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Date: 8/14/2025

Planning Commission
Town of Frisco
P.O. Box 4100
Frisco, CO 80443

Re: Major Submission Project Narrative for Sixth Degree Town Homes located at:

121 E Main St. Frisco, CO 80443

Dear Planning Commission,

Thank you for considering our project for Major Site Plan review. In our amended submittal package, you will see all required documents that we feel express our intent for this project, as well as our project narrative that is outlined below.

Thank you very much for your time.

Sincerely,

Margaret Ziedin

Sixth Degree Development, LLC

Legal Description: A Condominium Plat of Lots 1-2, Block 2, Plus the West 371 2 Feet of Second Avenue, King Solomon Addition to Frisco Townsite Section 35, Township 5 South, Range 78 West of the Sixth Principal Meridian Town of Frisco, County of Summit, State of Colorado

Name of Development: Sixth Degree Town Homes

Property Owner: Baseline 121, LLC (Baseline Capital Investment, LLLP)
2020 Baseline Dr, Grand Junction, CO 81507

General Partner: John P Poovey

Applicant: Sixth Degree Development, LLC

Margaret D Ziedin 891 14th St, #3602
Denver, CO. 80202

Zoning: CC

Engineer/Surveyor: Tomas S Marcin
Marcin Engineering
130 Ski Hill Road, #235, Breckenridge, CO 80424

Architect: Zane Levin

BHH Partners 560 Adams Ave, Silverthorne, CO 80498

Property Owner Consent: Attached.

121 SIXTH DEGREE MAJOR SITE PLAN NARRATIVE

Town of Frisco, Colorado – Planning Commission Submission

Date: [Insert Final Submission Date]

1. Project Overview

The proposed development, known as Sixth Degree Town Homes, is a mixed-use building located at 121 E Main Street in Frisco, Colorado. The site is zoned Central Core (CC), where mixed-use buildings incorporating residential and commercial uses are not only permitted but encouraged under §180-20.2.2 of the Town of Frisco Unified Development Code (UDC). This project embraces Frisco’s vision for a vibrant, walkable downtown with thoughtful, human-scaled architecture and a commitment to sustainability, inclusivity, and quality design.

2. Site Context & Design Intent

Situated on Main Street with egress via Galena Alley, the site spans approximately 0.22 acres and lies within the prominent pedestrian corridor. The design draws inspiration from the region's mountain town character while integrating contemporary elements, wrapping around the existing Log Cabin Restaurant now known as Casa Sanchez. The building is oriented to activate the street edge with pedestrian-scale storefronts and entries, while maintaining contextual harmony with nearby structures through compatible materials, massing, and roof articulation.

The intent of the design is to:

- Create a mixed-use structure with two commercial units at the ground level and total six residential units on the upper level, inclusive of the existing and newly renovated and appointed deed restricted housing unit above Casa Sanchez.
 - Promote walkability and enhance the pedestrian experience.
 - Comply fully with the UDC’s dimensional, architectural, and use standards.
 - Incorporate best practices from the International Building Code (2021 IBC) in areas such as life safety, energy efficiency, and accessibility.
-

3. Land Use & Zoning Compliance

The proposed use is compliant with the CC district standards as outlined in UDC §180-20.2:

- Residential and commercial mixed-use is a permitted use in this zone.
 - The development complies with the minimum lot area, setback, and building height requirements of Table 2.5 in the UDC.
 - A conditional use permit is not required for the proposed configuration.
-

4. Building Design & Architecture

The architectural character is consistent with UDC §180-6.16:

- **Façade Articulation:** The street-facing façades are divided into varied modules with recessed balconies, wood trim accents, and transparent storefront glazing.
 - **Roof Forms:** The building features a pitched roof form in keeping with Frisco’s architectural guidelines while integrating flat elements to maximize snow management and mechanical screening.
 - **Material Palette:** Materials include fiber cement panels, natural wood, standing seam metal roofing, and painted steel—all selected for their durability, low maintenance, and mountain town aesthetic.
-

5. Site Access, Parking & Circulation

Access is provided from South 6th Avenue, with vehicular ingress and egress occurring from a shared alley as outlined in the site plan. The project conforms with UDC §180-6.13 regarding off-street parking:

- Total parking provided: 15 spaces (including 1 ADA stall and 2 EV-ready stalls).
 - Bicycle parking is also provided in accordance with UDC §180-6.13.6.
 - Pedestrian circulation is prioritized with a widened sidewalk and ADA-compliant entries to all commercial spaces.
-

6. Open Space & Landscaping

The project meets the requirements of UDC §180-6.14 regarding landscaping and open space:

- Landscaped areas are concentrated at the street corner and rear setback zones, featuring native, drought-tolerant species to minimize irrigation.
 - A shared courtyard provides communal outdoor space for residents.
 - A snow storage plan is included per UDC §180-6.16.8.
-

7. Lighting & Signage

Exterior lighting will comply with UDC §180-6.19 and be full cutoff, downward-directed LED fixtures. A detailed photometric plan is provided. Signage will be designed in accordance with Frisco Sign Code (Article 180-6.20), with sign permits to be submitted separately.

8. Utilities & Drainage

All utilities will connect to existing Town of Frisco infrastructure. The civil engineer has prepared a drainage report and utility plan in accordance with Town Engineering Standards and IBC Chapter 29. Stormwater will be managed on-site through pervious pavers and bio-retention features.

9. Energy Efficiency & IBC Compliance

The building is designed to exceed the 2021 International Energy Conservation Code (IECC) and will meet all applicable IBC standards including:

- Fire safety (IBC Chapter 7), including required fire separation walls between commercial and residential uses.
 - Egress (IBC Chapter 10) and Accessibility (IBC Chapter 11/ANSI A117.1) requirements, including ADA-compliant entries, restrooms, and access to residential units.
 - All units will be constructed with high-performance insulation, Energy Star-rated appliances, and efficient HVAC systems.
-

10. Community Benefits & Sustainability

The project contributes positively to Frisco's goals by:

- Providing attainable housing in a walkable downtown location.
 - Revitalizing an underutilized parcel with high-quality infill development.
 - Encouraging year-round commercial activity at the pedestrian level.
 - Including EV charging readiness, bicycle infrastructure, and native landscaping, aligning with Frisco's sustainability values.
-

11. Conclusion

121 Sixth Degree is a code-compliant, community-oriented development that reflects Frisco's long-term vision. The design enhances the pedestrian environment, respects local character, and provides needed housing and commercial opportunities within the Central Core. We respectfully submit this narrative and supporting documents for your consideration and approval.

JOB #: 52405
6IXTH DEGREE TOWNHOMES
07.14.25

RESPONSE LETTER TO JUNE 6TH PC MEETING:

"The Application does not meet, or has not provided sufficient information to prove that it is meeting, the following requirements: "

1. Staff does not have enough information to confirm if the structure meets the stepback standards.
- The building has been revised, with 10'-0" setback from the main to the upper level, as dimensioned on the floor plans (A1.5 & A1.6) and illustrated in the building elevations. (A2.1-A2.5)
2. Staff does not have enough information to confirm if the structure meets the maximum building height standards.
- A building height matrix has been provided (SP1.2) and the building elevations also demonstrate the building is under the maximum building height.
3. Density is not in compliance with the Town Code. In order to demonstrate compliance with the Density Bonus requirements floorplans of the existing unit, and designation of the bonus units, will be required at time of final Major Site Plan review.
- As shown (A1.5)
4. The parking design does not meet the on-premise parking requirements with regards to minimum required parking spaces and size of parking spaces.
- The parking plan has been updated to comply (SP1.3)
5. Understructure facility provisions are not in compliance due to the above grade parking not being significantly screened from adjacent public rights of way
- The parking has been re-designed and is now completely screened from street/alley/side yard (A1.4)
6. The application does not meet the standards for snow storage.
- With the revised parking structure, the snow stack has been updated, and deck calculations have also been provided. (SP1.1)
7. The application will be reviewed for full compliance with §180-6.14, Landscaping and Revegetation standards at the time of final Major Site Plan application.
- Landscape plan has been updated with (3) more aspen and (1) spruce. (SP1.2)
8. Staff recommends Planning Commission provide feedback to the applicant on *Compatibility with Neighborhood Character*.
- The compatibility of the design provides the market with an attractive building with multiple uses, Commercial, Residential and Retail that preserves the Frisco historic character by preserving the existing log cabin and blending the old and the new and maintaining a diverse and strong economy.
9. Staff cannot verify if the building articulation standards are in compliance.
- The building does meet articulation standards, see dimensioned plan. (A1.1)
10. Staff cannot verify if the application meets the roof design standards for roof pitch.
-The roof forms are in alignment with recent development in Frisco (ie: 310 Main) and are in line with the low sloped roof of the existing Log Cabin. The design also reflects what is currently attracting residential buyers and commercial interest in the market.
11. The Application will be required to show compliance with bicycle parking and community spaces for developments over 10,000 square feet at the time of final review.
- Bicycle parking has been provided (SP1.3, A1.1 & A1.3) and a community courtyard provided (SP1.1, SP1.3, A1.1 & A1.3)

P.O. BOX 2113 / 560 E. ADAMS AVE. / SILVERTHORNE, CO 80498 / 970.513.1000

www.bhhpartners.com

6IXTH DEGREE TOWNHOMES

GENERAL NOTES

1) COPYRIGHT:
ALL PLANS, DESIGNS, AND CONCEPTS SHOWN IN THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF BHH PARTNERS PLANNERS/ARCHITECTS, A.I.A./P.C. AND SHALL NOT BE USED, DISCLOSED, OR REPRODUCED FOR ANY PURPOSE WHATSOEVER WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

2) CODES:
THIS PROJECT IS GOVERNED BY THE INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION AS ADOPTED BY SUMMIT COUNTY, COLORADO. CODE COMPLIANCE IS MANDATORY. THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT CONFORM TO THESE CODES. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS. BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER PURPOSES.

3) FIELD VERIFICATION:
VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIALS. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES IN THE DRAWINGS IMMEDIATELY.

4) DIMENSIONS:
WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS SHOWN PRIOR TO BEGINNING ANY WORK AND NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES FOR INTERPRETATION OR CLARIFICATION. PLAN DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS, FACE OF WOOD FURRING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTED. SECTION OR ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR TOP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.

5) DISCREPANCIES:
THE OWNER HAS REQUESTED THE ARCHITECT TO PROVIDE LIMITED ARCHITECTURAL AND ENGINEERING SERVICES. IN THE EVENT ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE CONTRACTOR FOR CONSTRUCTION OF ANY ASPECT OF THIS PROJECT, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT. FAILURE TO GIVE SIMPLE NOTICE SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED WITH WRITTEN DIRECTION FROM THE ARCHITECT.

6) DUTY OF COOPERATION:
RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES.

7) CHANGES TO THE WORK:
ANY ITEMS DESCRIBED HEREIN THAT IMPACT PROJECT BUDGET OR TIME SHALL BE REQUESTED FROM THE CONTRACTOR VIA A WRITTEN CHANGE ORDER REQUEST PRIOR TO SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER INDICATES GENERAL CONTRACTOR'S ACKNOWLEDGMENT OF NO INCREASE IN CONTRACT SUM OR TIME. CHANGES FROM THE PLANS OR SPECIFICATIONS MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM SUCH CHANGES.

8) WORKMANSHIP:
IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC., TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY.

9) SUBSTITUTIONS:
SUBSTITUTION OF "EQUAL" PRODUCTS WILL BE ACCEPTABLE WITH ARCHITECT'S WRITTEN APPROVAL. SEE SPECIFICATIONS.

10) CONSTRUCTION SAFETY:
THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.

11) EXCAVATION PROCEDURES:
UPON COMPLETION OF ANY EXCAVATION, THE OWNER SHALL RETAIN A SOILS ENGINEER TO INSPECT THE SUBSURFACE CONDITIONS IN ORDER TO DETERMINE THE ADEQUACY OF FOUNDATION DESIGN. SEE SPECIFICATIONS. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.

12) FIELD CUTTING OF STRUCTURAL MEMBERS:
THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING. REFER TO CURRENT INTERNATIONAL BUILDING CODE, MANUFACTURER'S OR SUPPLIER'S INSTRUCTIONS, AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

13) EXTERIOR MATERIAL MOCKUP:
THE GENERAL CONTRACTOR SHALL PROVIDE A MOCKUP OF ALL EXTERIOR MATERIALS FOR REVIEW BY THE OWNER, ARCHITECT, AND INTERIOR DESIGNER. THIS MOCKUP SHALL BE PROVIDED AND SIGNED OF IN WRITING PRIOR TO ANY EXTERIOR FINISH WORK. THE SAMPLE SHALL INCLUDE FASCIA, TRIM WINDOW CLADDING, AND ALL OTHER EXTERIOR FINISHES INCLUDING 3'X3' SAMPLE OF EXTERIOR STONEWORK. THIS SHALL BE RETAINED ON SITE UNTIL THE FINAL PUNCH LIST IS COMPLETE.

14) WEATHER CONDITIONS:
THE OWNER HAS BEEN ADVISED THAT DUE TO HARSH WINTER CONDITIONS, ROOF AND DECK SURFACES MUST BE MAINTAINED REASONABLY FREE OF ICE AND SNOW TO ENSURE MINIMAL PROBLEMS WITH THESE SURFACES. ALL ROOFING, ROOFING MEMBRANES, AND WATERPROOFING SHALL BE APPROVED IN WRITING BY PRODUCT MANUFACTURER (W.R. GRACE FOR BITUTHENE, ETC.) PRIOR TO PROCEEDING WITH ANY WORK. FAILURE TO PROVIDE THESE WRITTEN APPROVALS REMOVES ALL RESPONSIBILITY FOR THE WORK FROM THE ARCHITECT.

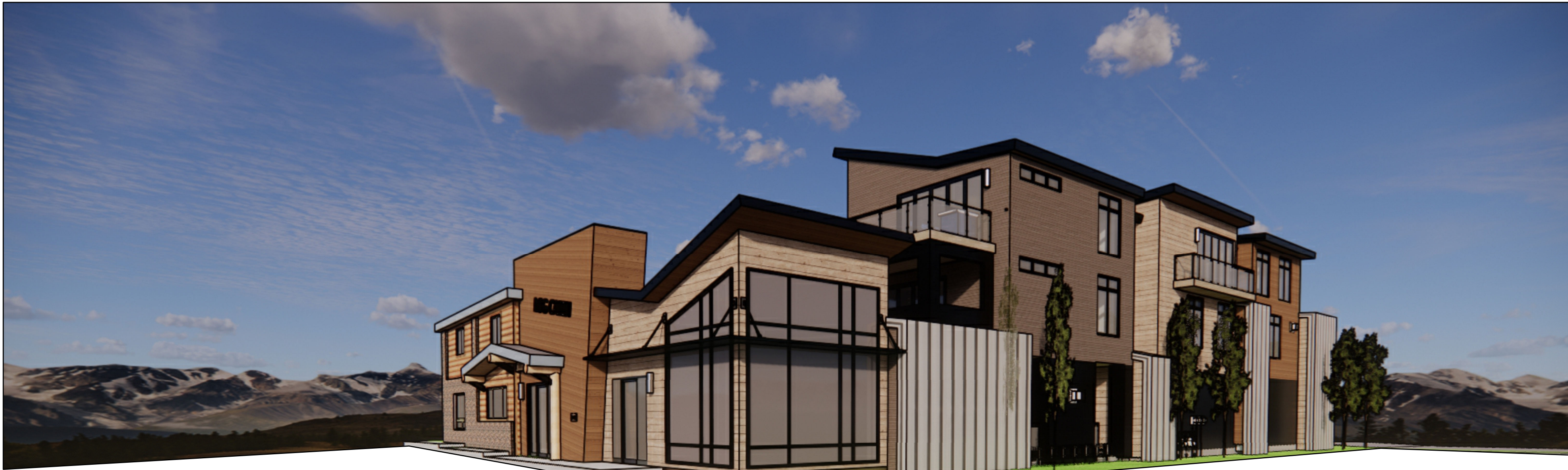
15) BUILDING AREA
BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER USE.

16) PROJECT STAKING
THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND STAKE ALL BUILDING CORNERS AND DRIVEWAY LOCATION FOR OWNER/ARCHITECT AND DESIGN REVIEW BOARD APPROVAL PRIOR TO BEGINNING ANY SITE CLEARING.

17) SITE DISTURBANCE
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE EXISTING TREES TO REMAIN AND ADJACENT PROPERTIES FROM DAMAGE DURING CONSTRUCTION. PROVIDE PROTECTIVE FENCING THROUGHOUT CONSTRUCTION.

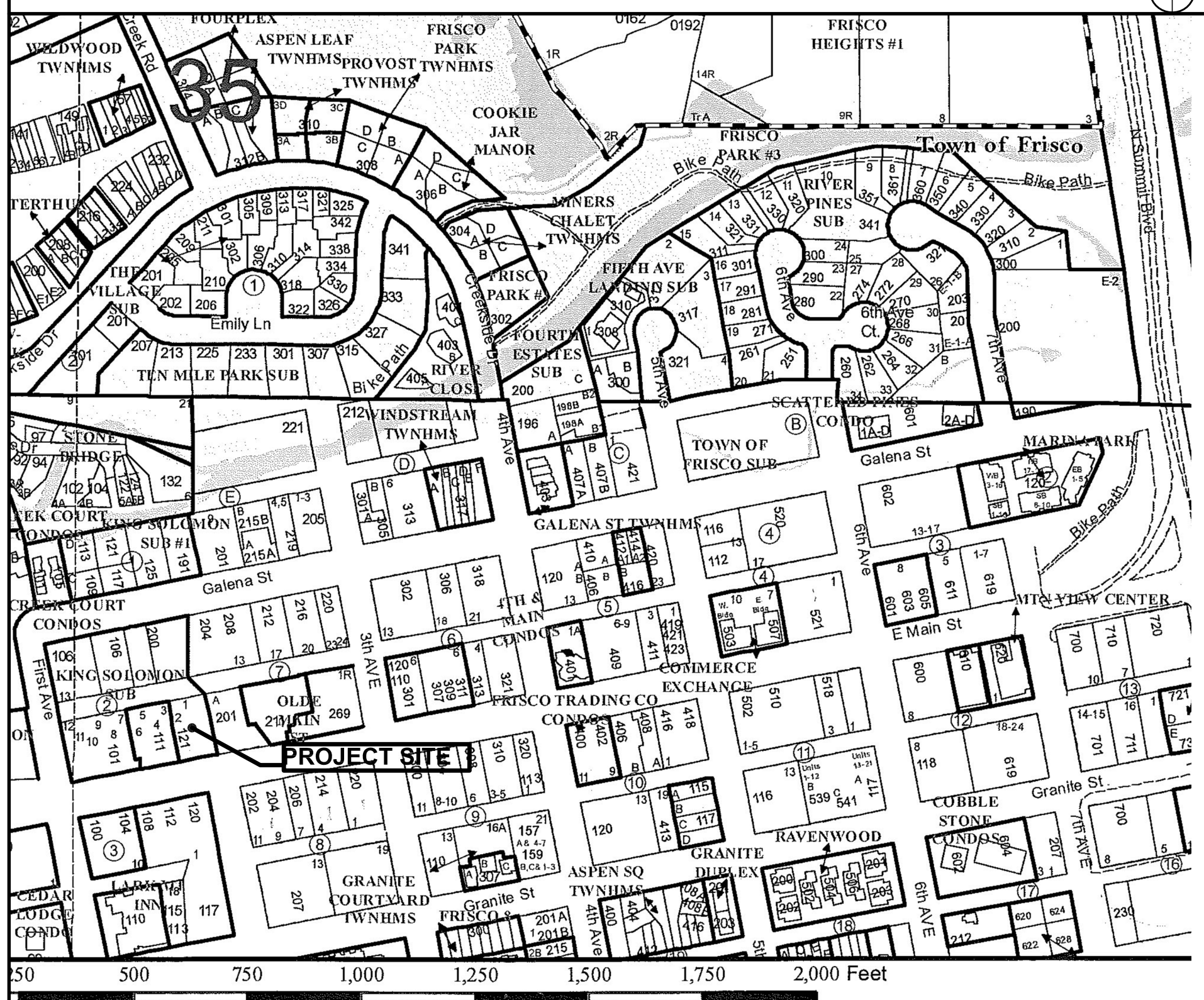
18) PROJECT GRADES
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL GRADES INCLUDING PAVED AREA SLOPES PRIOR TO POURING ANY FOUNDATIONS. SURVEY WORK SHOULD BE VERIFIED IN DETAIL. SEE NUMBERS 5 AND 6.

19) 3D MODELING
THIS PROJECT HAS BEEN DIGITALLY MODELED IN 3D SOFTWARE. THE DIGITAL MODEL IS PROVIDED FOR REFERENCE PURPOSES ONLY. TRANSMISSION OF DIGITAL MODEL FILES CONSTITUTES A WARRANTY BY THE PARTY TRANSMITTING FILES TO THE PARTY RECEIVING FILES THAT THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF THE DIGITAL DATA, UNLESS OTHERWISE AGREED IN WRITING. ANY USE OF TRANSMISSION OF OR RELIANCE ON THE MODEL IS AT THE RECEIVING PARTY'S RISK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF QUESTIONS OR COORDINATION ISSUES BETWEEN THE CONTRACT DOCUMENTS AND DIGITAL MODEL.



VIEW FROM SOUTHEAST

VICINITY MAP



AREA CALCULATIONS

FINISHED	MAIN LEVEL	UPPER LEVEL	TOTAL
UNIT 'A'	804 S.F.	453 S.F.	1,257 S.F.
UNIT 'B'	801 S.F.	453 S.F.	1,254 S.F.
UNIT 'C'	552 S.F.	712 S.F.	1,264 S.F.
UNIT 'D'	552 S.F.	711 S.F.	1,263 S.F.
UNIT 'E'	822 S.F.	770 S.F.	1,592 S.F.
UNIT TOTAL	3,551 S.F.	3,100 S.F.	6,651 S.F.

	UNFINISHED	FINISHED	TOTAL
GROUND LEVEL	4,834 S.F.	1,391 S.F.	6,225 S.F.
GRAND TOTAL	4,834 S.F.	8,042 S.F.	12,876 S.F.

NOTE: SQUARE FOOTAGES ARE CALCULATED FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES.

FINISHED FLOOR ELEV.

	U.S.G.S.	ARCHITECTURAL
LOWER- T.O. CONC.	9,063.0'	100'-0"
MAIN - T.O. PLYWD.	9,074.5'	111'-6"
UPPER - T.O. PLYWD.	9,085.0'	122'-0"

SHEET INDEX

T1.1	COVER SHEET
C-1	EXISTING CONDITIONS SITE MAP
C-2	UNDER SEPERATE COVER
C-2	UNDER SEPERATE COVER
SP1.1	SITE PLAN
SP1.2	LANDSCAPE PLAN and SITE ROOFS
SP1.3	PARKING PLAN and SITE LIGHTING PLAN
A-1.1	LOWER & MAIN FLOOR PLAN (1/8" SCALE)
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A-2.1	BUILDING PERSPECTIVES
A-2.2	SOUTH ELEVATION
A-2.3	WEST ELEVATION
A2.4	NORTH ELEVATION
A2.5	EAST ELEVATION
A3.1	BUILDING SECTION 'A' (PARTIAL)

LEGAL DESCRIPTION

LOT(S) 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 VACATED 2ND AVENUE
FRISCO, COLORADO 80443
0.28 ACRES/ 12,196 SQ. FT.

BLANK

SOILS ENG'R:

T.B.D.

PLUMB'G ENG'R:

T.B.D.

ELEC'L ENG'R:

T.B.D.

MECH'L ENGR':

T.B.D.

CIVIL ENGINEER:

T.B.D.

SURVEYOR:

MARCIN ENGINEERING
130 SKI HILL ROAD #235
COLORADO
(970)771-3459
Info@marcineengineering.com

STRUCTURAL ENG'R:

SUNDQUIST DESIGN GROUP, INC.
JOE SUNDQUIST
P.O. BOX 676
CONIFER, CO. 80433
303.838-2222
joe@sundquistdesign.com

CONTRACTOR:

CAMPBELL CONSTRUCTION, LLC.
PETE CAMPBELL
P.O. BOX 4272
FRISCO, CO. 80443
970.389.7246
petecampbellconstruction@comcast.net

ARCHITECT:

BHH Partners, Planners and Architects
160 EAST ADAMS STREET
P.O. BOX 931
BRECKENRIDGE, CO 80424
(970) 453-6880
tshaffer@bhhpartners.com

OWNER:

MARGARET ZIEDIN
1584 SOUTH EMERSON STREET
DENVER, CO 80210
Margaret@sixthdegree.com

REVISIONS:

JOB NO: 52405
DATE: 08/14/25
DRAWN BY: T. SHAFFER
CHECKED BY: Z. LEVIN

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OF REVISIONS: 08/14/25

bhh Partners of Colorado
560 ADAMS AVE., P.O. BOX 2113, SILVERTHORNE, CO 80498, (970) 453-6880 www.bhhpartners.com
6IXTH DEGREE TOWNHOMES
121 EAST MAIN STREET, FRISCO COLORADO 80443
(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

© 2025

SHEET NUMBER:

T-1-1

TITLE SHEET, GENERAL NOTES,
SCHEDULES AND INFORMATION

Section 35, Township 5 South , Range 78 West of the 6th Principal Meridian
Town of Frisco, County of Summit, State of Colorado

Lots 1 and 2, Block 2, King Solomon Addition to the Town of Frisco, and the West $\frac{1}{2}$ of Vacated 2nd Avenue, Town of Frisco, County of Summit, State of Colorado.

- 1) Survey Date: August 2, 2021.
- 2) Survey Units: US Survey Foot.
- 3) Contour Interval: 1 foot.
- 4) Elevation Datum: NAVD 88, derived from OPUS observation.
- 5) Benchmark: Found yellow plastic cap at the northeast property corner, stamped LS 10847 with elevation 9061.88 derived from OPUS observation.
- 6) This Survey does not constitute a boundary survey nor any investigation into record easements or encumbrances associated with this property. No Title Commitment was supplied to the Surveyor. Boundary of parcel for this survey was based on the (2) found yellow plastic caps along the northern property boundary. A boundary survey is recommended if resolution of parcel boundary is desired.
- 7) Utilities are shown approximately and should be field verified prior to excavation.
- 8) Marcin Engineering LLC does not warrant or certify to the integrity of any Digital Data supplied in conjunction with this map and survey.
- 9) Street Address: 121 Main Street, Frisco, CO 80443.
- 10) This is not a monumented survey, Land Survey Plot, or Improvement Survey plot. No boundary resolution was performed in making this survey. All lot lines, setback lines, and easement lines shown hereon should be considered approximate and should not be relied upon for the placement of any future improvements.

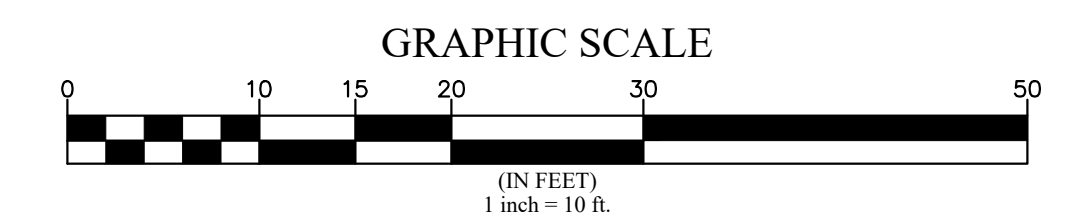
I, Raymond M. Eklo, a Professional Land Surveyor in the State of Colorado, do hereby certify that this Existing Conditions Site Map was prepared for Margaret Ziedin and that this is NOT a Land Survey Plat or Improvement Survey Plat, and that it is not to be relied upon for the establishment of fence, building, or other future improvements lines. This Map is valid only for use by Margaret Ziedin and describes the parcel's appearance on August 2, 2021.














I further certify that the improvements on the above described parcel on this date, August 2, 2021, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no APPARENT evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.



Raymond M. Elko, PLS 38444
Colorado Professional
Land Surveyor

Peak Name	Degrees from North	Degrees from Horizontal
Mount Royal	210°	22.5°
Wichita Mountain	240°	13.0°
Chief Mountain	280°	16.0°
Buffalo Mountain	308°	11.5°



LEGEND	
	ASPHALT
	GRAVEL
	BRICK
	CONCRETE
	DECORATIVE ROCK
	RAISED TRACTION DOMES
	FIRE HYDRANT
	WATER VALVE
	GAS VALVE
	LIGHT POLE
	UTILITY BOX
	ELECTRIC BOX
	FOUND MONUMENT, AS DESCRIBED

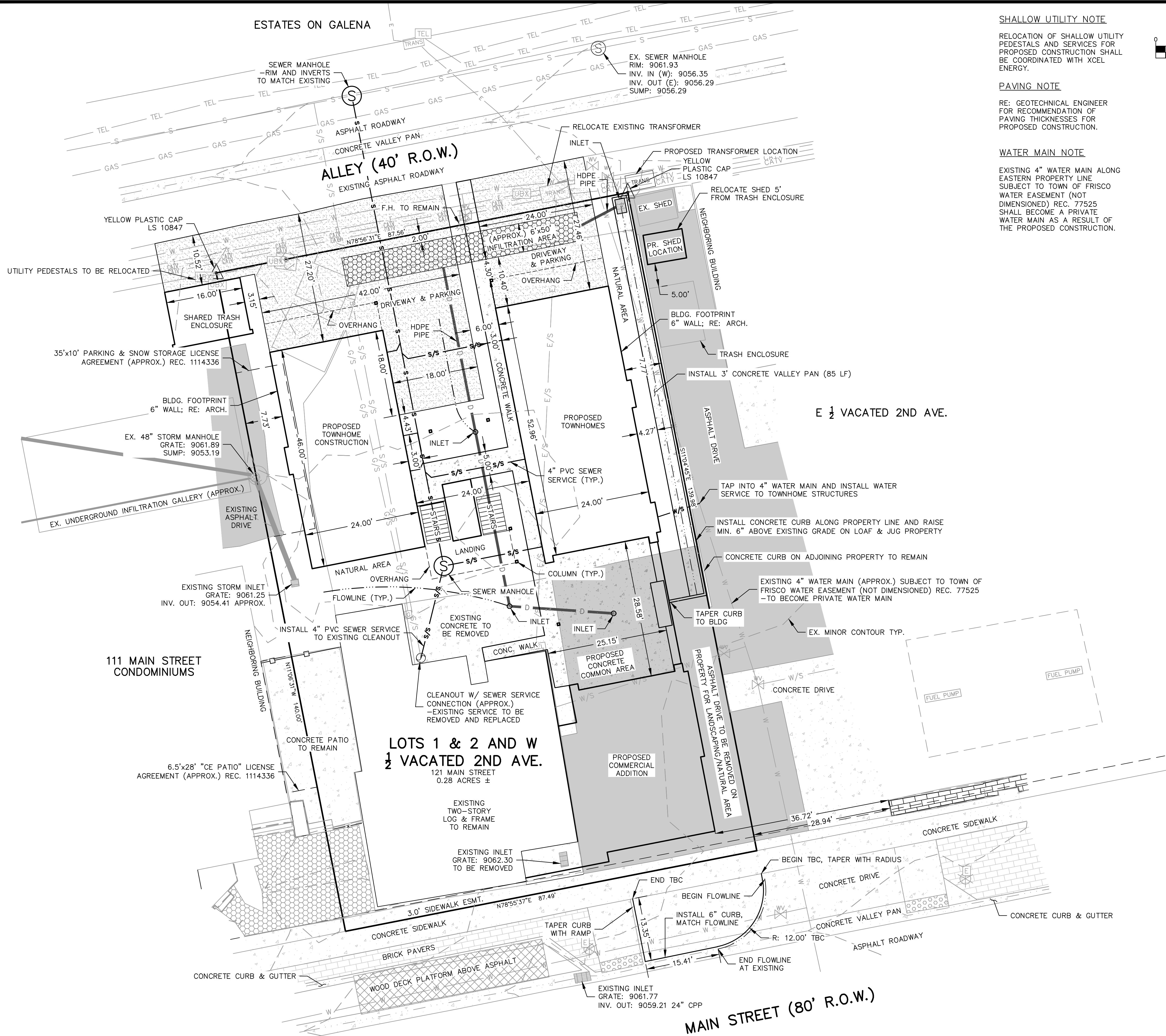
EXISTING CONDITIONS SITE MAP
 LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION
 AND THE WEST $\frac{1}{2}$ OF VACATED 2ND AVENUE
 Town of Frisco, County of Summit, State of Colorado

DRAWN BY: <i>TLV</i>	DATE: <i>09/22/2021</i>
CHECKED BY: <i>RME</i>	DRAWING NO.: <i>ECSM</i>
JOB NO.: <i>21112</i>	SHEET: <i>1</i> OF <i>1</i>

130 SKI HILL ROAD, #235
P.O. BOX 6008
BRECKENRIDGE, CO 80424
(970) 771-3459

NOTICE: According to Colorado law you MUST commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

DRAWING: C:\projects\March Engineering\Projects\2021\21112-Log Cabin\21112-288.dwg



SHALLOW UTILITY NOTE

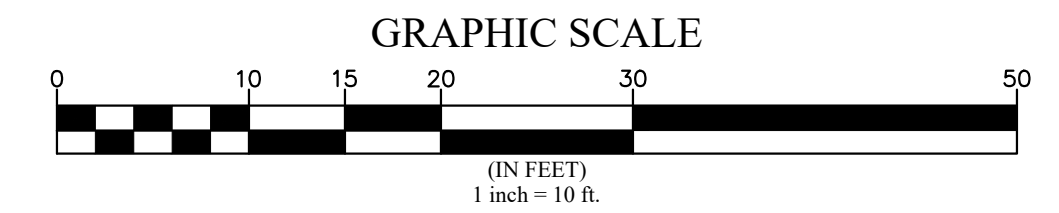
RELOCATION OF SHALLOW UTILITY PEDESTALS AND SERVICES FOR PROPOSED CONSTRUCTION SHALL BE COORDINATED WITH XCEL ENERGY.

PAVING NOTE

RE: GEOTECHNICAL ENGINEER FOR RECOMMENDATION OF PAVING THICKNESSES FOR PROPOSED CONSTRUCTION.

WATER MAIN NOTE

EXISTING 4" WATER MAIN ALONG EASTERN PROPERTY LINE SUBJECT TO TOWN OF FRISCO WATER EASEMENT (NOT DIMENSIONED) REC. 77525 SHALL BECOME A PRIVATE WATER MAIN AS A RESULT OF THE PROPOSED CONSTRUCTION.



MARCIN ENGINEERING LLC
130 SKI HILL ROAD, #235
BRECKENRIDGE, COLORADO
970-771-3459

SITE PLAN WITH PRELIMINARY UTILITY LAYOUT
LOG CABIN CAFE ADDITION
LOTS 1 AND 2, BLOCK 2, KING SOLOMON ADDITION
121 MAIN STREET
TOWN OF FRISCO, COLORADO

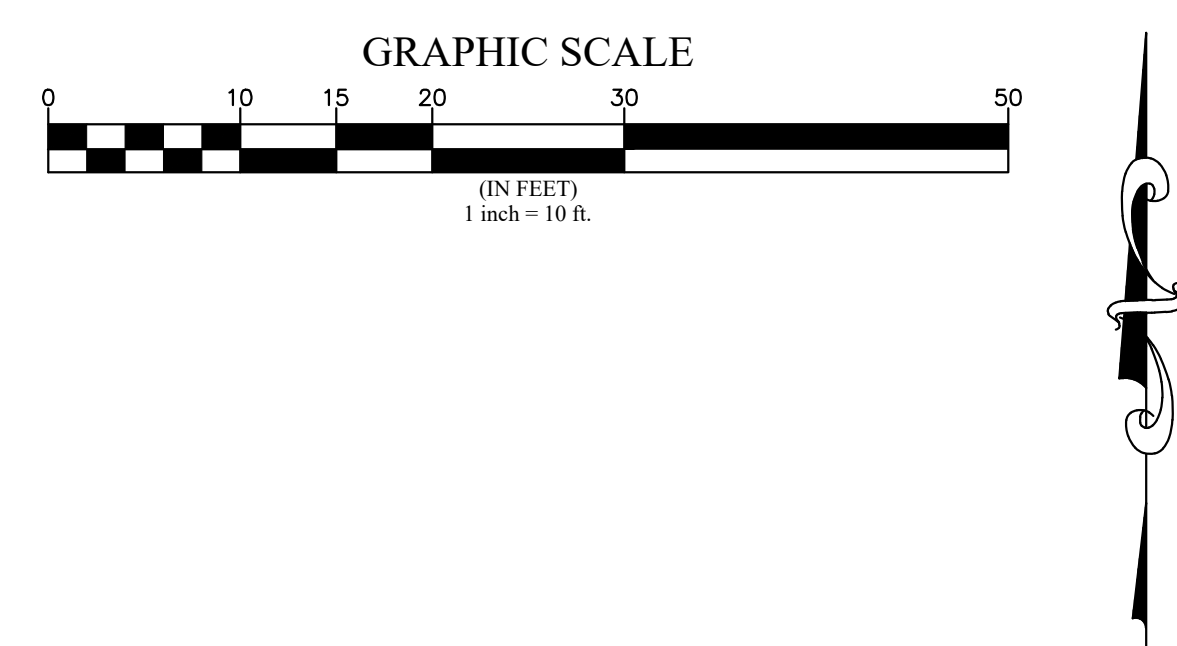
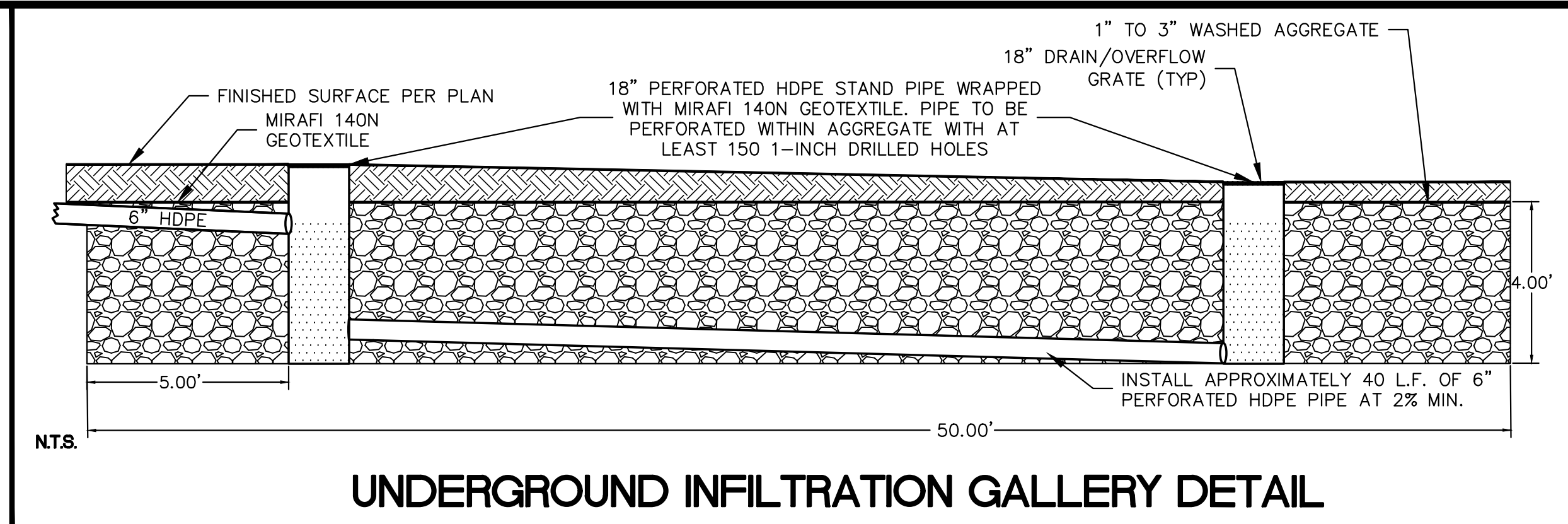
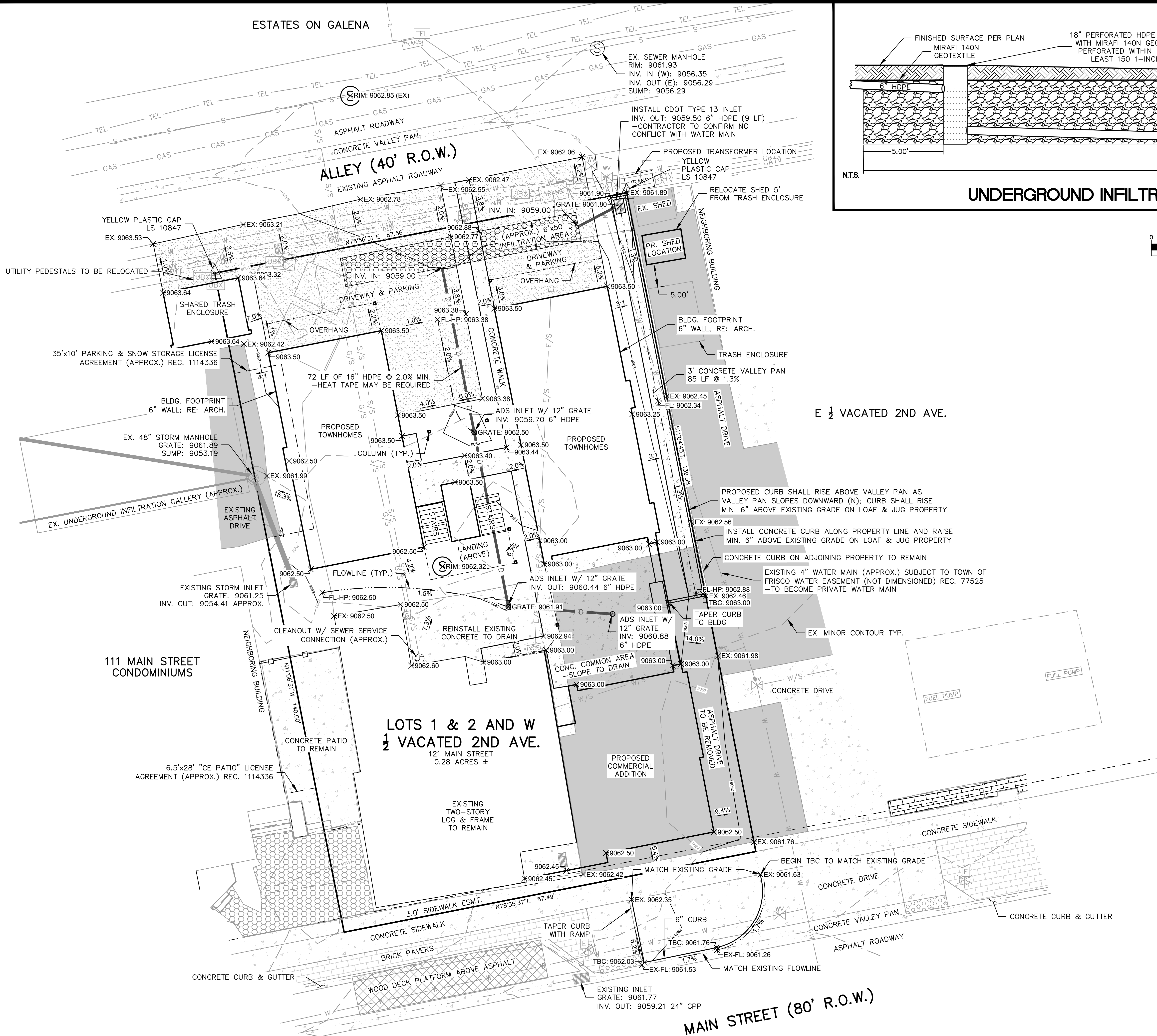
NO. DATE REVISIONS BY

JOB: 21112
DATE: 02/23/2022
SCALE: 1" = 10'

SHEET
C-1

NOT FOR CONSTRUCTION

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MARCIN ENGINEERING LLC 130 SKI HILL ROAD, #235 BRECKENRIDGE, COLORADO 970-771-3459	
GRADING AND DRAINAGE PLAN LOG CABIN CAFE ADDITION LOTS 1 AND 2, BLOCK 2, KING SOLOMON ADDITION 121 MAIN STREET TOWN OF FRISCO, COLORADO	
NO.	DATE
BY	REVISIONS
JOB: 21112 DATE: 02/23/2022 SCALE: 1" = 10'	
SHEET C-2	

NOT FOR CONSTRUCTION

SITE NOTES

1. ELECTRIC, CABLE T.V. AND TELEPHONE UNDERGROUND IN COMMON TRENCH

2. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND.

3. TOPOGRAPHIC INFORMATION OBTAINED FROM RANGE WEST ENGINEERS & SURVEYORS, JOB # 21728

4. PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1:12 MIN.)

5. REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE. DRAINS TO BE SLOPED TO DAYLIGHT TO NATURAL TRENCH

6. FLAG ALL TREES FOR OWNER PRIOR TO THINNING OR REMOVING

7. PROTECT ALL REMAINING TREES WITH SNOW FENCE OR OTHER APPROVED BARRIER DURING CONSTRUCTION

8. PROVIDE 6" DIA. STONE RIP RAP OVER WEED BARRIER FABRIC AT EAVES AND VALLEY DRIP LOCATIONS

9. STAKE HOUSE LOCATION FOR OWNER AND ARCHITECT PRIOR TO ANY WORK

10. GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL SUBDIVISION CONDITIONS. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT

11. DRIVEWAY SHOWN IS EXISTING AND IS MAX. 2.5% SLOPE FOR FIRST 20' FROM ROAD EDGE OF PAVEMENT OR AS REQUIRED.

12. TREES TO BE REMOVED TO ALLOW 10' BETWEEN CANOPIES WITH EXCEPTION OF CLUSTERS TO BE APPROVED BY SUMMIT COUNTY.

13. ALL DRAINAGE WILL BE ON-SITE, AS PROVIDED BY THE CIVIL ENGINEER.

CONTOUR LEGEND

EXISTING MINOR

EXISTING MAJOR

PROPOSED

●

DRAINAGE ARROW

→

SPOT GRADE AT DOT

● 9063.1

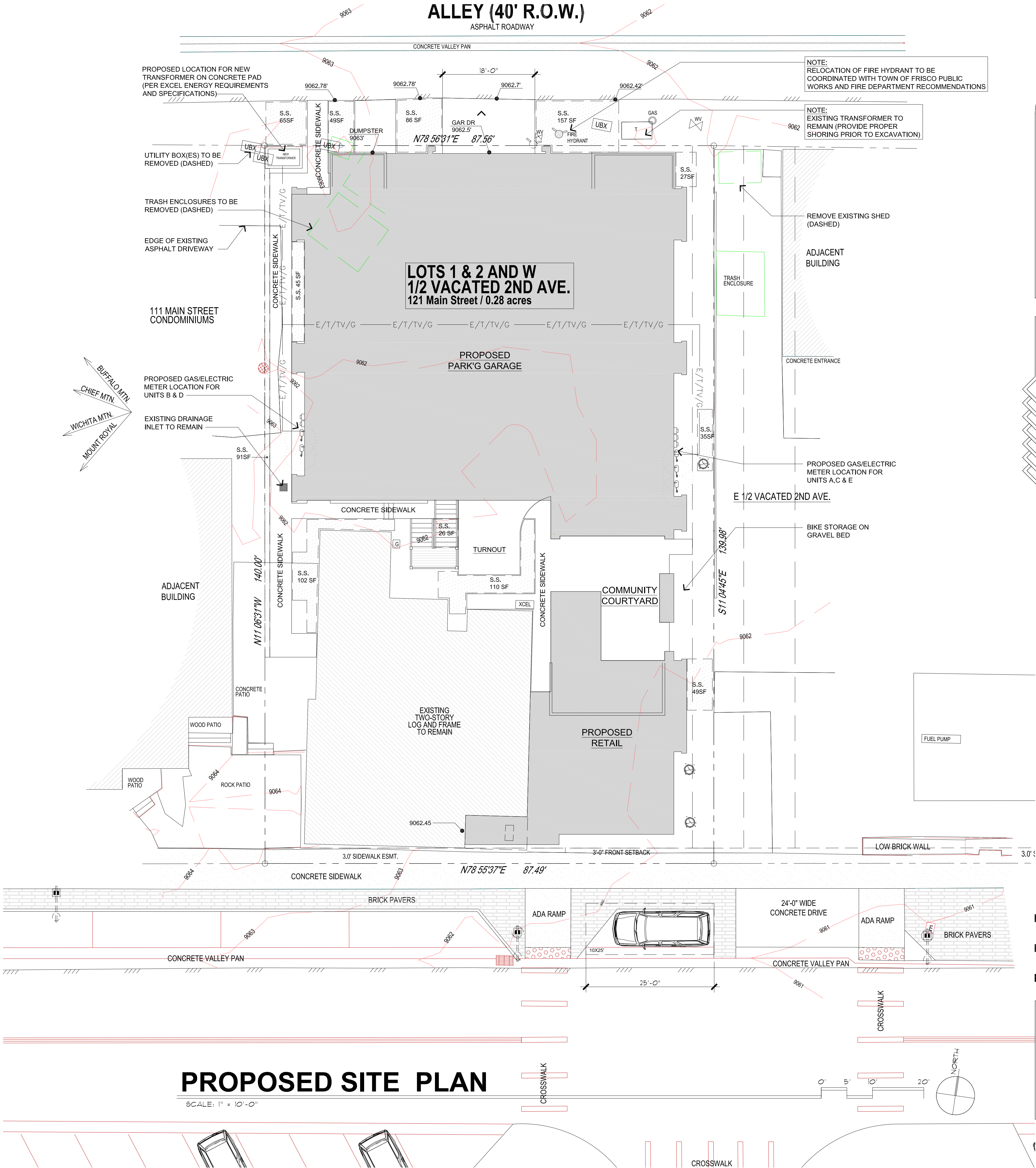
LOT COVERAGE

	SQ. FT.	PERCENTAGE
BUILDING Includes: (roof overhangs, decks, courtyard, sidewalks, stairs, parking)	9,648 S.F.	79%
HARDSCAPE Includes: (un-covered driveway, un-covered turnout and un-covered walks)	1,264 S.F.	10%
OPEN SPACE	1,284 S.F.	11%
TOTAL LOT SIZE	12,196 S.F.	100%

REQUIRED SNOWSTACK

	SQ. FT.	PERCENTAGE
HARDSCAPE UN-COVERED DRIVES, TURNOUT AND SIDEWALKS	1,264 S.F.	100%
REQ'D SNOW STACK (25% OF HARDSCAPE)	316 S.F.	25%
UN-COVERED DECKS	587 S.F.	100%
REQ'D SNOW STACK (25% OF DECKS)	147 S.F.	25%
TOTAL SNOW STACK REQUIRED	463 S.F.	25%
TOTAL SNOW STACK PROVIDED	815 S.F.	44%

NOTE:
OWNER OPTION TO HEAT UNCOVERED AREAS.



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08/14/25

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T. SHAFFER

CHECKED BY:

Z. LEVIN

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SIXTH DEGREE TOWNHOMES

121 EAST MAIN STREET, FRISCO COLORADO 80443
(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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SHEET NUMBER:

SP-1.1

PROPOSED SITE PLAN

LANDSCAPE NOTES

1.

PROVIDE 3" (MIN.) CLAYFREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SHORT SEED MIX (AS APPROVED BY SUMMIT COUNTY STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.)

2.

KEEP EXISTING TREES WHERE POSSIBLE. TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.

3.

GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS. PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.

4.

LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE.

5.

SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.

6.

ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. MAXIMUM 1,000 SF IRRIGATED SPACE. PROVIDE SUBMITTAL.

7.

ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.

8.

NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.

9.

SCREEN ALL UTILITY PEDESTALS WITH LANDSCAPE MATERIAL.

10.

PROVIDE 3" TO 4" DIAMETER STONE RIPRAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.

11.

INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.

12.

ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.

13.

PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.

14.

LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER AS APPROVED BYTOWN OF BRECKENRIDGE PRIOR TO INSTALLATION.

15.

ALL ROCK OUTCROPPINGS THAT ARE TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY.

16.

ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.

NOTE: ALL LANDSCAPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH TOWN OF FRISCO AND HOA.

REVEGETATION NOTES

REVEGETATE ALL DISTURBED AREAS ON THE SITE WITH:

SHORT DRY GRASS MIX @2 LBS/1000 SF:

HARD FESCUE

30%

CREEPING RED FESCUE

30%

SHEEP FESCUE

25%

CANADA BLUEGRASS

10%

CANBY BLUEGRASS

5%

SLOPES OVER 3:1 SHALL BE HAY TACKIFIED OR NETTED.

MOUNTAIN MAGIC WILDFLOWER MIX @1 LB/10,000 SF:

BABY'S BREATH

BLANKETFLOWER

CALIFORNIA POPPY

SHIRLEY POPPY

BLUE FLAX

LUPINE MIX

WALLFLOWER

MAIDEN PINKS

PENSTEMON, ROCKY MOUNTAIN

WILD THYME

ROCKY MOUNTAIN BLUE COLUMBINE MIX @1LB/25,000 SF OR WESTERN NATIVE WILDFLOWER MIX @1 LB/6000 SF:

MOUNTAIN LUPINE

CONEFLOWER, WESTERN

PENSTEMON, SMALL FLOWERED

COLUMBINE, COLORADO

SULFUR FLOWER

PENSTEMON, ROCKY MOUNTAIN

GERANIUM, RICHARDSON

NODDING GROUNDSEL

PENSTEMON, WASATCH

ASTER, ENGLEMANNS

WESTERN LARKSPUR

PENSTEMON, RYDBERGS

ORANGE MOUNTAIN DAISY

AMERICAN VETCH

GAILLARDIA/BLANKETFLOWER

GIANT LOUSEWORT

PLANTING LIST

KEY	COMMON	BOTANICAL	NO.	SIZE	NOTES
EXISTING TREES					
	EXISTING	VARIABLES	--	SEE SITE PLAN	
PROPOSED TREES/SHRUBS TO BE ADDED					
	COLORADO SPRUCE	PICEA PUNGENS OR PICEA ENGELMANNI	7	(3) 8' TALL (4) 12' TALL	
	ASPEN	POPULUS TREMULOIDES	18	2'-3" CALIPER 50% MULTI-STEM	
	POTENTILLA	POTENTILLA FRUTICOSA	5	5 GAL.	NEEDS SUN (36" TALL, 4'-0" WIDE)
	ALPINE CURRANT	RIBES ALPINUM	5	5 GAL.	GROWS TO 3-6' TALL
	PEKING COTONEASTER	COTONEASTER LUCIDAS OR APICALTUS	5	5 GAL.	GROWS TO 6-10' TALL
	NATIVE GROUND COVER AND PERENNIALS	SUBMITTAL	10	1 FLAT	PROVIDE TO ALL DISTURBED AREAS

PLANTING DETAIL

EVERGREEN TREE

EVERGREEN TREE - GROUND LINE TO BE THE SAME AS EXISTED AT THE NURSERY. GROMMETED NYLON STRAP. TURNBUCKLE. 3 GUY'S OF 10 GAUGE TWISTED WIRE 120" APART - AROUND TREE. METAL EDGING. 4" SOIL SAUCER.

DECIDUOUS TREE

DECIDUOUS TREE - WRAP DECIDUOUS TREES OVER 1" CAL. WITH BURLAP OR ASPHALTIC KINKLE. KEAPT TREE WRAP. DECIDUOUS TREE - FRANE BACK 1/4" ON-SITE SPRAY WITH ANTIDECIDUANT ACCORDING TO MANUFACTURER'S INSTRUCTIONS - IF FOLIAGE IS PRESENT. DOUBLE STRAND OF 10 GAUGE GALVANIZED WIRE TWISTED. 2 1/2" DIA.-10' LONG CEDAR STAKE WITH NOTCHED END (1" EXPOSED) - 2 PER TREE. FOLD BACK BURLAP FROM TOP OF BALL. 2" MULCH. BACKFILL WITH TOPSOIL AND PEAT MOSS 3:1 RATIO BY VOLUME IN 8" LAYERS. WATER EACH LAYER UNTIL SETTLED. EQUAL TO TWICE BALL DIAMETER. 6" MIN. LOOSEN SUBSOIL. 6" FOR PLANTS UP TO 4' HEIGHT MIN. 8" FOR PLANTS OVER 4' HEIGHT MIN.

BUILDING HEIGHT TABLE

RIDGE POINT	HIGH EAVE ELEVATION	NATURAL EXIST'G GRADE ELEVATION (APPROX.)	FINISHED GRADE ELEVATION	AS MEASURED FROM	CALCULATIONS	HEIGHT
(A1)	9,101.85'	9,062'	9,063'	EXIST'G	9,101.85-9062' =	39.85'
(A2)	9,101.85'	9,062'	9,063'	EXIST'G	9,101.85-9062' =	39.85'
(B1)	9,101.85'	9,062'	9,063'	EXIST'G	9,101.85-9062' =	39.85'
(B2)	9,101.85'	9,062'	9,063'	EXIST'G	9,101.85-9062' =	39.85'
(C1)	9,096.88'	9,062'	9,062'	EXIST'G	9,096.88' - 9,062' =	34.88'
(C2)	9,096.88'	9,062'	9,062'	EXIST'G	9,096.88' - 9,062' =	34.88'
(D2)	9,096.88'	9,062'	9,062'	EXIST'G	9,096.88' - 9,062' =	34.88'
(D2)	9,096.88'	9,062'	9,062'	EXIST'G	9,096.88' - 9,062' =	34.88'
(E1)	9,101.85'	9,062'	9,063'	EXIST'G	9,101.85 - 9062' =	39.85'
(E2)	9,101.85'	9,062.7'	9,063'	EXIST'G	9,101.85 - 9062.7' =	39.15'
(F1)	9,080.53'	9,062.7'	9,062.5'	EXIST'G	9,080.53' - 9,062.7' =	17.83'
(F2)	9,080.53'	9,062.5'	9,062.5'	EXIST'G	9,080.53' - 9,062.7' =	17.83'
(G1)	9,083.10'	9,061.8'	9,061.8'	EXIST'G	9,083.10' - 9,061.8' =	21.3'
(G2)	9,083.10'	9,061.8'	9,061.8'	EXIST'G	9,083.10' - 9,061.8' =	21.3'

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GIXTH DEGREE TOWNHOMES

121 EAST MAIN STREET, FRISCO COLORADO 80443

(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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SP-1.2

PROPOSED LANDSCAPE PLAN

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SIXTH DEGREE TOWNHOMES

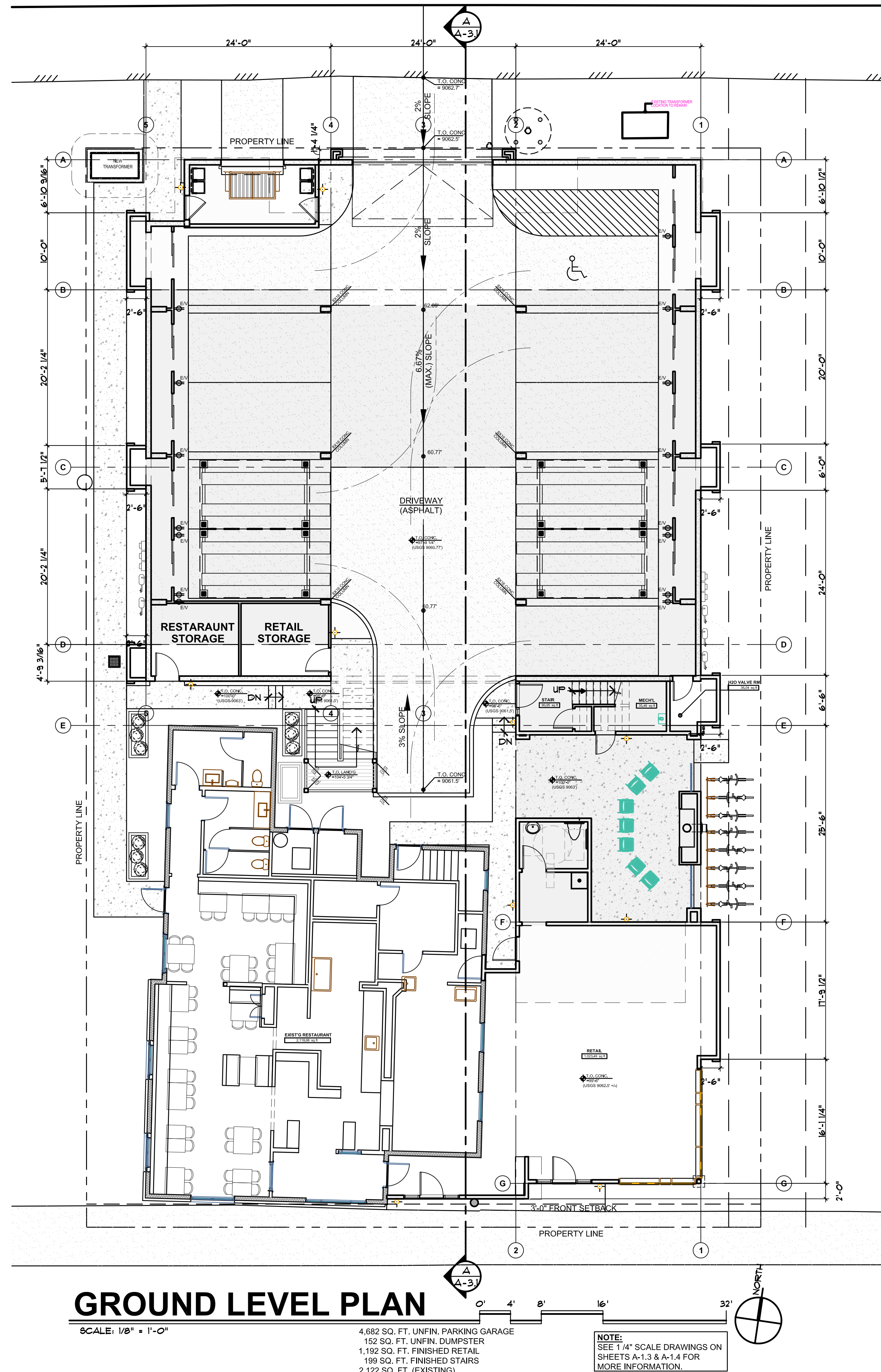
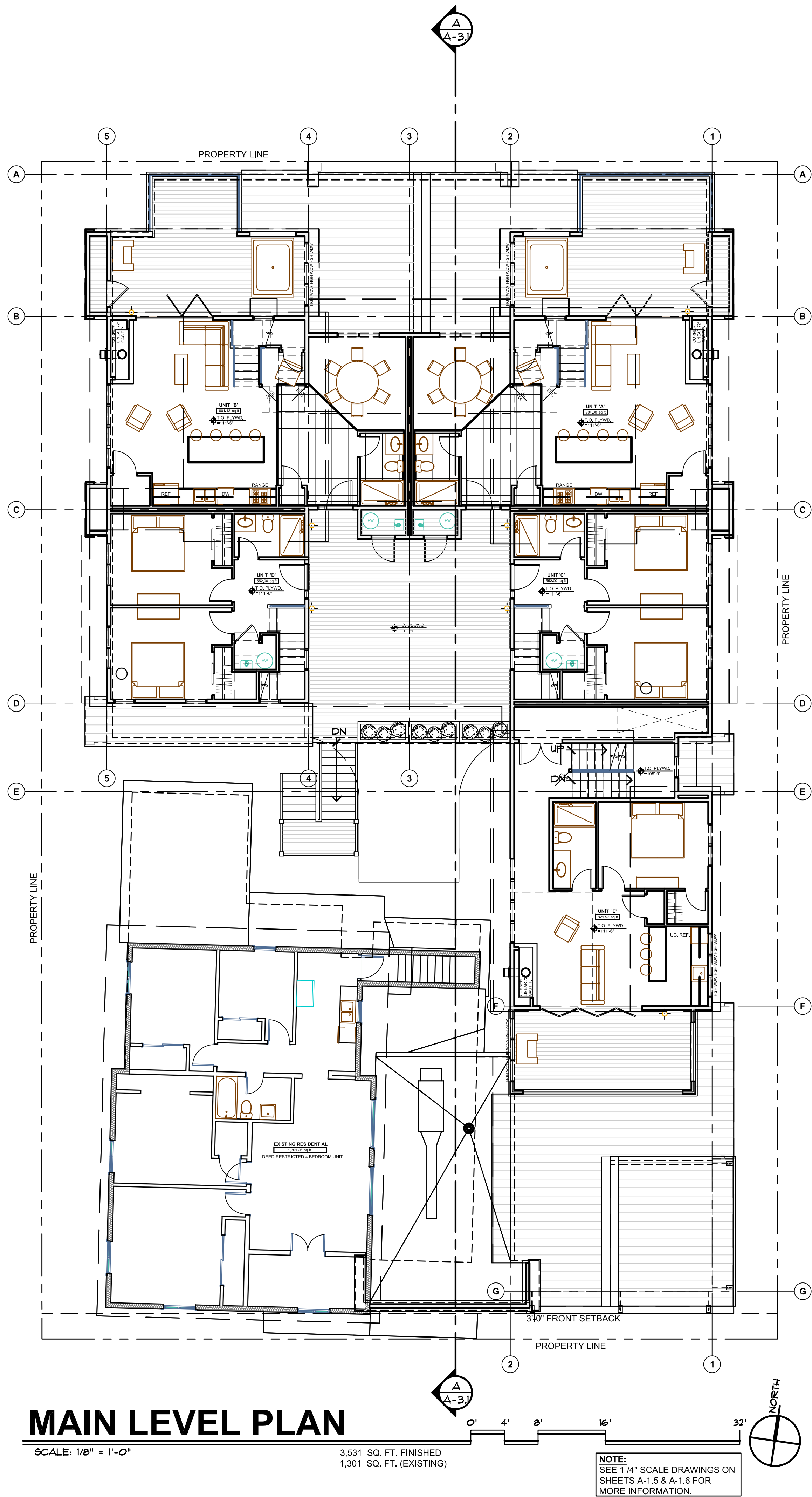
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GROUND AND MAIN
LEVEL PLAN

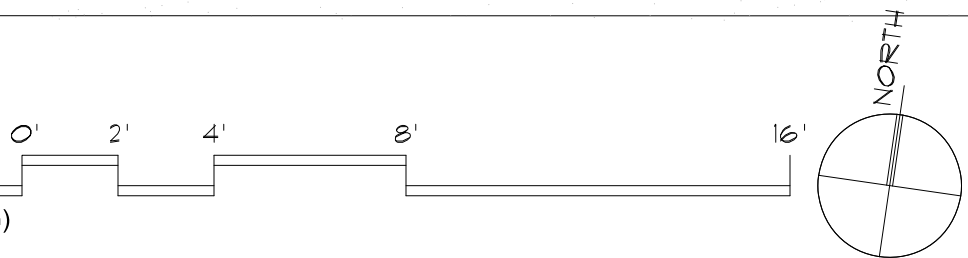




GROUND LEVEL PLAN

SCALE: 1/4" = 1'-0"

2,119 SQ. FT. RESTAURANT (EXISTING)
1,192 SQ. FT. RETAIL
199 SQ. FT. STAIRS & MECHANICAL



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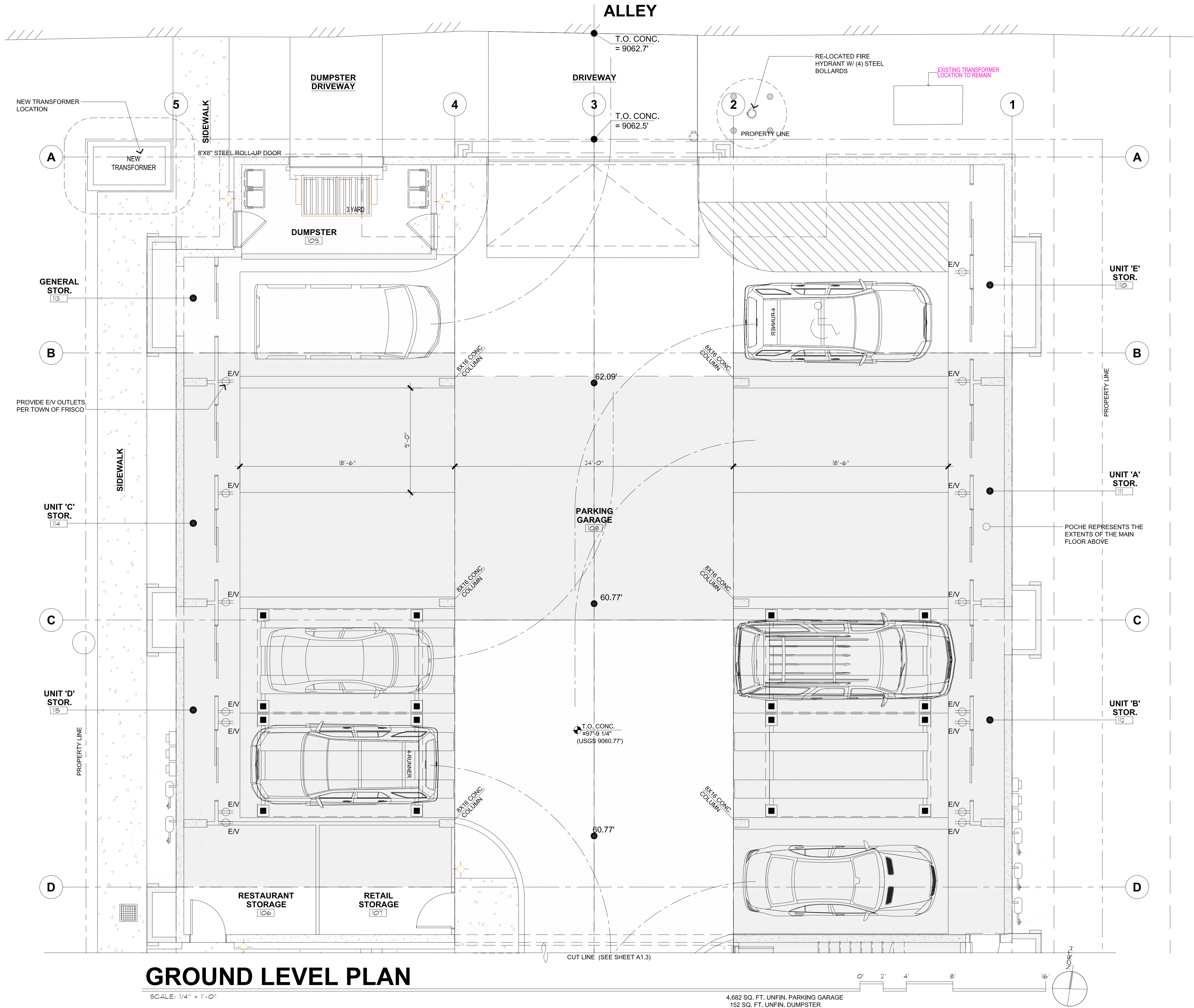
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121 EAST MAIN STREET, FRISCO COLORADO 80443
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A-1.3
GROUND LEVEL
PLAN



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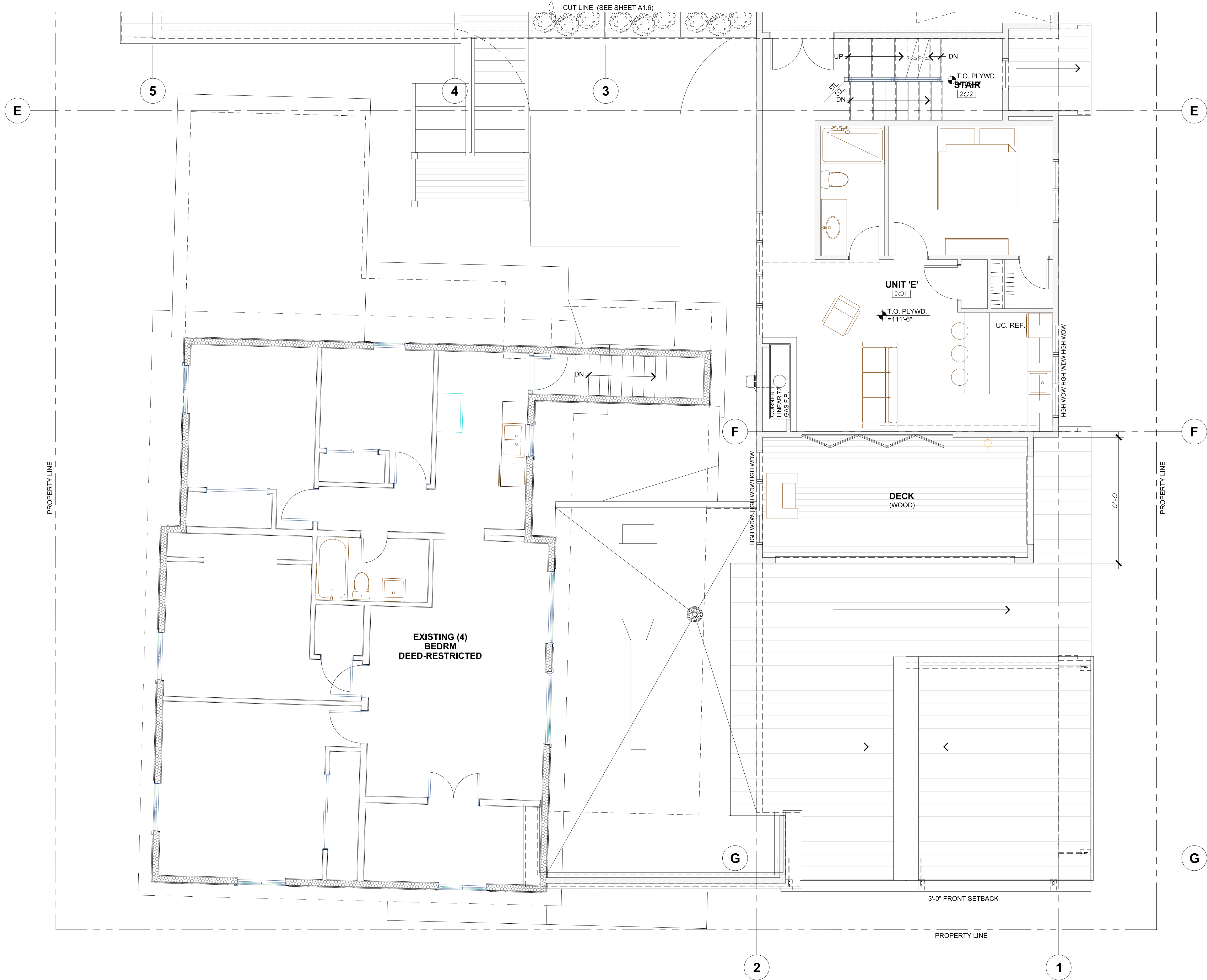
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SHEET NUMBER:

A-1.4
GROUND LEVEL PLAN



MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"

1,333 SQ. FT. FINISHED (EXISTING 4 BEDRM)
822 SQ. FT. FINISHED UNIT E

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SIXTH DEGREE TOWNHOMES

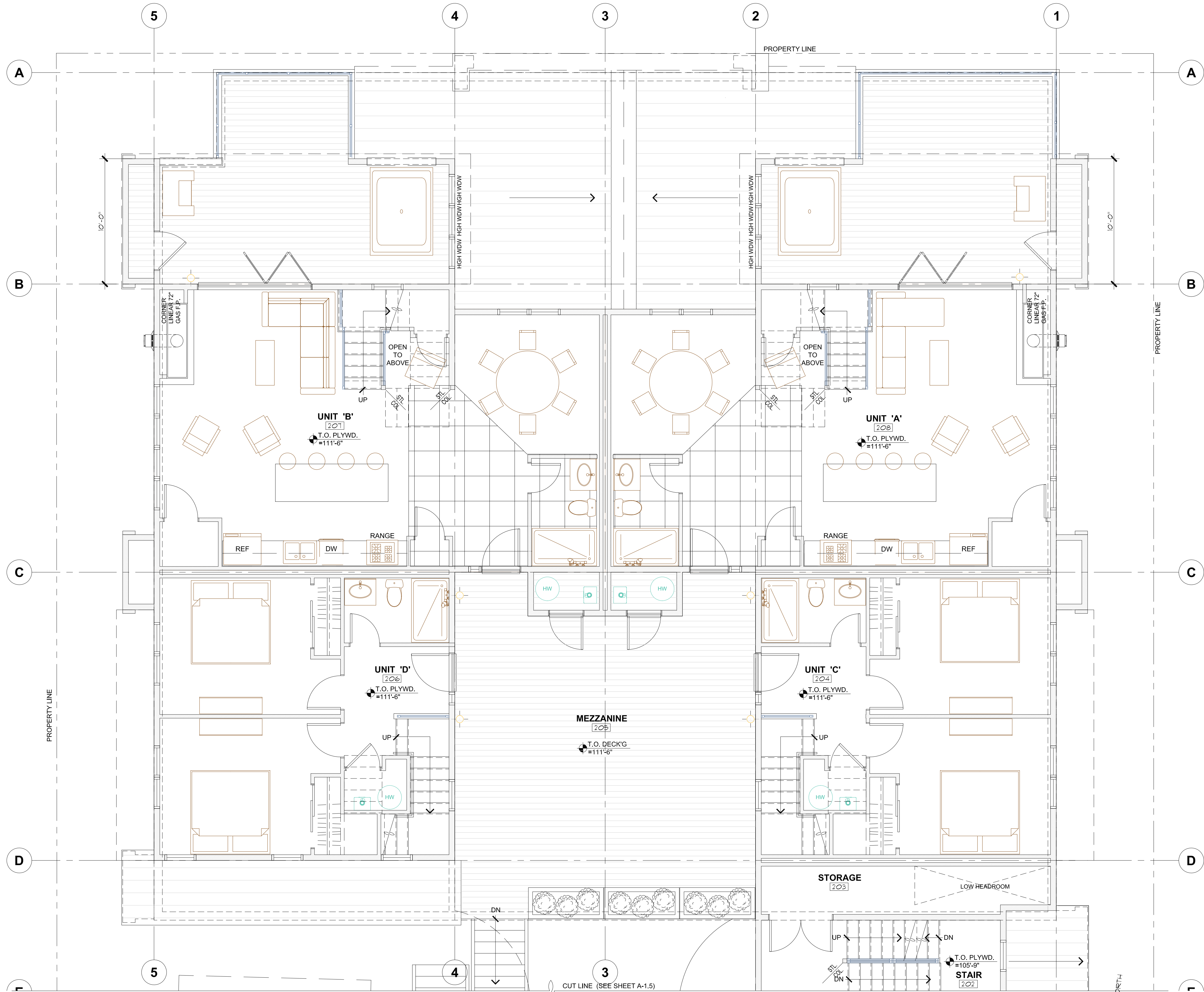
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(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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SHEET NUMBER:

A-1.5

MAIN LEVEL PLAN



MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"

804 SQ. FT. FINISHED UNIT A
801 SQ. FT. FINISHED UNIT B
552 SQ. FT. FINISHED UNIT C
552 SQ. FT. FINISHED UNIT D

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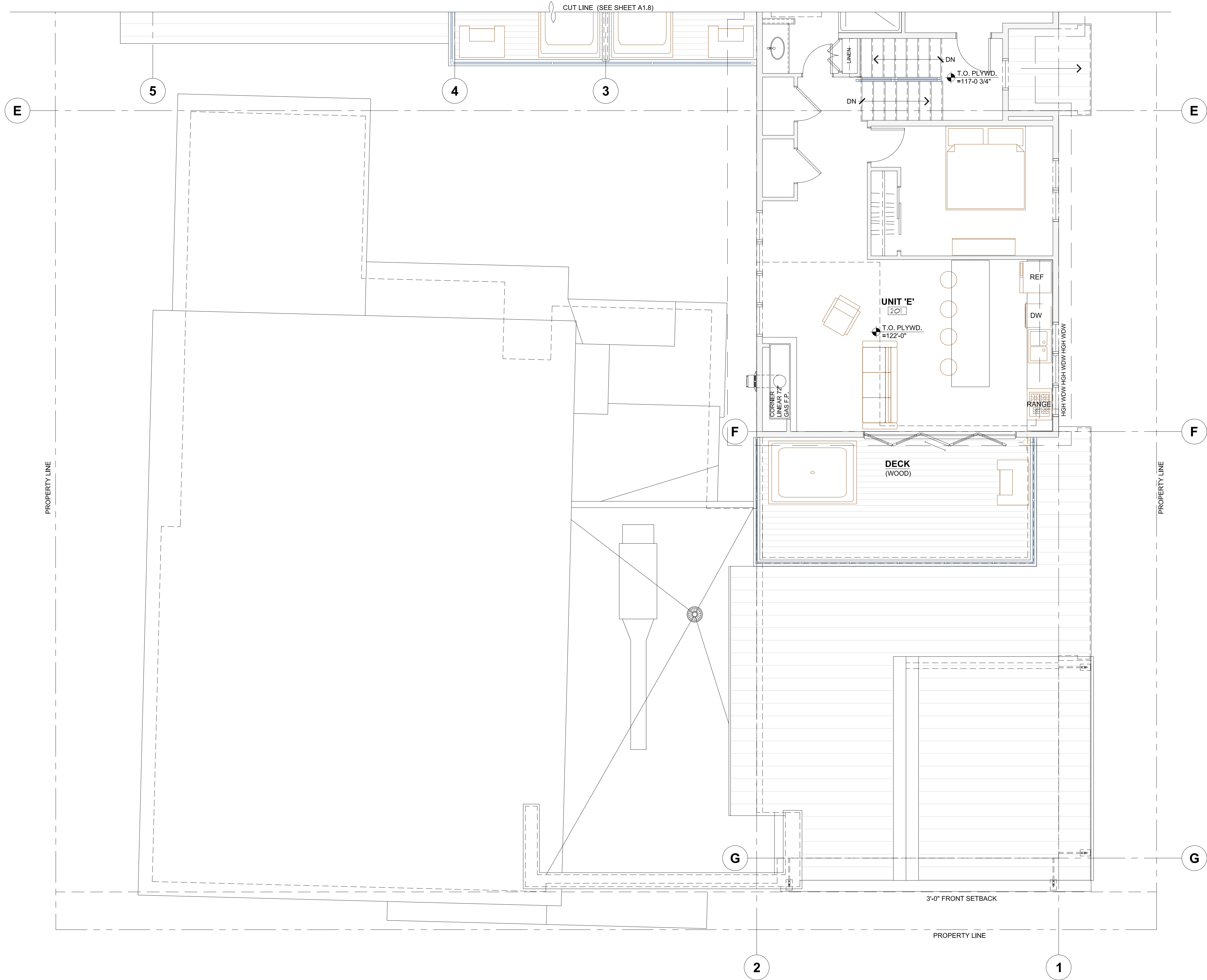
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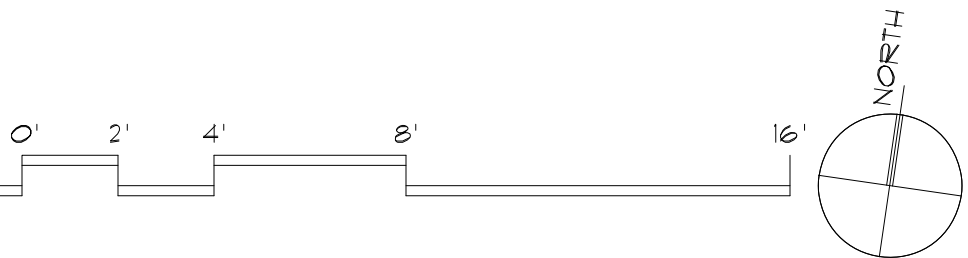
A-1.6
MAIN LEVEL PLAN



UPPER LEVEL PLAN

SCALE: 1/4" = 1'-0"

769 FINISHED SQ. FT. UNIT E



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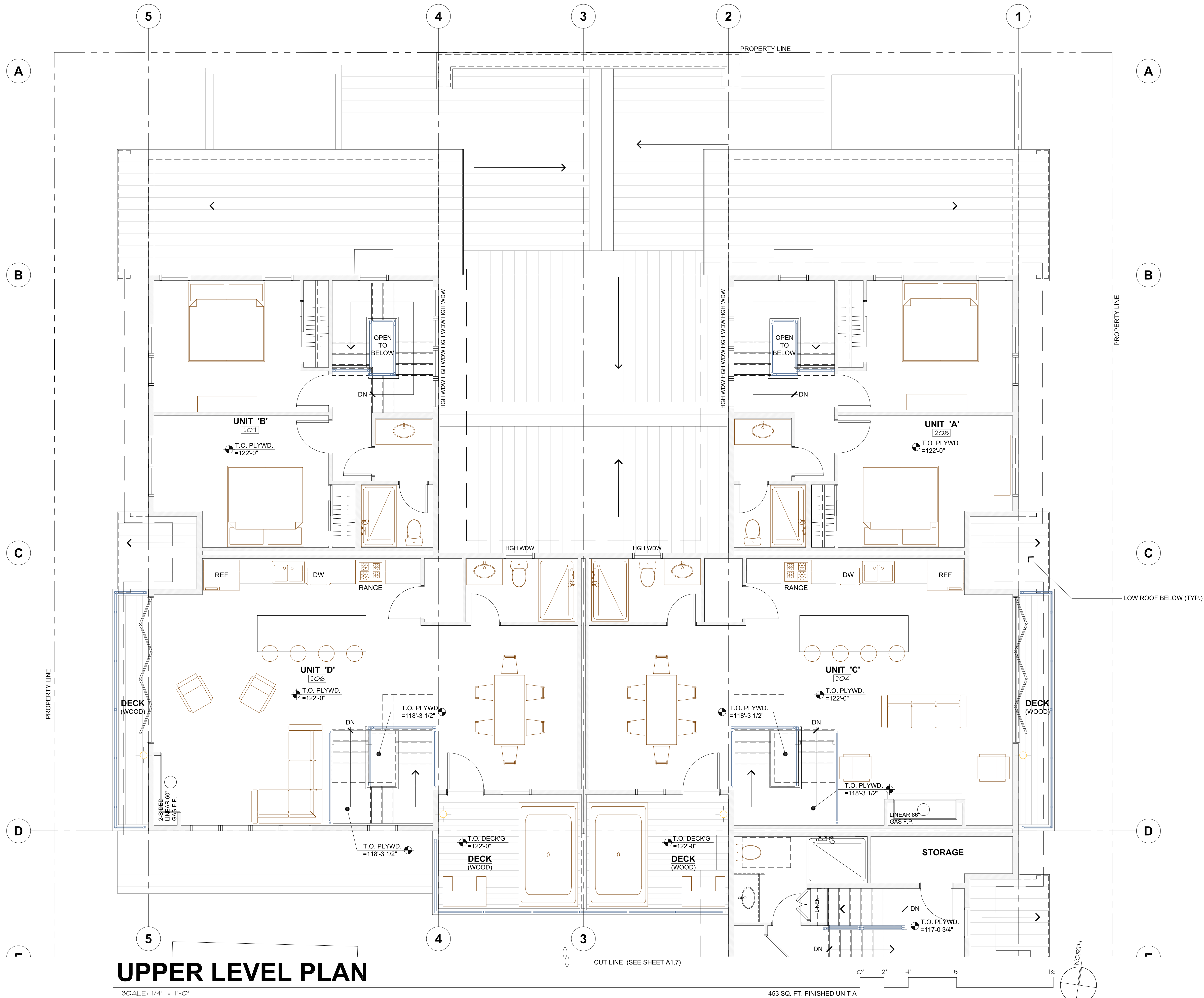
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SHEET NUMBER:

A-1.7
UPPER LEVEL
PLAN



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SIXTH DEGREE TOWNHOMES
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SHEET NUMBER:

A-1.8
UPPER LEVEL
PLAN

ROOF NOTES:

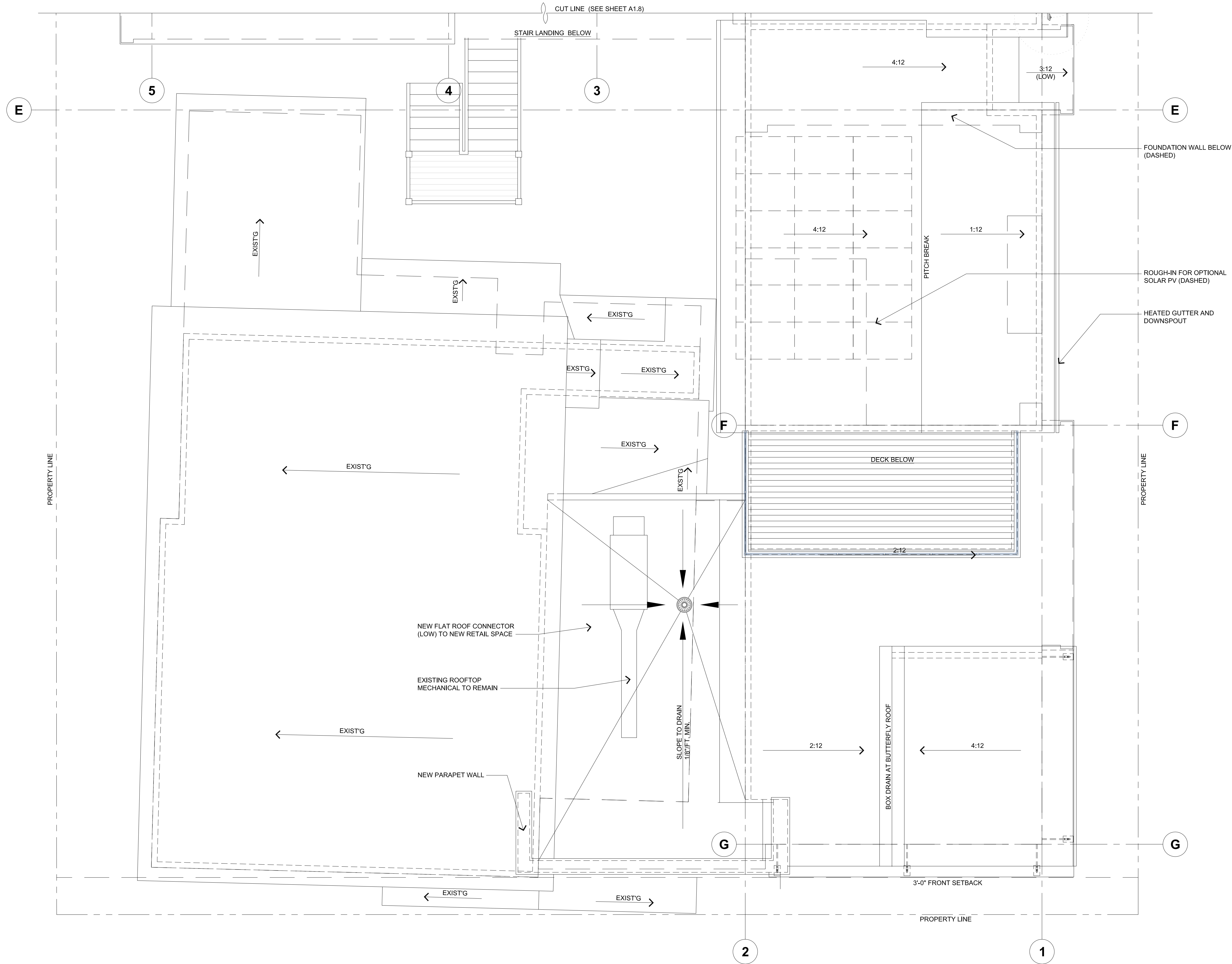
1. PROVIDE HEAT TAPE @ HEATED GUTTERS & DOWNSPOUTS. PROVIDE ELECTRIC OUTLET FOR HEAT TAPE AT EACH DOWNSPOUT LOCATION.
2. PAINT ALL EXPOSED PIPING EXTENDING THROUGH ROOF TO MATCH ROOF.
3. PROVIDE VALLEY FLASHING AT ALL VALLEYS.
4. OVERHANG DIMENSIONS ARE TO END OF RAFTER/TRUSSES - SEE DETAILS.
5. REFER TO PLAN FOR ALL ROOF OVERHANGS.
6. PROVIDE KICK-OUT FLASHING AT ALL EAVE/WALL JUNCTURES.
7. PROVIDE ADDITIONAL SOFFIT OUTLETS FOR CHRISTMAS LIGHTING - LOCATE PER OWNER INPUT.
8. SEE SHEET SP1.2 FOR BUILDING RIDGE HEIGHTS.
9. PROVIDE ILC AS REQUIRED.
10. CONTRACTOR TO COORDINATE HEATED GUTTER AND DOWNSPOUT LOCATIONS WITH ARCHITECT
11. ALL PLUMBING VENTS, BOILER VENTS, AND OTHER ROOF PENETRATIONS ARE WITHIN 5" OF RIDGE LINES. PAINT TO MATCH ROOF COLOR.

ROOFING NOTE:
REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.

MAINTENANCE NOTE:
THE OWNER HAS BEEN ADVISED THAT ALL ROOF AND DECK SURFACES MUST BE MAINTAINED RELATIVELY FREE OF SNOW & ICE.

COLD ROOF NOTE:

THIS PROJECT INCLUDES A "COLD ROOF" DESIGN. PROVIDE INSULATION BAFFLES AT ALL RAFTER SPACES AND HOLD DOWN VALLEY FRAMING TO ENSURE AIRFLOW ABOVE ALL VALLEYS. THIS INCLUDES FLUSH VALLEYS (SEE DETAIL). IF NECESSARY DRILL HOLES FOR VENTILATION AS APPROVED BY THE STRUCTURAL ENGINEER. THIS INCLUDES BEAMS AND ALL AREAS THAT RESTRICT AIR FLOW FROM SOFFIT VENTS UP TO RIDGE VENTS. PROVIDE 1" DIAMETER HOLES @ 8" O.C. IN THESE AREAS. RETAIN 1 1/2" OF BEAM ABOVE VENTILATION HOLES. VERIFY WITH STRUCTURAL ENGINEER.



ROOF PLAN

SCALE: 1/4" = 1'-0"

REVISIONS:

JOB NO: 52405
DATE: 08/14/25
DRAWN BY: T. SHAFFER
CHECKED BY: Z. LEVIN

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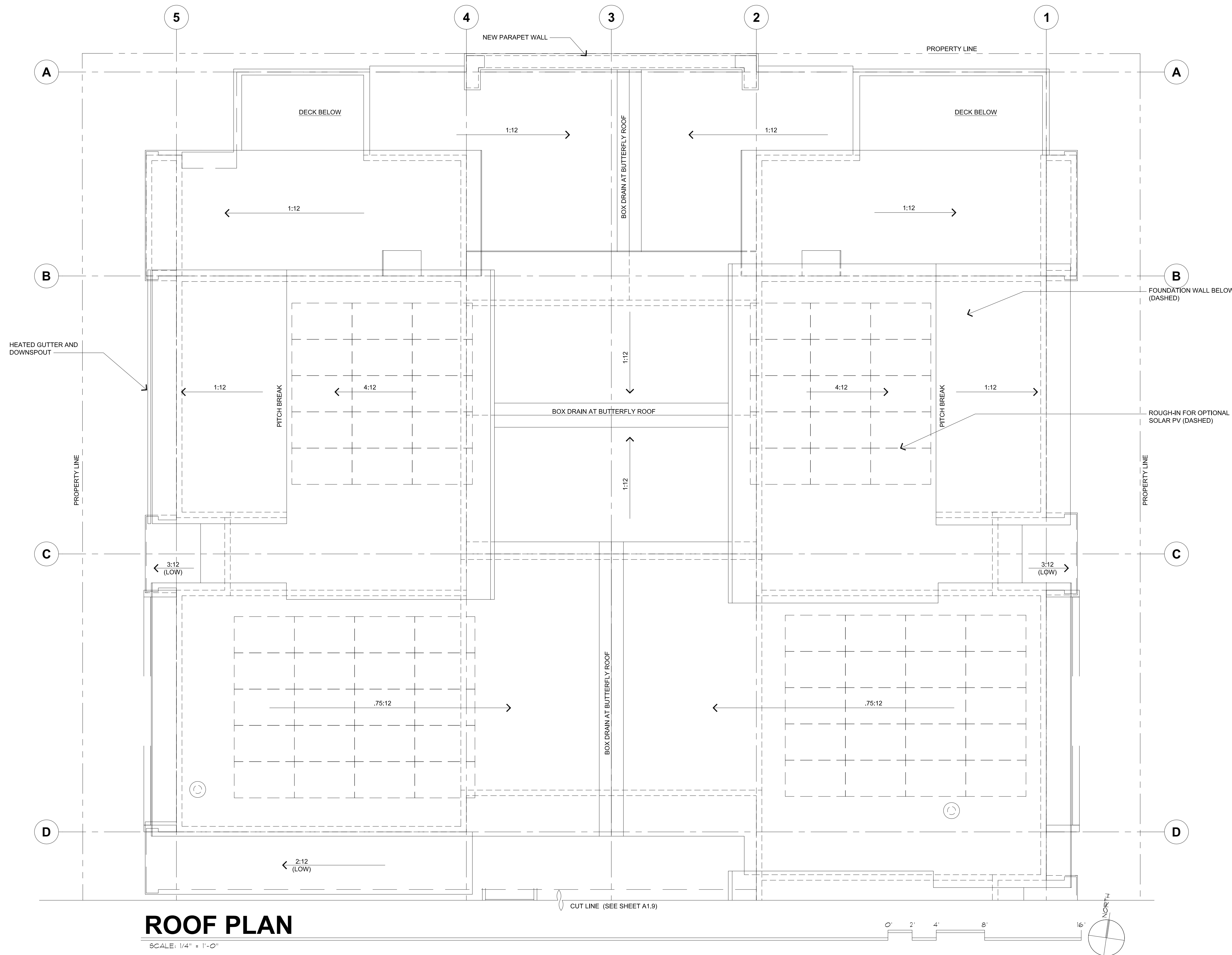
TOP REVISIONS: 08/14/25

bhh *Partners of Colorado*
560 ADAMS AVE., P.O. BOX 2113, SILVERTHORNE, CO 80498, (970) 453-6880 www.bhhpartners.com
SIXTH DEGREE TOWNHOMES
121 EAST MAIN STREET, FRISCO COLORADO 80443
(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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SHEET NUMBER:

A-1.9
ROOF PLAN



ROOF PLAN

SCALE: 1/4" = 1'-0"

REVISIONS:

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DATE: 08/14/25
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SIXTH DEGREE TOWNHOMES
121 EAST MAIN STREET, FRISCO COLORADO 80443
(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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SHEET NUMBER:

A-1.10
ROOF PLAN



SOUTHWEST PERSPECTIVE

SCALE: N.T.S.



SOUTHEAST PERSPECTIVE

SCALE: N.T.S.



NORTHEAST PERSPECTIVE

SCALE: N.T.S.



NORTHWEST PERSPECTIVE

SCALE: N.T.S.

COLOR LEGEND		
1	METAL ROOF -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: ASH GREY
2	METAL FASCIA	mfr: METAL SALES color: ASH GREY
3	WINDOW CLAD and FLASHINGS	mfr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDING -1X4 T & G	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE RHINO
5	HORIZONTAL SIDING -1X6 CHANNEL RUSTIC	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HIGHLANDS
6	HORIZONTAL SIDING -1X8 SHIPLAP	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT	mfr: METAL SALES color: BLACK
8	METAL ROOFING (VERTICAL) -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: ASH GREY

REVISIONS:

JOB NO: 52405
DATE: 06.20.25
DRAWN BY: T. SHAFFER
CHECKED BY: Z. LEVIN

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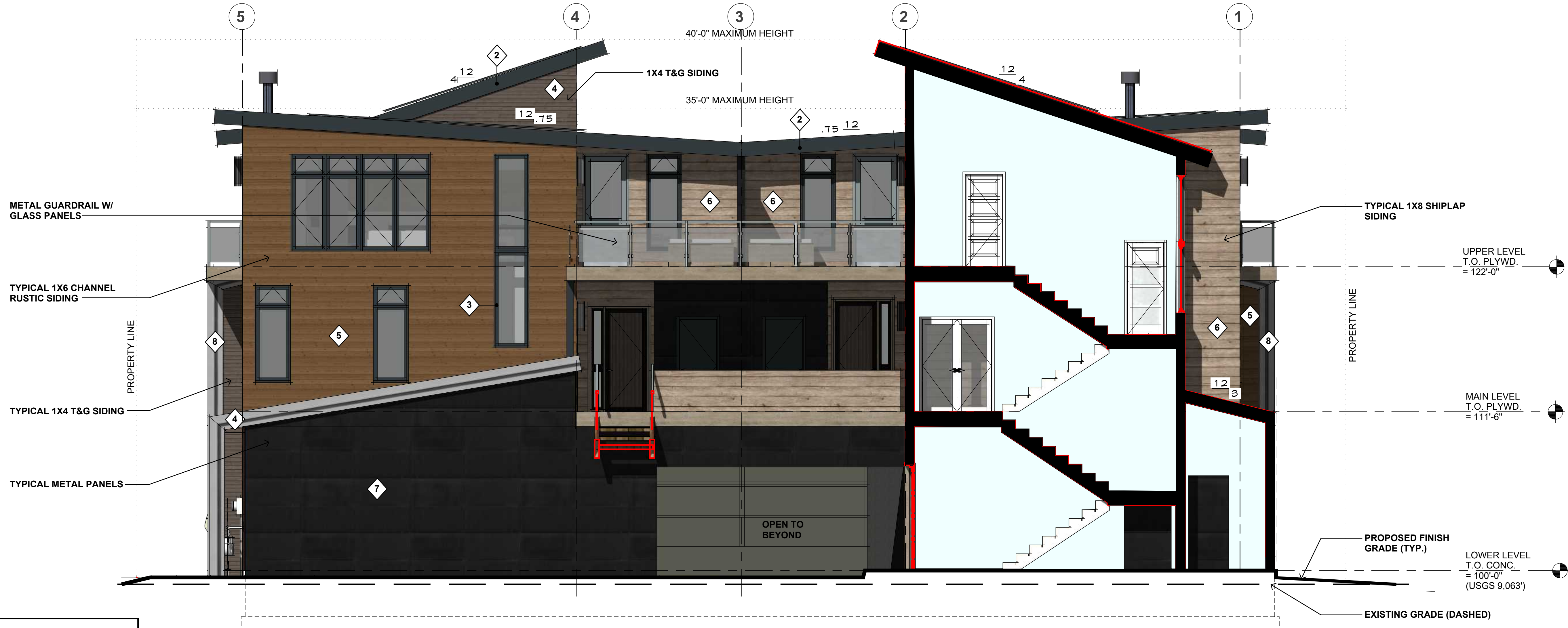
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SIXTH DEGREE TOWNHOMES
121 MAIN ST., FRISCO, COLORADO
(LOTS 1 & 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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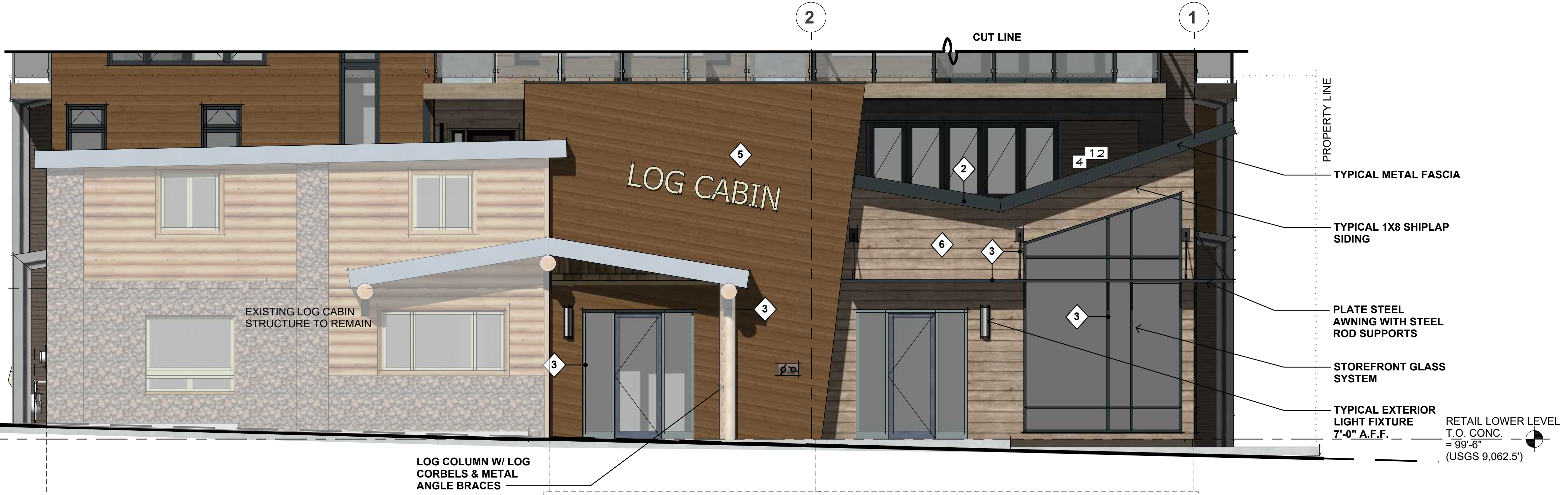
A-2.1
BUILDING
PERSPECTIVES



SOUTH ELEVATION/ PARTIAL SECTION

SCALE: 1/4" = 1'-0"

0' 2' 4' 8' 16'



SOUTH ELEVATION at LOG CABIN

SCALE: 1/4" = 1'-0"

0' 2' 4' 8' 16'

COLOR LEGEND		
1	METAL ROOF -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: ASH GREY
2	METAL FASCIA	mfr: METAL SALES color: ASH GREY
3	WINDOW CLAD and FLASHINGS	mfr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDING -1X4 T & G	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE RHINO
5	HORIZONTAL SIDING -1X6 CHANNEL RUSTIC	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HIGHLANDS
6	HORIZONTAL SIDING -1X8 SHIPLAP	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT	mfr: METAL SALES color: BLACK
8	METAL ROOFING (VERTICAL) -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: ASH GREY

(EXIST'G)
UPPER LEVEL
T.O. PLYWD.
= 108'-6"

(EXIST'G)
RETAIL LOWER LEVEL
T.O. CONC.
= 99'-6"
(USGS 9,063')

REVISIONS:

JOB NO: 52405
DATE: 06.20.25
DRAWN BY: T. SHAFFER
CHECKED BY: Z. LEVIN

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SIXTH DEGREE TOWNHOMES
121 MAIN ST., FRISCO, COLORADO
(LOTS 1 & 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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A-2.2
SOUTH
ELEVATION



WEST ELEVATION

SCALE: 1/4" = 1'-0"



COLOR LEGEND		
1	METAL ROOF -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: ASH GREY
2	METAL FASCIA	mfr: METAL SALES color: ASH GREY
3	WINDOW CLAD and FLASHINGS	mfr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDINGmfr: SPECIALTY WOOD PRODUCTS -1X4 T & G	color: NEW AGE RHINO
5	HORIZONTAL SIDINGmfr: SPECIALTY WOOD PRODUCTS -1X6 CHANNEL RUSTIC	color: NEW AGE HIGHLANDS
6	HORIZONTAL SIDINGmfr: SPECIALTY WOOD PRODUCTS -1X8 SHIPLAP	color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT	mfr: METAL SALES color: BLACK
8	METAL ROOFING (VERTICAL) -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: ASH GREY



WEST ELEVATION at LOG CABIN

SCALE: 1/4" = 1'-0"



REVISIONS:

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A-2.3
WEST
ELEVATION

SIXTH DEGREE TOWNHOMES
121 MAIN ST., FRISCO, COLORADO
(LOTS 1 & 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

(EXIST'G)
UPPER LEVEL
T.O. PLYWD.
= 108'-6"

(EXIST'G)
RETAIL LOWER LEVEL
T.O. CONC.
= 99'-6"
(USGS 9,062.5')

COLOR LEGEND		
1	METAL ROOF -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: ASH GREY
2	METAL FASCIA	mfr: METAL SALES color: ASH GREY
3	WINDOW CLAD and FLASHINGS	mfr: SIERRA PACIFIC color: BLACK
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6	HORIZONTAL SIDING -1X8 SHIPLAP	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT	mfr: METAL SALES color: BLACK
8	METAL ROOFING (VERTICAL) -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: ASH GREY



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS:

JOB NO: 52405
DATE: 06.20.25
DRAWN BY: T. SHAFFER
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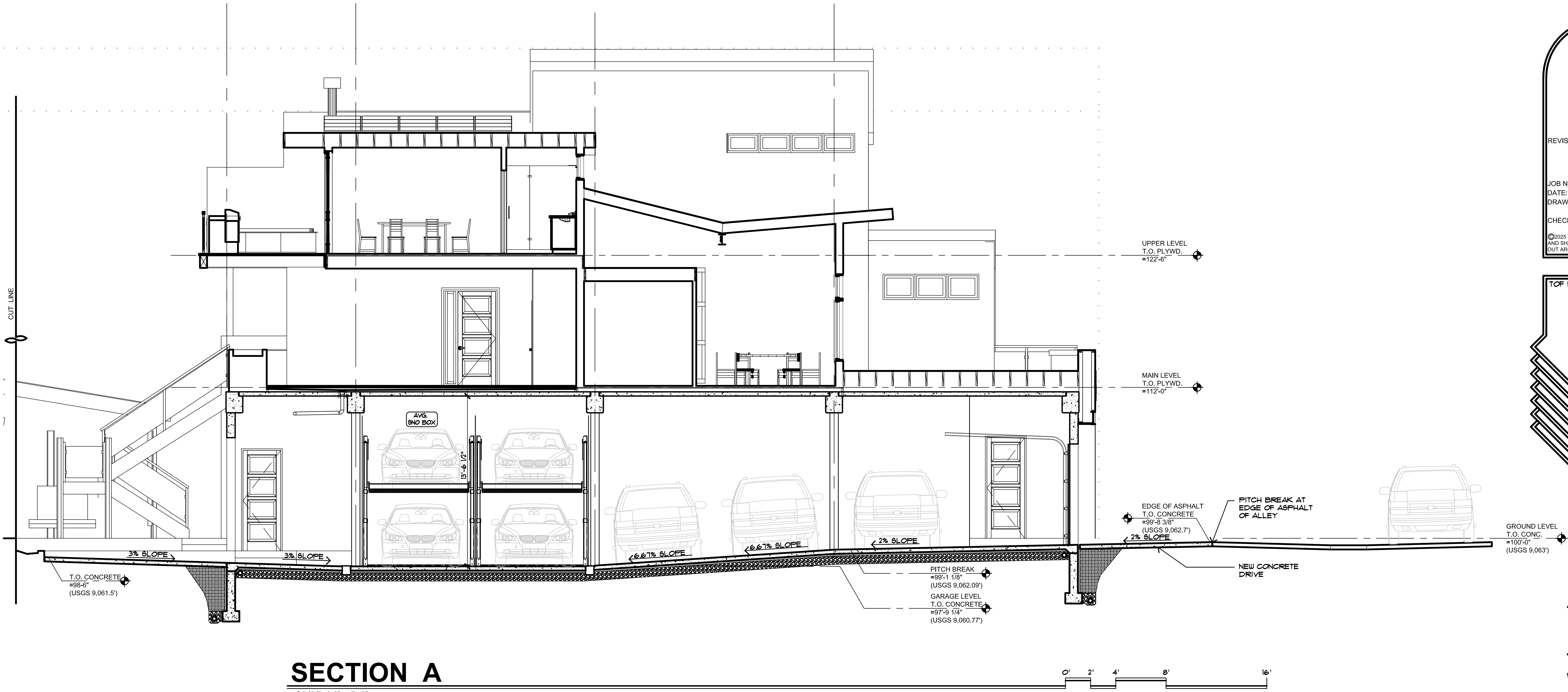
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SIXTH DEGREE TOWNHOMES
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(LOTS 1 & 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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A-2.4
NORTH
ELEVATION



SECTION A

SCALE: 1/4" = 1'-0"

REVISIONS:

JOB NO: 52405
DATE: 08/14/25
DRAWN BY: J PAWLAK
CHECKED BY: Z LEVIN

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TOF REVISIONS: 08/14/25

GROUND LEVEL
T.O. CONC.
=100'-0"
(USGS 9,063)

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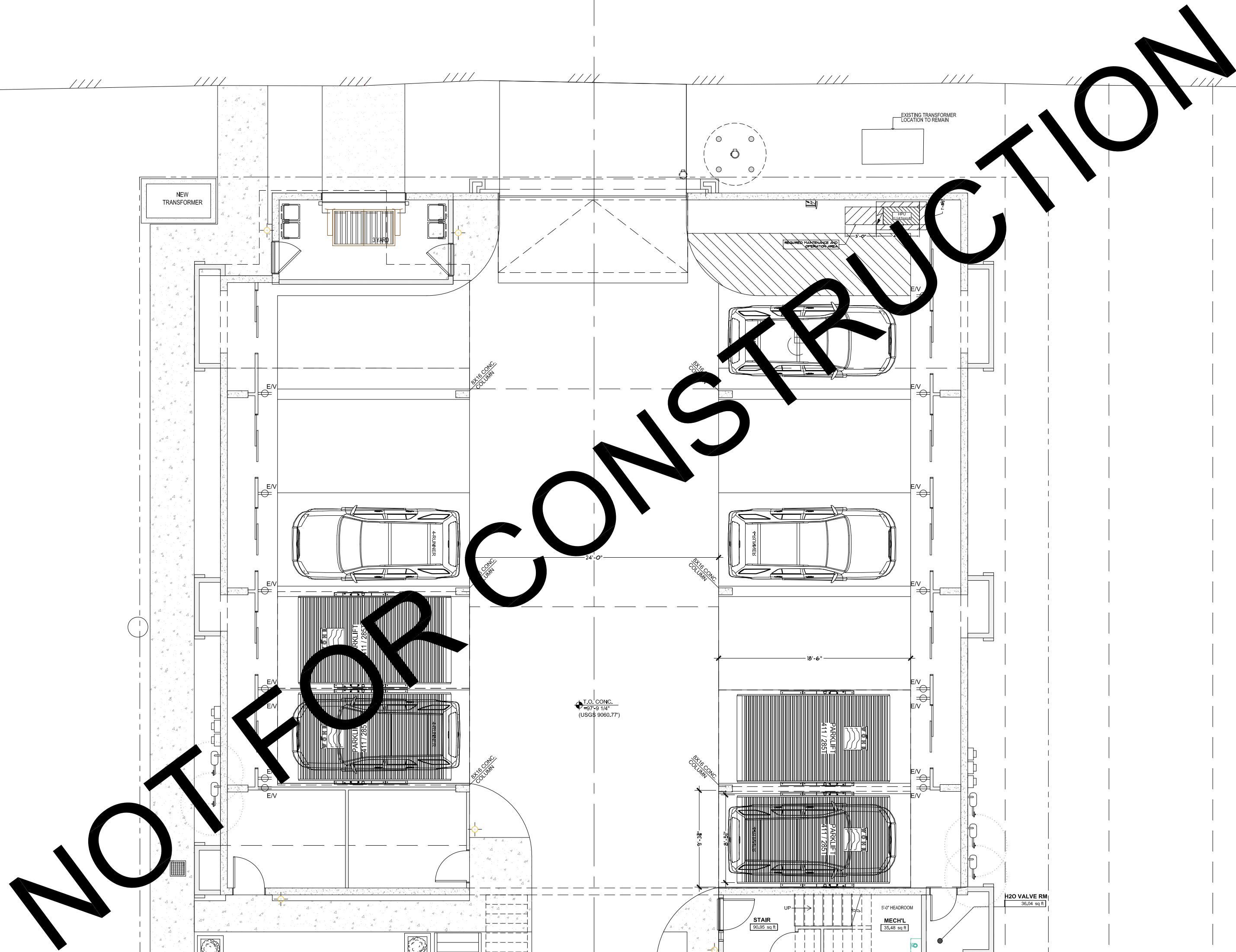
SIXTH DEGREE TOWNHOMES

121 EAST MAIN STREET, FRISCO COLORADO 80443
(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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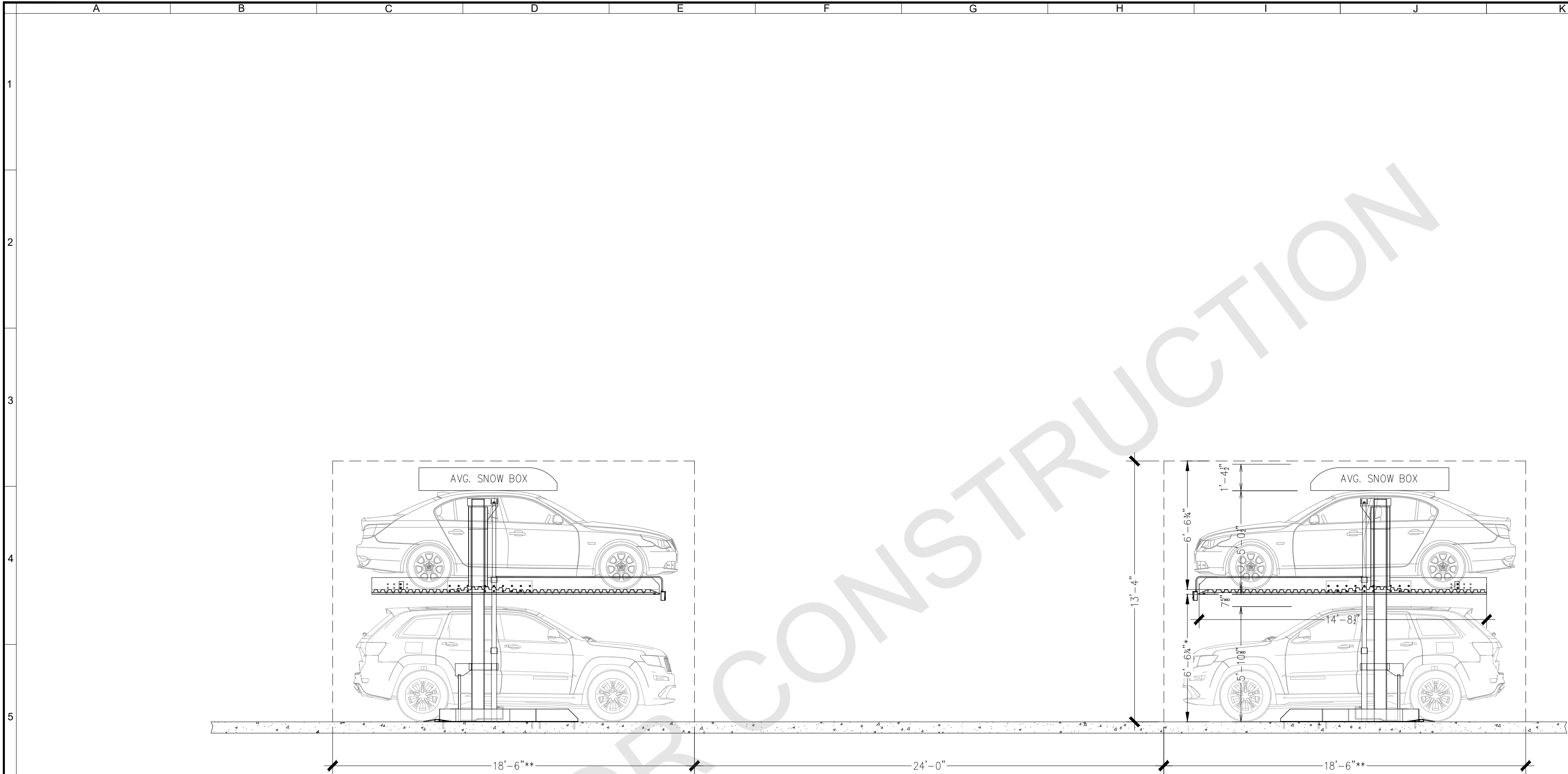
SHEET NUMBER:

A-3.1
BUILDING SECTIONS



HARDING
AUTOPARK SYSTEMS

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* MAXIMUM HEIGHT UNDER PLATFORM
** MAXIMUM 1% SLOPE IN EITHER LONGITUDINAL OR CROSS DIRECTION

121 EAST MAIN STREET FRISCO, CO



Scale: 1/8" : 1'-0"
Issue Date: 08.12.2025

August 12, 2025

To: Margaret Ziedin
From: Steve Mandic
RE: Wohr Parklift Mechanical Stacker

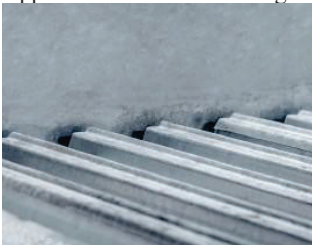
Margaret, thank you for including the Wohr Parklift Mechanical Stacker in your parking project for 121 E. Main Street in Frisco Colorado. The Wohr Parklift Mechanical Stacker has been in production for over 5 years, and Harding Autopark Systems has installed 2,325 units since 2000. We have also installed the Parklift units in colder climates such as, Jackson Wyoming, Bozeman Montana, Aspen Colorado, Boston Massachusetts to name a few.

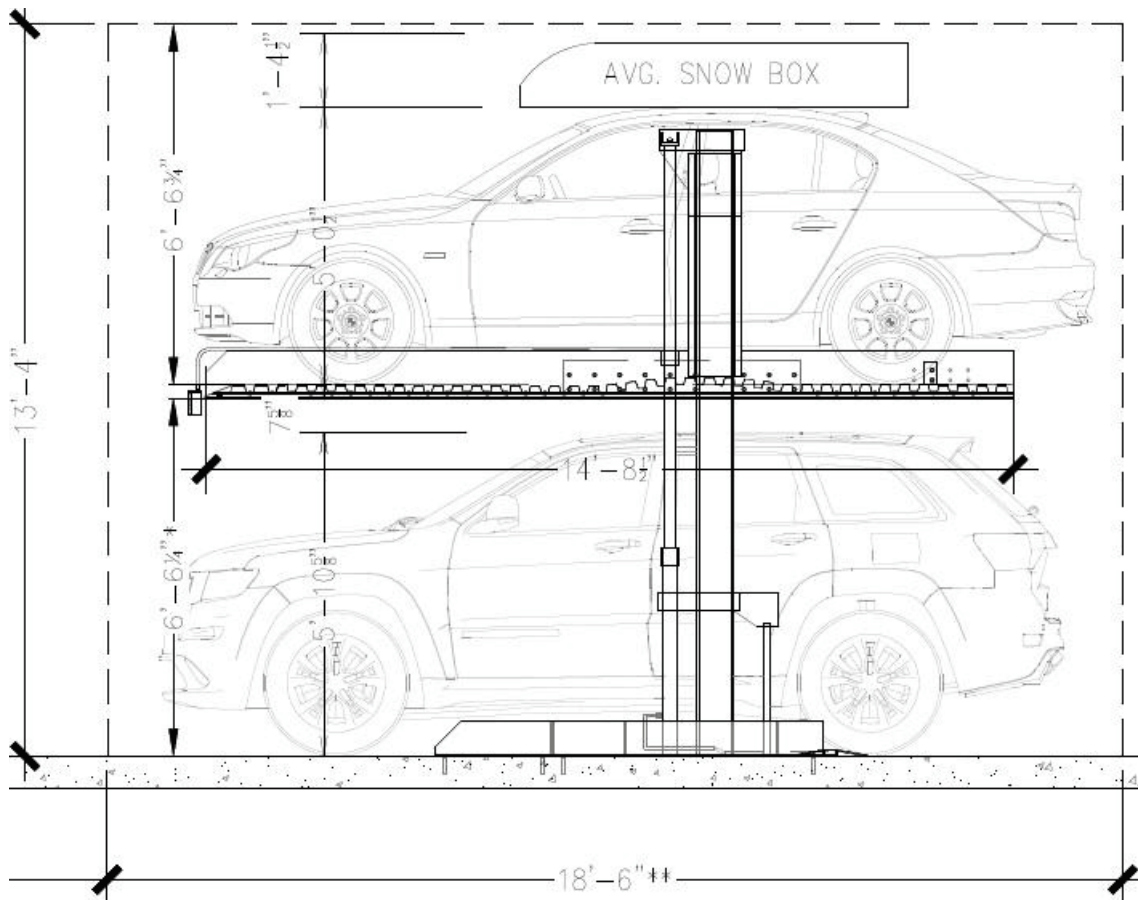
The Parklift Mechanical Stackers are built with steel that is 100% galvanized with a Zinc-aluminum-magnesium alloy coating to prevent rusting and corrosion. The upper parking platform is a Trapezoidal profile to assist with rain and snow conditions. The platform has four drains located in the corners to reduce dripping on the lower vehicle. The Parklifts are self-standing, self-supporting structures that are engineered to be fastened to the existing parking foundation. Some municipalities like Los Angeles (LADBS) have preapproved parking systems like the Parklift Mechanical Stacker. Other notable features include the following:

- Operated through a central hydraulic power pack
- Accommodating most popular SUV's
- Standard key-lock switch for security and safety
- Automatic shut-off if operator releases the key-switch
- Steel-on steel locks hold the upper platform in place
- Electronic lock system
- Mechanical travel height protection stops
- Hydraulic velocity fuse protections
- Back up UPS system in the event of a power failure all vehicles can be lowered

All of our installations are custom designed for each building application. We have also designed the layout below to accommodate larger SUV's and vehicles that a Snow Box attached to the roof.

Upper Platform Surface Image



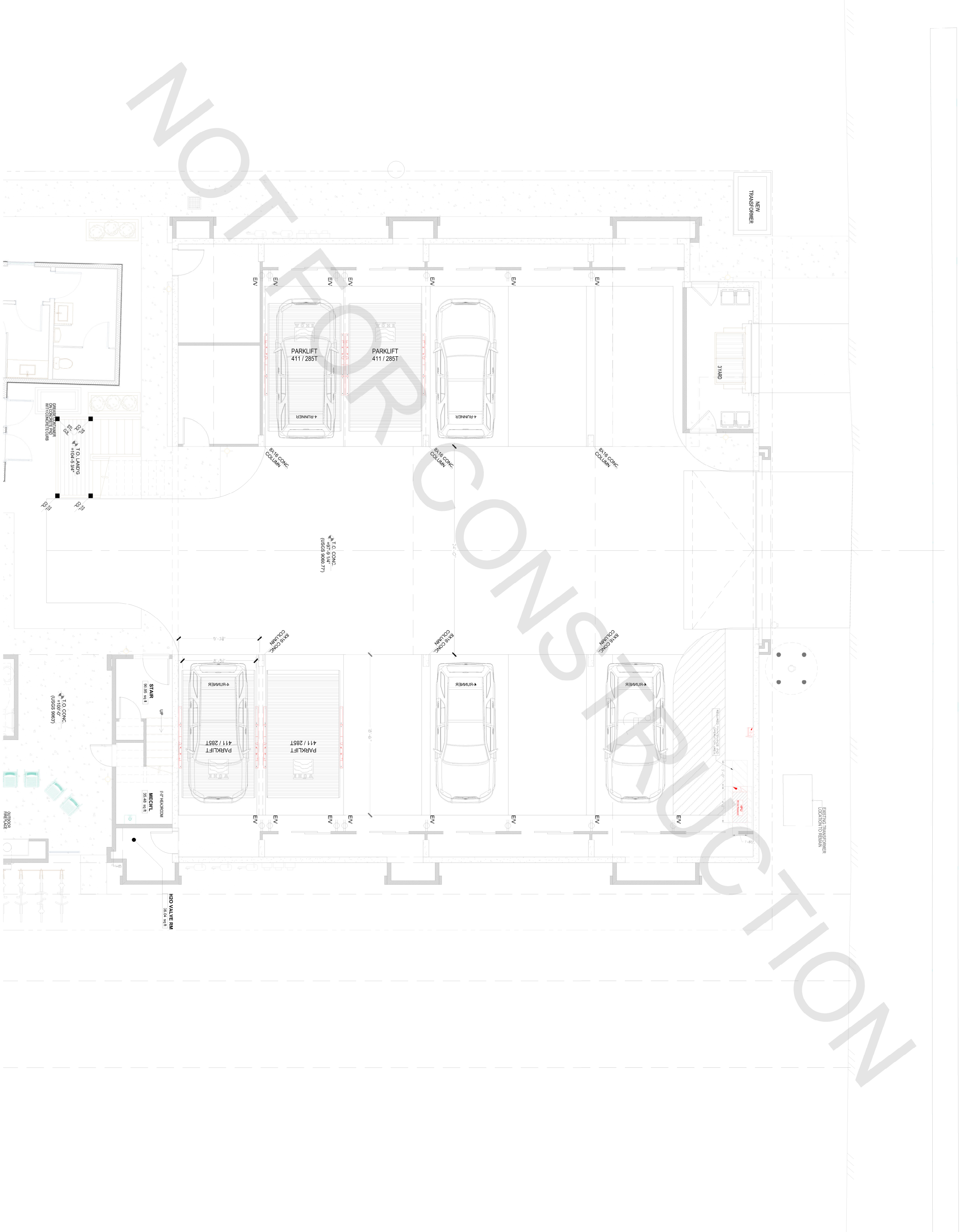


* MAXIMUM HEIGHT UNDER PLATFORM

** MAXIMUM 1% SLOPE IN EITHER LONGITUDINAL OR CROSS DIRECTION

Thank you,

Steve Mandic
Regional Sales Director Southwest
Harding Autopark Systems
(626) 340-7002 Cell
Email – Steve @hardingaps.com



121 EAST MAIN STREET FRISCO, CO



Scale: 1/8" = 1'-0"
Issue Date: 08.12.2025