPRUCE		0	SEE PLAN	
	ASPEN		19	SEE PLAN	
	WILLOW PLANT		4	SEE PLAN	
PROPOSED TREES/SHRUBS TO BE ADDED					
	COLORADO SPRUCE	PICEA PUNGENS - blue spruce	22	(10) 8" TALL (12) 10" TALL	
	COLORADO SPRUCE	PICEA ENGELMANNI - Engelmann spruce	22	(10) 8" TALL (12) 10" TALL	
	ASPEN-broad leaf	POPULUS TREMULOIDES	22	2"-3" CALIPER 50% MULTI-STEM	
	ASPEN-big tooth	POPULUS GRANDIDENTATA	22	2" CAL	
	POTENTILLA	POTENTILLA FRUTICOSA	12	5 GAL.	NEEDS SUN (36" TALL, 4'-0" WIDE)
	BUFFALO JUNIPER	JUNIPERUS SABINA	12	5 GAL.	NEEDS SUN (12" TALL, 8'-0" WIDE)
	SILVER BUFFALO BERRY	SHEPHERDIA ARGENTA	12	5 GAL.	GROWS TO 6-10' TALL
	ALPINE CURRANT	RIBES ALPINUM	12	5 GAL.	GROWS TO 3-6' TALL
	PEKING COTONEASTER	COTONEASTER LUCIDAS OR ARGENTATUS	12	5 GAL.	GROWS TO 6-10' TALL
	NATIVE GROUND COVER AND PERENNIALS	PROVIDE SUBMITTAL	8	1 FLAT	PROVIDE TO ALL DISTURBED AREAS

PLANTING DETAIL



PROPOSED LANDSCAPE PLAN

SCALE: 1" = 20'-0"



REVISIONS:

JOB NO: 52402
DATE: 05.23.25
DRAWN BY: T. SHAFFER
CHECKED BY: S. SHAINHOLTZ

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TOWN OF FRISCO FINAL
07.17.25

bhh Partners of Colorado

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THE GLADE

200 NORTH 7TH AVENUE - FRISCO, COLORADO
(OUTLET E-2, RE-PLAT A, RIVER PINES SUBDIVISION)

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SHEET NUMBER:

SP-1.2

PROPOSED LANDSCAPE PLAN