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for All of Us®

MEMORANDUM

TO: Kris Valdez, Principal Planner

FROM: Chris McGinnis, PE

DATE: January 5, 2026

RE: MAJ-25-0002 (121 E Main Street) Major Site Plan Engineering Review

The sketch plan submittals for MAJ-25-0002 were reviewed for general conformance with Town Code, standards, and general engineering principals. Plans have been attached which include engineering comments. Many of the comments are details which can be addressed further in the review process. However, the main concerns are the width and alignment of the modified Main Street driveway entrance for 201 E Main Street (Loaf and Jug). The proposed width does not meet the Town code requirement of 24 feet for commercial driveways (the plans measure 24' incorrectly and does not account for the driveway radius). Additionally, the proposed driveway location is significantly offset from South 2nd Avenue (see Sheet C-1 of attached plans for an approximation of this issue). This skew would result in intersection safety concerns. Additional analysis and revision of the driveway design is recommended to meet Town code, provide vehicle access to 201 E Main, and optimize intersection safety.

In addition to the driveway concerns, the submittal would require a waiver from the Public Works Director for both the parking slope in the garage and the separation between the alley parking garage driveway and the dumpster driveway.

The Town/SEH reserves the right to add or modify comments based on new or revised information provided by the Applicant(s).

Chris McGinnis, PE
SEH, Inc.

121 Sixth Degree - Jamie - Updated GP Narrative

Date: 12/05/2025

Planning Commission

Town of Frisco

P.O. Box 4100

Frisco, CO 80443

Re: Major Submission Project Narrative for Sixth Degree Town Homes located at:

121 E Main St.

Frisco, CO 80443

Dear Planning Commission,

Thank you for considering our project for Major Site Plan review. In our amended submittal package, you will see all required documents that we feel express our intent for this project, as well as our project narrative that is outlined below.

Thank you very much for your time.

Sincerely,

Margaret Ziedin

Sixth Degree Development, LLC

Legal Description: A Condominium Plat of Lots 1-2, Block 2, Plus the West 37 1/2 Feet of Second Avenue, King Solomon Addition to Frisco Townsite Section 35, Township 5 South, Range 78 West of the Sixth Principal Meridian Town of Frisco, County of Summit, State of Colorado

Name of Development: Sixth Degree Town Homes

Property Owner: Baseline 121, LLC (Baseline Capital Investment, LLLP)
2020 Baseline Dr, Grand Junction, CO 81507

General Partner: John P Poovey

Applicant: Sixth Degree Development, LLC
Margaret D Ziedin 891 14th St, #3602
Denver, CO 80202

Zoning: CC

Engineer/Surveyor: Tomas S Marcin
Marcin Engineering
130 Ski Hill Road, #235, Breckenridge, CO 80424

Architect: Zane Levin
BHH Partners
560 Adams Ave, Silverthorne, CO 80498

Property Owner Consent: Attached

121 SIXTH DEGREE MAJOR SITE PLAN NARRATIVE

Town of Frisco, Colorado – Planning Commission Submission

1. Project Overview

The proposed development, known as Sixth Degree Town Homes, is a mixed-use building located at 121 E Main Street in Frisco, Colorado. The site is zoned Central Core (CC), where mixed-use buildings incorporating residential and commercial uses are not only permitted but encouraged. This project embraces Frisco’s vision for a vibrant, walkable downtown with thoughtful architecture and a commitment to sustainability, inclusivity, and quality design.

2. Site Context & Design Intent

The site spans approximately 0.22 acres and lies within the pedestrian corridor. The design draws inspiration from mountain town architecture while integrating contemporary elements.

Design intent:

- Two commercial units at ground level and six residential units above, including existing newly renovated deed-restricted unit above Casa Sanchez restaurant.
- Promote walkability and enhance the pedestrian experience.
- Comply with UDC dimensional, architectural, and use standards.
- Incorporate best practices from the 2021 IBC.

3. Land Use & Zoning Compliance

- Mixed-use is permitted in CC zoning.
- Development meets lot area, setback, and height requirements.
- No conditional use permit required.

4. Building Design & Architecture

- Façade articulation includes recessed balconies, wood accents, and glazing.
- Replacing previously modern elements with more 'traditional' at the entries to the commercial building, blending the roofline angles.
- Pitched and flat roof elements for snow management and screening of existing commercial equipment.
- Durable mountain-appropriate materials.

5. Site Access, Parking & Circulation

- Access from South 6th Avenue and alley.
- 15 parking spaces (including 1 ADA and 2 EV-ready).
- Exterior and secure interior bicycle parking.
- ADA pedestrian access included.

6. Open Space & Landscaping

- Native, drought-tolerant landscaping.
- Shared resident courtyard.
- Snow storage plan updated.

7. Lighting & Signage

- Full cutoff, downward LED lighting.
- Signage to comply with Frisco Sign Code.

8. Utilities & Drainage

- Connect to existing municipal infrastructure.
- Updated drainage plan includes pervious pavers and bioretention.

9. Energy Efficiency & IBC Compliance

- Exceeds 2021 IECC standards.
- Fire safety, egress, and accessibility requirements met.
- High-performance insulation, Energy Star appliances, and efficient HVAC.

10. Community Benefits & Sustainability

- Provides attainable housing.
- Revitalizes underutilized parcel.
- Encourages downtown activity.
- Includes EV readiness, bicycle infrastructure, and native landscaping.

11. Conclusion

121 Sixth Degree is a code-compliant development aligned with Frisco's long-term goals. We respectfully submit this narrative for review.

Sixth Degree Development, LLC
891 14th St, #3602
Denver, CO. 80202
702-378-5627

2024 12 09

Town of Frisco
1 Main St, Frisco, CO. 80443
Planning and Community Development

Re: Letter of Consent
Application of Major Plan Submission 121 E Main Street, Frisco, CO. 80443

To whom it may concern:

I John Poovey General Partner of Baseline Capital Investment, LLLP at 2020 Baseline Drive, Grand Junction, CO. 81507.

Baseline Capital Investment, LLLP is owner of Baseline 121, LLC the entity for real property Schedule # 6520093

Baseline 121 LLC, provides consent to Sixth Degree Development , LLC, a partnership of John Poovey – Member and Margaret Ziedin – Managing Member, to submit application for major site plan approval and management of development and construction oversight.

Sincerely,


John Poovey (Dec 9, 2024 11:22 MST)


Heather A Poovey (Dec 9, 2024 08:23 MST)

John & Heather Poovey

Baseline Capital Investment. LLLP

Baseline 121, LLC

970-201-9590

JohnPooveydm@gmail.com

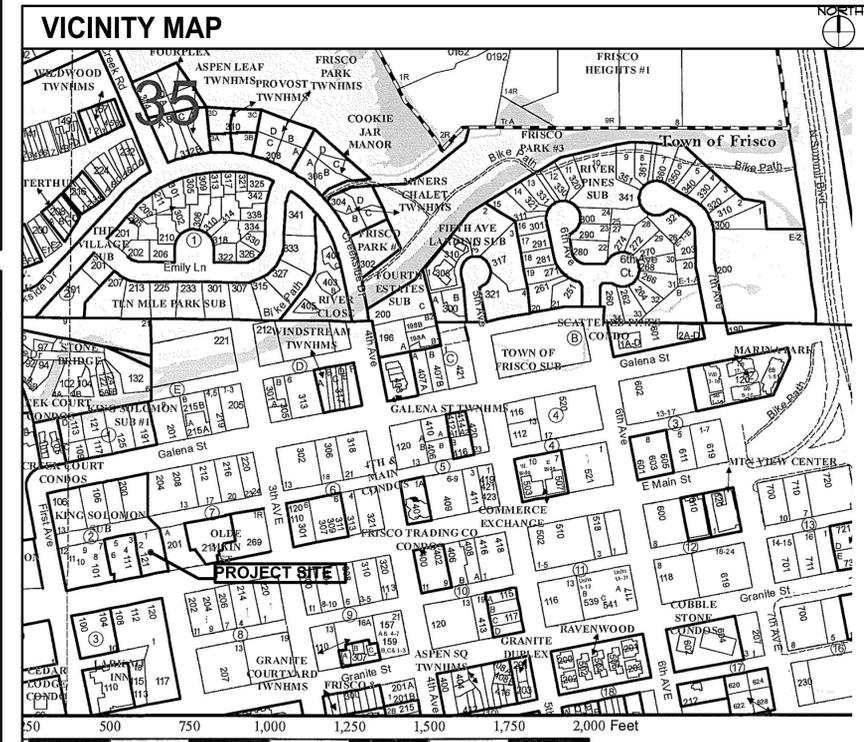
SIXTH DEGREE TOWNHOMES

GENERAL NOTES

- 1) COPYRIGHT: ALL PLANS, DESIGNS, AND CONCEPTS SHOWN IN THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF BHH PARTNERS PLANNERS/ARCHITECTS, A.I.A./P.C. AND SHALL NOT BE USED, DISCLOSED, OR REPRODUCED FOR ANY PURPOSE WHATSOEVER WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.
- 2) CODES: THIS PROJECT IS GOVERNED BY THE INTERNATIONAL RESIDENTIAL CODE 2018 EDITION AS ADOPTED BY SUMMIT COUNTY, COLORADO. CODE COMPLIANCE IS MANDATORY. THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT CONFORM TO THESE CODES. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS. BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER PURPOSES.
- 3) FIELD VERIFICATION: VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIALS. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES IN THE DRAWINGS IMMEDIATELY.
- 4) DIMENSIONS: WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS SHOWN PRIOR TO BEGINNING ANY WORK AND NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES FOR INTERPRETATION OR CLARIFICATION. PLAN DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS, FACE OF WOOD FURRING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTED. SECTION OR ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR TOP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.
- 5) DISCREPANCIES: THE OWNER HAS REQUESTED THE ARCHITECT TO PROVIDE LIMITED ARCHITECTURAL AND ENGINEERING SERVICES. IN THE EVENT ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE CONTRACTOR FOR CONSTRUCTION OF ANY ASPECT OF THIS PROJECT, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT. FAILURE TO GIVE SIMPLE NOTICE SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED WITH WRITTEN DIRECTION FROM THE ARCHITECT.
- 6) DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES.
- 7) CHANGES TO THE WORK: ANY ITEMS DESCRIBED HEREIN THAT IMPACT PROJECT BUDGET OR TIME SHALL BE REQUESTED FROM THE CONTRACTOR VIA A WRITTEN CHANGE ORDER REQUEST PRIOR TO SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER INDICATES GENERAL CONTRACTOR'S ACKNOWLEDGMENT OF NO INCREASE IN CONTRACT SUM OR TIME. CHANGES FROM THE PLANS OR SPECIFICATIONS MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM SUCH CHANGES.
- 8) WORKMANSHIP: IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC., TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY.
- 9) SUBSTITUTIONS: SUBSTITUTION OF "EQUAL" PRODUCTS WILL BE ACCEPTABLE WITH ARCHITECT'S WRITTEN APPROVAL. SEE SPECIFICATIONS.
- 10) CONSTRUCTION SAFETY: THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- 11) EXCAVATION PROCEDURES: UPON COMPLETION OF ANY EXCAVATION, THE OWNER SHALL RETAIN A SOILS ENGINEER TO INSPECT THE SUBSURFACE CONDITIONS IN ORDER TO DETERMINE THE ADEQUACY OF FOUNDATION DESIGN. SEE SPECIFICATIONS. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.
- 12) FIELD CUTTING OF STRUCTURAL MEMBERS: THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING. REFER TO CURRENT INTERNATIONAL BUILDING CODE, MANUFACTURER'S OR SUPPLIER'S INSTRUCTIONS, AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- 13) EXTERIOR MATERIAL MOCKUP: THE GENERAL CONTRACTOR SHALL PROVIDE A MOCKUP OF ALL EXTERIOR MATERIALS FOR REVIEW BY THE OWNER, ARCHITECT, AND INTERIOR DESIGNER. THIS MOCKUP SHALL BE PROVIDED AND SIGNED OFF IN WRITING PRIOR TO ANY EXTERIOR FINISH WORK. THE SAMPLE SHALL INCLUDE FASCIA, TRIM WINDOW CLADDING, AND ALL OTHER EXTERIOR FINISHES INCLUDING 3X3 SAMPLE OF EXTERIOR STONEWORK. THIS SHALL BE RETAINED ON SITE UNTIL THE FINAL PUNCH LIST IS COMPLETE.
- 14) WEATHER CONDITIONS: THE OWNER HAS BEEN ADVISED THAT DUE TO HARSH WINTER CONDITIONS, ROOF AND DECK SURFACES MUST BE MAINTAINED REASONABLY FREE OF ICE AND SNOW TO ENSURE MINIMAL PROBLEMS WITH THESE SURFACES. ALL ROOFING, ROOFING MEMBRANES, AND WATERPROOFING SHALL BE APPROVED IN WRITING BY PRODUCT MANUFACTURER (W.R. GRACE FOR BITUMENE, ETC.) PRIOR TO PROCEEDING WITH ANY WORK. FAILURE TO PROVIDE THESE WRITTEN APPROVALS REMOVES ALL RESPONSIBILITY FOR THE WORK FROM THE ARCHITECT.
- 15) BUILDING AREA: BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER USE.
- 16) PROJECT STAKING: THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND STAKE ALL BUILDING CORNERS AND DRIVEWAY LOCATION FOR OWNER/ARCHITECT AND DESIGN REVIEW BOARD APPROVAL PRIOR TO BEGINNING ANY SITE CLEARING.
- 17) SITE DISTURBANCE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE EXISTING TREES TO REMAIN AND ADJACENT PROPERTIES FROM DAMAGE DURING CONSTRUCTION. PROVIDE PROTECTIVE FENCING THROUGHOUT CONSTRUCTION.
- 18) PROJECT GRADES: THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL GRADES INCLUDING PAVED AREA SLOPES PRIOR TO POURING ANY FOUNDATIONS. SURVEY WORK SHOULD BE VERIFIED IN DETAIL. SEE NUMBERS 5 AND 6.
- 19) 3D MODELING: THIS PROJECT HAS BEEN DIGITALLY MODELED IN 3D SOFTWARE. THE DIGITAL MODEL IS PROVIDED FOR REFERENCE PURPOSES ONLY. TRANSMISSION OF DIGITAL MODEL FILES CONSTITUTES A WARRANTY BY THE PARTY TRANSMITTING FILES TO THE PARTY RECEIVING FILES THAT THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF THE DIGITAL DATA. UNLESS OTHERWISE AGREED IN WRITING, ANY USE OF TRANSMISSION OF, OR RELIANCE ON THE MODEL IS AT THE RECEIVING PARTY'S RISK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF QUESTIONS OR COORDINATION ISSUES BETWEEN THE CONTRACT DOCUMENTS AND DIGITAL MODEL.



VIEW FROM SOUTHEAST



AREA CALCULATIONS

FINISHED	MAIN LEVEL	UPPER LEVEL	TOTAL
UNIT 'A'	804 S.F.	453 S.F.	1,257 S.F.
UNIT 'B'	801 S.F.	453 S.F.	1,254 S.F.
UNIT 'C'	552 S.F.	712 S.F.	1,264 S.F.
UNIT 'D'	552 S.F.	711 S.F.	1,263 S.F.
UNIT 'E'	822 S.F.	770 S.F.	1,592 S.F.
UNIT TOTAL	3,551 S.F.	3,100 S.F.	6,651 S.F.
	UNFINISHED	FINISHED	TOTAL
GROUND LEVEL	4,834 S.F.	1,391 S.F.	6,225 S.F.
GRAND TOTAL	4,834 S.F.	8,042 S.F.	12,876 S.F.

NOTE: SQUARE FOOTAGES ARE CALCULATED FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES.

SHEET INDEX

T1.1	COVER SHEET
EXISTING CONDITIONS SITE MAP	
C-1	UNDER SEPERATE COVER
C-2	UNDER SEPERATE COVER
SP1.1	SITE PLAN
SP1.2	LANDSCAPE PLAN and SITE ROOFS
SP1.3	PARKING PLAN and SITE LIGHTING PLAN
A-1.1	LOWER & MAIN FLOOR PLAN (1/8" SCALE)
A-1.2	UPPER FLOOR & ROOF PLAN (1/8" SCALE)
A-1.3	LOWER FLOOR PLAN AT SOUTH
A-1.4	LOWER FLOOR PLAN AT NORTH
A-1.5	MAIN FLOOR PLAN AT SOUTH
A-1.6	MAIN FLOOR PLAN AT NORTH
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A-1.10	ROOF PLAN AT NORTH
A-2.1	BUILDING PERSPECTIVES
A-2.2	SOUTH ELEVATION
A-2.3	WEST ELEVATION
A2.4	NORTH ELEVATION
A2.5	EAST ELEVATION
A3.1	BUILDING SECTION 'A' (PARTIAL)

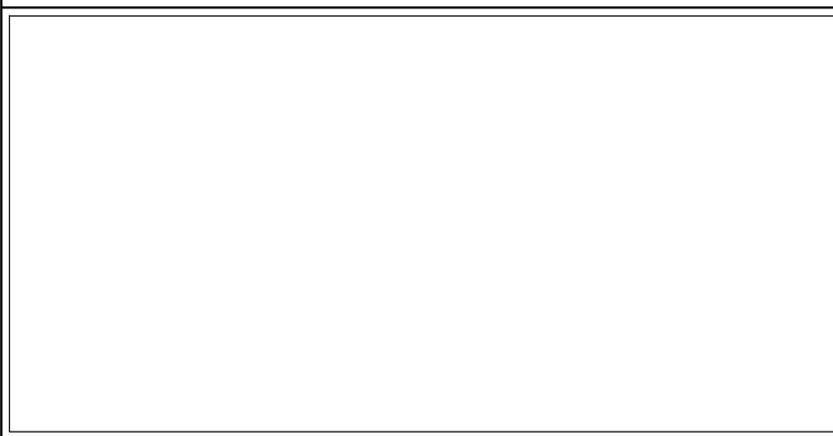
FINISHED FLOOR ELEV.

	U.S.G.S.	ARCHITECTURAL
LOWER - T.O. CONC.	9,063.0'	100'-0"
MAIN - T.O. PLYWD.	9,074.5'	111'-6"
UPPER - T.O. PLYWD.	9,085.0'	122'-0"

LEGAL DESCRIPTION

LOT(S) 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 VACATED 2ND AVENUE FRISCO, COLORADO 80443 0.28 ACRES/ 12,196 SQ. FT.

BLANK



SOILS ENG'R:	PLUMB'G ENG'R:	ELEC'L ENG'R:	MECH'L ENGR':	CIVIL ENGINEER:	SURVEYOR:	STRUCTURAL ENG'R:	CONTRACTOR:	ARCHITECT:	OWNER:
T.B.D.	INDOOR ENVIRONMENTS, USA STEVE ALSCHULER PE steve@ieusa.net	INDOOR ENVIRONMENTS, USA DAVID EXE, PE INDUSTRIAL ENGINEERING, INC. 2210 23RD AVE SE RIO RANCHO, NM 87124 dexe@ieim.com	INDOOR ENVIRONMENTS, USA DAVE SPENCER SR MECHANICAL ENGINEER (410)498-9915 dave@ie.net	MARCIN ENGINEERING LLC ANTONIO VAZQUEZ 101 EAGLE ROAD #5 AVON, COLORADO (970)748-0214 tony@marcinengineering.com	MARCIN ENGINEERING LLC TOM MARCIN 130 9K1 HILL ROAD #235 BREECKENRIDGE, COLORADO (970)771-3459 tom@marcinengineering.com	T.B.D.	MARGARET ZIEDIN 891 14TH STREET #3602 DENVER, CO 80202 margaret@sixthdegree.com	BHH Partners of Colorado 560 ADAMS AVE P.O. BOX 2113 SILVERTHORNE, CO 80498 (970) 453-6880 jpaullake@bhhpartners.com	MARGARET ZIEDIN 891 14TH STREET #3602 DENVER, CO 80202 margaret@sixthdegree.com

REVISIONS:

JOB NO: 52405
DATE: 11/28/25
DRAWN BY: J PAULLAK
CHECKED BY: Z LEVIN

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TOWN OF FRISCO
DEVELOPMENT REVIEW
COMMITTEE SUBMITTAL:
11/28/25

bhh Partners of Colorado
560 ADAMS AVE., P.O. BOX 2113, SILVERTHORNE, CO 80498, (970) 453-6880, www.bhhpartners.com

SIXTH DEGREE TOWNHOMES
121 EAST MAIN STREET, FRISCO COLORADO 80443
(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

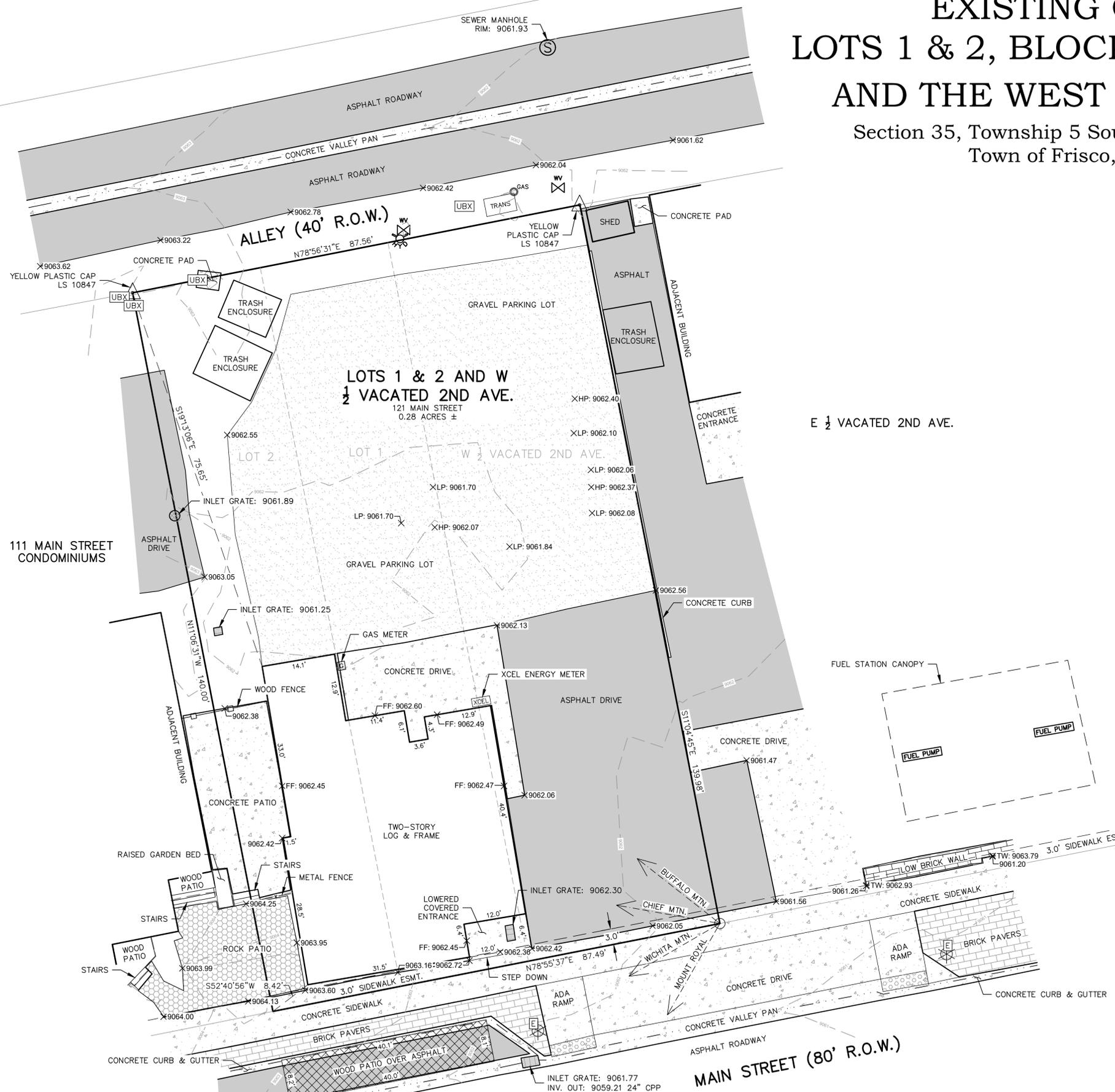
© 2025

SHEET NUMBER:

T-1.1
TITLE SHEET, GENERAL NOTES, SCHEDULES AND INFORMATION

EXISTING CONDITIONS SITE MAP LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE

Section 35, Township 5 South, Range 78 West of the 6th Principal Meridian
Town of Frisco, County of Summit, State of Colorado



LEGAL DESCRIPTION

Lots 1 and 2, Block 2, King Solomon Addition to the Town of Frisco, and the West 1/2 of Vacated 2nd Avenue, Town of Frisco, County of Summit, State of Colorado.

NOTES:

- 1) Survey Date: August 2, 2021.
- 2) Survey Units: US Survey Foot.
- 3) Contour Interval: 1 foot.
- 4) Elevation Datum: NAVD 88, derived from OPUS observation.
- 5) Benchmark: Found yellow plastic cap at the northeast property corner, stamped LS 10847 with elevation 9061.88 derived from OPUS observation.
- 6) This Survey does not constitute a boundary survey nor any investigation into record easements or encumbrances associated with this property. No Title Commitment was supplied to the Surveyor. Boundary of parcel for this survey was based on the (2) found yellow plastic caps along the northern property boundary. A boundary survey is recommended if resolution of parcel boundary is desired.
- 7) Utilities are shown approximately and should be field verified prior to excavation.
- 8) Marcin Engineering LLC does not warrant or certify to the integrity of any Digital Data supplied in conjunction with this map and survey.
- 9) Street Address: 121 Main Street, Frisco, CO 80443.
- 10) This is not a monumented survey, Land Survey Plat, or Improvement Survey plat. No boundary resolution was performed in making this survey. All lot lines, setback lines, and easement lines shown hereon should be considered approximate and should not be relied upon for the placement of any future improvements.

SURVEYOR'S CERTIFICATION:

I, Raymond M. Elko, a Professional Land Surveyor in the State of Colorado, do hereby certify that this Existing Conditions Site Map was prepared for Margaret Ziedin and that this is NOT a Land Survey Plat or Improvement Survey Plat, and that it is not to be relied upon for the establishment of fence, building, or other future improvements lines. This Map is valid only for use by Margaret Ziedin and describes the parcel's appearance on August 2, 2021.

I further certify that the improvements on the above described parcel on this date, August 2, 2021, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no APPARENT evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.



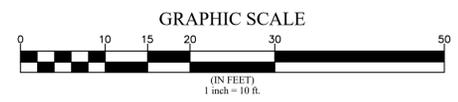
Raymond M. Elko, PLS 38444
Colorado Professional
Land Surveyor

LEGEND

- ASPHALT
- GRAVEL
- BRICK
- CONCRETE
- DECORATIVE ROCK
- RAISED TRACTION DOMES
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- LIGHT POLE
- UTILITY BOX
- ELECTRIC BOX
- FOUND MONUMENT, AS DESCRIBED

PEAK VIEW VECTORS

Peak Name	Degrees from North	Degrees from Horizontal
Mount Royal	210°	22.5°
Wichita Mountain	240°	13.0°
Chief Mountain	280°	16.0°
Buffalo Mountain	308°	11.5°



NOTICE: According to Colorado law you MUST commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

EXISTING CONDITIONS SITE MAP
LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION
AND THE WEST 1/2 OF VACATED 2ND AVENUE
Town of Frisco, County of Summit, State of Colorado

DRAWN BY: TLV	DATE: 09/22/2021
CHECKED BY: RME	DRAWING NO.: ECSM
JOB NO: 21112	SHEET: 1 OF 1

MARCIN ENGINEERING LLC

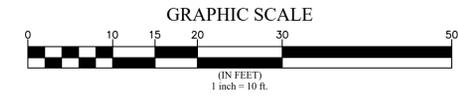
130 SKI HILL ROAD, #235
P.O. BOX 6008
BRECKENRIDGE, CO 80424
(970) 771-3459



ESTATES ON GALENA

INSTALL 48" SEWER MANHOLE AND MATCH EXISTING RIM AND INVERT
RIM: 9062.75
INV. (CENTER): 9056.79
INV. IN (S): 9056.89

EX. SEWER MANHOLE
RIM: 9061.93
INV. IN (W): 9056.35
INV. OUT (E): 9056.29
SUMP: 9056.29



SHALLOW UTILITY NOTE

RELOCATION OF SHALLOW UTILITY PEDESTALS AND/OR SERVICES FOR PROPOSED CONSTRUCTION SHALL BE COORDINATED WITH UTILITY PROVIDERS.

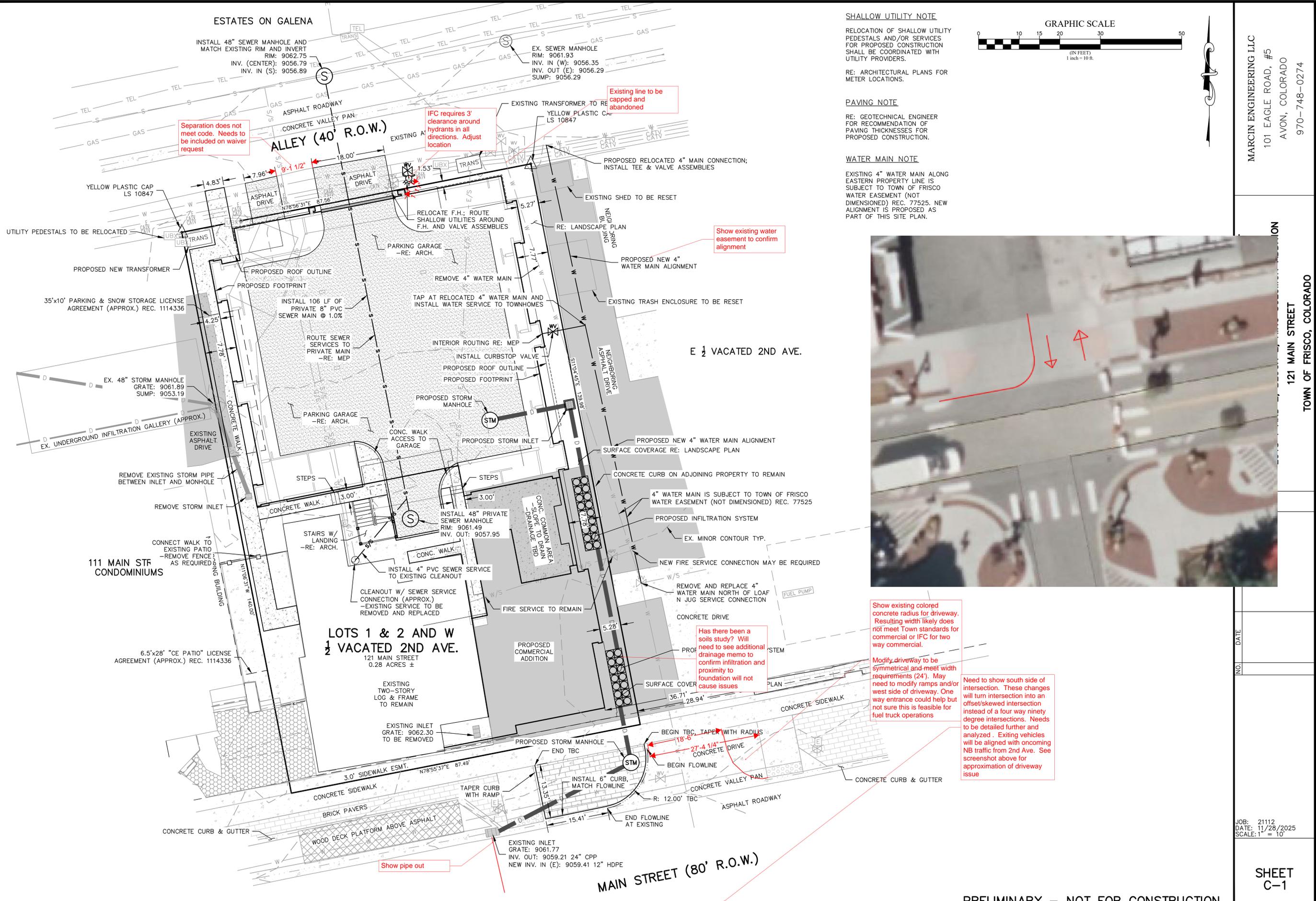
RE: ARCHITECTURAL PLANS FOR METER LOCATIONS.

PAVING NOTE

RE: GEOTECHNICAL ENGINEER FOR RECOMMENDATION OF PAVING THICKNESSES FOR PROPOSED CONSTRUCTION.

WATER MAIN NOTE

EXISTING 4" WATER MAIN ALONG EASTERN PROPERTY LINE IS SUBJECT TO TOWN OF FRISCO WATER EASEMENT (NOT DIMENSIONED) REC. 77525. NEW ALIGNMENT IS PROPOSED AS PART OF THIS SITE PLAN.



Separation does not meet code. Needs to be included on waiver request

IFC requires 3' clearance around hydrants in all directions. Adjust location

Existing line to be capped and abandoned

Show existing water easement to confirm alignment



Show existing colored concrete radius for driveway. Resulting width likely does not meet Town standards for commercial or IFC for two way commercial.

Has there been a soils study? Will need to see additional drainage memo to confirm infiltration and proximity to foundation will not cause issues

Modify driveway to be symmetrical and meet width requirements (24'). May need to modify ramps and/or west side of driveway. One way entrance could help but not sure this is feasible for fuel truck operations

Need to show south side of intersection. These changes will turn intersection into an offset/skewed intersection instead of a four way ninety degree intersections. Needs to be detailed further and analyzed. Existing vehicles will be aligned with oncoming NB traffic from 2nd Ave. See screenshot above for approximation of driveway issue

Show pipe out

MARCIN ENGINEERING LLC
101 EAGLE ROAD, #5
AVON, COLORADO
970-748-0274

121 MAIN STREET
TOWN OF FRISCO, COLORADO

NO.	DATE

JOB: 21112
DATE: 11/28/2025
SCALE: 1" = 10'

SHEET C-1

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWING: C:\Users\j\OneDrive\Documents\Projects\2025\21112-100-Cable-Cable\Map\21112-Cable.dwg

ESTATES ON GALENA

Drainage Summary - 25-yr

Parcel: 121 East Main Street
Rainfall Depth: 2.20 inches for 25-year, 24-hour storm (per Town of Frisco)
Assumptions:
 1. Parcel area is equal to drainage contribution area
 2. Historic site condition predates the Town; Existing site condition is used for comparison
 3. Impervious areas consist of asphalt, concrete, pavers, and roofs
 4. Intensity: the 25-year, 24-hour storm rainfall amount falls within 1 hour
Units: Q = rate of runoff (cubic feet per second), V = volume of runoff (cubic feet)

Historic Site Conditions (25 yr storm)
 A = Parcel/Development Area = 0.28 acres (12253 ft²)
 Parcel characteristics = 12253 ft² meadow (C = 0.30)
 C = Runoff Coefficient = 0.30 (composite)
 I_{2yr} = Rainfall Intensity = 2.20 in/hr
 Q = C * I * A = 0.19 cfs
 V = C * D * A = 674 cf

Existing Site Conditions (25 yr storm)
 A = Parcel/Development Area = 0.28 acres (12253 ft²)
 Parcel characteristics = 5914 ft² imperv. (C = 0.90), 4977 ft² compact dirt/gravel (C = 0.80), 1362 ft² unimproved (C = 0.30)
 C = Runoff Coefficient = 0.79 (composite)
 I_{2yr} = Rainfall Intensity = 2.20 in/hr
 Q = C * I * A = 0.49 cfs
 V = C * D * A = 1781 cf

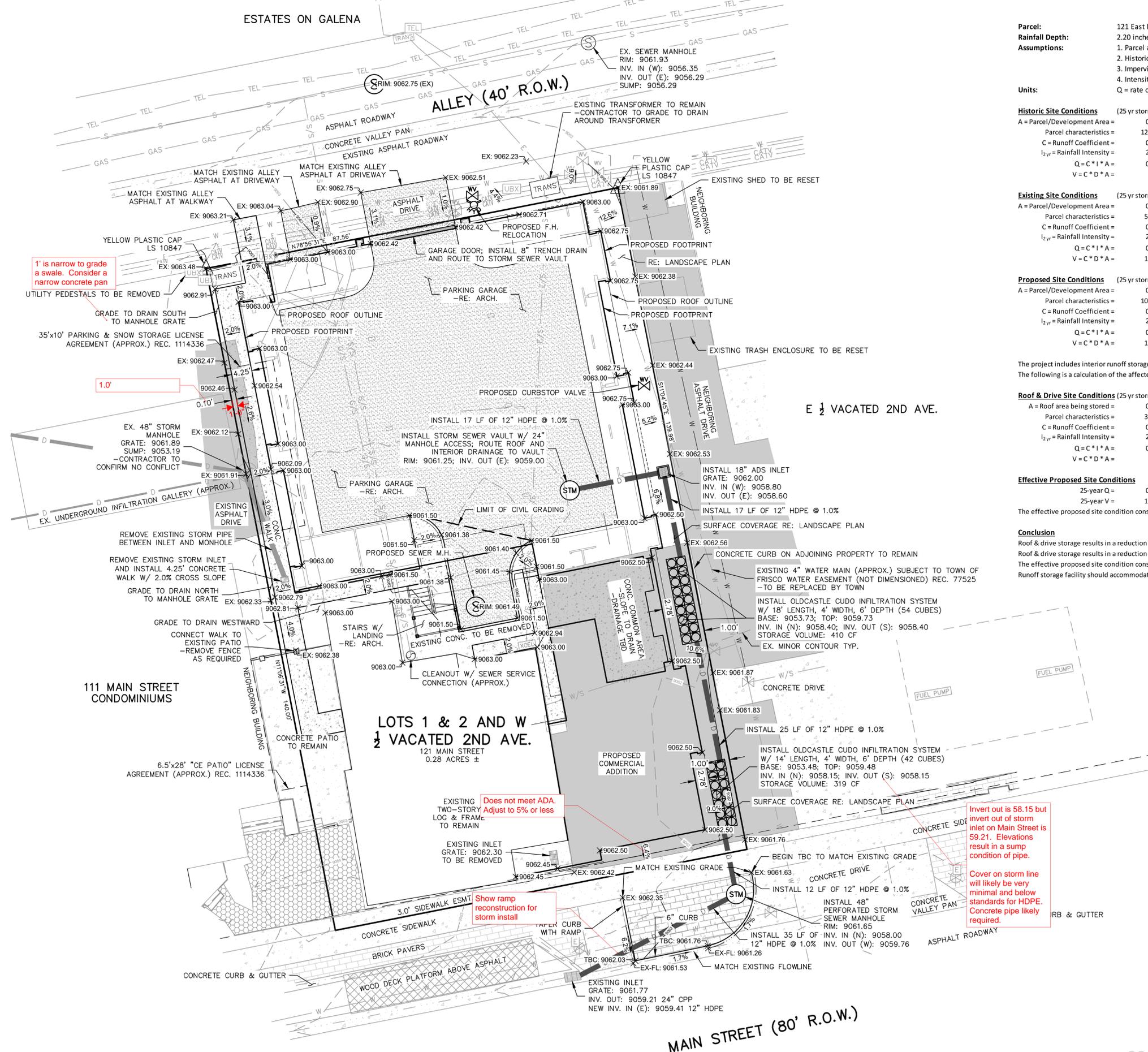
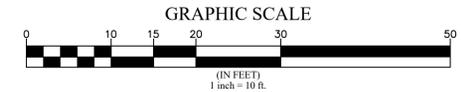
Proposed Site Conditions (25 yr storm)
 A = Parcel/Development Area = 0.28 acres (12253 ft²)
 Parcel characteristics = 10773 ft² impervious (C = 0.90), 1480 ft² landscaping (C = 0.30)
 C = Runoff Coefficient = 0.83 (composite)
 I_{2yr} = Rainfall Intensity = 2.20 in/hr
 Q = C * I * A = 0.51 cfs
 V = C * D * A = 1859 cf

The project includes interior runoff storage from part of the roof system and the entrance driveway. The following is a calculation of the affected area.

Roof & Drive Site Conditions (25 yr storm)
 A = Roof area being stored = 0.09 acres (3524 ft² roof + 200 ft² drive)
 Parcel characteristics = 3724 ft² impervious (C = 0.90)
 C = Runoff Coefficient = 0.90 (composite)
 I_{2yr} = Rainfall Intensity = 2.20 in/hr
 Q = C * I * A = 0.17 cfs
 V = C * D * A = 614 cf

Effective Proposed Site Conditions
 25-year Q = 0.34 cfs
 25-year V = 1244 cf
 The effective proposed site condition constitutes a 28% reduction in runoff when compared to the existing site condition.

Conclusion
 Roof & drive storage results in a reduction in runoff rate of 0.15 cfs from the existing site condition. Roof & drive storage results in a reduction in runoff volume of 537 cf from the existing site condition. The effective proposed site condition constitutes a 30% reduction in runoff when compared to the existing site condition. Runoff storage facility should accommodate a minimum of 650 cf of storage.



MARCIN ENGINEERING LLC
 101 EAGLE ROAD, #5
 AVON, COLORADO
 970-748-0274

PRELIMINARY GRADING AND DRAINAGE PLAN
 SIXTH DEGREE TOWNHOMES
 LOTS 1 AND 2, BLOCK 2, KING SOLOMON ADDITION
 121 MAIN STREET
 TOWN OF FRISCO, COLORADO

NO.	DATE	REVISIONS	BY

JOB: 21112
 DATE: 11/28/2025
 SCALE: 1" = 10'

SHEET C-2

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWING: C:\Users\Tom\Documents\Projects\2025\21112-Log-Cover-Cover\21112-21112-21112.dwg

SITE NOTES

- ELECTRIC, CABLE T.V. AND TELEPHONE UNDERGROUND IN COMMON TRENCH
- VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND.
- TOPOGRAPHIC INFORMATION OBTAINED FROM RANGE WEST ENGINEERS & SURVEYORS, JOB # 21728
- PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1:12 MIN.)
- REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE. DRAINS TO BE SLOPED TO DAYLIGHT TO NATURAL TRENCH
- FLAG ALL TREES FOR OWNER PRIOR TO THINNING OR REMOVING
- PROTECT ALL REMAINING TREES WITH SNOW FENCE OR OTHER APPROVED BARRIER DURING CONSTRUCTION
- PROVIDE 6" DIA. STONE RIP RAP OVER WEED BARRIER FABRIC AT EAVES AND VALLEY DRIP LOCATIONS
- STAKE HOUSE LOCATION FOR OWNER AND ARCHITECT PRIOR TO ANY WORK
- GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL SUBDIVISION CONDITIONS. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT
- DRIVEWAY SHOWN IS EXISTING AND IS MAX. 2.5% SLOPE FOR FIRST 20' FROM ROAD EDGE OF PAVEMENT OR AS REQUIRED.
- TREES TO BE REMOVED TO ALLOW 10' BETWEEN CANOPIES WITH EXCEPTION OF CLUSTERS TO BE APPROVED BY SUMMIT COUNTY.
- ALL DRAINAGE WILL BE ON-SITE, AS PROVIDED BY THE CIVIL ENGINEER.

CONTOUR LEGEND

EXISTING MINOR	---	DRAINAGE ARROW	→
EXISTING MAJOR	---	SPOT GRADE AT DOT	● 9.063'
PROPOSED	---		

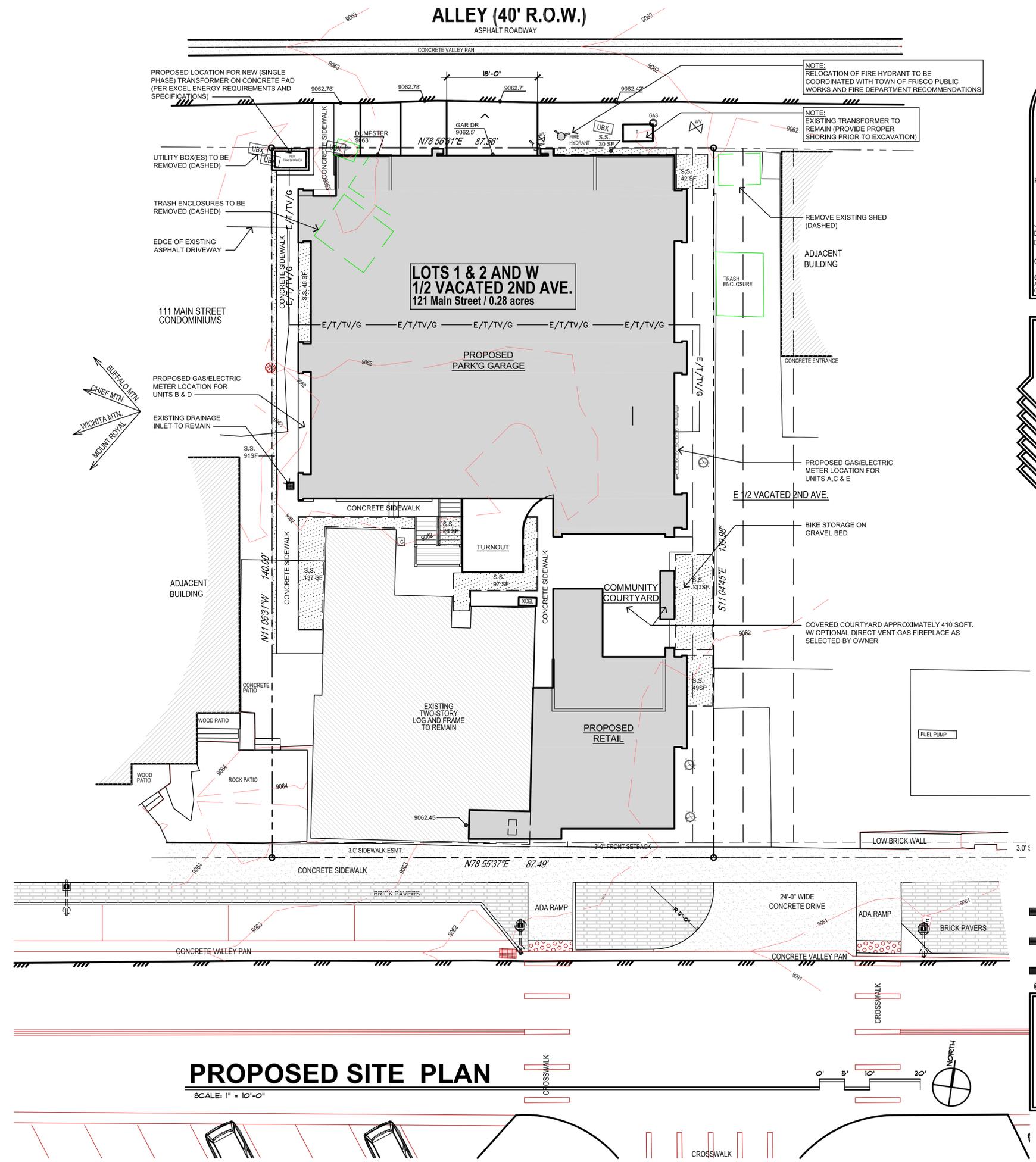
LOT COVERAGE

	SQ. FT.	PERCENTAGE
BUILDING Includes: (roof overhangs, decks, courtyard, sidewalks, stairs, parking)	9,648 S.F.	79%
HARDSCAPE Includes: (un-covered driveway, un-covered turnout and un-covered walks)	1,264 S.F.	10%
OPEN SPACE	1,284 S.F.	11%
TOTAL LOT SIZE	12,196 S.F.	100%

REQUIRED SNOWSTACK

	SQ. FT.	PERCENTAGE
HARDSCAPE UN-COVERED DRIVES, TURNOUT AND SIDEWALKS	1,264 S.F.	100%
REQ'D SNOW STACK (25% OF HARDSCAPE)	316 S.F.	25%
UN-COVERED DECKS	587 S.F.	100%
REQ'D SNOW STACK (25% OF DECKS)	147 S.F.	25%
TOTAL SNOW STACK REQUIRED	463 S.F.	25%
TOTAL SNOW STACK PROVIDED	660 S.F.	36%

NOTE:
OWNER OPTION TO HEAT UNCOVERED AREAS.



REVISIONS:

JOB NO: 52405
DATE: 11/28/25
DRAWN BY: J PAULAK
CHECKED BY: Z LEVIN

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TOWN OF FRISCO
DEVELOPMENT REVIEW
COMMITTEE SUBMITTAL:
11/28/25

bhh Partners of Colorado
560 ADAMS AVE., P.O. BOX 2113, SILVERTHORNE, CO 80498, (970) 453-6880, www.bhhpartners.com

SIXTH DEGREE TOWNHOMES
121 EAST MAIN STREET, FRISCO COLORADO 80443
(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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SHEET NUMBER:
SP-1.1
PROPOSED SITE PLAN

LANDSCAPE NOTES

- PROVIDE 3" (MIN.) CLAYFREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SHORT SEED MIX (AS APPROVED BY SUMMIT COUNTY STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.)
 - KEEP EXISTING TREES WHERE POSSIBLE. TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
 - GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS. PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
 - LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE.
 - SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
 - ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. MAXIMUM 1,000 SF IRRIGATED SPACE. PROVIDE SUBMITTAL.
 - ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
 - NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
 - SCREEN ALL UTILITY PEDESTALS WITH LANDSCAPE MATERIAL.
 - PROVIDE 3" TO 4" DIAMETER STONE RIPRAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNDULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
 - INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
 - ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
 - PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.
 - LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER AS APPROVED BY TOWN OF BRECKENRIDGE PRIOR TO INSTALLATION.
 - ALL ROCK OUTCROPPINGS THAT ARE TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY.
 - ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.
- NOTE: ALL LANDSCAPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH TOWN OF FRISCO AND HOA.

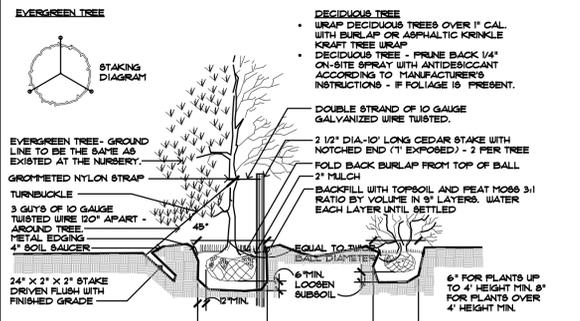
REVEGETATION NOTES

- REVEGETATE ALL DISTURBED AREAS ON THE SITE WITH:
- SHORT DRY GRASS MIX @ 2 LBS/1000 SF:
- HARD FESCUE 30%
 - CREeping RED FESCUE 30%
 - SHEEP FESCUE 25%
 - CANADA BLUEGRASS 10%
 - CANBY BLUEGRASS 5%
- SLOPES OVER 3:1 SHALL BE HAY TACKIFIED OR NETTED.
- MOUNTAIN MAGIC WILDFLOWER MIX @ 1 LB/10,000 SF:
- BABY'S BREATH BLANKETFLOWER
 - CALIFORNIA POPPY SHIRLEY POPPY
 - BLUE FLAX LUPINE MIX
 - WALLFLOWER MAIDEN PINKS
 - PENSTEMON, ROCKY MOUNTAIN WILD THYME
- ROCKY MOUNTAIN BLUE COLUMBINE MIX @ 1 LB/25,000 SF OR WESTERN NATIVE WILDFLOWER MIX @ 1 LB/6000 SF:
- MOUNTAIN LUPINE CONEFLOWER, WESTERN PENSTEMON, SMALL FLOWERED COLUMBINE, COLORADO SULFUR FLOWER PENSTEMON, ROCKY MOUNTAIN GERANIUM, RICHARDSON NODDING GROUNDSEL PENSTEMON, WASATCH ASTER, ENGLEMANN'S WESTERN LARKSPUR PENSTEMON, RYDBERGS ORANGE MOUNTAIN DAISY AMERICAN VETCH GAILLARDIA/BLANKETFLOWER
 - GIANT LOUSEWORT

PLANTING LIST

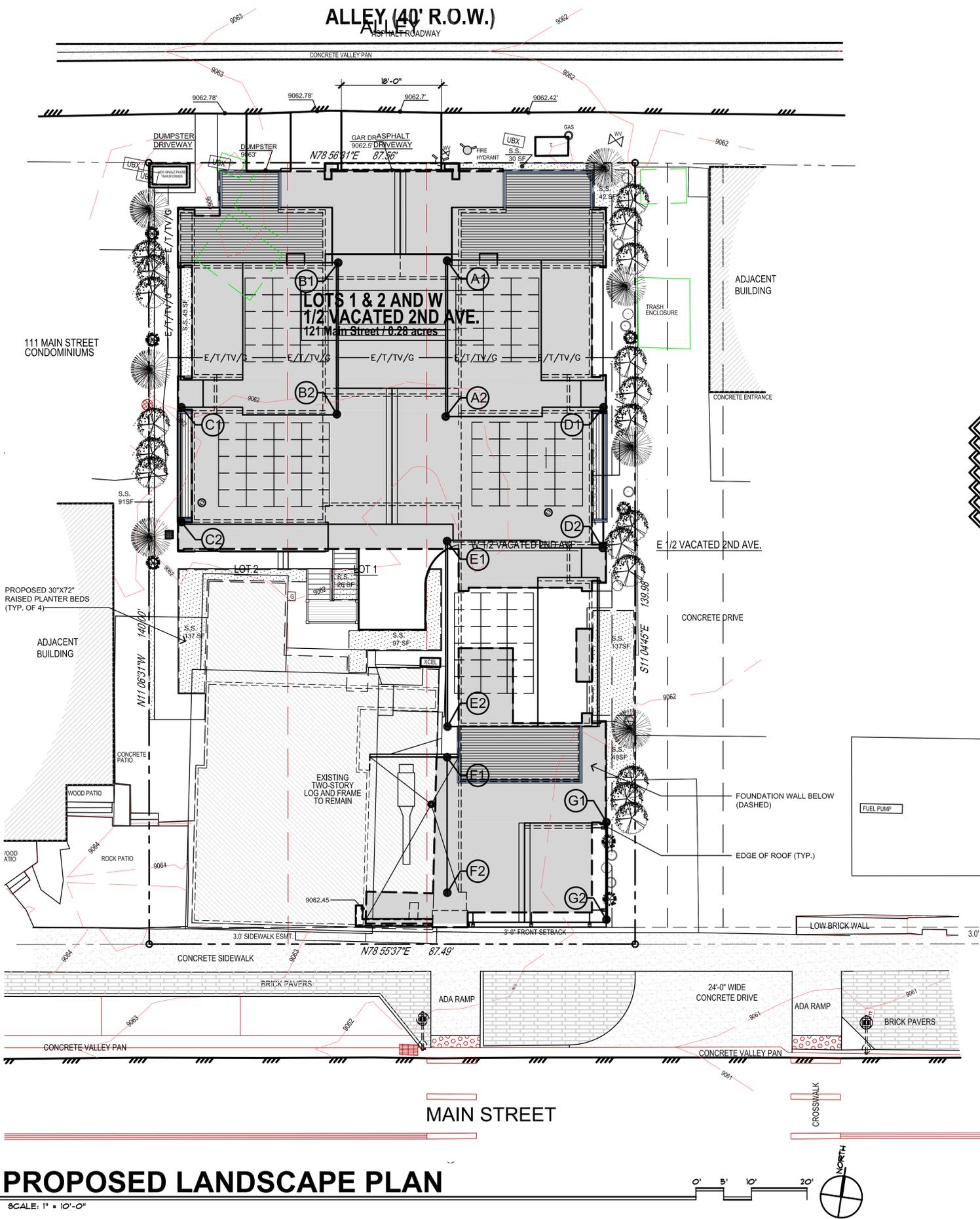
KEY	COMMON	BOTANICAL	NO.	SIZE	NOTES
EXISTING TREES					
☉	EXISTING	VARIABLES	--	SEE SITE PLAN	
PROPOSED TREES/SHRUBS TO BE ADDED					
●	COLORADO SPRUCE	PICEA PUNGENS OR PICEA ENGELMANNI	7	(3) 8' TALL (4) 12' TALL	
●	ASPEN	POPULUS TREMULOIDES	18	2"-3" CALIPER 50% MULTI-STEM	
●	POTENTILLA	POTENTILLA FRUTICOSA	5	5 GAL.	NEEDS SUN (36" TALL, 4'-0" WIDE)
○	ALPINE CURRANT	RIBES ALPINUM	5	5 GAL.	GROWS TO 3-6' TALL
○	PEKING COTONEASTER	COTONEASTER LUCIDAS OR APICALTUS	5	5 GAL.	GROWS TO 6-10' TALL
○	NATIVE GROUND COVER AND PERENNIALS	SUBMITTAL	10	1 FLAT	PROVIDE TO ALL DISTURBED AREAS

PLANTING DETAIL



BUILDING HEIGHT TABLE

RIDGE POINT	HIGH EAVE ELEVATION	NATURAL EXIST'G GRADE ELEVATION (APPROX.)	FINISHED GRADE ELEVATION	AS MEASURED FROM	CALCULATIONS	HEIGHT
A1	9,101.85'	9,062'	9,063'	EXIST'G	9,101.85-9062' =	39.85'
A2	9,101.85'	9,062'	9,063'	EXIST'G	9,101.85-9062' =	39.85'
B1	9,101.85'	9,062'	9,063'	EXIST'G	9,101.85-9062' =	39.85'
B2	9,101.85'	9,062'	9,063'	EXIST'G	9,101.85-9062' =	39.85'
C1	9,096.88'	9,062'	9,062'	EXIST'G	9,096.88' - 9,062' =	34.88'
C2	9,096.88'	9,062'	9,062'	EXIST'G	9,096.88' - 9,062' =	34.88'
D2	9,096.88'	9,062'	9,062'	EXIST'G	9,096.88' - 9,062' =	34.88'
D2	9,096.88'	9,062'	9,062'	EXIST'G	9,096.88' - 9,062' =	34.88'
E1	9,101.85'	9,062'	9,063'	EXIST'G	9,101.85 - 9062' =	39.85'
E2	9,101.85'	9,062.7'	9,063'	EXIST'G	9,101.85 - 9062.7' =	39.15'
F1	9,080.53'	9,062.7'	9,062.5'	EXIST'G	9,080.53' - 9,062.7' =	17.83'
F2	9,080.53'	9,062.5'	9,062.5'	EXIST'G	9,080.53' - 9,062.7' =	17.83'
G1	9,083.10'	9,061.8'	9,061.8'	EXIST'G	9,083.10' - 9,061.8' =	21.3'
G2	9,083.10'	9,061.8'	9,061.8'	EXIST'G	9,083.10' - 9,061.8' =	21.3'



PROPOSED LANDSCAPE PLAN

SCALE: 1" = 10'-0"



REVISIONS:

JOB NO: 52405
 DATE: 11/28/25
 DRAWN BY: T. SHAFFER
 CHECKED BY: Z. LEVIN

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TOWN OF FRISCO
 DEVELOPMENT REVIEW
 COMMITTEE SUBMITTAL:
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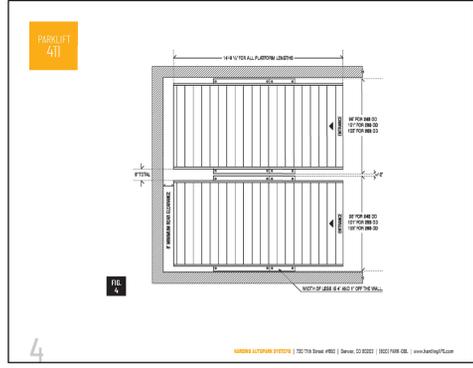
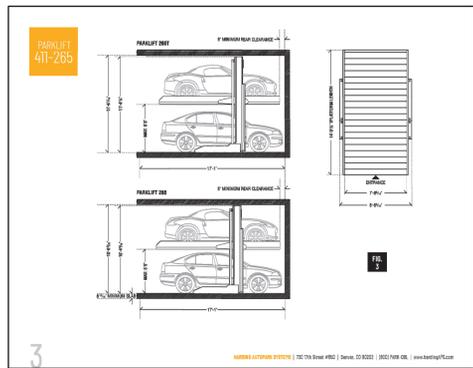
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SIXTH DEGREE TOWNHOMES
 121 EAST MAIN STREET, FRISCO COLORADO 80443
 (LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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 SHEET NUMBER:
SP-1.2
 PROPOSED
 LANDSCAPE PLAN

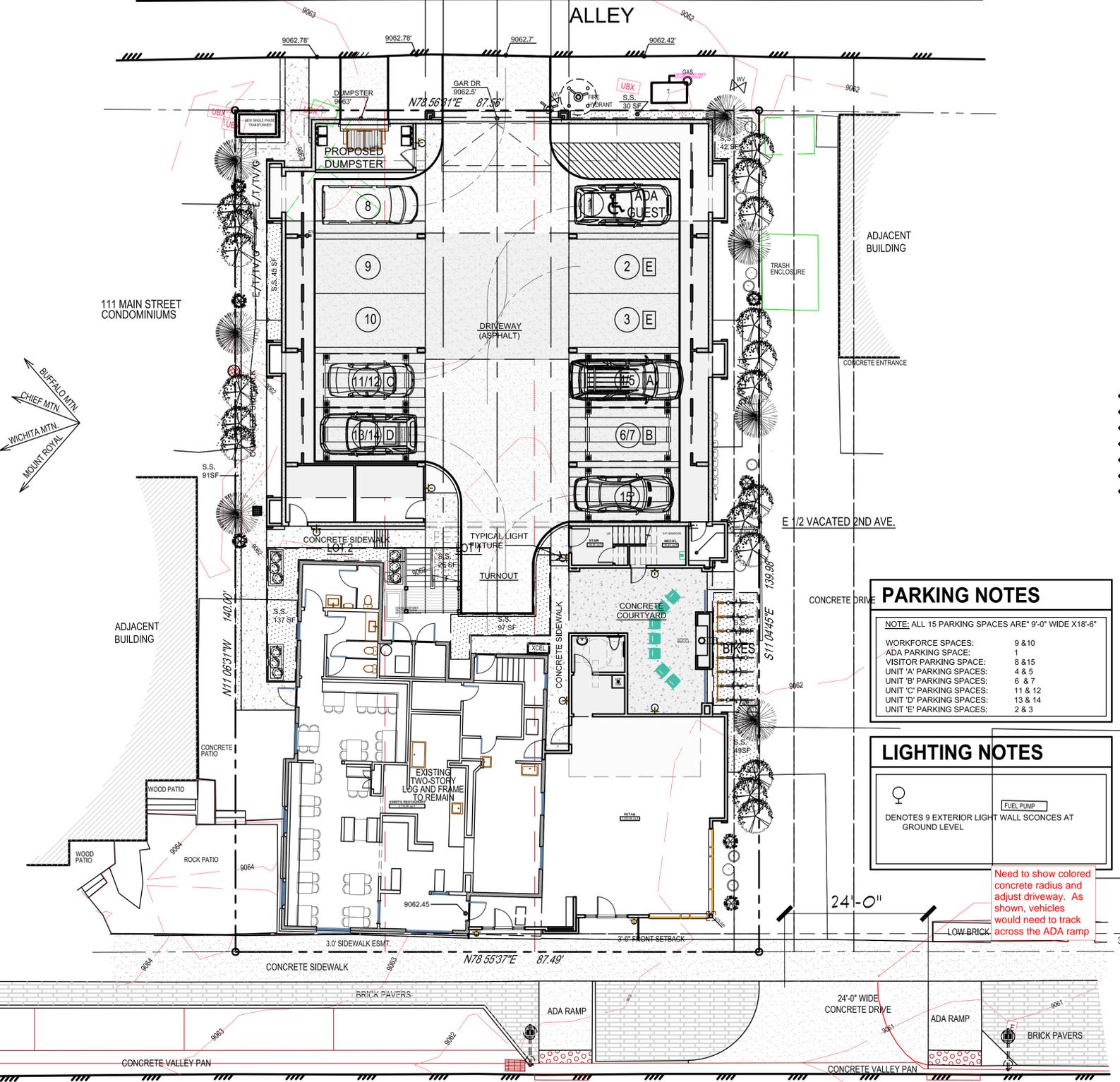
ALLEY (40' R.O.W.)

ASPHALT ROADWAY



UNIT	411-245	411-255	411-265
WORKING CAPACITY	6,200 lbs.	6,200 lbs.	6,200 lbs.
STATIC CAPACITY	6,200 lbs.	6,200 lbs.	6,200 lbs.
OVERALL WIDTH	80" Hx 74" W	80" Hx 74" W	80" Hx 74" W
OVERALL LENGTH	107" L	107" L	107" L
OVERALL HEIGHT	87" H	87" H	87" H
LOADING SPEED (SECONDS)	17 seconds	17 seconds	17 seconds
POWER REQUIREMENTS	220V 1 Phase 40 amp	220V 1 Phase 40 amp	220V 1 Phase 40 amp

UNIT	411
WORKING CAPACITY	6,200 lbs.
STATIC CAPACITY	6,200 lbs.
OVERALL WIDTH	80" Hx 74" W
OVERALL LENGTH	107" L
OVERALL HEIGHT	87" H
LOADING SPEED (SECONDS)	17 seconds
POWER REQUIREMENTS	220V 1 Phase 40 amp



PARKING NOTES

NOTE: ALL 15 PARKING SPACES ARE 9'-0" WIDE X 18'-6"

WORKFORCE SPACES:	9 & 10
ADA PARKING SPACE:	1
VISITOR PARKING SPACE:	8 & 15
UNIT 'A' PARKING SPACES:	4 & 5
UNIT 'B' PARKING SPACES:	6 & 7
UNIT 'C' PARKING SPACES:	11 & 12
UNIT 'D' PARKING SPACES:	13 & 14
UNIT 'E' PARKING SPACES:	2 & 3

LIGHTING NOTES

♀ DENOTES 9 EXTERIOR LIGHT WALL SCONCES AT GROUND LEVEL

FUEL PUMP

Need to show colored concrete radius and adjust driveway. As shown, vehicles would need to track across the ADA ramp

REVISIONS:

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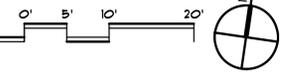
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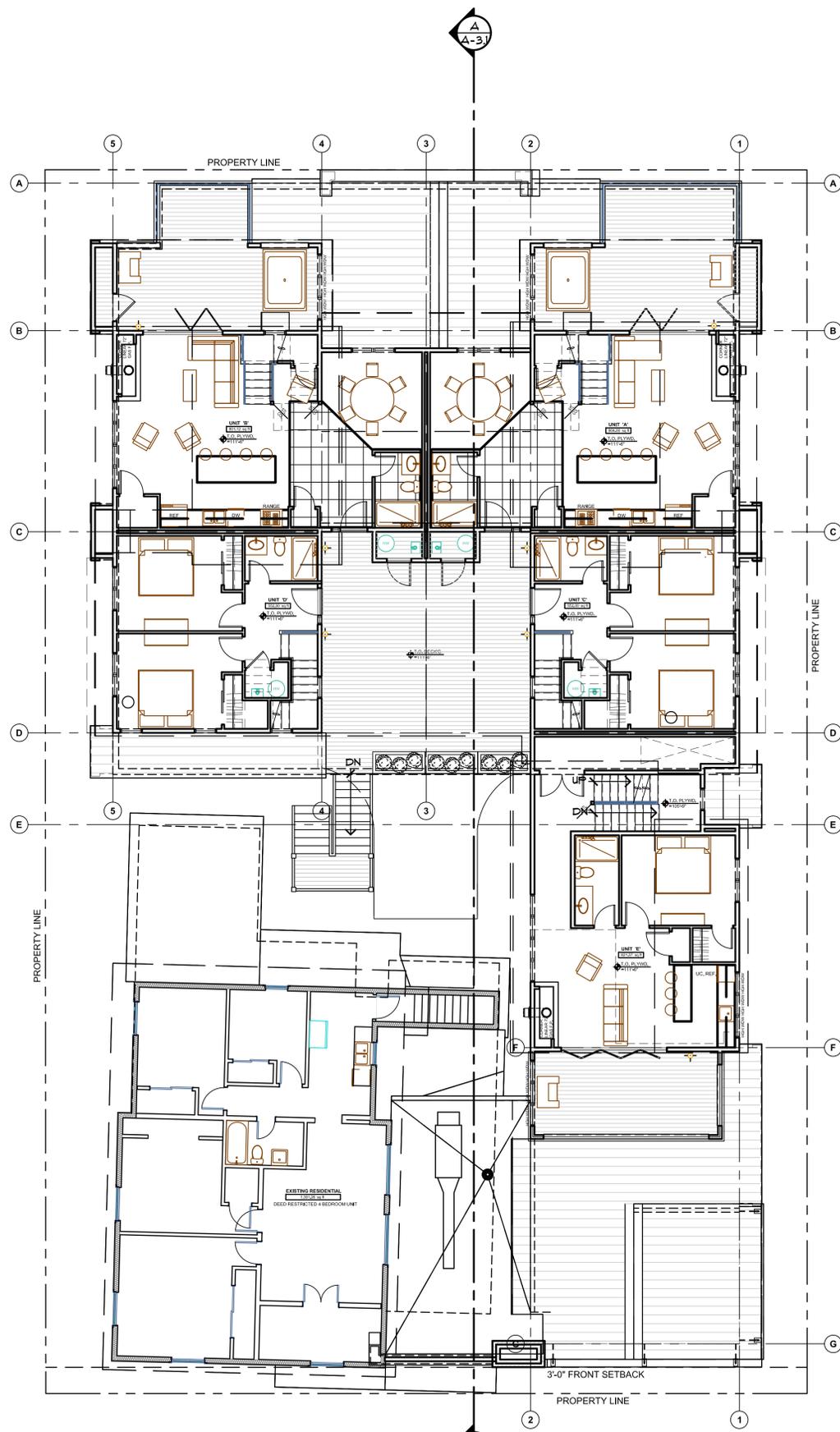
SIXTH DEGREE TOWNHOMES
 121 EAST MAIN STREET, FRISCO COLORADO 80443
 (LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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 SHEET NUMBER:
SP-1.3
 PROPOSED
 PARKING PLAN

PROPOSED PARKING PLAN

SCALE: 1" = 10'-0"



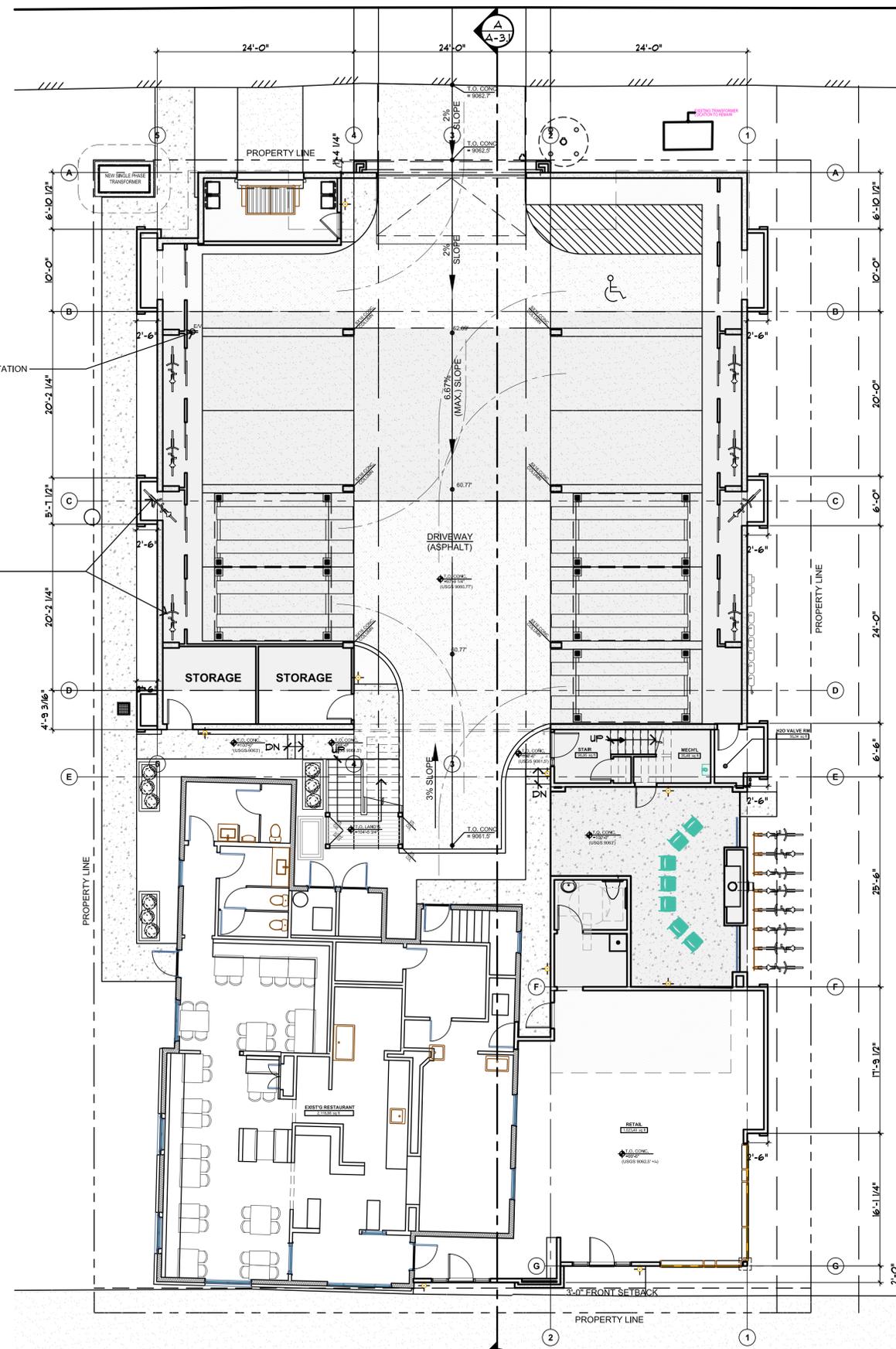


MAIN LEVEL PLAN

SCALE: 1/8" = 1'-0"

3,531 SQ. FT. FINISHED
1,301 SQ. FT. (EXISTING)

NOTE:
SEE 1/4" SCALE DRAWINGS ON SHEETS A-1.5 & A-1.6 FOR MORE INFORMATION.



GROUND LEVEL PLAN

SCALE: 1/8" = 1'-0"

4,682 SQ. FT. UNFIN. PARKING GARAGE
152 SQ. FT. UNFIN. DUMPSTER
1,192 SQ. FT. FINISHED RETAIL
199 SQ. FT. FINISHED STAIRS
2,122 SQ. FT. (EXISTING)

NOTE:
SEE 1/4" SCALE DRAWINGS ON SHEETS A-1.3 & A-1.4 FOR MORE INFORMATION.



PROVIDE (1) ELECTRIC VEHICLE CHARGING STATION

PROVIDE (LOCKABLE) BICYCLE STORAGE AS REQUIRED (7 SPACES MINIMUM)

REVISIONS:

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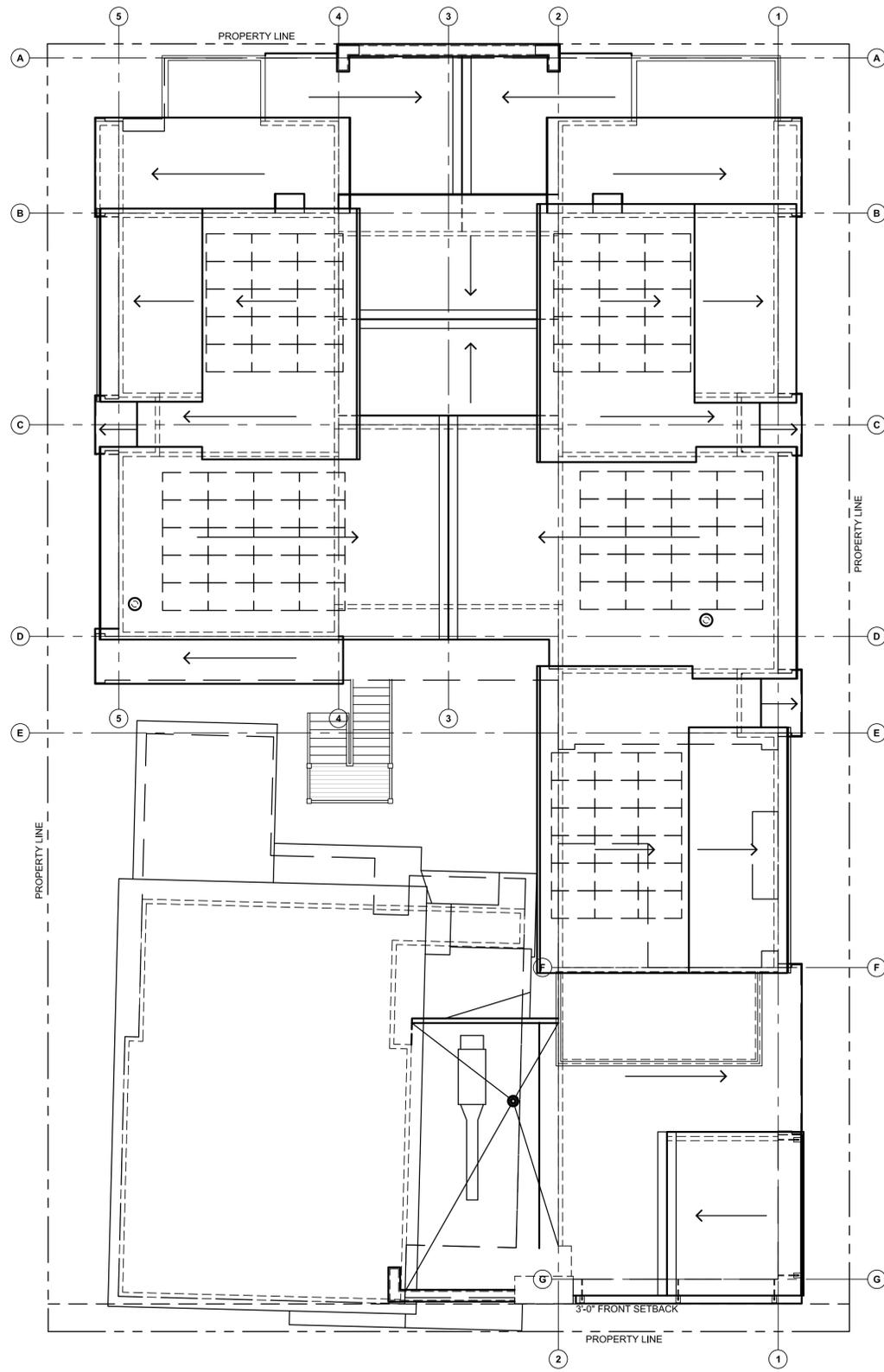
TOWN OF FRISCO DEVELOPMENT REVIEW COMMITTEE SUBMITTAL: 11/28/25

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SIXTH DEGREE TOWNHOMES
121 EAST MAIN STREET, FRISCO COLORADO 80443
(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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SHEET NUMBER:

A-1.1
GROUND AND MAIN LEVEL PLAN

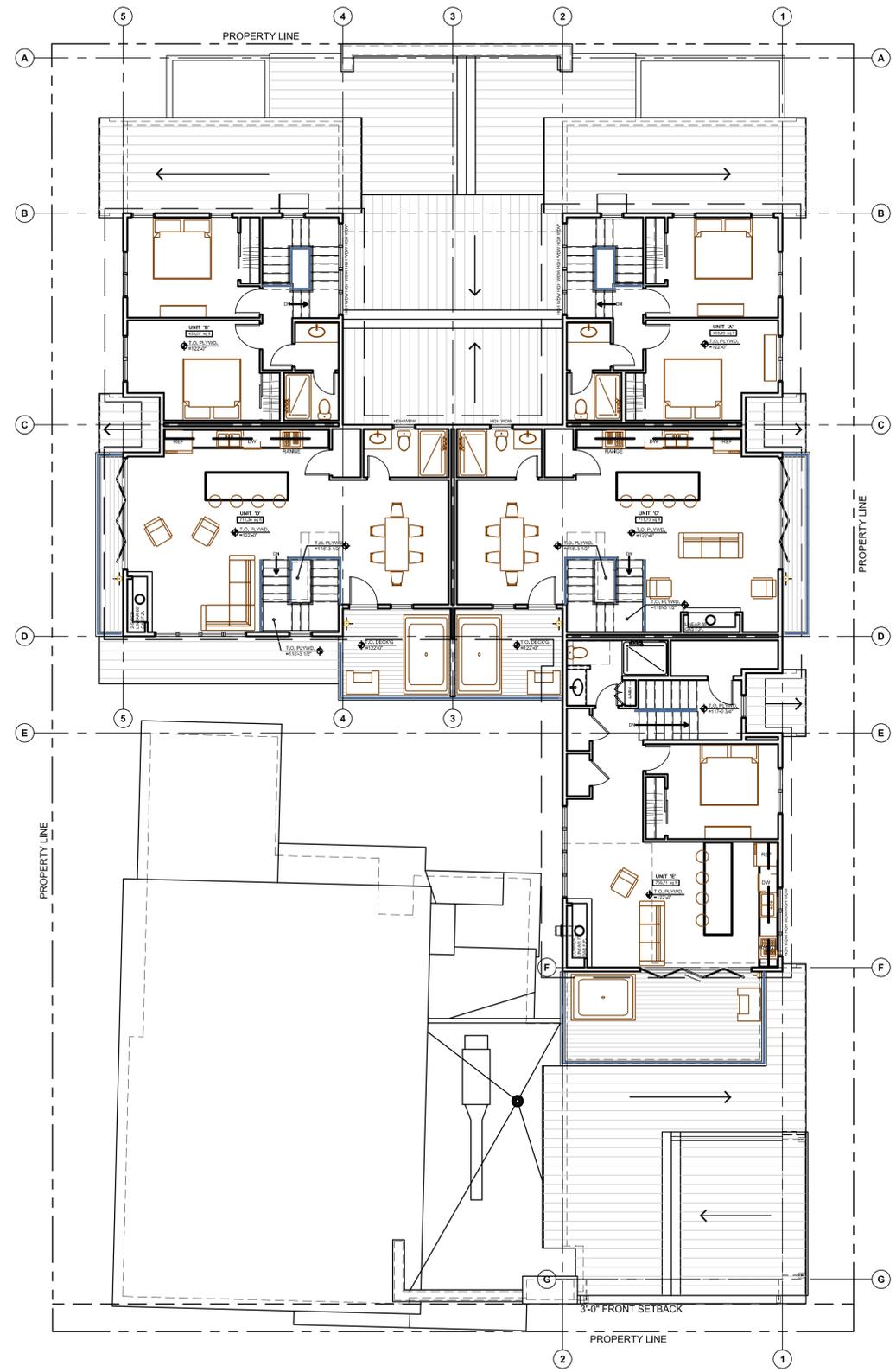


ROOF PLAN

SCALE: 1/8" = 1'-0"



NOTE:
SEE 1/4" SCALE DRAWINGS ON SHEETS A-1.9 & A-1.10 FOR MORE INFORMATION.



UPPER LEVEL PLAN

SCALE: 1/8" = 1'-0"

3,099 TOTAL NEW SQ. FT.



NOTE:
SEE 1/4" SCALE DRAWINGS ON SHEETS A-1.7 & A-1.8 FOR MORE INFORMATION.



REVISIONS:

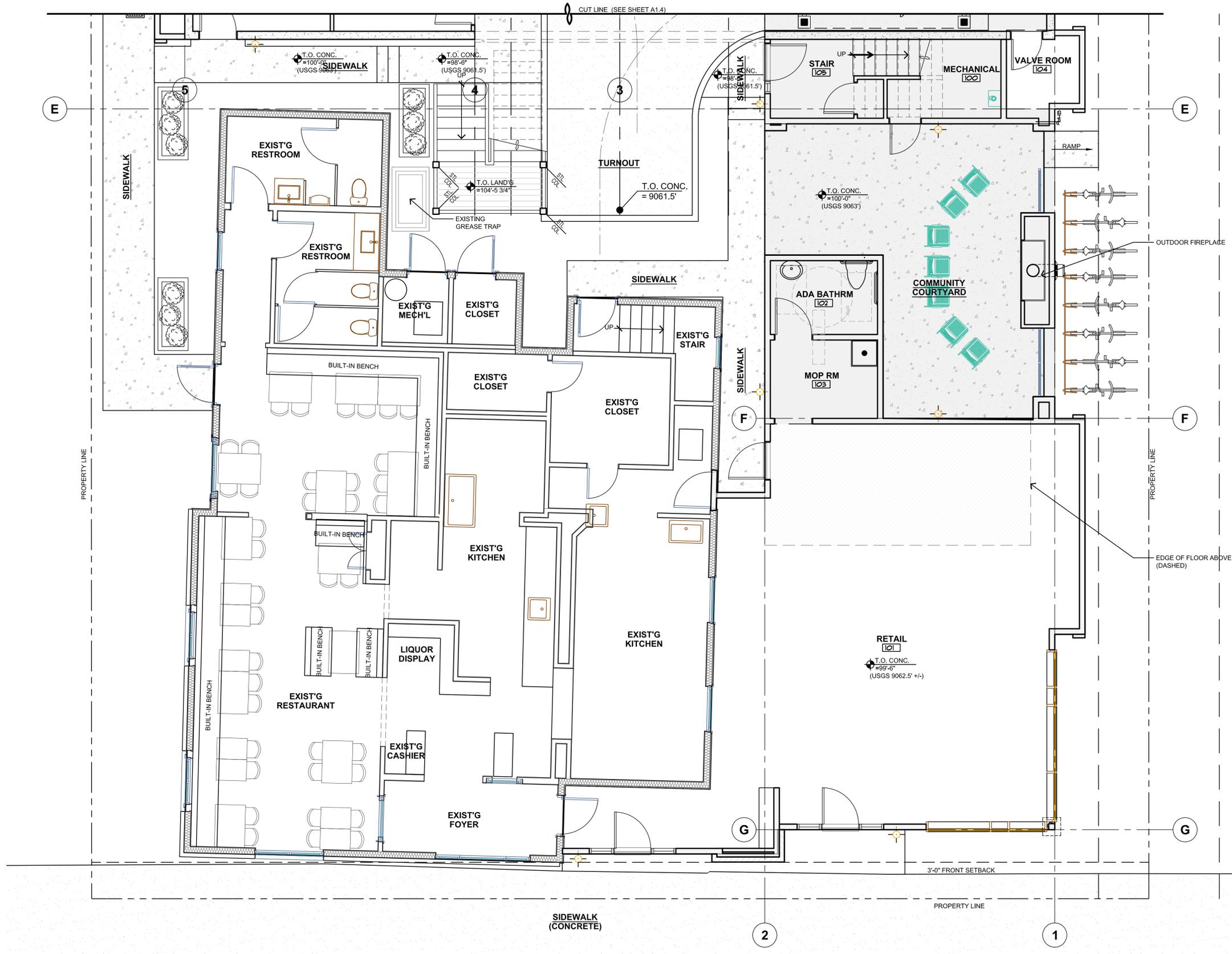
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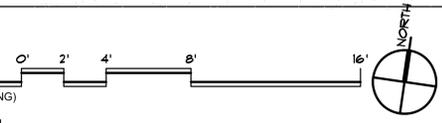
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SHEET NUMBER:
A-1.2
UPPER LEVEL AND
ROOF PLAN



GROUND LEVEL PLAN

SCALE: 1/4" = 1'-0"

2,119 SQ. FT. RESTAURANT (EXISTING)
 1,192 SQ. FT. RETAIL
 199 SQ. FT. STAIRS & MECHANICAL



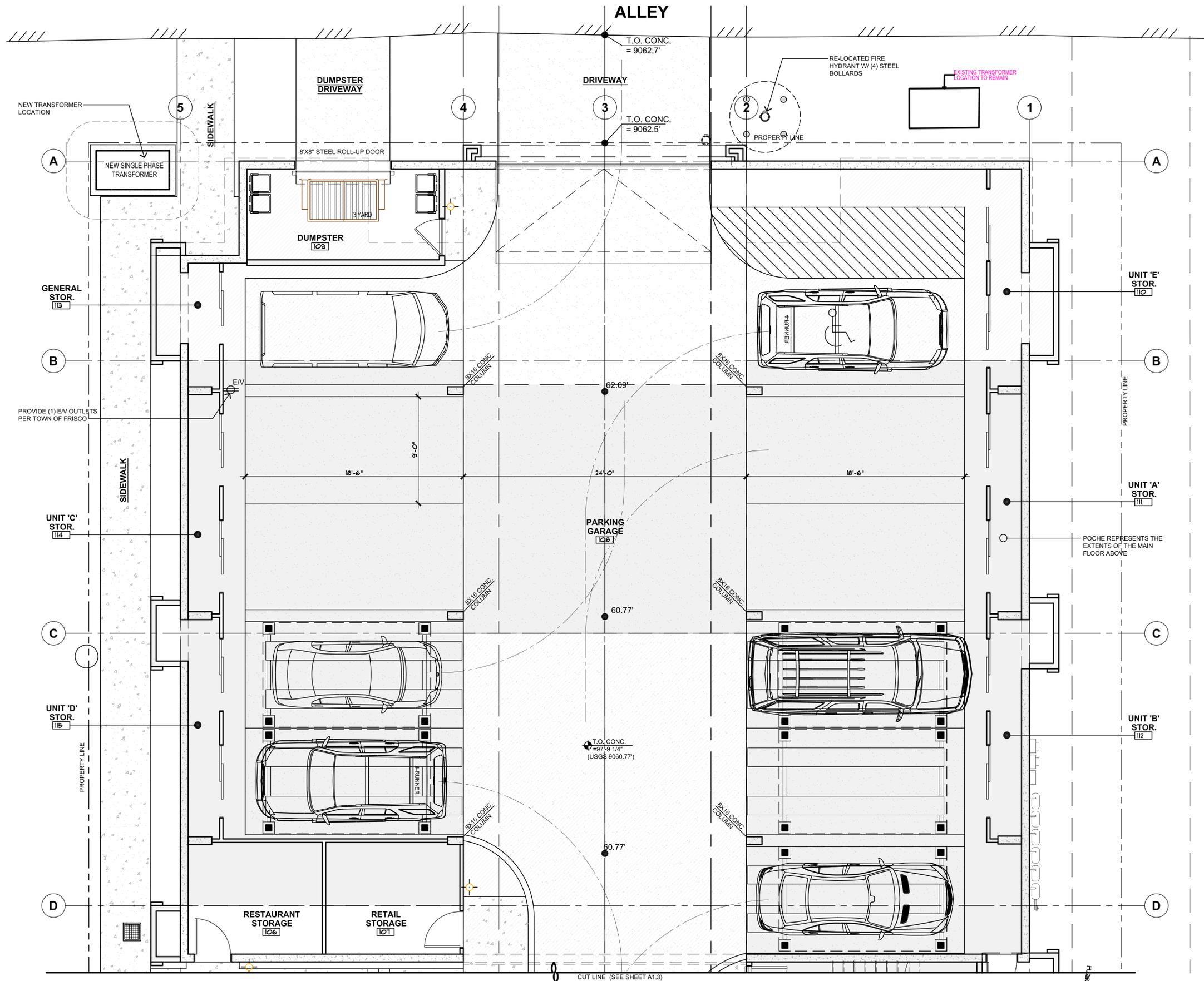
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 (LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

© 2025
 SHEET NUMBER:

A-1.3
 GROUND LEVEL PLAN



GROUND LEVEL PLAN

SCALE: 1/4" = 1'-0"

4,682 SQ. FT. UNFIN. PARKING GARAGE
152 SQ. FT. UNFIN. DUMPSTER

REVISIONS:

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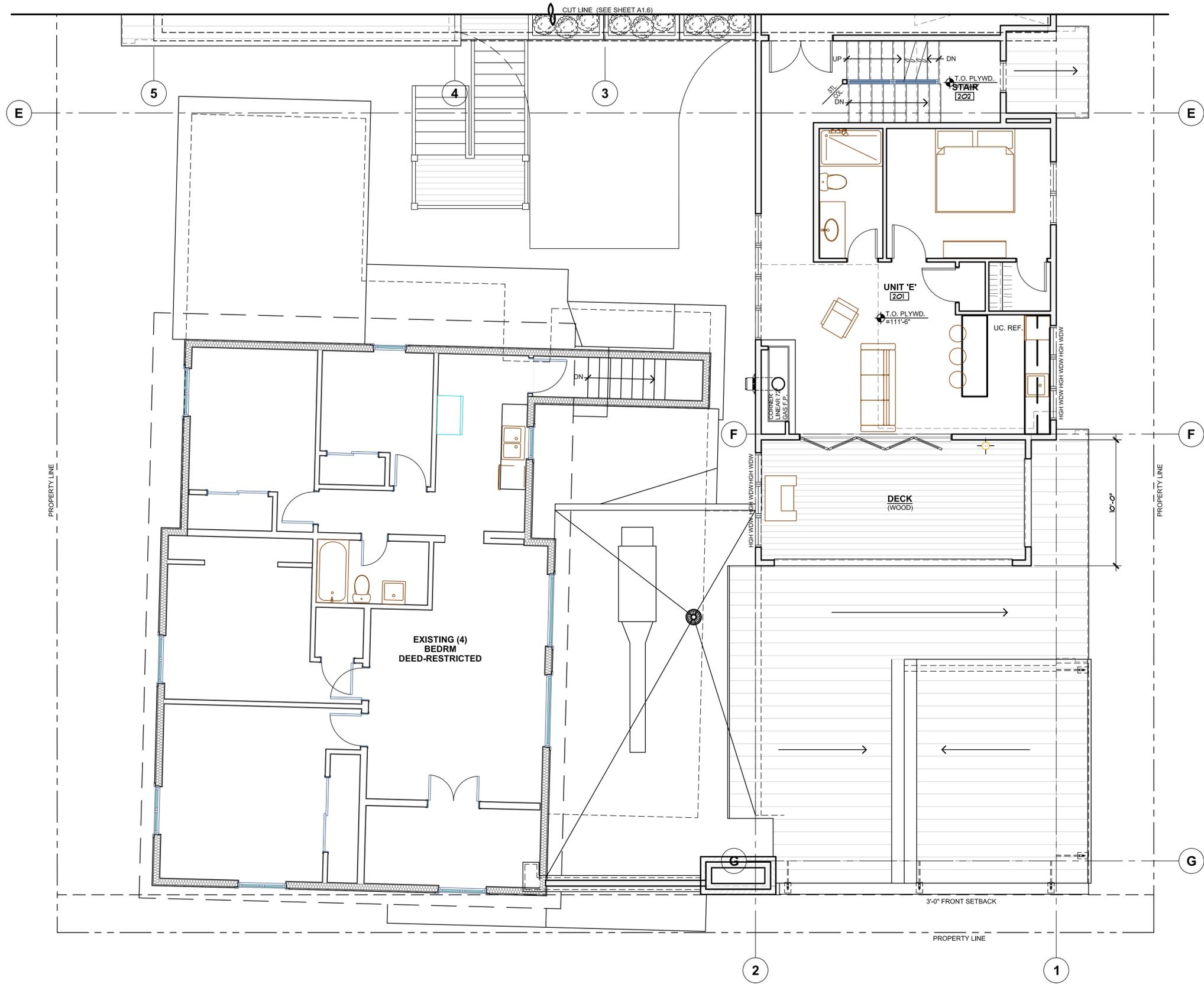
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SIXTH DEGREE TOWNHOMES
121 EAST MAIN STREET, FRISCO COLORADO 80443
(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

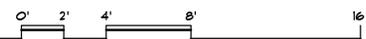
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SHEET NUMBER:
A-1.4
GROUND LEVEL PLAN



MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"

1,333 SQ. FT. FINISHED (EXISTING 4 BEDRM)
822 SQ. FT. FINISHED UNIT E



REVISIONS:

JOB NO: 52405
DATE: 11/28/25
DRAWN BY: J PAULAK
CHECKED BY: Z LEVIN

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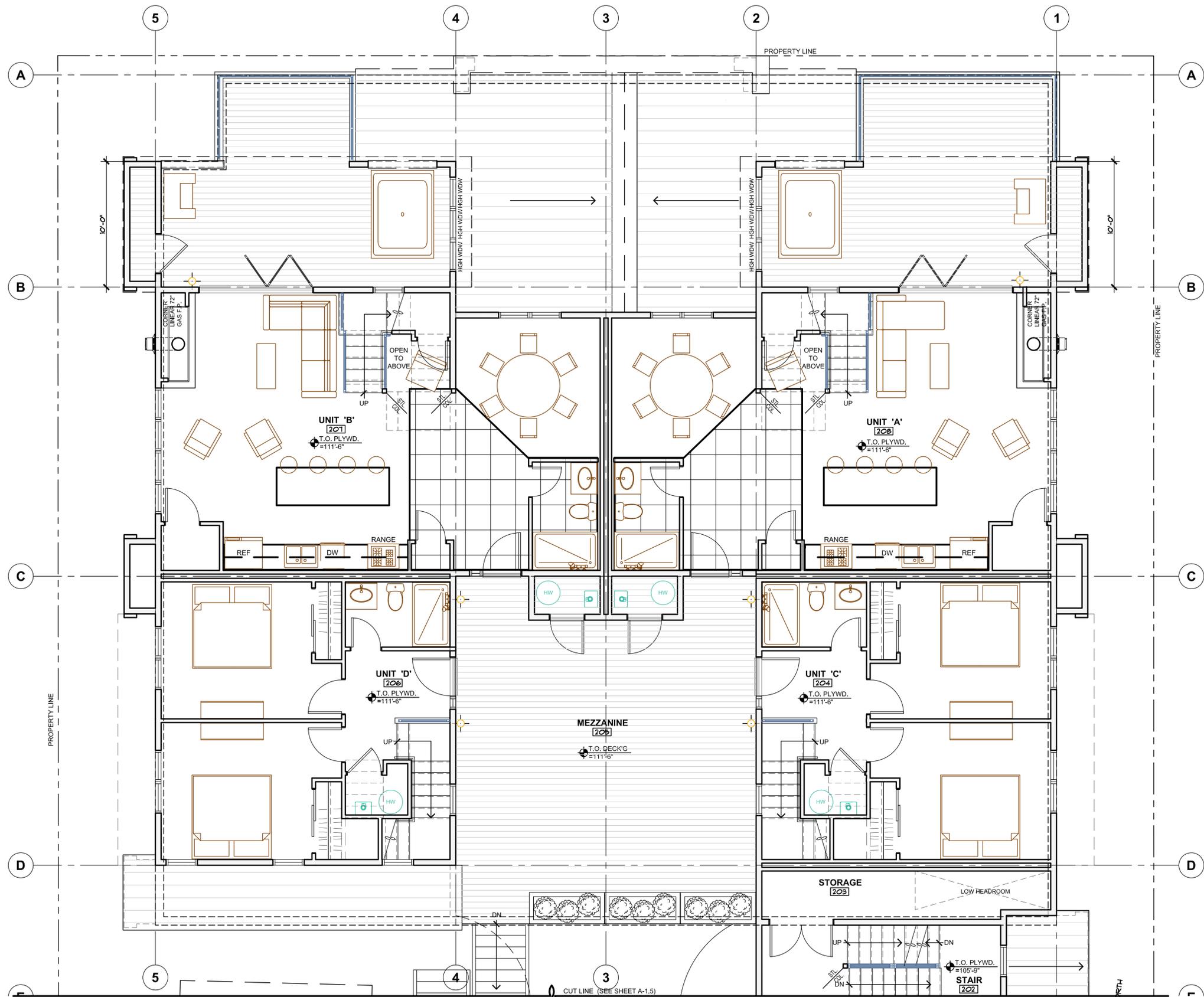
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SHEET NUMBER:

A-1.5
MAIN LEVEL PLAN



MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"

804 SQ. FT. FINISHED UNIT A
 801 SQ. FT. FINISHED UNIT B
 552 SQ. FT. FINISHED UNIT C
 552 SQ. FT. FINISHED UNIT D

REVISIONS:

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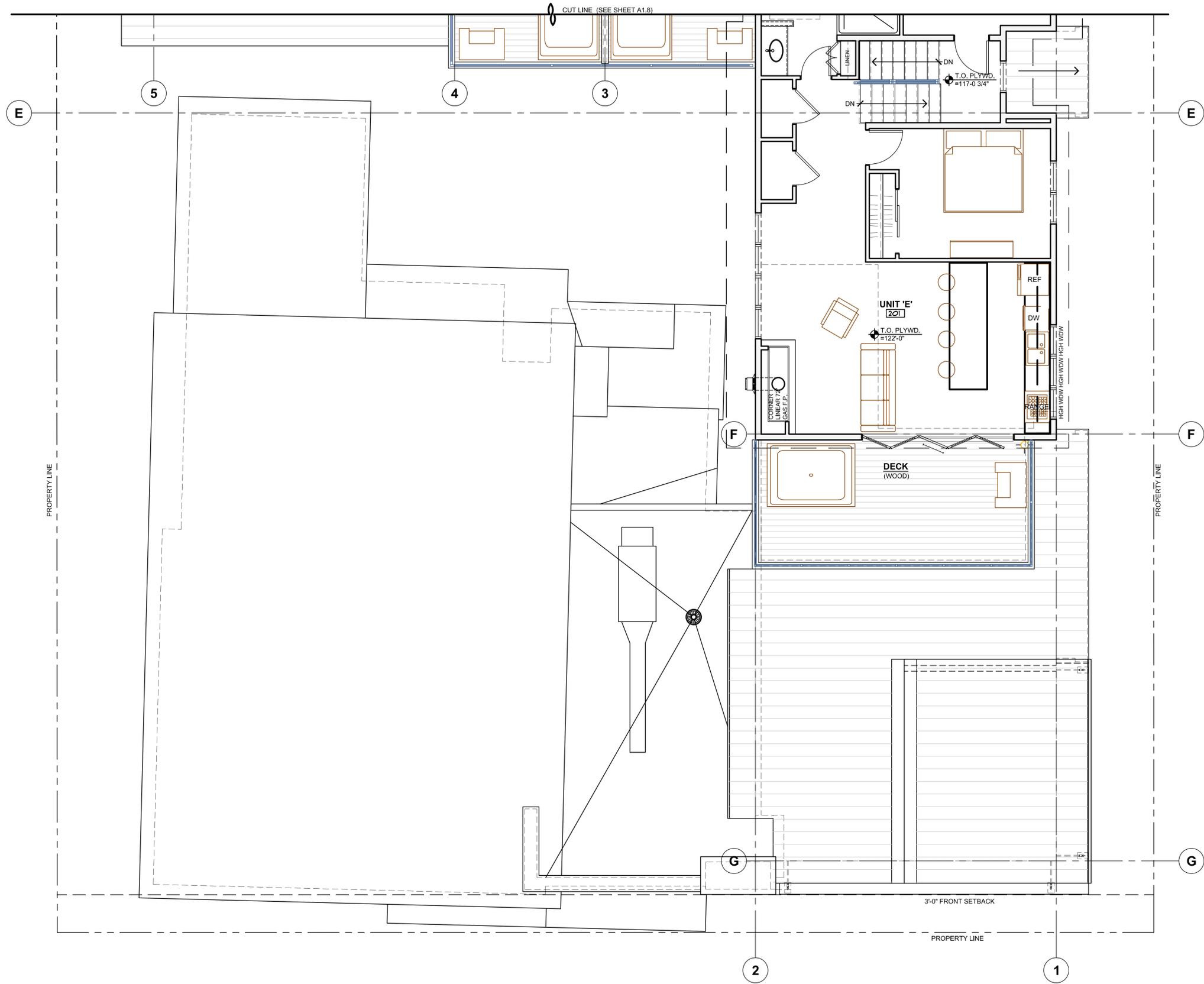
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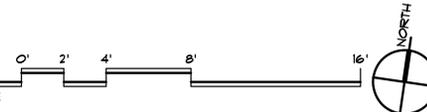
A-1.6
 MAIN LEVEL PLAN



UPPER LEVEL PLAN

SCALE: 1/4" = 1'-0"

769 FINISHED SQ. FT. UNIT E



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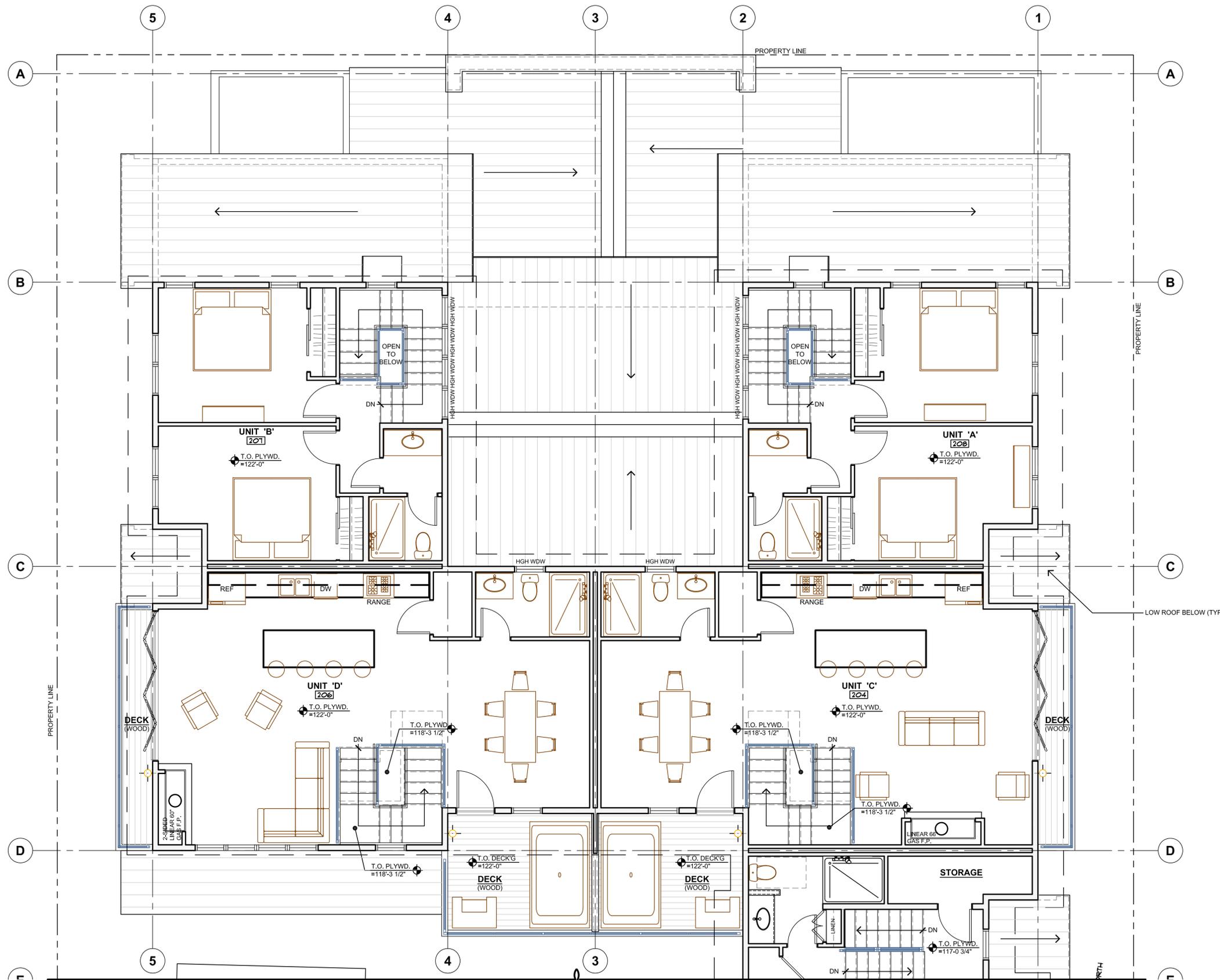
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SHEET NUMBER:

A-1.7
 UPPER LEVEL
 PLAN



UPPER LEVEL PLAN

SCALE: 1/4" = 1'-0"

CUT LINE (SEE SHEET A1.7)

453 SQ. FT. FINISHED UNIT A
 453 SQ. FT. FINISHED UNIT B
 712 SQ. FT. FINISHED UNIT C
 711 SQ. FT. FINISHED UNIT D

REVISIONS:

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SIXTH DEGREE TOWNHOMES
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 SHEET NUMBER:
A-1.8
 UPPER LEVEL
 PLAN

ROOF NOTES:

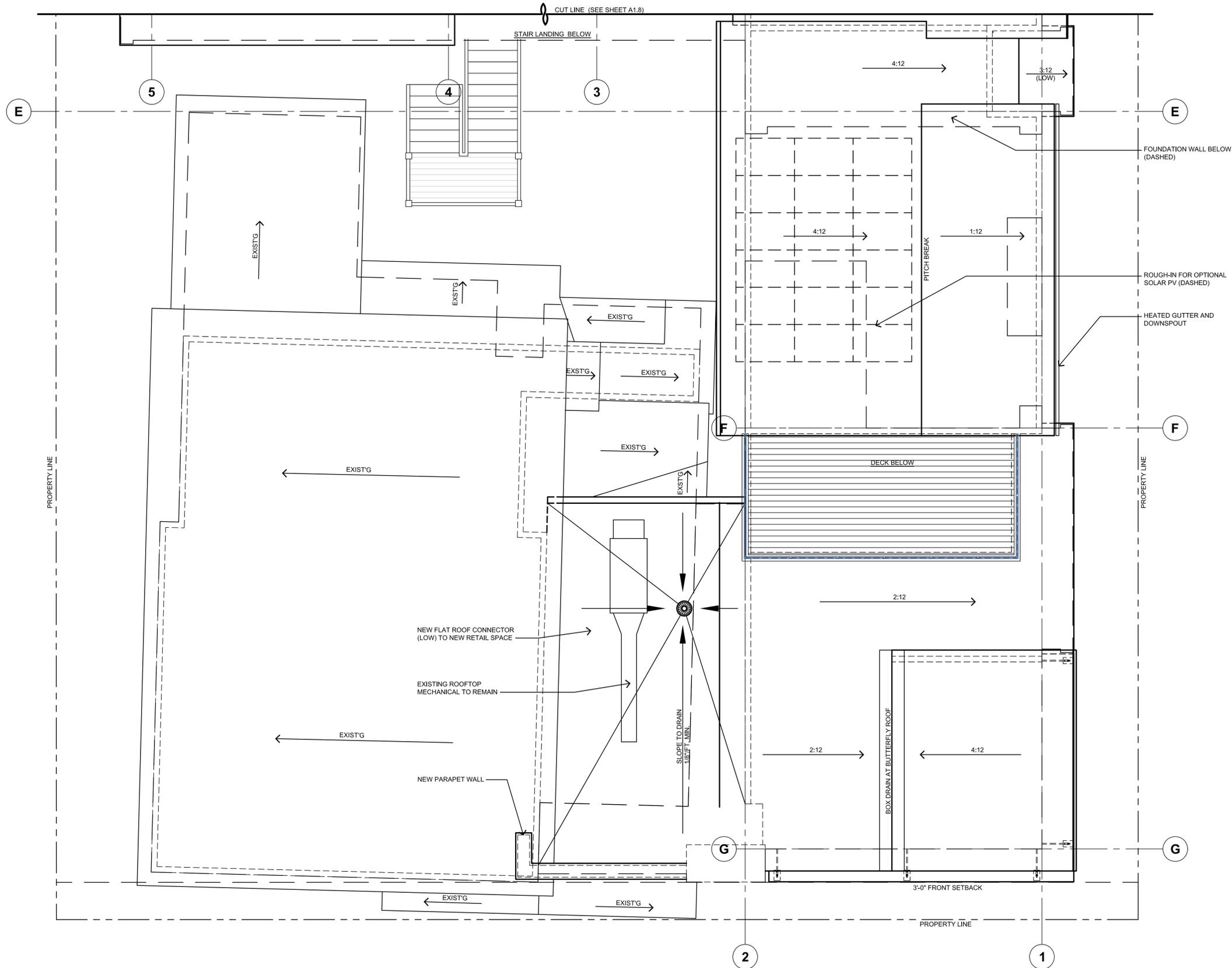
1. PROVIDE HEAT TAPE @ HEATED GUTTERS & DOWNSPOUTS. PROVIDE ELECTRIC OUTLET FOR HEAT TAPE AT EACH DOWNSPOUT LOCATION.
2. PAINT ALL EXPOSED PIPING EXTENDING THROUGH ROOF TO MATCH ROOF.
3. PROVIDE VALLEY FLASHING AT ALL VALLEYS.
4. OVERHANG DIMENSIONS ARE TO END OF RAFTER/TRUSSES - SEE DETAILS.
5. REFER TO PLAN FOR ALL ROOF OVERHANGS.
6. PROVIDE KICK-OUT FLASHING AT ALL EAVEWALL JUNCTURES.
7. PROVIDE ADDITIONAL SOFFIT OUTLETS FOR CHRISTMAS LIGHTING - LOCATE PER OWNER INPUT.
8. SEE SHEET SP1.2 FOR BUILDING RIDGE HEIGHTS.
9. PROVIDE ILC AS REQUIRED.
10. CONTRACTOR TO COORDINATE HEATED GUTTER AND DOWNSPOUT LOCATIONS WITH ARCHITECT
11. ALL PLUMBING VENTS, BOILER VENTS, AND OTHER ROOF PENETRATIONS ARE WITHIN 5" OF RIDGE LINES. PAINT TO MATCH ROOF COLOR.

ROOFING NOTE:
REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.

MAINTENANCE NOTE:
THE OWNER HAS BEEN ADVISED THAT ALL ROOF AND DECK SURFACES MUST BE MAINTAINED RELATIVELY FREE OF SNOW & ICE.

COLD ROOF NOTE:

THIS PROJECT INCLUDES A "COLD ROOF" DESIGN. PROVIDE INSULATION BAFFLES AT ALL RAFTER SPACES AND HOLD DOWN VALLEY FRAMING TO ENSURE AIRFLOW ABOVE ALL VALLEYS. THIS INCLUDES FLUSH VALLEYS (SEE DETAIL). IF NECESSARY DRILL HOLES FOR VENTILATION AS APPROVED BY THE STRUCTURAL ENGINEER. THIS INCLUDES BEAMS AND ALL AREAS THAT RESTRICT AIR FLOW FROM SOFFIT VENTS UP TO RIDGE VENTS. PROVIDE 1" DIAMETER HOLES @ 8" O.C. IN THESE AREAS. RETAIN 1 1/2" OF BEAM ABOVE VENTILATION HOLES. VERIFY WITH STRUCTURAL ENGINEER.



ROOF PLAN

SCALE: 1/4" = 1'-0"

REVISIONS:

JOB NO: 52405
DATE: 11/28/25
DRAWN BY: J PAWLAK
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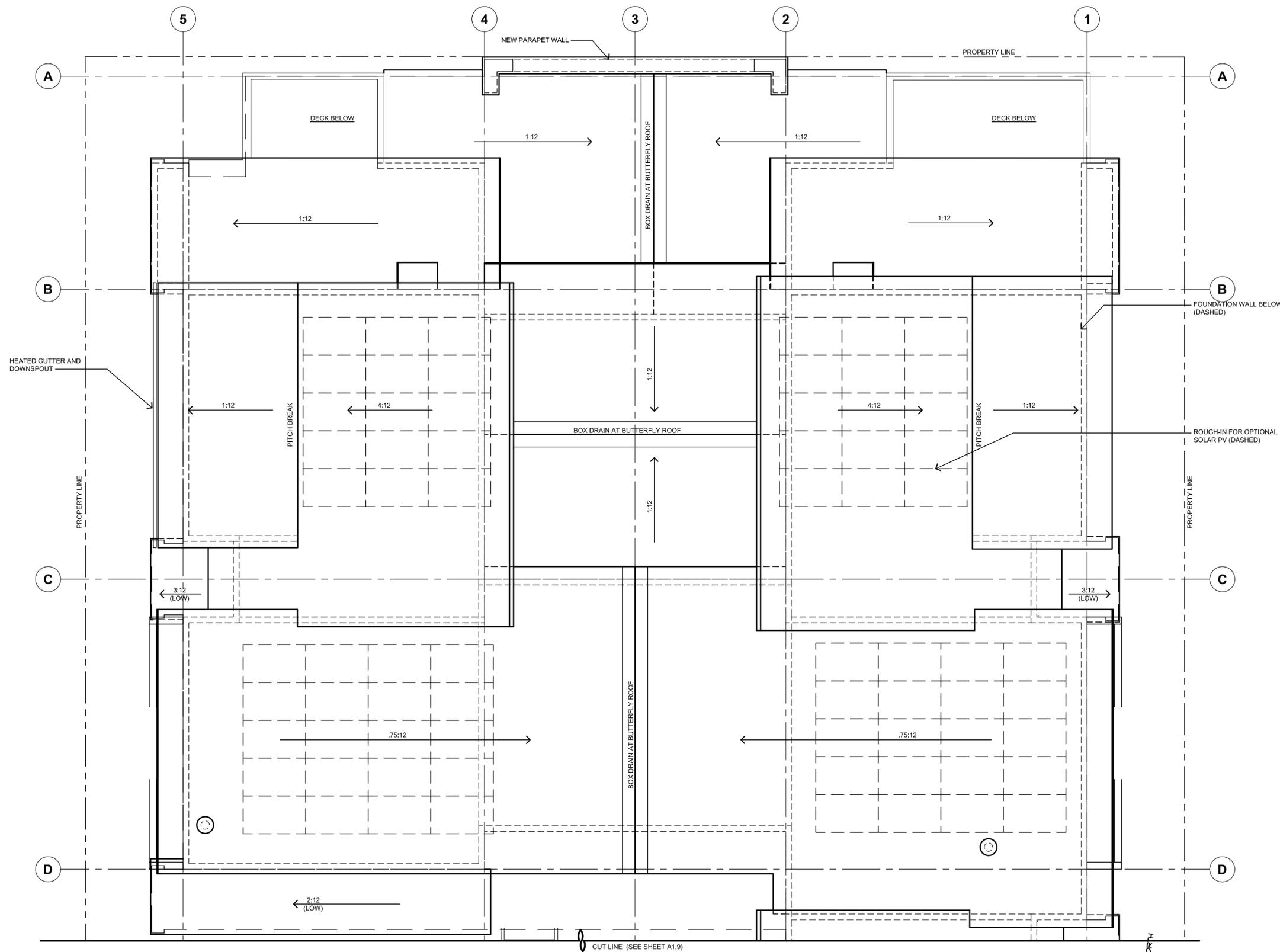
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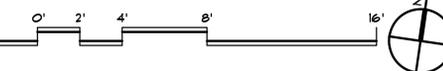
SHEET NUMBER:

A-1.9
ROOF PLAN



ROOF PLAN

SCALE: 1/4" = 1'-0"



REVISIONS:

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SHEET NUMBER:
A-1.10
ROOF PLAN



SOUTHWEST PERSPECTIVE

SCALE: N.T.S.



SOUTHEAST PERSPECTIVE

SCALE: N.T.S.



NORTHEAST PERSPECTIVE

SCALE: N.T.S.



NORTHWEST PERSPECTIVE

SCALE: N.T.S.

COLOR LEGEND		
1	METAL ROOF -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: ASH GREY
2	METAL FASCIA	mfr: METAL SALES color: ASH GREY
3	WINDOW CLAD and FLASHINGS	mfr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDING -1X4 T & G	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE RHINO
5	HORIZONTAL SIDING -1X6 CHANNEL RUSTIC	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HIGHLANDS
6	HORIZONTAL SIDING -1X8 SHIPLAP	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT	mfr: METAL SALES color: BLACK
8	METAL ROOFING (VERTICAL) -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: ASH GREY

REVISIONS:

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11/28/25

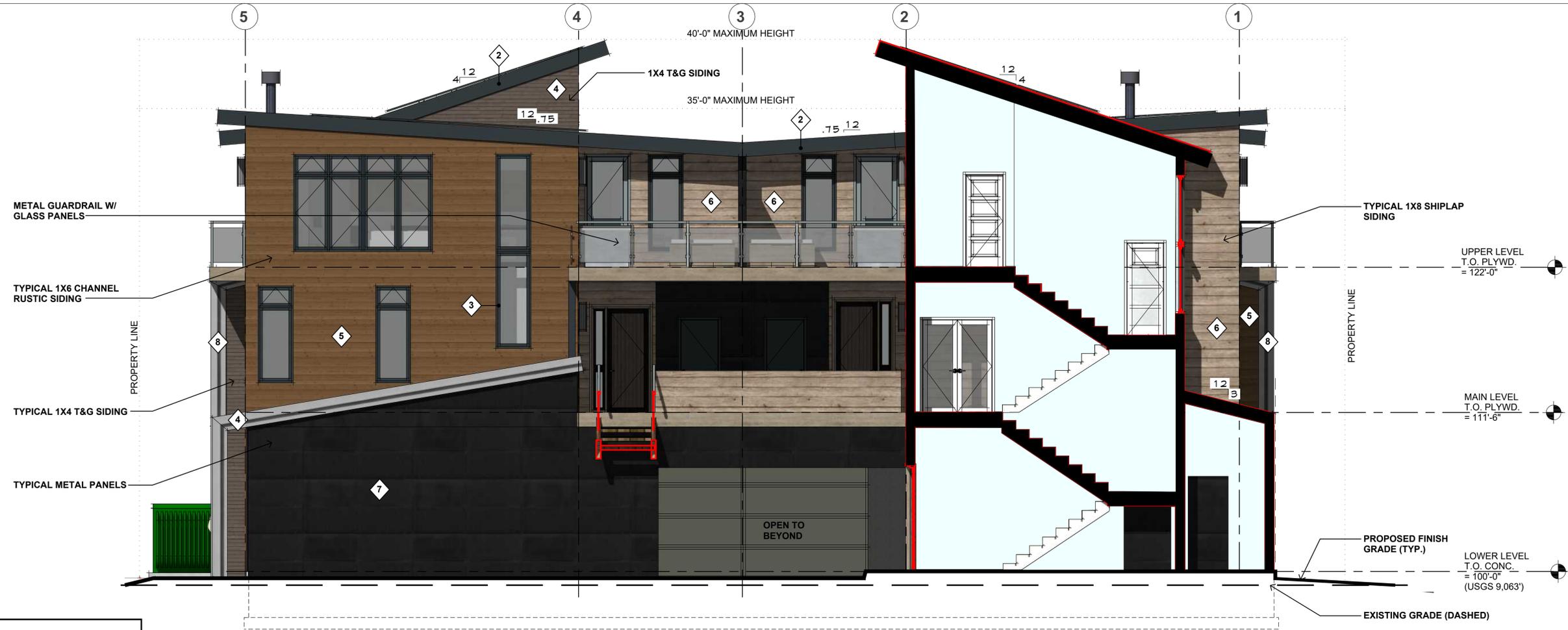
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SIXTH DEGREE TOWNHOMES
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SHEET NUMBER:

A-2.1
BUILDING
PERSPECTIVES

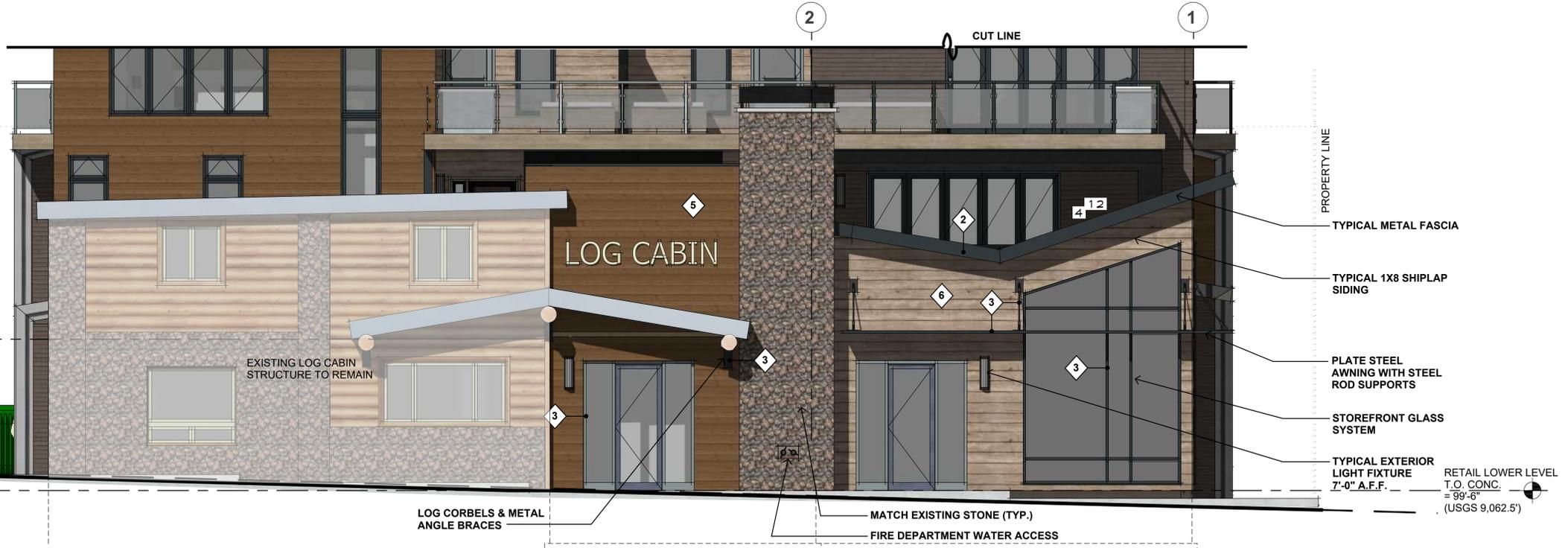


SOUTH ELEVATION/ PARTIAL SECTION

SCALE: 1/4" = 1'-0"



COLOR LEGEND	
1	METAL ROOF -IMAGE II (STAND'G SEAM) mfr: METAL SALES color: ASH GREY
2	METAL FASCIA mfr: METAL SALES color: ASH GREY
3	WINDOW CLAD and FLASHINGS mfr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDING -1X4 T & G mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE RHINO
5	HORIZONTAL SIDING -1X6 CHANNEL RUSTIC mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HIGHLANDS
6	HORIZONTAL SIDING -1X8 SHIPLAP mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT mfr: METAL SALES color: BLACK
8	METAL ROOFING (VERTICAL) -IMAGE II (STAND'G SEAM) mfr: METAL SALES color: ASH GREY



SOUTH ELEVATION at LOG CABIN

SCALE: 1/4" = 1'-0"



REVISIONS:

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DATE: 11/28/2025
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TOWN OF FRISCO
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SIXTH DEGREE TOWNHOMES
121 MAIN ST., FRISCO, COLORADO
(LOTS 1 & 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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SHEET NUMBER:
A-2.2
SOUTH ELEVATION



WEST ELEVATION

SCALE: 1/4" = 1'-0"



COLOR LEGEND	
1	METAL ROOF -IMAGE II (STAND'G SEAM) mfr: METAL SALES color: ASH GREY
2	METAL FASCIA mfr: METAL SALES color: ASH GREY
3	WINDOW CLAD and FLASHINGS mfr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDING mfr: SPECIALTY WOOD PRODUCTS -1X4 T & G color: NEW AGE RHINO
5	HORIZONTAL SIDING mfr: SPECIALTY WOOD PRODUCTS -1X6 CHANNEL RUSTIC color: NEW AGE HIGHLANDS
6	HORIZONTAL SIDING mfr: SPECIALTY WOOD PRODUCTS -1X8 SHIPLAP color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT mfr: METAL SALES color: BLACK
8	METAL ROOFING (VERTICAL) -IMAGE II (STAND'G SEAM) mfr: METAL SALES color: ASH GREY



WEST ELEVATION at LOG CABIN

SCALE: 1/4" = 1'-0"



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SHEET NUMBER:

A-2.3
WEST
ELEVATION

(EXIST'G)
UPPER LEVEL
T.O. PLYWD.
= 108'-6"

(EXIST'G)
RETAIL LOWER LEVEL
T.O. CONC.
= 99'-6"
(USGS 9,062.5')



COLOR LEGEND

1	METAL ROOF -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: ASH GREY
2	METAL FASCIA	mfr: METAL SALES color: ASH GREY
3	WINDOW CLAD and FLASHINGS	mfr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDING -1X4 T & G	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE RHINO
5	HORIZONTAL SIDING -1X6 CHANNEL RUSTIC	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HIGHLANDS
6	HORIZONTAL SIDING -1X8 SHIPLAP	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT	mfr: METAL SALES color: BLACK
8	METAL ROOFING (VERTICAL) -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: ASH GREY

NORTH ELEVATION

SCALE: 1/4" = 1'-0"



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UPPER LEVEL
T.O. PLYWD.
= 122'-0"

MAIN LEVEL
T.O. PLYWD.
= 111'-6"

LOWER LEVEL
T.O. CONC.
= 100'-0"
(USGS 9063')

PROPOSED (SINGLE PHASE)
TRANSFORMER ON CONCRETE PAD
(PER XCEL ENERGY REQUIREMENTS
AND SPECIFICATIONS)

10'-0" MINIMUM CLEARANCE PER
XCEL ENERGY (SINGLE PHASE)
TRANSFORMER TO BUILDING
OPENING

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SHEET NUMBER:

A-2.4
NORTH
ELEVATION



EAST ELEVATION

SCALE: 1/4" = 1'-0"

LOCATE (6) PROPOSED GAS METERS
IN APPROVED NATURAL GAS BANK

LOCATE (6) PROPOSED ELECTRICAL
METERS IN APPROVED ELECTRICAL

UPPER LEVEL
T.O. PLYWD.
= 122'-0"

MAIN LEVEL
T.O. PLYWD.
= 111'-6"

LOWER LEVEL
T.O. CONC.
= 100'-0"
(USGS 9063.5)

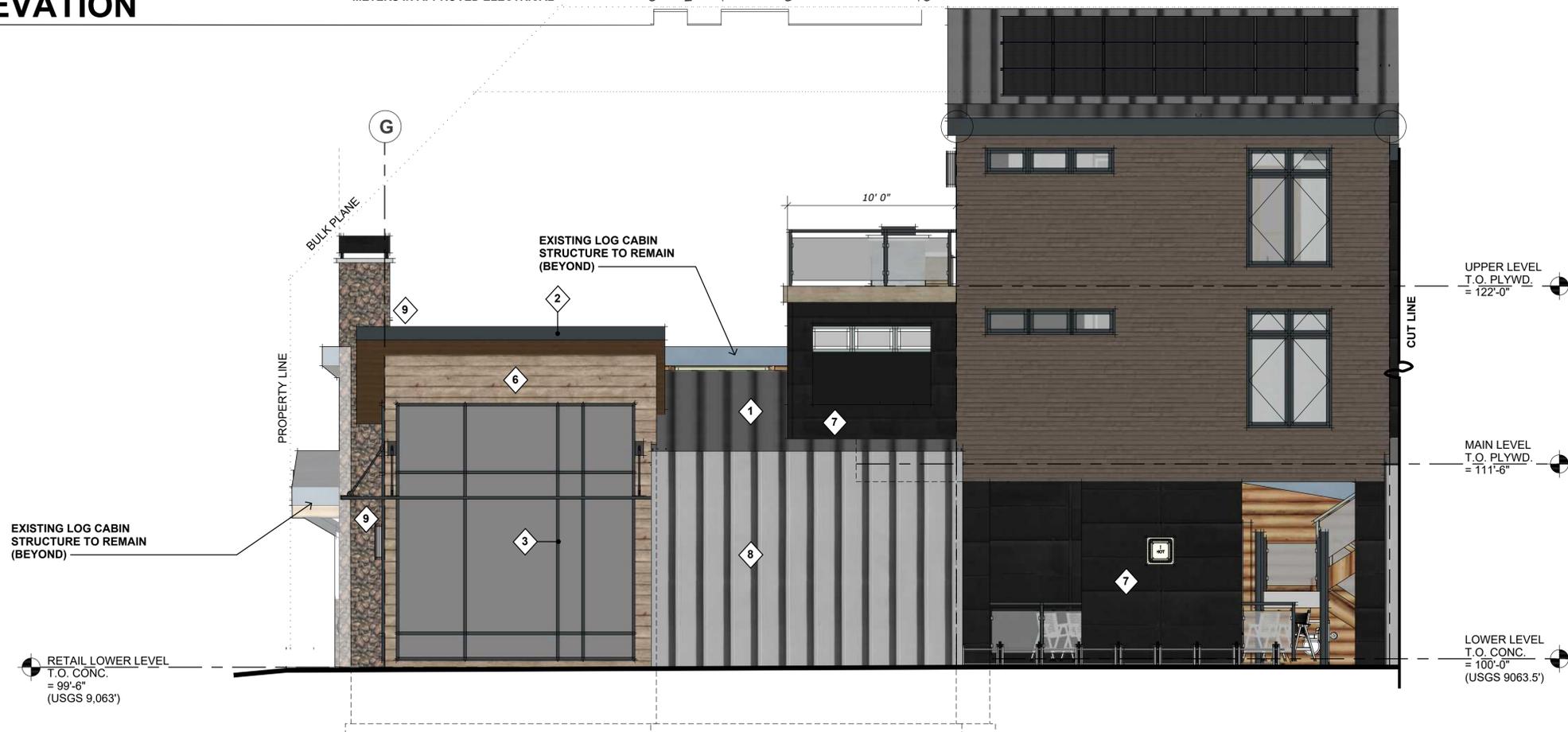
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COLOR LEGEND	
1	METAL ROOF -IMAGE II (STAND'G SEAM) mfr: METAL SALES color: ASH GREY
2	METAL FASCIA mfr: METAL SALES color: ASH GREY
3	WINDOW CLAD and FLASHINGS mfr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDING -1X4 T & G mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE RHINO
5	HORIZONTAL SIDING -1X6 CHANNEL RUSTIC mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HIGHLANDS
6	HORIZONTAL SIDING -1X8 SHIPLAP mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT mfr: METAL SALES color: BLACK
8	METAL ROOFING (VERTICAL) -IMAGE II (STAND'G SEAM) mfr: METAL SALES color: ASH GREY



EAST ELEVATION at LOG CABIN

SCALE: 1/4" = 1'-0"

UPPER LEVEL
T.O. PLYWD.
= 122'-0"

MAIN LEVEL
T.O. PLYWD.
= 111'-6"

LOWER LEVEL
T.O. CONC.
= 100'-0"
(USGS 9063.5)

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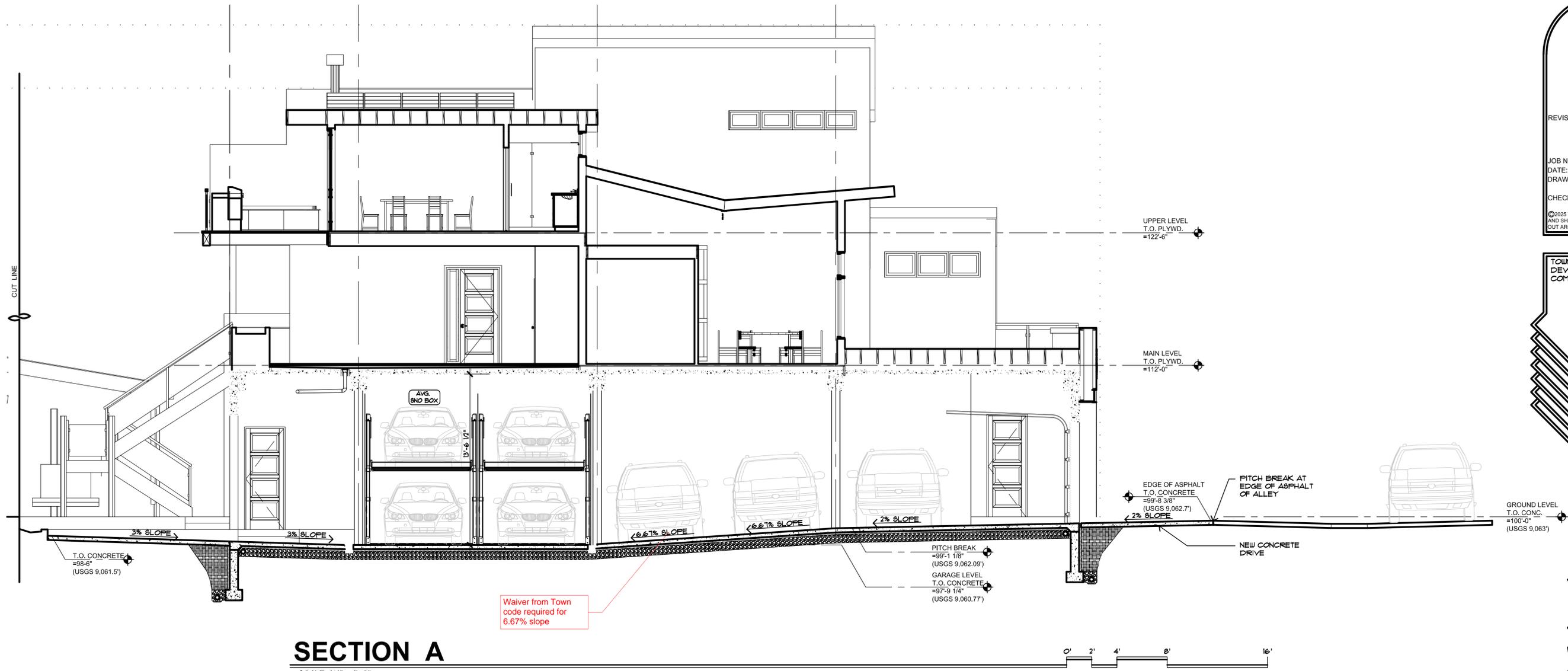
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SHEET NUMBER:

A-2.5

EAST
ELEVATION



SECTION A
SCALE: 1/4" = 1'-0"

Waiver from Town code required for 6.67% slope

REVISIONS:
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SHEET NUMBER:
A-3.1
BUILDING SECTIONS

Sixth Degree DRC Meeting 20250827 - AI Notes and Follow Up

From Zane Levin <zlevin@bhpartners.com>

Date Wed 8/27/2025 4:10 PM

To 'margaret@sixthdegree.com' <margaret@sixthdegree.com>; Jamie Pawlak <jpawlak@bhpartners.com>; tom@marcinengineering.com <tom@marcinengineering.com>; steve@hardingaps.com <steve@hardingaps.com>

Team,

Below are my unfiltered and unedited AI recorded notes from the meeting. Please let me know if you have any questions, comments, or edits. Looking forward to working with you all to take this project forward. **Overview**

- Civil plans from 2022 do not match recent architectural updates, necessitating revised civil plans for compliance with the current site layout. *I believe Marcin is complete on this, check ? Add to Sketch Plan*
- Proposed 24-foot driveway raises concerns about radius and ADA ramp positioning, prompting a need for reconfiguration to ensure safety. *SP-1.1, SP-1.2, SP-1.3 Remove Main St Parking Spot*
- Addition of parking spaces near the driveway intersection introduces safety risks related to vehicle movement and requires assessment. *I think this is referncing above.*
- Building clearance related to the water line easement needs verification, specifically a 5-foot distance on property and 15 feet on Loaf and Jug side. *Meeting w/ToF Public Works Director Josh Southworth & Chris McGinnis & Zane, resolve :- ToF to review waterline and relocate to within easement if necessary once escalated.*
- Fire hydrant needs relocation to ensure proper clearance for the garage area foundation, with compliance required prior to construction. *notation on plan*
- Snow storage in the right-of-way violates code; new on-site storage needs to be designated to meet site requirements. *Update pages SP-1.1*
- Restaurant requires an additional 5 Equivalent Residential Units (EQRs) to meet the demand from dwelling units and retail additions.
- Transformer placement fails to meet the 20-foot safety clearance from operable doors, necessitating relocation for compliance. *Be sure to identity all Xcel measurements & multi directional clearances, Clarification call to Pete Kunz ask if we can reroute existing buildings service as it's platted separately*
- Parking garage's slope at 6.67% exceeds the permissible 4%, requiring variance approval from the Public Works director. *Waiver Completed*
- Current parking provision of 15 spaces meets only partial requirements for 100% AMI units, necessitating tandem parking approval from the Planning Commission. *SP-1.3 Parking Notes and page to include #8 EV Ready Letter from Kris Valdez September 10th CC Katie Kent & Mark Richmond to acknowledged Deed Restricted units as platted and noted in Governing documents allocation of only 2 parking spaces and 5 new at market residences.*

Notes

Engineering Review & Site Plan Compliance

- Civil plans from 2022 don't match architectural plans with recent dates, requiring updated civil plans to align with current layout. *as note above*
- 24-foot wide driveway proposed with concerns about radius and ADA ramp proximity, requiring reconfiguration with 3-foot radius on both sides. *Remove sparking sport and adjust curbs to flow.*
- Parking space addition near driveway intersection creates safety concerns with vehicle overtracking and backing maneuvers.
- Water line easement approximately <5 feet on property side, 15+ feet on Loaf and Jug side needs verification for building clearance. *AS notes above*
- Water line relocation recommended during excavation to protect both utilities and building foundation.

Utility Infrastructure Requirements

- Fire hydrant relocation needed for garage door area with foundation clearance verification required.
- Snow storage shown in right-of-way violates code requiring on-site storage, current location unusable for site needs.
- Water service line location for existing restaurant cannot be established despite multiple location attempts.
- 4-inch ductile iron pipe runs between Loaf and Jug and restaurant, requiring hydraulic analysis for fire suppression demand.
- Restaurant currently has 2.65 EQRs, needs additional 5 EQRs for dwelling units plus retail calculations.

Electrical & Safety Compliance

- Transformer location fails to meet 20-foot safety clearance from operable doors/windows, currently at 18 feet to garage door. [Accessed energy requirement](#)
- Multiple electrical meters require co-location with specific placement requirements: non-drip side, 4 feet from first story drip, 16 feet from second story drip.
- 20-foot clearance rule is national safety standard with no exceptions possible, affecting patio doors and dumpster room.

Sewer & Drainage Systems

- Main service line sizing unclear, recommendation for 6-inch minimum or 8-inch for shallow conditions with 1% grade vs 2% for 4-inch.
- 10-foot separation required from sanitary sewer with alternative materials if spatial constraints exist.
- Grease interceptor required outdoors per environmental health preferences, with accessibility considerations.
- Insulation details needed where sewer crosses underneath infiltration gallery due to shallow depth.

Planning & Code Compliance

- Two rear parking spaces owned by Casa Sanchez require re-platting before final site plan approval.
- Dumpster access too close to driveway, requiring Public Works director waiver.
- Parking garage grade at 6.67% exceeds 4% street design criteria, needs Public Works director variance.
- Gross floor area calculation needed to determine if 10,000-25,000 sq ft requires public community space. [We allocated court yard](#)

Housing & Parking Requirements

- 100% AMI deed restriction issue requires resolution with existing property owner per contractual obligations.
- Current parking count: 15 spaces provided, 14 required for 100% AMI unit, 16 required if not 100% AMI.
- Tandem parking approval needed from Planning Commission despite previous indication of acceptance.

Administrative & Process Issues

- Public Works director position currently vacant, interviews completed two weeks ago with hiring decision pending.
- Assistant director Greg Munson available for interim consultations if hiring exceeds 2-3 weeks.
- Waste Management letter already provided for dumpster location but may need updates based on site plan changes. [Existing letter suffices](#)

Action items

Civil Engineering Focused Items

- Update civil plans to match current architectural site plan layout.
- Provide drainage report for updated site layout review
- Submit hydraulic analysis for 4-inch water line capacity for fire suppression and domestic demand Coordinate with water utility on meter configuration - individual vs m
- Size main interceptor line (6-inch minimum or 8-inch for shallow conditions) and determine manhole necessity
- Provide insulation details where sewer crosses underneath infiltration gallery
- Include clean out within 5 feet of building on each branch line
- Professional location of existing restaurant water service line
-
-

Architecture Focused Items

- Remove parking space near driveway intersection
- Reconfigure driveway with 3-foot radius separation from ADA ramp
- Show water line easement on plans and confirm building clearance
- Address snow storage code violation by relocating to on-site location
- Relocate transformer to meet 20-foot safety clearance from all operable openings
- Co-locate electrical meters per placement requirements
- Apply for Public Works director waiver for dumpster access location
- Request variance for 6.67% parking garage grade
- Calculate gross floor area to determine public space requirements
- Resolve 100% AMI deed restriction with Casa Sanchez property owner
- Update lift specifications to match plan drawings
- Determine outdoor fireplace fuel type (gas vs electric) considering utility constraints
- Explore ADA egress alternatives to potentially increase driveway grade from 2% to 8% for improved lift clearance

Investigate adding 16th parking space with additional lift if 100% AMI restriction not achieved

TOF Focused Items

- Send blank waiver request form for dumpster location
- Schedule offline conversation about landscaping alternatives to trees near building
- Coordinate meeting between Mark, Thad, and Chris Valdez for deed restriction resolution
- Set up meeting with assistant Public Works director if hiring exceeds 2-3 weeks



Zane Levin | Principal Architect

bhh Partners of Colorado

w: <https://www.bhhpartnersco.com/>

c: 847.239.0494

Public Works Department
Waiver Request per Minimum Street Design and Access Criteria

APPLICANT INFORMATION

Applicant Margaret D Ziedin Margaret@SixthDegree.com
(Name) (Email Address)
Mailing Address 891 114th Street, #3602 Denver, Colorado, 80202
(Street/P.O. Box) (City/State/Zip Code)
Telephone Number 702-378-5627
(Home) (Work) (Fax)

Note: If applicant is other than the owner(s), a statement by the owner(s) consenting to this application must be submitted with the application.

Name of Engineer/Surveyor/Agent Tom Marcin Tom@marcinengineering.com
(Name) (Email Address)
Mailing Address 101 Eagle Road, #5, (P.O. Box 1062) Avon, CO 81620 PH: 970-748-0274
(Street/P.O. Box) (City/State/Zip Code)

PROJECT INFORMATION

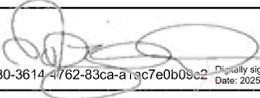
Name of Development (if applicable) Sixth Degree Town Homes
Property Address 121 E Main St, Frisco, CO, 80202
Legal Address of Property: Lot 1&2 Block 2 Subdivision King Solomon

In addition to this request form, the applicant must submit information showing the waiver request items and that ALL of the following conditions exist relative to the waiver request:

1. Failure to grant the waiver would result in practical difficulty for the applicant or would make the project economically unfeasible for the applicant;
2. Granting the waiver would facilitate project maintenance; and
3. Granting the waiver would not be detrimental to the public health, safety and welfare.

The waiver, if granted, shall only be to the extent necessary to afford a reasonable use of the property.

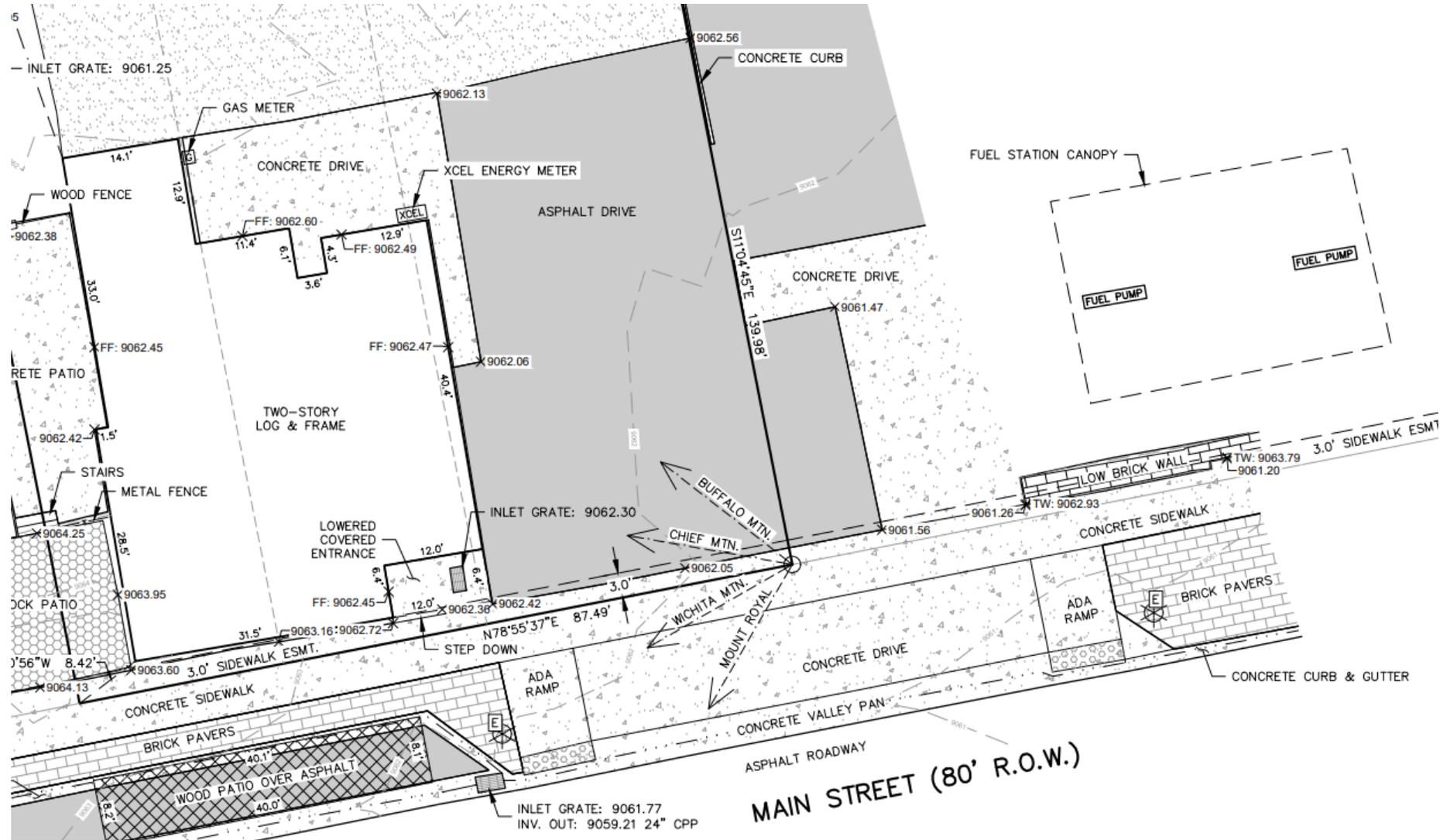
Applicant's Signature


da4ce380-3614-4762-83ca-a13c7e0b09c2 Digitally signed by da4ce380-3614-4762-83ca-a13c7e0b09c2
Date: 2025.11.13 10:17:09 -0700

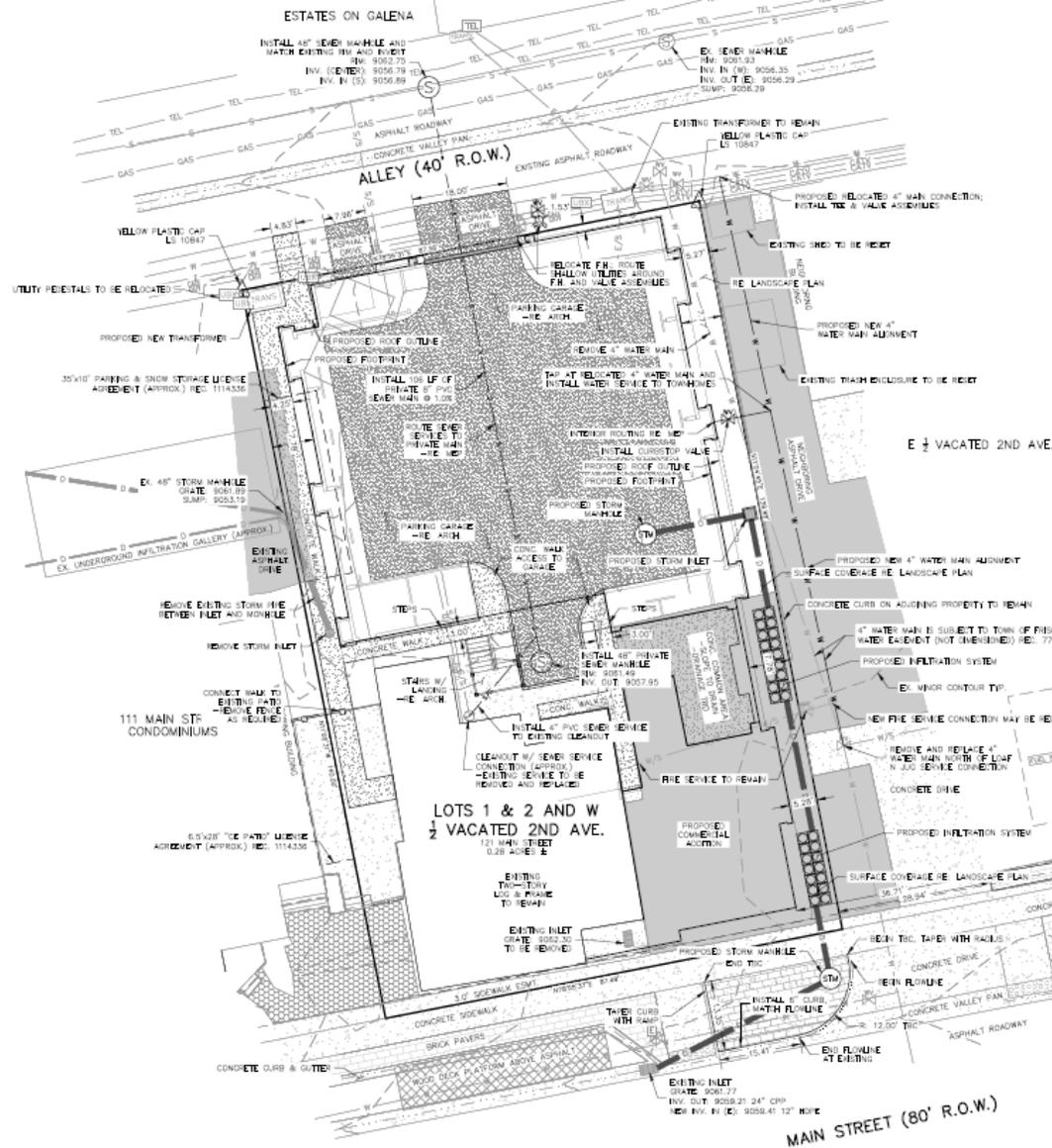
Date 11 / 13 / 2025

121- 201 E Main St

Property Ingress and Egress



- Property line is shown between the Asphalt Drive and the Concrete Drive
- The Concrete Drive can be used to easily determine an approximate property line on site
- There is 30 feet from the red dot to the red dot
- This exceeds the minimum of 22 feet for a commercial driveway (standards shown next page)



SHALLOW UTILITY NOTE

RELOCATION OF SHALLOW UTILITY (WATER AND/OR SEWER) FOR PROPOSED CONSTRUCTION SHALL BE COORDINATED WITH UTILITY OWNERS.
 SEE ARCHITECTURAL PLANS FOR VERTICAL LOCATIONS.

SAVINGS NOTE

SEE DETAIL SHEET FOR RECONSTRUCTION OF PAVING THROUGH THE PROPOSED CONSTRUCTION.

WATER MAIN NOTE

EXISTING 4" WATER MAIN ALONG EASTERN PROPERTY LINE IS SUBJECT TO TOWN OF FRISCO WATER EXISTENT (NOT SUBMERGED) RES. 77525. NEW ALIGNMENT IS PROPOSED AS PART OF THE SITE PLAN.



MARCIN ENGINEERING LLC
 101 EAGLE ROAD, #5
 AVON, COLORADO
 970-748-0274

SITE PLAN WITH PRELIMINARY UTILITY LAYOUT
 SIXTH DEGREE TOWNHOMES
 LOTS 1 AND 2, BLOCK 2, KING SOLOMON ADDITION
 121 MAIN STREET
 TOWN OF FRISCO, COLORADO

NO. 1	DATE	DESCRIPTION

JOB: 2112
 DATE: 11/28/2025
 SCALE: 1" = 10'

SHEET
 C-1

PRELIMINARY - NOT FOR CONSTRUCTION

CHAPTER 5 - ROAD AND BRIDGE STANDARDS

TABLE 5-6 - Driveway Criteria



[EXPAND](#)

Type of Service	Minimum Driveway Width	Opening Width (including flares)		Minimum Centerline Radius of Curvature
	Minimum	Maximum		
COMMERCIAL	22 feet	24 feet	*	65 feet
RESIDENTIAL				
Single-family				
<200' in length	12 feet	18 feet	24 feet	N/A
>200' in length	14 feet	18 feet	24 feet	40 feet
Serving two to four units				
<200' in length	14 feet	20 feet	30 feet	N/A
>200' in length	16 feet	20 feet	30 feet	40 feet
Multi-Family	22 feet	24 feet	30 feet	65 feet

Town of Frisco Local Code – Most Recent

f. Single Family Homes	g. 9 foot Minimum	h. 20 foot Maximum
i. Duplexes or Multi-Units	j. 9 foot Minimum	k. 20 foot Maximum
l. Commercial/Business	m. 12 foot (One- Way)	n. 24 foot (Two- Way)



- The red property line is based off of the Concrete Drive and the Concrete Curb as outlined in the survey by Marcin Engineering.
- The truck is not over or touching the property line. Gas fills on the right of truck.
- Closing the 121 E Main St side of the driveway does not create issues legally or based on summit county code.
- The owner and tenants of 201 E Main St have no prescriptive rights or legally enforced easements onto the property at 121 E Main St.
- The proposed project is 5' west of the property line accommodates the existing water utility easement.



View from Main St standing on the 201
E Main St side
*Truck has full access to gas fills



View From 121 E Main St looking into 201 E Main St

From: [Kris Valdez](#)
To: [Margaret Ziedin](#)
Cc: [Kent, Katie](#)
Subject: Response Regarding Parking Allocation and Restrictive Covenant for Unit R-1, 121 E Main Street, MAJ-25-0002
Date: Wednesday, September 10, 2025 9:04:33 AM
Attachments: [Outlook-Logo Desc.png](#)

Hello Margaret and Mark,

Thank you for your detailed message to Katie and for outlining the background regarding the parking allocation for Unit R-1 of the Sixth Degree Townhomes plat. We appreciate the clarification provided regarding the contract terms, the Seller's Property Disclosure, and the governing documents for the Sixth Degree Townhomes.

As you note, the allocation of two parking spaces to Unit R-1 is consistent with the information reflected in the recorded documents and the plat. The availability of transit service along Main Street further supports multimodal access to the property. Therefore, Unit R-1 is only required to provide two parking spaces, and the existing deed restriction will allow for the development of five (5) additional units.

The proposal for the five (5) new residential units and the one commercial unit will be reviewed through the Town's standard development review process. This process considers, among other factors, the applicable zoning, parking, and loading requirements, and any existing restrictive covenants. While the existing covenant applicable to Unit R-1 will remain in place, the ability to permit construction of five additional residential units will ultimately depend on compliance with the Town's current Unified Development Code and associated regulations.

Please let me know if you would like to schedule a time to discuss this or the application currently in process.

Take care,

Kris

Kris Valdez, AICP, MURP | Principal Planner | Community Development



Mailing PO Box 4100, Frisco, CO 80443

Physical 1 Main Street, Frisco, CO 80443

Email KrisV@TownofFrisco.com

Office 970-668-9121

FriscoGov.com

TownofFrisco.com

Hours of Operation:

- Monday – Thursday, 8 AM – 5 PM
- Friday, 8 AM – 12 PM

AGREEMENT

THIS AGREEMENT, made this 3rd day of April,
1963 between HOLIDAY HOUSE MOTELS, INC., a corporation organized
and existing under and by virtue of the laws of the State of
Colorado of the First Part, and TOWN OF FRISCO, a municipal
corporation organized and existing under and by virtue of the laws
of the State of Colorado of the Second Part,

WITNESSETH:

1. The said Party of the First Part, for and in consideration
of the sum of \$10.00 and other valuable consideration, to it in
hand paid by the said Party of the Second Part, the receipt whereof
is hereby confessed and acknowledged, has granted, bargained, sold
and conveyed and by these presents does grant, bargain, sell,
convey and confirm under the said Party of the Second Part, its
successors and assigns forever, the perpetual right of way and
easement across, through and under the property hereinafter des-
cribed, with the right of ingress and egress for the purpose of
constructing, repairing, maintaining, removing and replacing
underground pipelines and mains to convey water across, through
and under the property described, together with the right to
excavate and refill ditches and trenches for the location of said
pipelines and mains and the further right to remove trees, bushes,
undergrowth and other obstructions interfering with the location,
construction and maintenance of said pipelines and mains, said
right of way and easement being situated in the County of Summit
and State of Colorado and being more particularly described as
follows, to wit:

A 20 foot strip of land lying in the Town of Frisco,
the center line of which is described as follows:

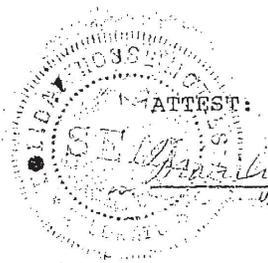
From the southwest corner of Block 7 in the Town of
Frisco, south 78°53' west along the extended southerly
line of said Block 7, a distance of 31.63 feet to the
true point of beginning, thence north 11°7' west a
distance of 140 feet, more or less, to the point of
intersection with the extended northerly line of said
Block 7.

together with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof; and all the estate, right, title, interest, claim and demand whatsoever of the said Party of the First Part, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances; TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the said Party of the Second Part, its successors and assigns forever.

2. In the event the Party of the Second Part shall excavate on said easement and right of way, it shall give Party of the First Part reasonable notice of its intention to do so and shall perform such excavation and related work with a minimum of interference with the use of Party of the First Part's adjoining property. Party of the Second Part, at its own expense, shall repair and restore the surface of said easement and right of way and all paving or other surfacing material to the same condition that existed before the excavation began.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed by their officers duly authorized and their corporate seals to be hereunto affixed the day and year first above written.

HOLIDAY HOUSE MOTELS, INC.



By: Fred J. Beck
President

ATTEST: Marilyn G. Beck
Secretary

TOWN OF FRISCO

By: Charles P. Anderson
Mayor

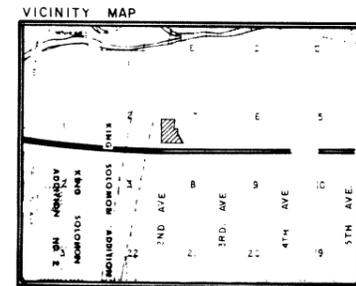
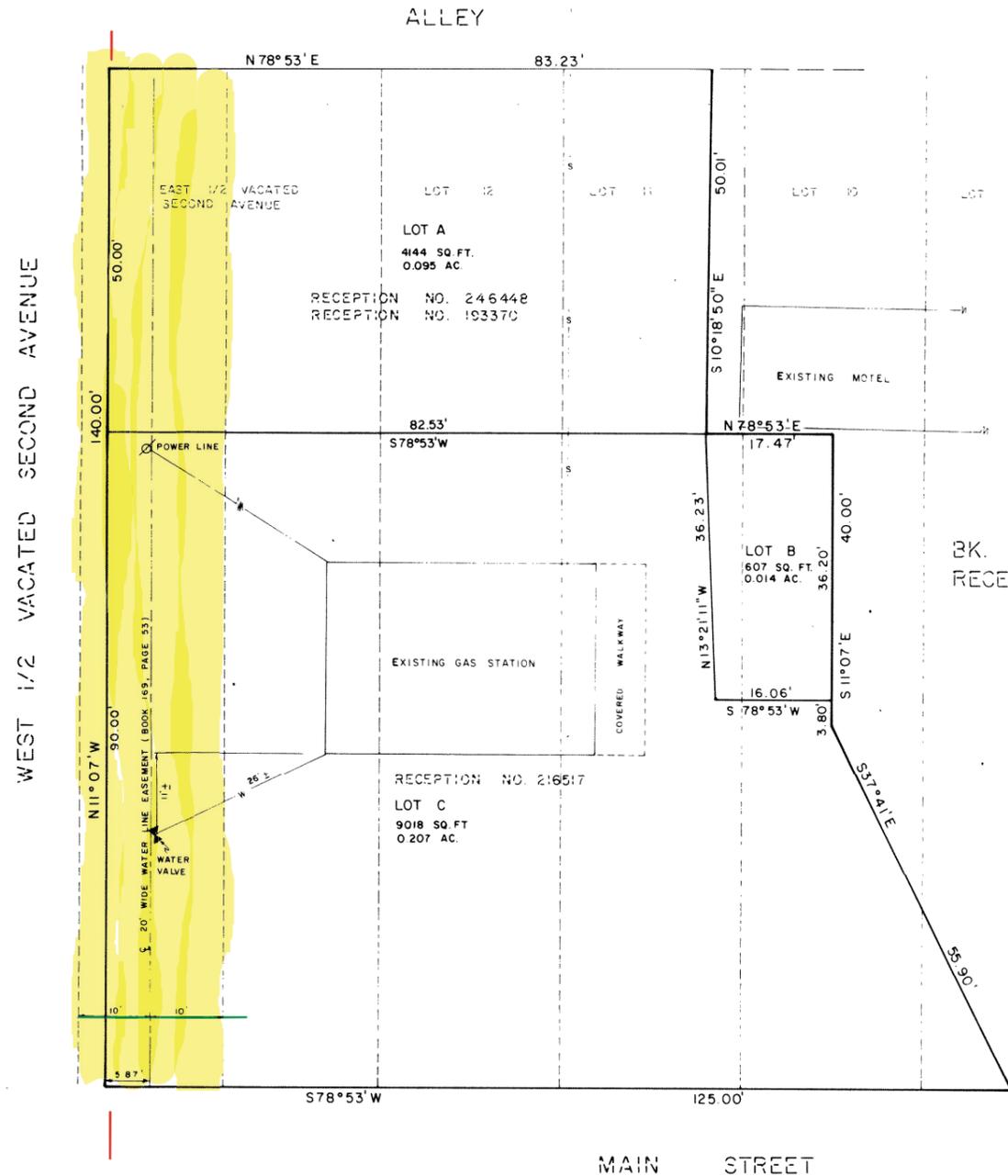
ATTEST: Mary C. Prather
Town Clerk

STATE OF COLORADO)
CITY AND COUNTY OF DENVER) ss.

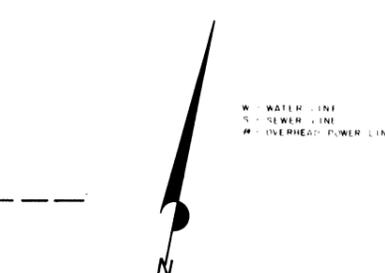
The foregoing instrument was acknowledged before me this 3rd day of April, 1963 by Fred J. Beck, as president,

FRISCO TOWNSITE, RESUB. LOTS 9-12, BLK 7, (LOAF N JUG)

A RESUBDIVISION OF
**PORTIONS OF LOTS 9, 10 AND 11,
 LOT 12, BLOCK 7, AND THE EAST
 HALF OF VACATED SECOND AVENUE,**
 TOWN OF FRISCO, SUMMIT COUNTY, COLORADO



BK. 275, PG. 243
 RECEPTION NO. 154749



BEARINGS REFERENCED TO THE
 AMENDED MAP OF FRISCO TOWNSITE
 MONUMENTS LOCATED AS PER C.R.S. (1973) 38-51-101.
 PREPARATION DATE: 02/23/84

SURVEYOR'S CERTIFICATE
 I, RICHARD A. BACKLUND, BEING A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME AND UNDER MY SUPERVISION, FROM A SURVEY MADE BY ME AND UNDER MY SUPERVISION AND THAT BOTH THIS PLAT AND THE SURVEY ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATED THIS 29th DAY OF MARCH 1984
Richard A. Backlund
 RICHARD A. BACKLUND, COLORADO L.S. NO. 10847

OWNERS' CERTIFICATE
 KNOW ALL MEN BY THESE PRESENTS: THAT, ANDREW K. SMITH AND ALDAH M. MEDSKER, BEING THE OWNERS OF THE REAL PROPERTY DESCRIBED AS FOLLOWS:

THOSE PORTIONS OF LOTS 9, 10, AND 11; LOT 12, BLOCK 7, AND THE EAST ONE-HALF OF VACATED SECOND AVENUE AS RECORDED UNDER RECEPTION NOS. 193370 AND 216517 IN THE SUMMIT COUNTY, COLORADO RECORDS, TOWN OF FRISCO, SUMMIT COUNTY, COLORADO

HAVE LAID OUT, PLATTED AND RESUBDIVIDED SAME, AS SHOWN HEREON:

Andrew K. Smith *Aldah M. Medsker*
 ANDREW K. SMITH ALDAH M. MEDSKER

ACKNOWLEDGEMENT
 STATE OF COLORADO)
 COUNTY OF SUMMIT) SS

THE FOREGOING OWNERS' CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS 29th DAY OF March, 1984, BY ANDREW K. SMITH AND ALDAH M. MEDSKER.

WITNESS MY HAND AND OFFICIAL SEAL *Kathy Schaeffer*
 NOTARY PUBLIC

MY COMMISSION EXPIRES: 5-13-86 Box 938, Minturn, CO 81045
 ADDRESS

TITLE COMPANY CERTIFICATE
 ALPINE TITLE, INC. DOES HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE TO ALL LANDS AS SHOWN ON THIS PLAT, AND TITLE TO SUCH LANDS IS IN THE DEEDS FREE AND CLEAR OF ALL LIENS, TAXES, AND ENCUMBRANCES, EXCEPT AS FOLLOWS:

Joseph J. Schaeffer
 AGENT

PLANNING COMMISSION APPROVAL
 THIS PLAT HAS BEEN RECOMMENDED FOR APPROVAL BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF FRISCO ON THIS 1st DAY OF March, 1984.

John H. Hesse
 CHAIRMAN

TOWN BOARD APPROVAL
 THE BOARD OF TRUSTEES OF THE TOWN OF FRISCO, COLORADO, DOES HEREBY APPROVE THIS PLAT AT A MEETING OF SAID BOARD HELD ON THIS 6th DAY OF March, 1984.

Doug Jones *William Lowe*
 MAYOR TOWN CLERK

RECORDER'S ACCEPTANCE
 THIS PLAT HAS BEEN ACCEPTED FOR FILING IN THE OFFICE OF THE SUMMIT COUNTY CLERK AND RECORDER ON THIS 16th DAY OF April, 1984, AT 3:52 P.M., AND DULY FILED FOR RECORD UNDER RECEPTION NO. 276141

Colleen Richmond *Sonnie R. Peterson*
 SUMMIT COUNTY CLERK AND RECORDER / DEPUTY

BACKLUND LAND SURVEYS
 P.O. BOX 614
 FRISCO, CO 80443
 PHONE (303) 668-3730

EXISTING CONDITIONS SITE MAP

LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION

AND THE WEST 1/2 OF VACATED 2ND AVENUE

Section 35, Township 5 South, Range 78 West of the 6th Principal Meridian
Town of Frisco, County of Summit, State of Colorado

LEGAL DESCRIPTION

Lots 1 and 2, Block 2, King Solomon Addition to the Town of Frisco, and the West 1/2 of Vacated 2nd Avenue, Town of Frisco, County of Summit, State of Colorado.

NOTES:

- 1) Survey Date: August 2, 2021.
- 2) Survey Units: US Survey Foot.
- 3) Contour Interval: 1 foot.
- 4) Elevation Datum: NAVD 88, derived from OPUS observation.
- 5) Benchmark: Found yellow plastic cap at the northeast property corner, stamped LS 10847 with elevation 9061.88 derived from OPUS observation.
- 6) This Survey does not constitute a boundary survey nor any investigation into record encumbrances associated with this property. No encumbrances were surveyed or shown. Boundary or parcel for this survey is based on the (2) found yellow plastic cap at the northern property boundary. A boundary survey is recommended if resolution of parcel boundary is desired.
- 7) Utilities are shown approximately and should be field verified prior to excavation.
- 8) Marcin Engineering LLC does not warrant or certify to the integrity of any Digital Data supplied in conjunction with this map and survey.
- 9) Street Address: 121 Main Street, Frisco, CO 80443.
- 10) This is not a recontoured survey. Land Survey Plat, or Improvement Survey Plat. No boundary resolution was performed in making this survey. All lot lines, setback lines, and easement lines shown hereon should be considered approximate and should not be relied upon for the placement of any future improvements.

SURVEYOR'S CERTIFICATION:

I, Raymond M. Elko, a Professional Land Surveyor in the State of Colorado, do hereby certify that this Existing Conditions Site Map was prepared for Margaret Ziedin and that this is NOT a Land Survey Plat or Improvement Survey Plat. This map and survey are for informational purposes only and are not to be used for any other purpose. This Map is valid only for use by Margaret Ziedin and describes the parcel's appearance on August 2, 2021.

I further certify that the improvements on the above described parcel on this date are as shown on this map and survey. I have verified the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no APPARENT evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.

Raymond M. Elko, PLS 38444
Colorado Professional
Land Surveyor

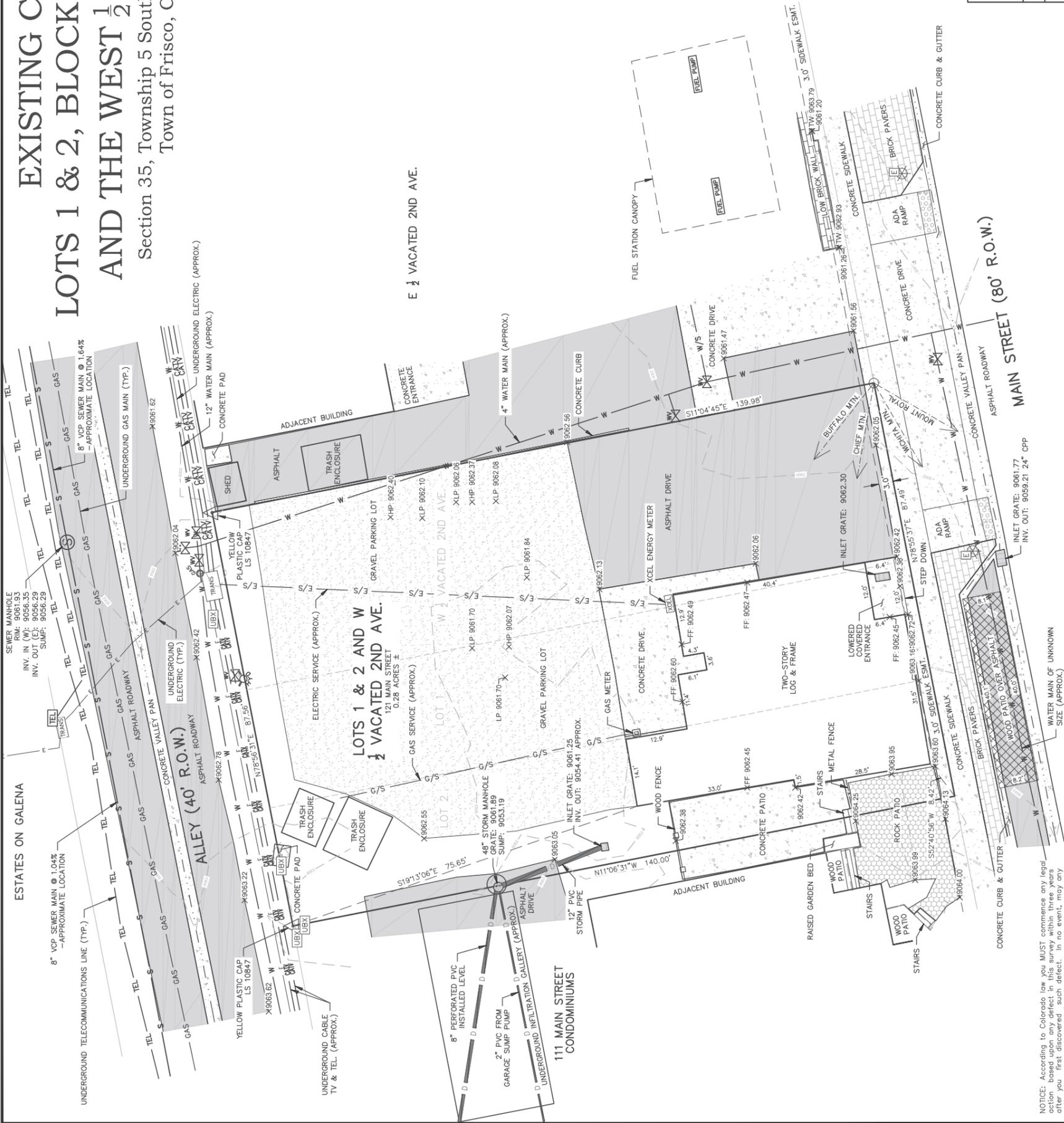
PEAK VIEW VECTORS

Peak Name	Degrees from North	Degrees from Horizontal
Mount Royal	210°	22.5°
Wichita Mountain	240°	13.0°
Chief Mountain	280°	18.0°
Buffalo Mountain	308°	11.5°

GRAPHIC SCALE
(IN FEET)
1 inch = 10 feet



Legend	Description
[Symbol]	ASPHALT
[Symbol]	GRAVEL
[Symbol]	BRICK
[Symbol]	CONCRETE
[Symbol]	DECORATIVE ROCK
[Symbol]	RAISED TRACTION DOMES
[Symbol]	FIRE HYDRANT
[Symbol]	WATER VALVE
[Symbol]	GAS VALVE
[Symbol]	LIGHT POLE
[Symbol]	TELECOMMUNICATIONS PEDESTAL
[Symbol]	UTILITY BOX
[Symbol]	ELECTRIC BOX
[Symbol]	FOUND MONUMENT, AS DESCRIBED

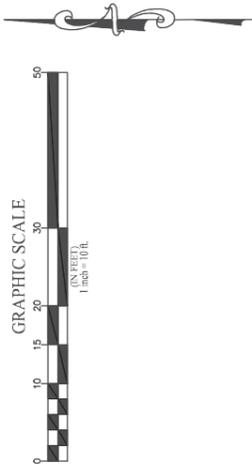


EXISTING CONDITIONS SITE MAP
LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION
AND THE WEST 1/2 OF VACATED 2ND AVENUE
Town of Frisco, County of Summit, State of Colorado

DRAWN BY: TLV	UPDATED: 01/03/2022
CHECKED BY: RME	DATE: 12/01/2021
JOB NO: 21112	DRAWING NO: ECSM
	SHEET: 1 OF 1

MARCIN ENGINEERING LLC
130 SKI HILL ROAD, #235
P.O. BOX 6008
BRECKENRIDGE, CO 80424
(970) 771-3459

NOTICE: According to Colorado law you MUST commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.



SHALLOW UTILITY NOTE
 RELOCATION OF SHALLOW UTILITY PEDESTALS AND SERVICES FOR PROPOSED CONSTRUCTION SHALL BE COORDINATED WITH A&E ENERGY.

PAVING NOTE
 RE: GEOTECHNICAL ENGINEER HAS RECOMMENDED CONSIDERATION OF PAVING FOR STABILIZATION OF PROPOSED CONSTRUCTION.

WATER MAIN NOTE
 EXISTING 4" WATER MAIN ALONG 121 MAIN STREET IS TO BE REMOVED SUBJECT TO TOWN OF FRISCO WATER EASEMENT (NOT DIMENSIONED) REC. 77525 SHALL BECOME A PRIVATE WATER MAIN AS A RESULT OF THE PROPOSED CONSTRUCTION.

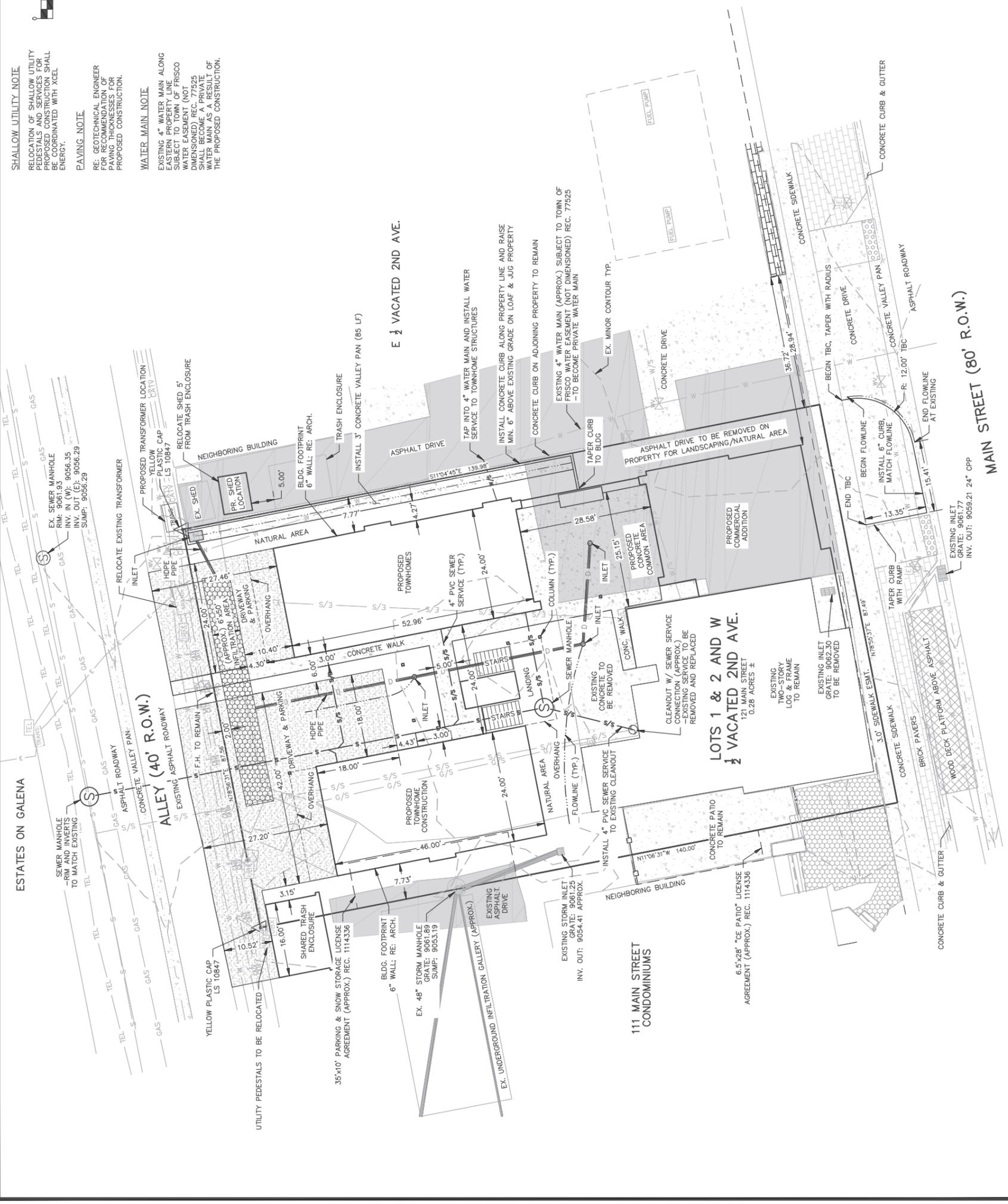
SITE PLAN WITH PRELIMINARY UTILITY LAYOUT
 LOG CABIN CAFE ADDITION
 LOTS 1 AND 2, BLOCK 2, KING SOLOMON ADDITION
 121 MAIN STREET
 TOWN OF FRISCO, COLORADO

NO.	DATE	REVISIONS	BY

JOB: 21112_0922
 SCALE: 1/8" = 1'-0"

SHEET C-1

NOT FOR CONSTRUCTION



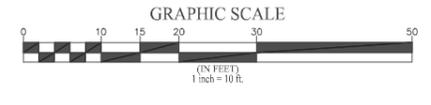
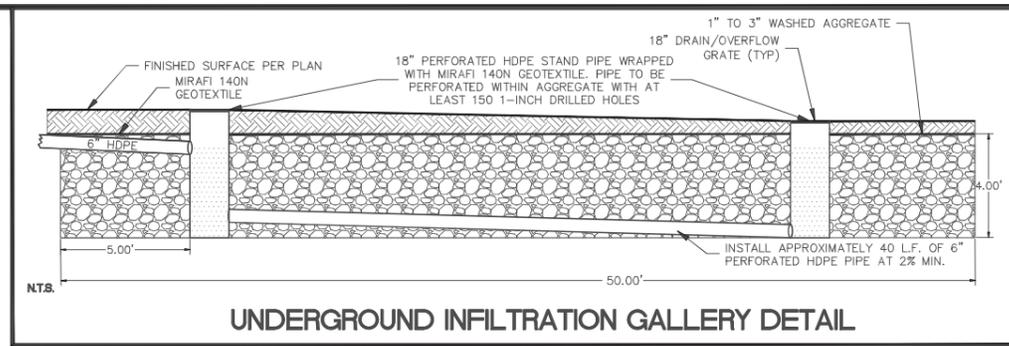
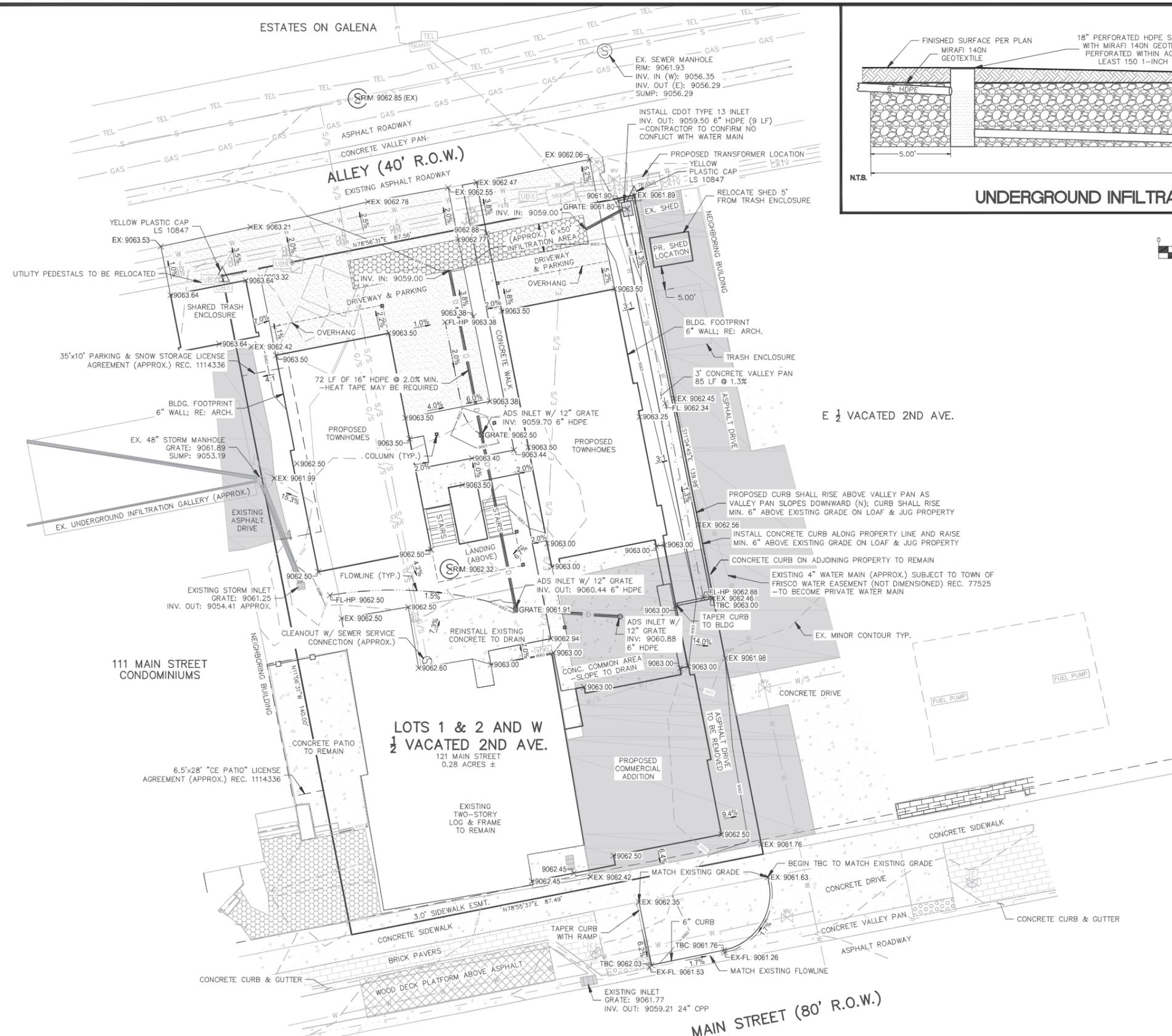
111 MAIN STREET CONDOMINIUMS

LOTS 1 & 2 AND W 1/2 VACATED 2ND AVE.
 121 MAIN STREET
 0.28 ACRES ±

ALLEY (40' R.O.W.)

E 1/2 VACATED 2ND AVE.

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MARCIN ENGINEERING LLC
 130 SKI HILL ROAD, #235
 BRECKENRIDGE, COLORADO
 970-771-3459

GRADING AND DRAINAGE PLAN
 LOG CABIN CAFE ADDITION
 LOTS 1 AND 2, BLOCK 2, KING SOLOMON ADDITION
 121 MAIN STREET
 TOWN OF FRISCO, COLORADO

NO.	DATE	REVISIONS

JOB: 21112
 DATE: 02/23/2022
 SCALE: 1" = 10'

SHEET
 C-2

NOT FOR CONSTRUCTION

DRAWING: D:\Projects\Boulder_Engineering\Projects\2021\21112-Log Cabin\21112-Log Cabin.dwg

From: [Mahoney, Patrick](#)
To: [Margaret Ziedin](#)
Subject: RE: 121 E Main St, Frisco, CO 80443 - Waste Management Plan
Date: Friday, July 4, 2025 8:47:34 AM
Attachments: [image003.png](#)
[image007.png](#)
[image008.png](#)
[image009.png](#)
[image010.png](#)

Margaret

Good morning! Happy 4th of July!

We do service the Loaf N Jug next door. There should be no issues based on the Planning Commission Meeting and the photos provided.

Have a wonderful day!

Patrick Mahoney

Sr. Account Executive

pmahone1@wm.com

C:303-229-2912



Access WM 24/7
with [My WM](#)



From: Margaret Ziedin <Margaret@Sixthdegree.com>
Sent: Thursday, July 3, 2025 12:24 PM
To: Mahoney, Patrick <pmahone1@wm.com>
Subject: [EXTERNAL] RE: 121 E Main St, Frisco, CO 80443 - Waste Management Plan
Importance: High

Hi Patrick,

HAPPY 4th of July!

Please help me one more time.

Does Waste Management Service Loaf n Jug, which is right next door?

If so, as per the attached minutes from Planning Commission meeting (page 3, first bullet point), the Town of Frisco requests a letter they you will be able to access the Loan N Jug

dumpster.

Please see attached 121-201 Ingress & Egress.

The Red line represents the property line, and our development is setback an additional 5 feet further west of the red line.

Let me know if you wish to discuss further, thank you!

Margaret D Ziedin

SixthDegree.com

ph|txt: [+1 702-378-5627](tel:+17023785627)

e-mail: MDZ@SixthDegree.com



From: Mahoney, Patrick <pmahone1@wm.com>

Sent: Thursday, June 19, 2025 3:11 PM

To: Margaret Ziedin <Margaret@Sixthdegree.com>

Subject: RE: 121 E Main St, Frisco, CO 80443 - Waste Management Plan

Margaret

Good afternoon

I have reviewed your site plan and considered your current services with WM. In considering the scope of work you will complete for 121 E Main Street in Frisco CO, I have contacted my Operations Team as well as Manuel Sanchez at Casa Sanchez/ Old Log Cabin Café to ensure adequate space for disposal. The waste usage plan for mixed use development (2,200sf Mexican Restaurant, 1,024 sf market Retail, 6 residences (10 bedrooms)) will accommodate your needs.

Your dumpster room specifications at 162 sf will allow WM to provide the service you will require after completion of the Sixth Degree Complex. Taking into consideration the usage allowance you had provided at Commercial sf +/- 3,142.47 Residential sf +/- 6,667.34, we will ensure the trash and recycle conforms to your needs as they change.

I look forward to serving you and Sixth Degree in the near future.

Thank you

Patrick Mahoney

Sr. Account Executive

pmahone1@wm.com

C:303-229-2912



Access WM 24/7
with [My WM](#)



From: Margaret Ziedin <Margaret@Sixthdegree.com>

Sent: Wednesday, June 18, 2025 2:49 PM

To: Mahoney, Patrick <pmahone1@wm.com>

Subject: [EXTERNAL] FW: 121 E Main St, Frisco, CO 80443 - Waste Management Plan

Please see attached our site plan and waste coverage requirements.
Plus previous waste servicing suggestions.

Will you please review and provide me with recommended servicing for this project?
I need your proposal to submit to Town of Frisco this Friday.

Please call with questions.

Sincerely,
Margaret

Margaret D Ziedin

SixthDegree.com

ph|txt: [+1 702-378-5627](tel:+17023785627)

e-mail: MDZ@SixthDegree.com



Margaret D Ziedin

Sixth Degree Group
Founder | Principal

(702) 378-5627 Mobile
mdz@sixthdegree.com
273 Adams St
Denver, Colorado. 80206
sixthdegree.com

From: Wallace, Tristin <twallac2@wm.com>
Sent: Wednesday, October 30, 2024 3:43 PM
To: Margaret Ziedin <Margaret@Sixthdegree.com>
Subject: RE: 121 E Main St, Frisco, CO 80443 - Waste Management Plan

Hi Margaret,

You currently have an 8yd trash and a 6yd recycling. Am I adding the 2yd 1x per week and the 2yd REC EOW? Or am I replacing the current bins with these?

Warmest regards,

Tristin Wallace

Service Solutions Representative

West Coast

twallac2@wm.com

T: 206.238.0459



Please consider the environment before printing this email. Thank you!

From: Margaret Ziedin <Margaret@Sixthdegree.com>
Sent: Wednesday, October 30, 2024 2:02 PM
To: Wallace, Tristin <twallac2@wm.com>
Subject: [EXTERNAL] 121 E Main St, Frisco, CO 80443 - Waste Management Plan

Based on our discussion with the smaller trash enclosure new updated service levels are as follows:

2yd MSW serviced 1x per week

Glass 96Gal x 2 x 1 weekly

2yd RCY Services 1x Every other week.

USAGE ALLOWANCE based on
Commercial +/- 3,300 sf
Residential +/- 10,480 sf

From: Cohn, Ryan <rcohn1@wm.com>
Sent: Tuesday, April 12, 2022 9:24 AM
To: Margaret Ziedin <Margaret@Sixthdegree.com>; MDZ <mdz@Sixthdegree.com>
Subject: RE: WM

Hi Margaret,

Based on our discussion with the smaller trash enclosure new updated service levels are as follows:

2yd MSW serviced 1x per week
2yd RCY Services 1x Every other week.

USAGE ALLOWANCE based on
Commercial +/- 3,300 sf
Residential +/- 10,480 sf

Thanks,

Ryan Cohn
Environmental Solutions Specialist
Corporate Sales
Rcohn1@wm.com

T: 480.383.5721
F: 866.835.6061
2550 W Union Hills Dr #100
Phoenix, AZ 85027

From: Margaret Ziedin <Margaret@Sixthdegree.com>
Sent: Tuesday, February 22, 2022 10:31 AM
To: Cohn, Ryan <rcohn1@wm.com>; MDZ <mdz@Sixthdegree.com>
Subject: [EXTERNAL] Re: WM

Hi Ryan,

Thanks again for your advice.

Would you please formulate your comments for me on a company letter head so I can include it in my

design submittal?

Pretty much what you wrote below.

USAGE ALLOWANCE based on
Commercial +/- 3,300 sf
Residential +/- 10,480 sf
4 yards waste – Weekly - Bi Weekly
4 yards recycling - Monthly

Thank you

Margaret D Ziedin

ph|txt: [+1 702-378-5627](tel:+17023785627)

e-mail: MDZ@SixthDegree.com

CC: Brant Reid +1 (719) 728-3300

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From: Cohn, Ryan <rcohn1@wm.com>

Sent: Friday, February 18, 2022 3:19 PM

To: MDZ

Subject: WM

Hello,

Per our conversation I recommend the 4 yard containers for these developments in Frisco. Attached is those containers with the prices attached for the following.

https://store.wm.com/us/ccrz__ProductList?cartId=c9616ed0-0b7d-40a7-9148-1dd653958571&reloaded=true&categoryId=a5x0h000000PGZYAA4&count=2&isSingleProductPresent=false&isCSRFlow=true&portalUser=&store=USStore&cclcl=en_US&grid=a6c0h000000g0cWAAQ&grid2=a6c0h000000g0e4AAA&gisIds=GIS500221|S04538-GIS503721|S04538&fromReact=true&street=121%20E%20Main%20St&city=Frisco&state=CO&country=US&zipCode=80443&latitude=39.5756339&longitude=-106.100646&productType=permanent_bin&userfirstName=null&userlastName=null&buNumber=B01190&county=Summit%2520County&naics=56&isSOSFranchiseAvailable=false&isFranchiseZonesAvailableCommercial=false&

Ryan Cohn

Environmental Solutions Specialist

Corporate Sales

Rcohn1@wm.com

T: 480.383.5721

F: 866.835.6061

2550 W Union Hills Dr #100

Phoenix, AZ 85027

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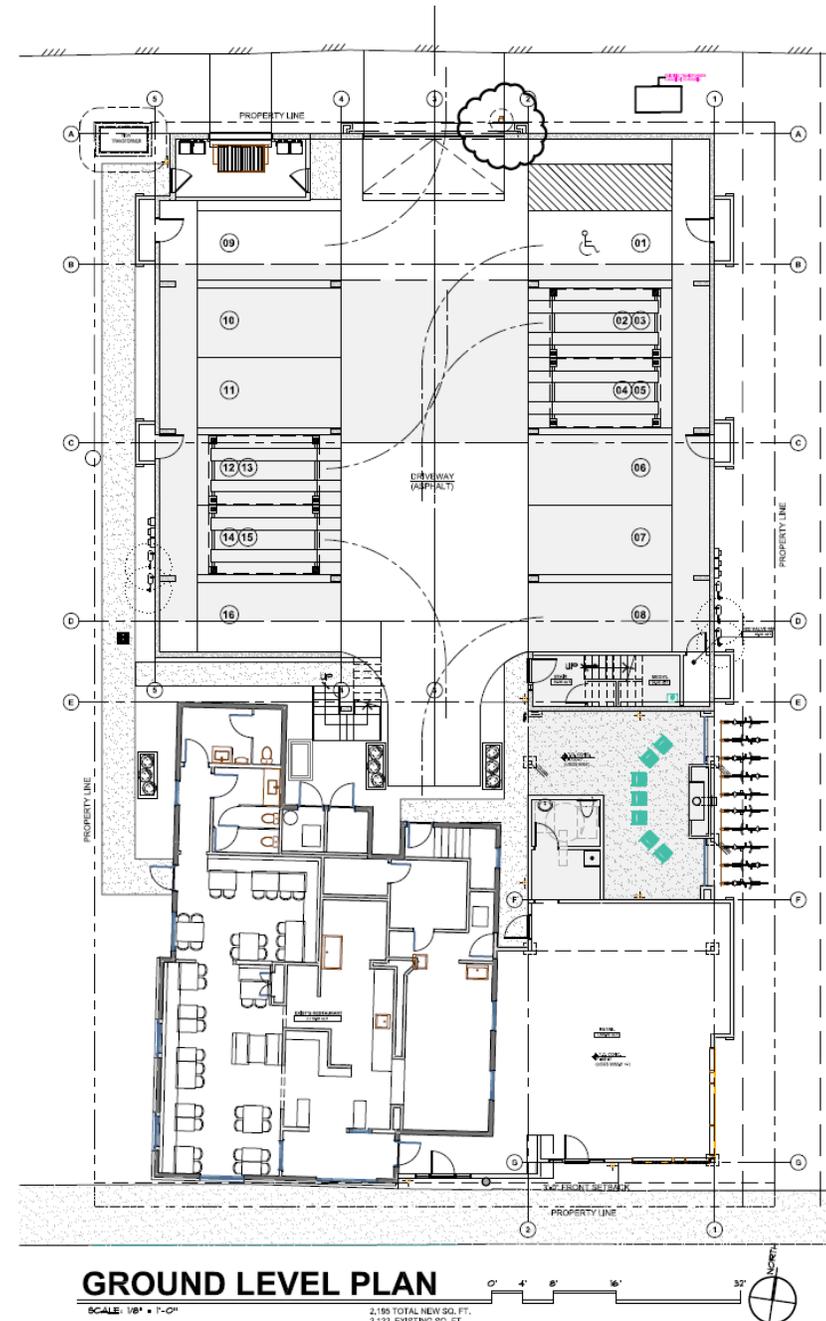
8.4 Waste collection verification

Waste Usage Plan for 121 E Main Street, Frisco.
Mixed Use Development.
2,200sf Mexican Restaurant
1,024 sf market Retail
6 residences (10 bedrooms)

https://library.municode.com/co/frisco/codes/code_of_ordinances?nodeId=CH124PUHESA_ARTIIIWARERE_S124-24DE

Dumpster Room 18 x 9 = 162sf
2 yd MSW Serviced 1 x weekly
2 x 96 Gal Glass Serviced 1 x weekly
2 yd RCY Serviced every other week.

USAGE ALLOWANCE BASED UPON
Commercial Sft +/- 3,142.47
Residential Sft +/- 6,667.34



GROUND LEVEL PLAN

SCALE: 1/8" = 1'-0"
2,190 TOTAL NEW SQ. FT.
2,122 EXISTING SQ. FT.

REVISIONS:
JOB NO: 524CB
DATE: 06.11.25
DRAWN BY: T. HAFFNER
CHECKED BY: Z. LEVIN
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PROGRESS SET: 06.11.25

bhh Partners of Colorado
550 ADAMS AVE. SILVERTHORPE, CO 80497 P.O. BOX 739036 BRECKENRIDGE, CO 80424 (877) 453-8899
SIXTH DEGREE TOWNHOMES
121 EAST MAIN STREET, FRISCO, COLORADO 80443
(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

© 2024
SHEET NUMBER
A-1.1
GROUND AND MAIN LEVEL PLAN

Re: Sketch Plan Referral for 121 E Main St - File MAJ-25-0002

From Lagace, Amy S <Amy.Lagace@xcelenergy.com>

Date Wed 2/4/2026 5:03 PM

To Valdez, Kris <krisv@townoffrisco.com>; Gittins, Julie K <Julie.K.Gittins@xcelenergy.com>

Cc Kent, Katie <katiek@townoffrisco.com>; Alsup, Kyle C <Kyle.C.Alsup@xcelenergy.com>

 3 attachments (5 MB)

2026-01-29 site plan.pdf; Elevations 2026-01-29 Combined Application.pdf; floor plans 2026-01-29 Combined Application.pdf;

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[Report Suspicious](#)

Hi Kris - it looks like the only thing that changes with these plans is the garage door, it now meets the 20' clearance. Everything else mentioned below is still a comment.

Thanks,

Amy

Amy Lagace

Xcel Energy

Designer

200 W 6rh St, PO Box 1819, Silverthorne, CO 80498

970-262-4033

Amy.Lagace@xcelenergy.com

MAKING ENERGY WORK BETTER

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My Office Hours: Tues - Fri 7:00am - 4:30pm

Useful Links

[Xcel Energy Standards of Installation and Use Manual](#) *Updated Version – August 2025

[Building and Remodeling](#) | [Partner Resources](#) | [Xcel Energy](#)

[Additional Xcel Customer Support](#)

From: Valdez, Kris <krisv@townoffrisco.com>
Date: Tuesday, February 3, 2026 at 4:00 PM
To: Lagace, Amy S <Amy.Lagace@xcelenergy.com>, Gittins, Julie K <Julie.K.Gittins@xcelenergy.com>
Cc: Kent, Katie <katiek@townoffrisco.com>
Subject: Re: Sketch Plan Referral for 121 E Main St - File MAJ-25-0002

EXTERNAL - STOP & THINK before opening links and attachments.

Hi Amy,

Thank you again for your comments this morning.

The applicant for 121 E Main Street submitted updated documents on January 29, 2026. For time constraints, I created a [link to review the document](#) outside the Town's website. Would you have the same comments on this application as the one from December 12, 2025?

The applicant insists that the application meets the setback requirements and that the transformer size is appropriate.

Thank you!

Take care,

Kris

Kris Valdez, AICP, MURP | Principal Planner | Community Development



Mailing PO Box 4100, Frisco, CO 80443
Physical 1 Main Street, Frisco, CO 80443
Email KrisV@TownofFrisco.com
Office 970-668-9121
FriscoGov.com
TownofFrisco.com

Hours of Operation:

- Monday – Thursday, 8 AM – 5 PM
- Friday, 8 AM – 12 PM

From: Lagace, Amy S <Amy.Lagace@xcelenergy.com>
Sent: Tuesday, February 3, 2026 11:15 AM
To: Valdez, Kris <krisv@townoffrisco.com>; Gittins, Julie K <Julie.K.Gittins@xcelenergy.com>
Subject: Re: Sketch Plan Referral for 121 E Main St - File MAJ-25-0002

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Hi Kris -

It looks like there are clearance issues with the existing and proposed transformer locations. There can be no windows or doors within 20' of the transformer (all floors). I am showing several in conflict. I have attached the transformer clearance pages from our online standards manual. See attached.

Also - the proposed transformer size on the site plan is incorrect, it should be shown as approx 78"(w) 68" (d). With this dimension it doesn't look like it meets the min 30' from the corner of the structure.

Meter locations shown on the east side of structure - with the transformer shown on west. Customer owned service line cannot traverse in ROW - very limited space to get service line around structure (unless they allowed per the NEC and building codes to go through the parking garage)

And lastly, the gas service line to the old structure is not shown on the plans. With new building footprints being placed over the existing electric and gas services - they will need to be relocated or demo'd prior to start of construction.

Note: I did not see a one-line or gas load schedule so I cannot review metering or reinforcement needs at this time.

image.png

Thanks,

Amy

Amy Lagace

Xcel Energy

Designer

200 W 6th St, PO Box 1819, Silverthorne, CO 80498

970-262-4033

Amy.Lagace@xcelenergy.com

MEWB Wordmark

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[Xcel Energy Standards of Installation and Use Manual](#) *Updated Version – August 2025

[Building and Remodeling](#) | [Partner Resources](#) | [Xcel Energy](#)
[Additional Xcel Customer Support](#)

From: Valdez, Kris <krisv@townoffrisco.com>

Date: Monday, February 2, 2026 at 10:32 AM

To: Lagace, Amy S <Amy.Lagace@xcelenergy.com>, Gittins, Julie K <Julie.K.Gittins@xcelenergy.com>

Subject: Re: Sketch Plan Referral for 121 E Main St - File MAJ-25-0002

EXTERNAL - STOP & THINK before opening links and attachments.

Hi Amy,

I wanted to check back in on the review of 121 E Main Street. We are preparing to schedule a sketch plan meeting with the Planning Commission. Any comments you could provide would be greatly appreciated.

Take care,

Kris

Kris Valdez, AICP, MURP | Principal Planner | Community Development



Mailing PO Box 4100, Frisco, CO 80443

Physical 1 Main Street, Frisco, CO 80443

Email KrisV@Townoffrisco.com

Office 970-668-9121

FriscoGov.com

Townoffrisco.com

Hours of Operation:

- Monday – Thursday, 8 AM – 5 PM
- Friday, 8 AM – 12 PM

From: Valdez, Kris <krisv@townoffrisco.com>

Sent: Wednesday, January 28, 2026 10:49 AM

To: Amy Lagace <amy.lagace@xcelenergy.com>; Gittins, Julie K <Julie.K.Gittins@xcelenergy.com>

Subject: Re: Sketch Plan Referral for 121 E Main St - File MAJ-25-0002

Hi Amy,

Thank you! I appreciate your input.

Take care,

Kris



Mailing PO Box 4100, Frisco, CO 80443

Physical 1 Main Street, Frisco, CO 80443

Email KrisV@TownofFrisco.com

Office 970-668-9121

FriscoGov.com

TownofFrisco.com

Hours of Operation:

- Monday – Thursday, 8 AM – 5 PM
- Friday, 8 AM – 12 PM

From: Lagace, Amy S <Amy.Lagace@xcelenergy.com>

Sent: Tuesday, January 27, 2026 3:37 PM

To: Valdez, Kris <krisv@townoffrisco.com>; Gittins, Julie K <Julie.K.Gittins@xcelenergy.com>

Subject: Re: Sketch Plan Referral for 121 E Main St - File MAJ-25-0002

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Hi Kris -

Sorry for my delayed response - I have few concerns on this one, similar to our past comments. Peter Kunz in the office was last working on this one. He moved to another position, I am trying to get his last notes on this. I should have something back to you tomorrow.

Thanks,

Get [Outlook for Mac](#)

From: Valdez, Kris <krisv@townoffrisco.com>

Date: Thursday, January 22, 2026 at 10:17 AM

To: Lagace, Amy S <Amy.Lagace@xcelenergy.com>, Gittins, Julie K <Julie.K.Gittins@xcelenergy.com>, Scott Benson <sbenson@summitfire.org>, Matt Smith <msmith.fsd@gmail.com>, Thompson, Ryan <RyanT@townoffrisco.com>

Subject: Re: Sketch Plan Referral for 121 E Main St - File MAJ-25-0002

EXTERNAL - STOP & THINK before opening links and attachments.

Hi all,

I wanted to follow up on this referral request, which may have gotten lost during the holidays. While this is a sketch plan, we are requesting preliminary comments from referral agencies.

Please let me know by **Monday, January 26th**, if you have any comments that I can pass along to the applicant.

Thank you!

Take care,

Kris

Kris Valdez, AICP, MURP | Principal Planner | Community Development



Mailing PO Box 4100, Frisco, CO 80443

Physical 1 Main Street, Frisco, CO 80443

Email KrisV@TownofFrisco.com

Office 970-668-9121

FriscoGov.com

TownofFrisco.com

Hours of Operation:

- Monday – Thursday, 8 AM – 5 PM
- Friday, 8 AM – 12 PM

From: Valdez, Kris <krisv@townoffrisco.com>

Sent: Wednesday, December 17, 2025 11:27 AM

To: Amy Lagace <amy.lagace@xcelenergy.com>; Julie.K.Gittins@xcelenergy.com <julie.k.gittins@xcelenergy.com>; Scott Benson <sbenson@summitfire.org>; Matt Smith <msmith.fsd@gmail.com>; Chris McGinnis <cmcginnis@sehinc.com>; Thompson, Ryan <RyanT@townoffrisco.com>; Southworth, Josh <josh@townoffrisco.com>; John Schumacher <john@cbcscod.com>

Cc: Kent, Katie <katiek@townoffrisco.com>

Subject: Sketch Plan Referral for 121 E Main St - File MAJ-25-0002

Hi everyone,

We're currently looking at a second Sketch Plan application for the project at 121 E Main Street (File No. MAJ-25-0002).

Usually, we don't send projects out for formal referral this early in the process. However, based on some of the comments during our DRC review, staff is a bit concerned that the current design might run into trouble meeting referral agency standards.

Specifically, staff has concerns regarding the location and size of the new transformer.

We're hoping you can take a quick look now to flag any major issues. Our goal is to catch any "deal-breakers" early so the applicant doesn't have to go through a massive (and expensive) redesign later on in the formal application stage.

Quick Info:

- **Project:** 121 E Main Street
- **File Number:** MAJ-25-0002
- **Deadline for Comments:** January 5, 2026

You can find the project documents and site plans here: [Planning Projects Under Review - Frisco Town Government](#)

If you see anything that looks like it won't fly or will require a significant change to the layout, please let us know.

Thanks for the help!

Take care,

Kris

Kris Valdez, AICP, MURP | Principal Planner | Community Development



Mailing PO Box 4100, Frisco, CO 80443

Physical 1 Main Street, Frisco, CO 80443

Email KrisV@TownofFrisco.com

Office 970-668-9121

FriscoGov.com

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Hours of Operation:

- Monday – Thursday, 8 AM – 5 PM
- Friday, 8 AM – 12 PM



WEST ELEVATION

SCALE: 1/4" = 1'-0"

COLOR LEGEND	
1	METAL ROOF -IMAGE II (STAND'G SEAM) mfr: METAL SALES color: ASH GREY
2	METAL FASCIA mfr: METAL SALES color: ASH GREY
3	WINDOW CLAD and FLASHINGS mfr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDING mfr: SPECIALTY WOOD PRODUCTS -1X4 T & G color: NEW AGE RHINO
5	HORIZONTAL SIDING mfr: SPECIALTY WOOD PRODUCTS -1X6 CHANNEL RUSTIC color: NEW AGE HIGHLANDS
6	HORIZONTAL SIDING mfr: SPECIALTY WOOD PRODUCTS -1X8 SHIPLAP color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT mfr: METAL SALES color: BLACK
8	METAL ROOFING (VERTICAL) -IMAGE II (STAND'G SEAM) mfr: METAL SALES color: ASH GREY



WEST ELEVATION at LOG CABIN

SCALE: 1/4" = 1'-0"

REVISIONS:

JOB NO: 52405
DATE: 11/28/2025
DRAWN BY: J PAWLAK
CHECKED BY: Z LEVIN

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TOWN OF FRISCO
DEVELOPMENT REVIEW
COMMITTEE SUBMITTAL:
11/28/25

bhh Partners of Colorado
560 ADAMS AVE, SILVERTHORNE, CO 80497 P.O. BOX 7999-334 BRECKENRIDGE, CO 80424 (970) 459-6800

SIXTH DEGREE TOWNHOMES
121 MAIN ST., FRISCO, COLORADO
(LOTS 1 & 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

© 2025

SHEET NUMBER:

A-2.3
WEST
ELEVATION

(EXIST'G)
UPPER LEVEL
T.O. PLYWD.
= 108'-6"

(EXIST'G)
RETAIL LOWER LEVEL
T.O. CONC.
= 99'-6"
(USGS 9,062.5')

COLOR LEGEND		
1	METAL ROOF -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: ASH GREY
2	METAL FASCIA	mfr: METAL SALES color: ASH GREY
3	WINDOW CLAD and FLASHINGS	mfr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDING -1X4 T & G	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE RHINO
5	HORIZONTAL SIDING -1X6 CHANNEL RUSTIC	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HIGHLANDS
6	HORIZONTAL SIDING -1X8 SHIPLAP	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT	mfr: METAL SALES color: BLACK
8	METAL ROOFING (VERTICAL) -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: ASH GREY



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



REVISIONS:

JOB NO: 52405
DATE: 11/28/2025
DRAWN BY: J PAWLAK
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TOWN OF FRISCO
DEVELOPMENT REVIEW
COMMITTEE SUBMITTAL:
11/28/25

bhh Partners of Colorado
560 ADAMS AVE, SILVERTHORNE, CO 80497 P.O. BOX 7999-334 BRECKENRIDGE, CO 80424 (970) 453-6800

SIXTH DEGREE TOWNHOMES
121 MAIN ST., FRISCO, COLORADO
(LOTS 1 & 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

© 2025

SHEET NUMBER:

A-2.4
NORTH
ELEVATION



EAST ELEVATION

SCALE: 1/4" = 1'-0"

LOCATE (6) PROPOSED GAS METERS
IN APPROVED NATURAL GAS BANK

LOCATE (6) PROPOSED ELECTRICAL
METERS IN APPROVED ELECTRICAL

UPPER LEVEL
T.O. PLYWD.
= 122'-0"

MAIN LEVEL
T.O. PLYWD.
= 111'-6"

LOWER LEVEL
T.O. CONC.
= 100'-0"
(USGS 9063.5)

COLOR LEGEND	
1	METAL ROOF -IMAGE II (STAND'G SEAM) mfr: METAL SALES color: ASH GREY
2	METAL FASCIA mfr: METAL SALES color: ASH GREY
3	WINDOW CLAD and FLASHINGS mfr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDING -1X4 T & G mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE RHINO
5	HORIZONTAL SIDING -1X6 CHANNEL RUSTIC mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HIGHLANDS
6	HORIZONTAL SIDING -1X8 SHIPLAP mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT mfr: METAL SALES color: BLACK
8	METAL ROOFING (VERTICAL) -IMAGE II (STAND'G SEAM) mfr: METAL SALES color: ASH GREY



EAST ELEVATION at LOG CABIN

SCALE: 1/4" = 1'-0"

UPPER LEVEL
T.O. PLYWD.
= 122'-0"

MAIN LEVEL
T.O. PLYWD.
= 111'-6"

LOWER LEVEL
T.O. CONC.
= 100'-0"
(USGS 9063.5)

REVISIONS:

JOB NO: 52405
DATE: 11/28/2025
DRAWN BY: J PAWLAK
CHECKED BY: Z LEVIN

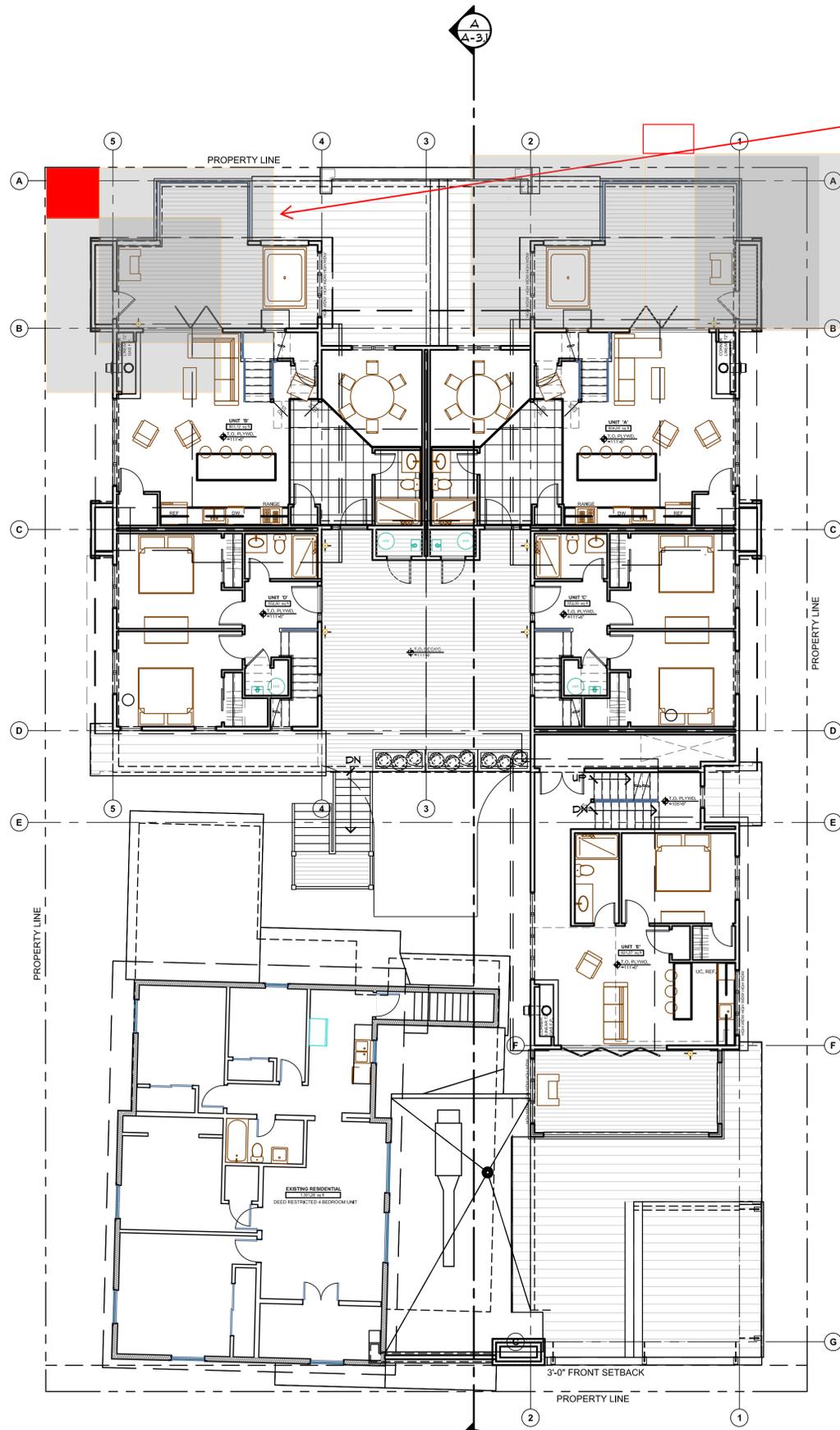
TOWN OF FRISCO
DEVELOPMENT REVIEW
COMMITTEE SUBMITTAL:
11/28/25

bhh Partners of Colorado
560 ADAMS AVE, SILVERTHORNE, CO 80497 P.O. BOX 7998-334 BRECKENRIDGE, CO 80424 (970) 458-6880

SIXTH DEGREE TOWNHOMES
121 MAIN ST., FRISCO, COLORADO
(LOTS 1 & 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

SHEET NUMBER:

A-2.5
EAST
ELEVATION



Grayed area = 20' clearance from any operations doors or windows up to the roof

PROVIDE (1) ELECTRIC VEHICLE CHARGING STATION

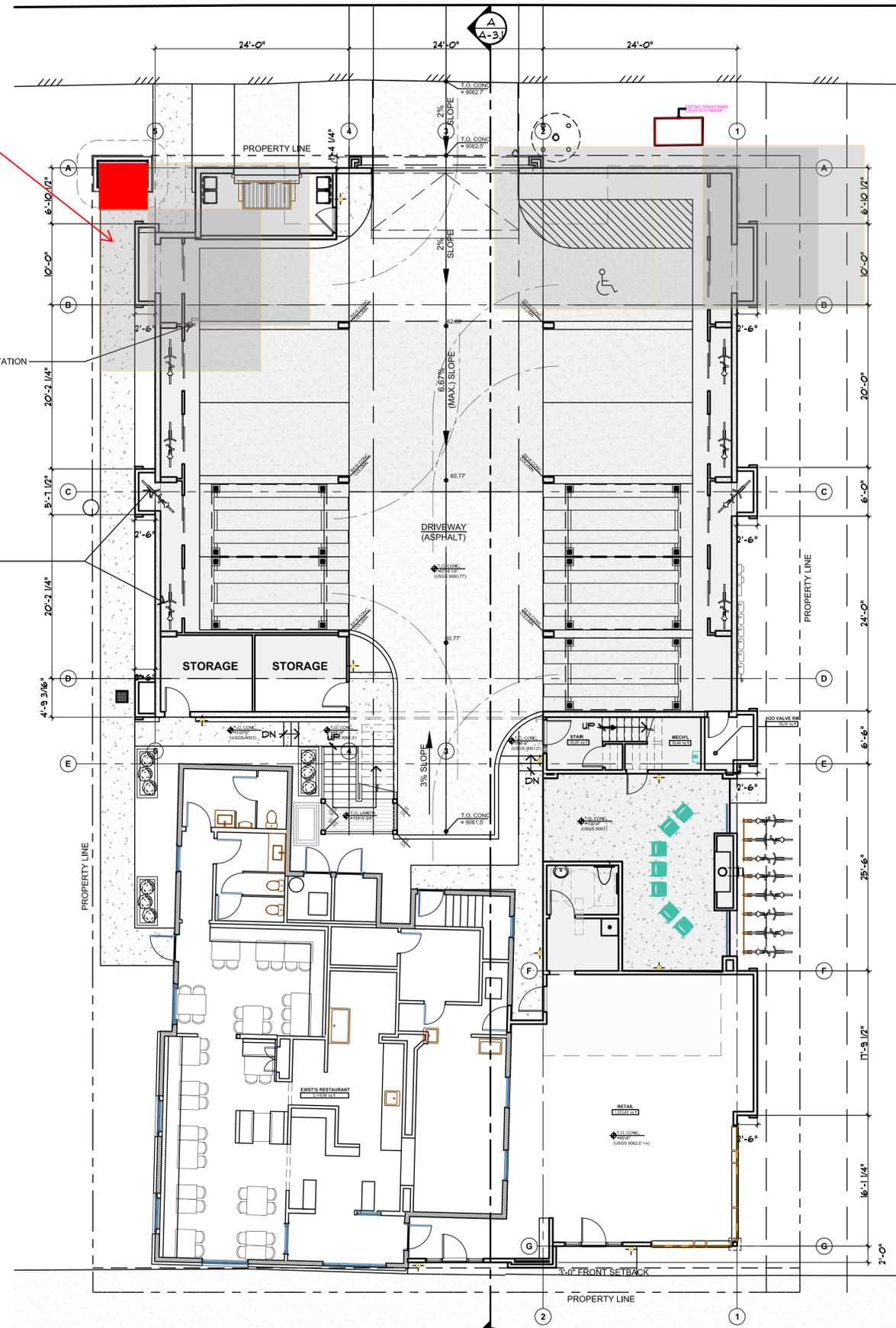
PROVIDE (LOCKABLE) BICYCLE STORAGE AS REQUIRED (7 SPACES MINIMUM)

MAIN LEVEL PLAN

SCALE: 1/8" = 1'-0"

3,531 SQ. FT. FINISHED
1,301 SQ. FT. (EXISTING)

NOTE:
SEE 1/4" SCALE DRAWINGS ON SHEETS A-1.5 & A-1.6 FOR MORE INFORMATION.

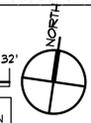


GROUND LEVEL PLAN

SCALE: 1/8" = 1'-0"

4,682 SQ. FT. UNFIN. PARKING GARAGE
152 SQ. FT. UNFIN. DUMPSTER
1,192 SQ. FT. FINISHED RETAIL
199 SQ. FT. FINISHED STAIRS
2,122 SQ. FT. (EXISTING)

NOTE:
SEE 1/4" SCALE DRAWINGS ON SHEETS A-1.3 & A-1.4 FOR MORE INFORMATION.



REVISIONS:

JOB NO: 52405
DATE: 11/28/25
DRAWN BY: J PAWLAK
CHECKED BY: Z LEVIN

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TOWN OF FRISCO
DEVELOPMENT REVIEW
COMMITTEE SUBMITTAL:
11/28/25

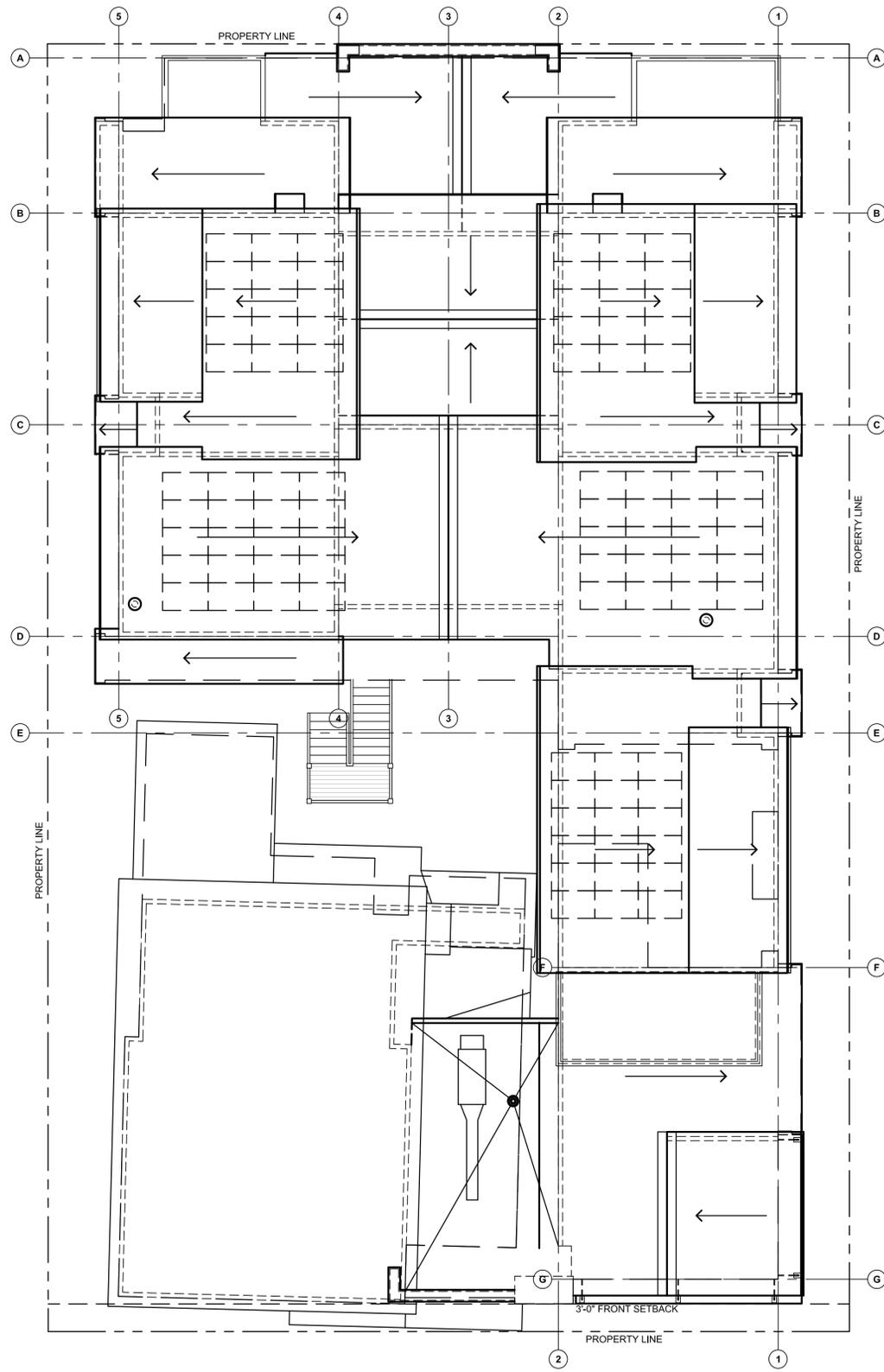
bhh *Partners of Colorado*
560 ADAMS AVE., P.O. BOX 2113, SILVERTHORNE, CO 80498, (970) 453-6880, www.bhhpartners.com

SIXTH DEGREE TOWNHOMES
121 EAST MAIN STREET, FRISCO COLORADO 80443
(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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SHEET NUMBER:

A-1.1

GROUND AND MAIN LEVEL PLAN



ROOF PLAN

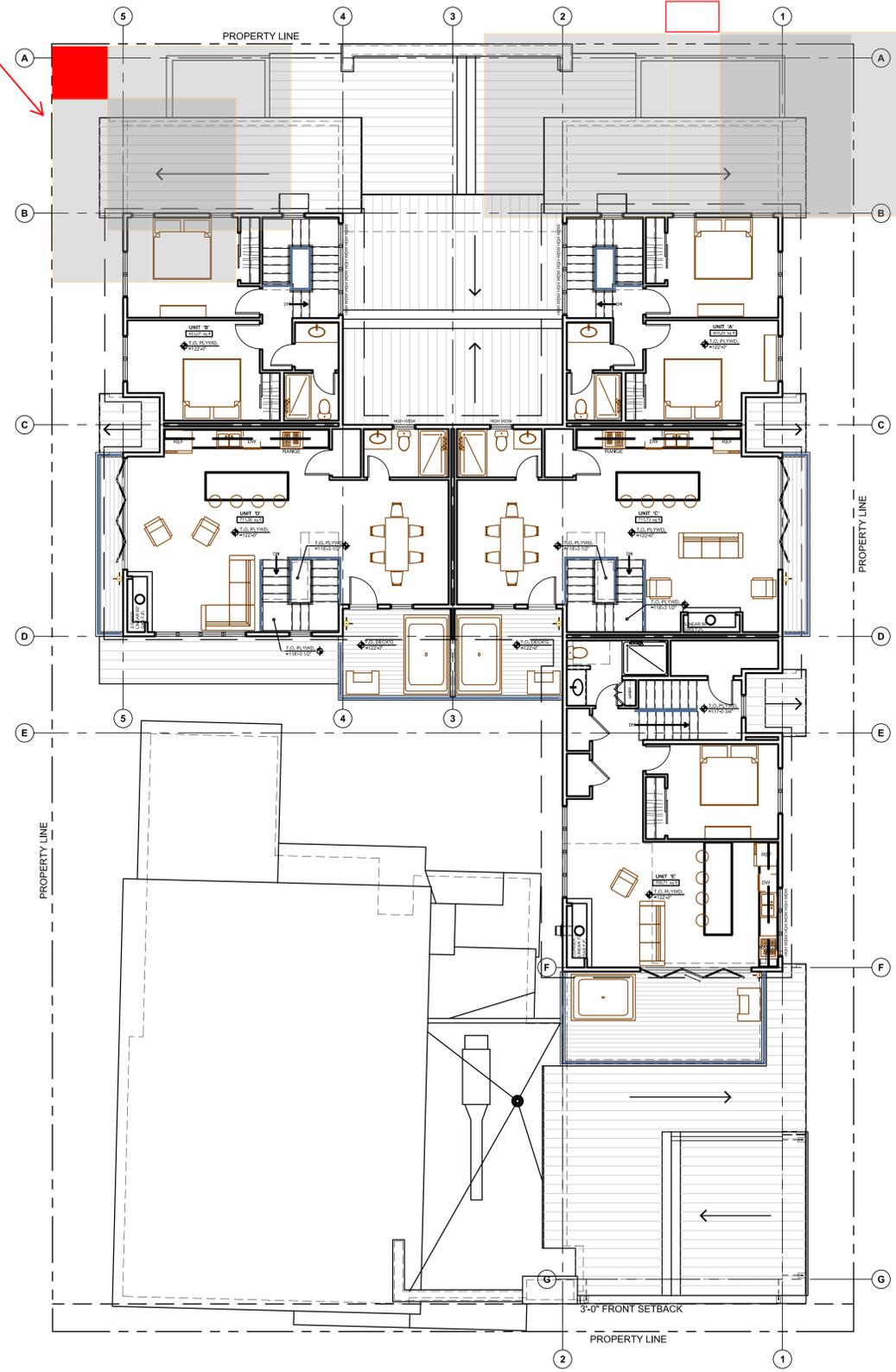
SCALE: 1/8" = 1'-0"



NOTE:
SEE 1/4" SCALE DRAWINGS ON SHEETS A-1.9 & A-1.10 FOR MORE INFORMATION.



Grayed area = 20' clearance from any operations doors or windows up to the roof



UPPER LEVEL PLAN

SCALE: 1/8" = 1'-0"

3,099 TOTAL NEW SQ. FT.



NOTE:
SEE 1/4" SCALE DRAWINGS ON SHEETS A-1.7 & A-1.8 FOR MORE INFORMATION.



REVISIONS:

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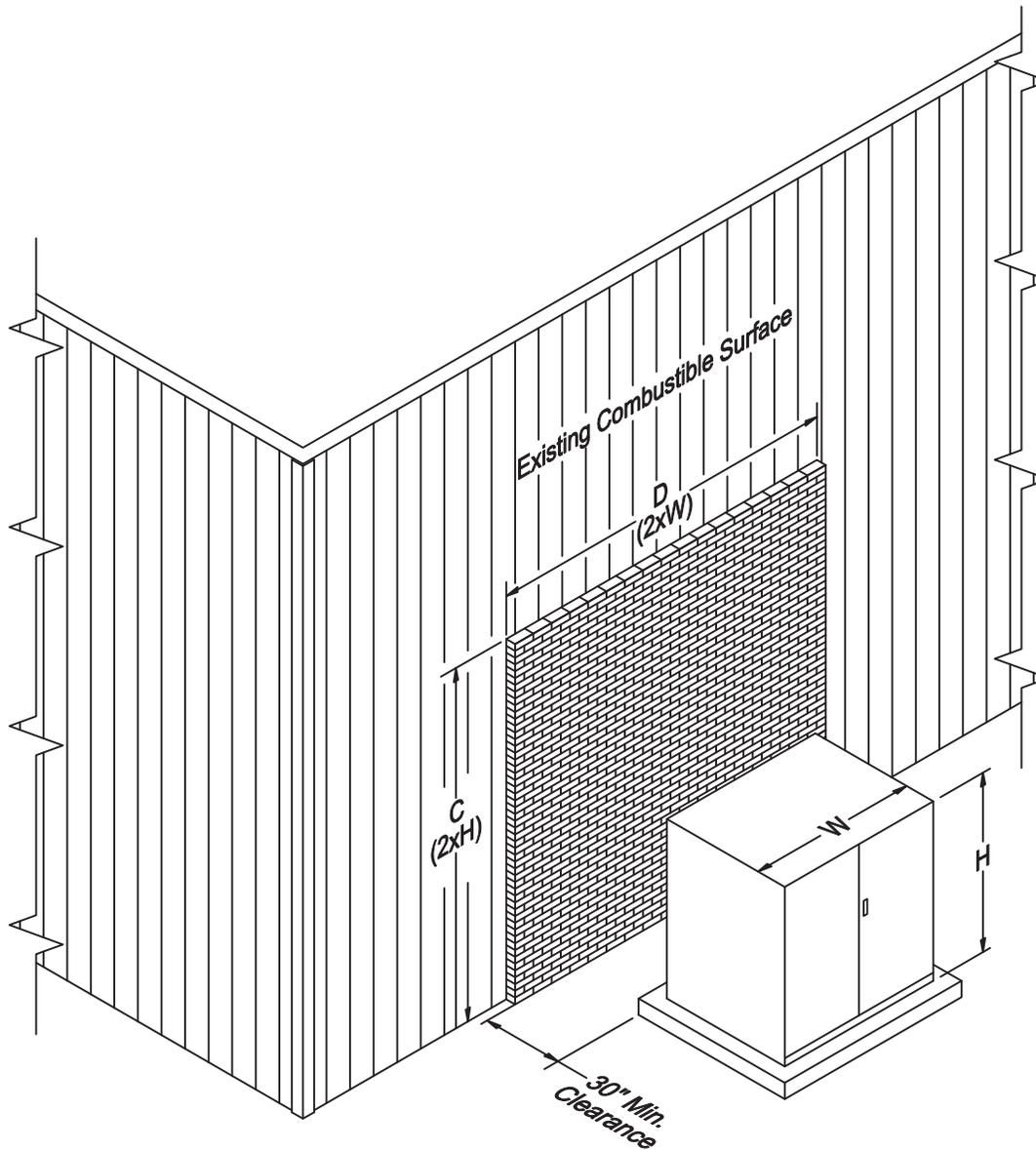
TOWN OF FRISCO
DEVELOPMENT REVIEW
COMMITTEE SUBMITTAL:
11/28/25

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SHEET NUMBER:
A-1.2
UPPER LEVEL AND
ROOF PLAN

DRAWING CR-30

CLEARANCES FOR OIL FILLED EQUIPMENT LOCATED NEAR BUILDINGS



Fire Resistant Barriers Attached Directly To Wall

In locations where basic clearances cannot be met, a fire resistant barrier shall be installed either by the customer or at the customer's expense to reduce the required clearance to combustible walls, doors air intakes or windows. The barrier shall be constructed of non-combustible material certified to have a 2 hour fire rating. It shall be of sufficient strength and have stability to resist tipping and satisfy local building ordinances. If a specific ruling regarding fire ratings is necessary, contact the local fire protection district. Engineering will coordinate the construction and location of the barrier, however the customer is responsible for all maintenance. The barrier will satisfy the following dimensional requirements:

H = Height in inches of oil filled equipment.

W = Width in inches of oil filled equipment.

C = Height of barrier required to obtain a projected height of two times the height of the oil filled equipment on the building wall ($2 \times H$).

D = Width of barrier required to obtain a projected width of two times the width of the oil filled equipment on the building wall ($2 \times W$).

DRAWING CR-30A

LOCATION OF PADMOUNT TRANSFORMERS

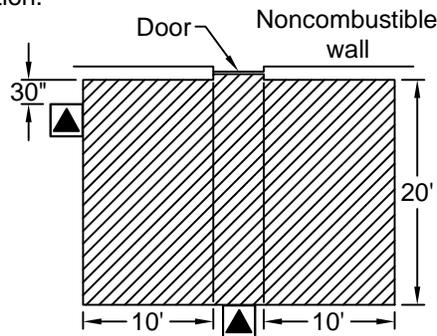
- I. NONCOMBUSTIBLE WALLS (Included in this class would be wood framed brick veneered buildings, metal clad steel framed buildings, cement-board walled metal framed buildings, masonry buildings, and masonry buildings with a one hour fire rating.)

Oil insulated, padmount transformers may be located a minimum distance of 30" from noncombustible walls if all the following clearances are maintained from doors, windows, and other building openings. A sump shall be installed for transformers if the immediate terrain is not pitched away from the building.

Contact Electric Distribution Standards for sump specifications. If a combustible first floor overhang exists, a 10' distance from the edge of the transformer to the edge of the overhang shall be required in addition to the other clearances shown.

A. DOORS

Oil insulated, padmount transformers shall not be located within a zone extending 20' outward and 10' to either side of a building door on ground floor. Garage doors attached to a living space are subject to the same clearances. Parking garage and parking garage doors that are not connected to a building habitable space would not apply in this section.

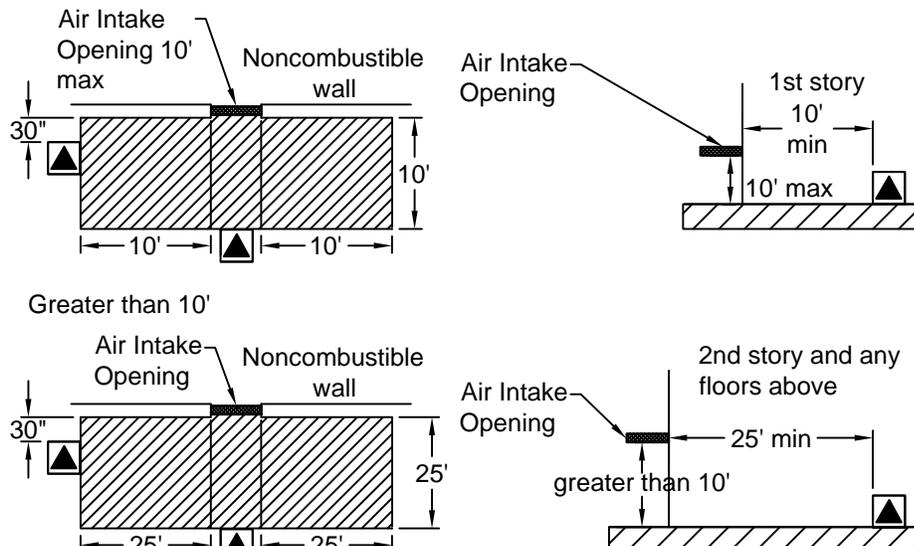


B. AIR INTAKE OPENINGS

Oil insulated, padmount transformers shall not be located within a zone extending 10' outward and 10' to either side of an air intake opening located within 10' of the ground. If the air intake opening is located more than 10' above the ground, the distance from the transformer to the wall where opening is located shall be a minimum of 25' from the wall.

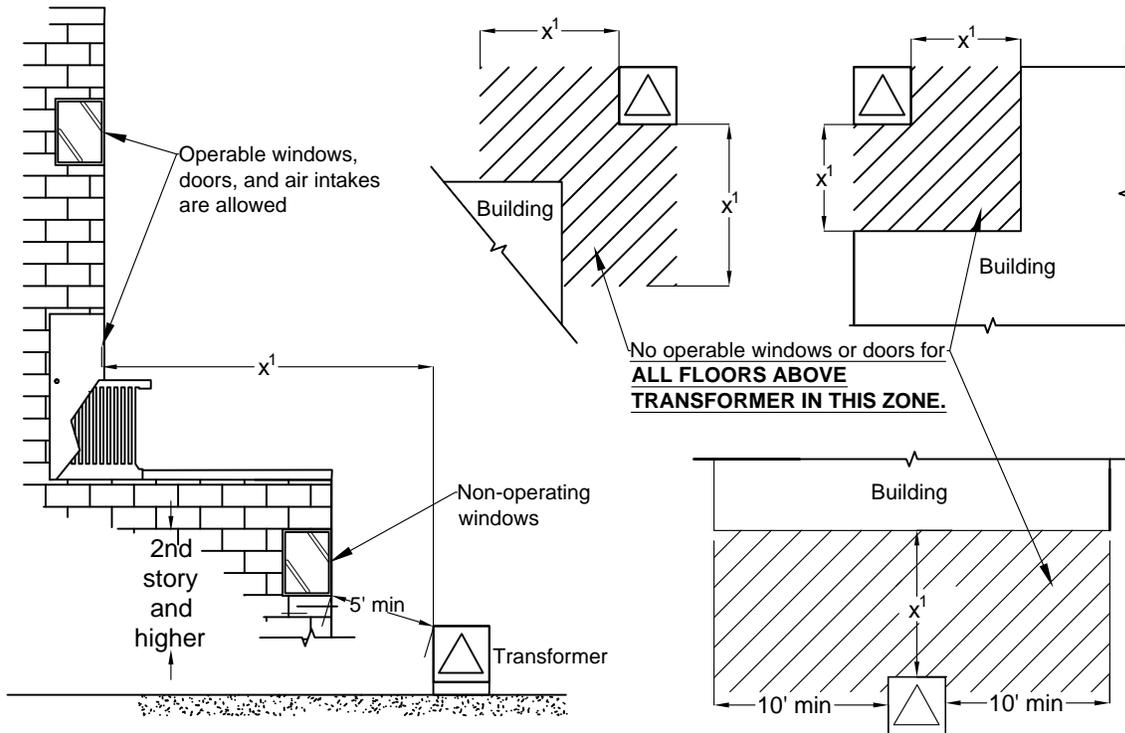
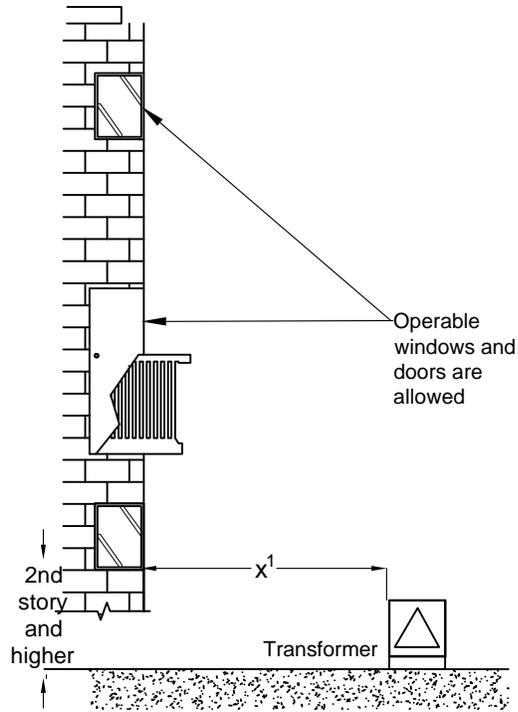
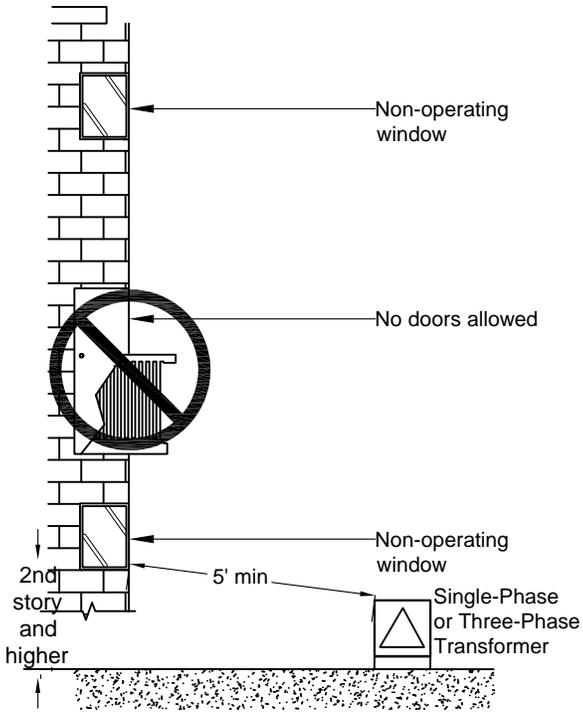
Air intake opening examples:

HAVC, air intake vent for the following but is not limited to gas appliance, hot water, furnace, etc. Any air exhaust that does not have smoke dampers or a mechanism to close off in the event of fire. Air exhaust that would be attached to a sealed combustion chamber (e.g., backup generator exhaust) would be allowed in this area since this would not have smoke entering living space.



DRAWING CR-30B

MULTISTORY TRANSFORMER CLEARANCES 2 STORY AND HIGHER



Notes:

1. $x = 10'$ min lateral clearance for single-phase transformers and $x = 20'$ min lateral clearance for three-phase transformers.
2. See I.A. **DOORS** for first story door guidance.
3. See I.B. **AIR INTAKE OPENINGS** for guidance on air intake openings.
4. See I.C.2 **SECOND STORY** for minimum non-operable window clearance for second story windows.
5. See **NONCOMBUSTIBLE WALLS** and **COMBUSTIBLE WALLS** for requirements on walls composition, clearances, and equipment barriers.
6. Transformer must have clear ground to sky clearance. No overhang or obstruction over the transformer.

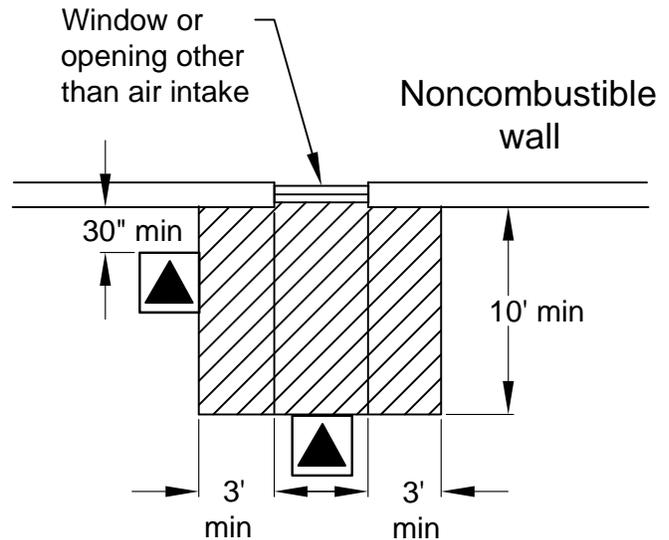
DRAWING CR-40

LOCATION OF PAD-MOUNTED TRANSFORMERS NEAR BUILDINGS

C. WINDOWS OR OPENINGS OTHER THAN AIR INTAKE

1. First Story Only

Oil insulated padmount transformers shall not be located within a zone extending 10' outward and 3' to either side of a building window or opening other than an air intake.



2. Second Story

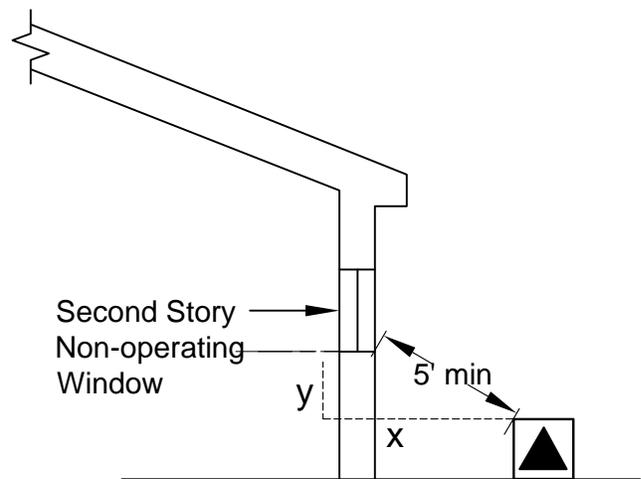
Oil insulated, padmount transformers shall not be located less than 5' from any part of a second story non-operating window, non-operating door, or opening other than an air intake.

See I.B. AIR INTAKE OPENINGS section for guidance on air intake clearances.

Oil filled equipment shall not be placed below an operating window. No exception will be made!

See multistory transformer clearances for buildings 2 stories and higher.

See DRAWING CR-30B MULTISTORY TRANSFORMER CLEARANCES 2 STORY AND HIGHER.

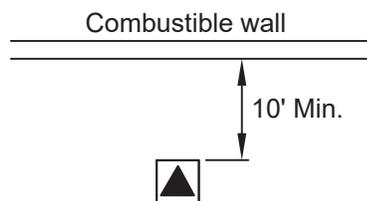


DRAWING CR-50

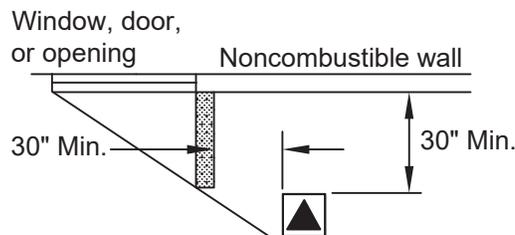
LOCATION OF PAD-MOUNTED TRANSFORMERS NEAR BUILDINGS

II. COMBUSTIBLE WALLS

(Included in this class would be wood buildings and metal clad buildings with wood frame construction.) Oil insulated, pad-mounted transformers shall be located a minimum 10' from the building wall in addition to the clearance from building doors, windows, and other openings set forth for noncombustible walls. A sump shall be installed for transformers if the immediate terrain is not pitched away from the building. Contact Customer Service and Technical Support for sump specifications. If a combustible first floor overhang exists, a 10' distance from the edge of the transformer to the edge of the overhang (combination of vertical and horizontal distance) shall be required in addition to the other clearances as shown.

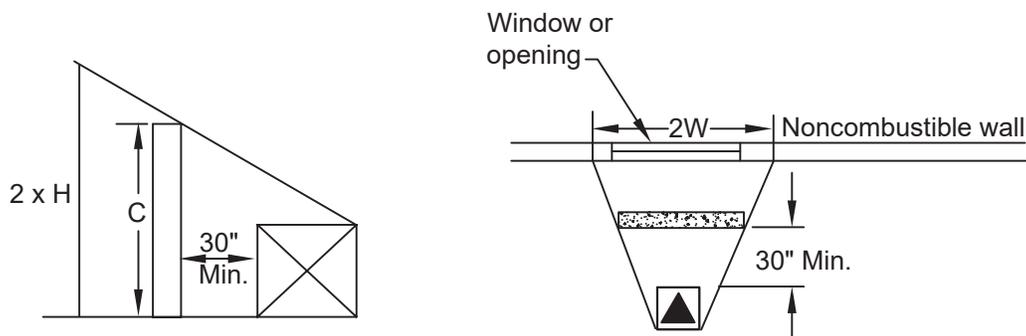


III. BARRIERS (Included in this class are reinforced concrete, brick, or concrete block barrier walls with a 3 hour fire rating.) If the clearance specified above cannot be obtained, a fire resistant barrier shall be constructed in lieu of the separation. The barrier (when required) is provided by the customer. The following methods of construction are acceptable.



A. NONCOMBUSTIBLE WALLS

The barrier shall extend to a projection line from the corner of the pad-mounted to the furthest corner of the window, door, or opening in question.

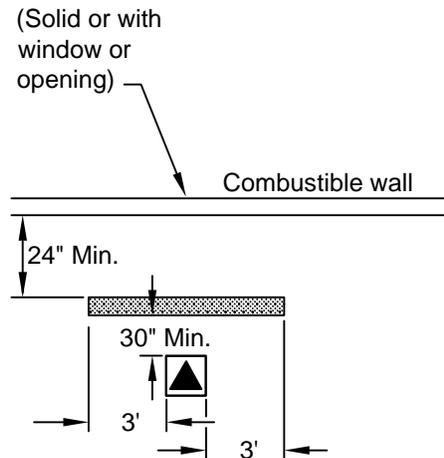


DRAWING CR-60

LOCATION OF PAD-MOUNTED TRANSFORMERS NEAR BUILDINGS

B. COMBUSTIBLE WALLS

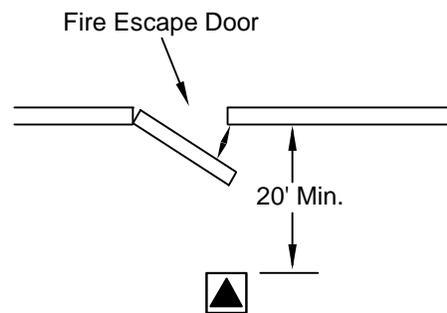
The barrier shall extend 3' beyond each side of the oil insulated, pad-mounted transformer. The height of the barrier shall be 3' above the top of the pad-mounted transformer. If a combustible first floor overhang exists, the 24" specified shall be measured from the edge of the overhang rather than from the building wall.



IV. FIRE ESCAPES

Oil insulated, pad-mounted transformers shall be located such that a minimum clearance of 20' is maintained from fire escapes at all times.

Exception: Oil insulated, pad-mounted transformers may be located closer to a fire escape than the 20' minimum when a fire resistant barrier is constructed around the transformer (side walls and roof). The barrier shall extend a minimum of 1' beyond the transformer. The transformer and barrier shall not in any way obstruct the fire escape exit. 10' clearance is required in front of padmount transformer doors. Adequate transformer accessibility and ventilation must be provided. If transformer is installed underneath a fire escape, maintain 10' vertical clearance.



V. DECORATIVE COMBUSTIBLE ENCLOSURE

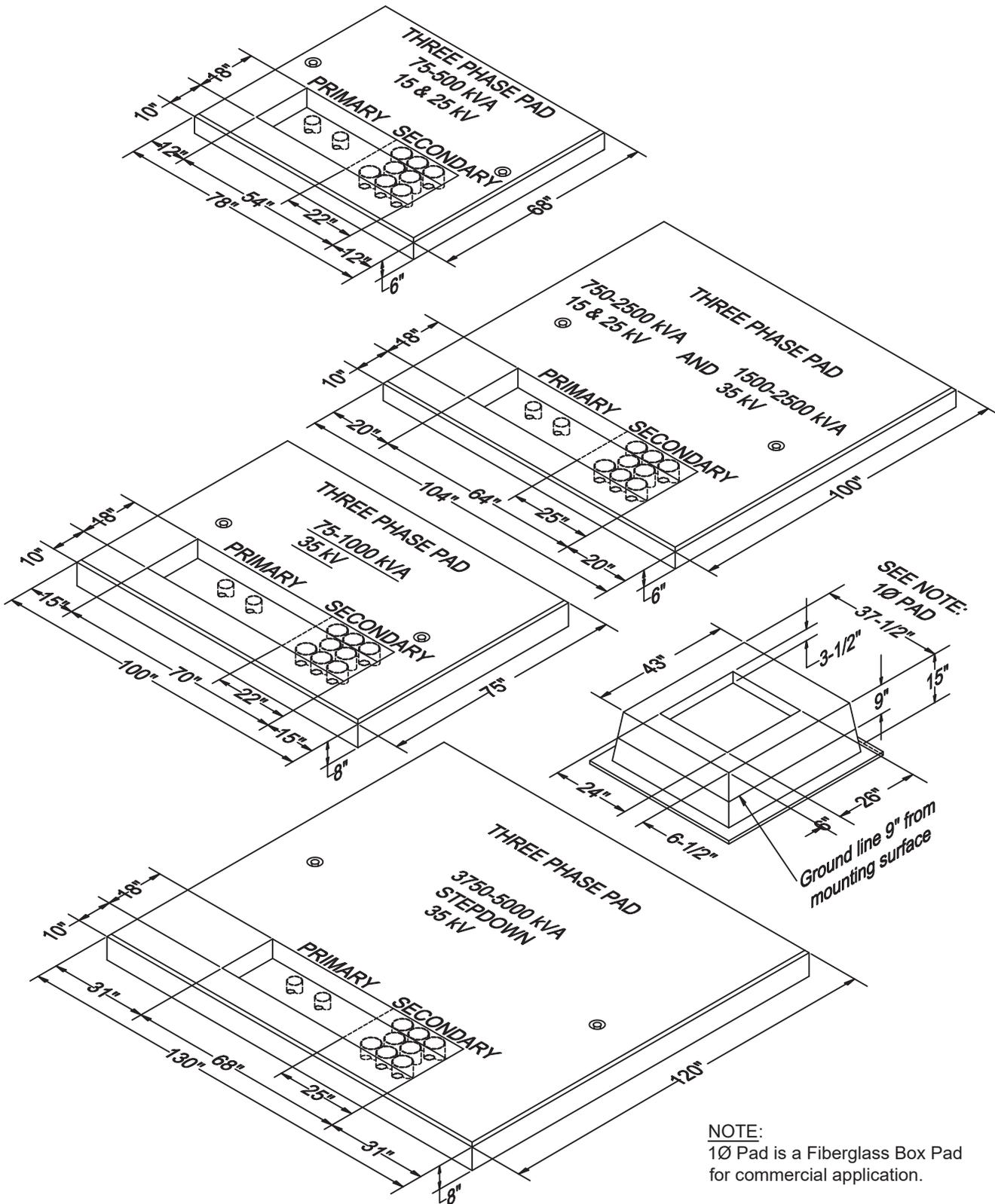
Decorative combustible enclosures (fence) installed by the customer around oil insulated, pad-mounted transformers adjacent to a combustible building wall shall not extend more than 24" beyond the transformer towards the combustible wall. 10' clearance required in front of pad-mounted transformer doors. Adequate transformer accessibility and ventilation must be provided.

VI. NONCOMBUSTIBLE AND COMBUSTIBLE WALLS - FIRE RESISTANT BARRIERS

The examples of combustible and noncombustible walls and fire resistant barriers can be found in NFPA 220 or in Chapter 6 of the IBC, and apply to building exposure to a fire located outside of the building.

DRAWING CC-60

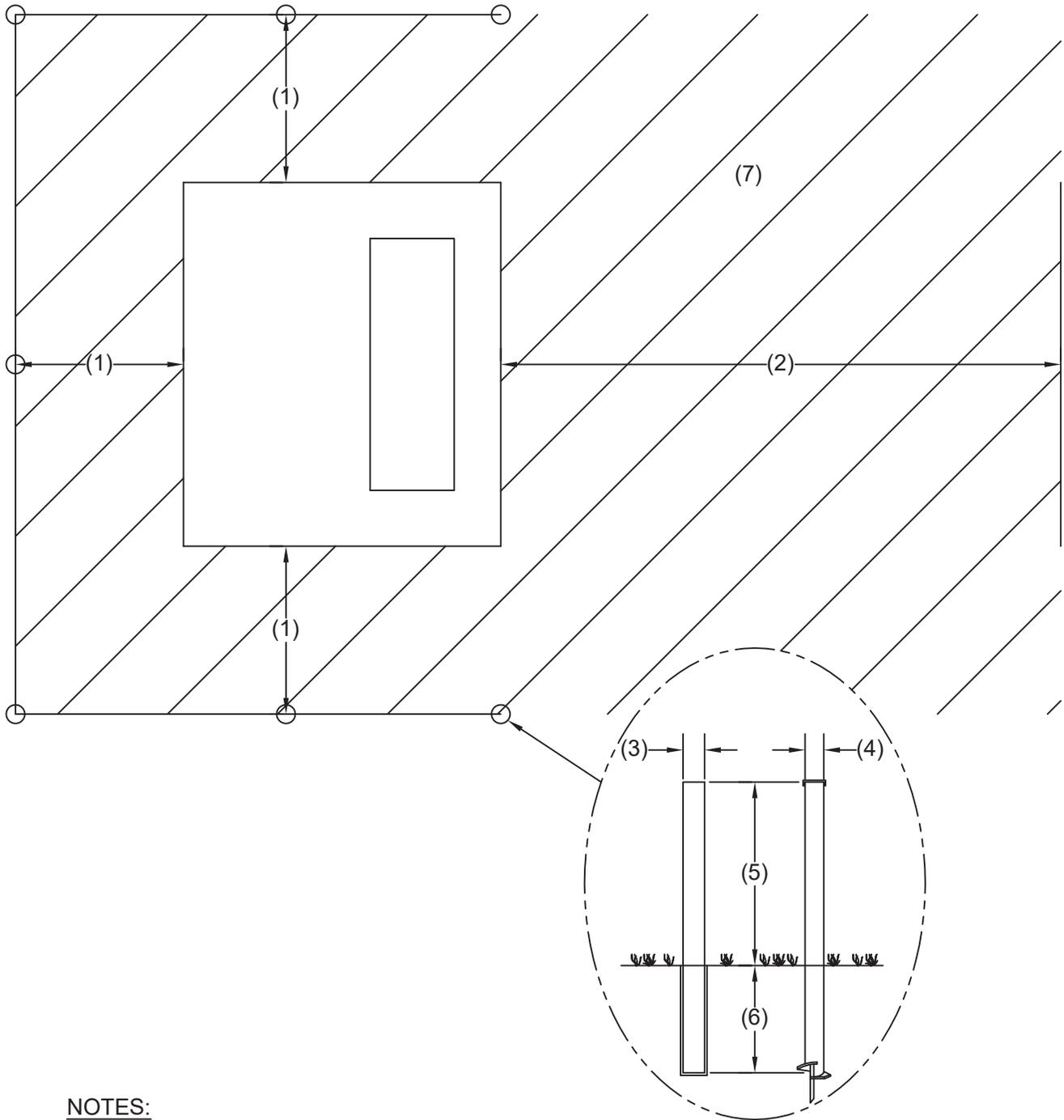
TRANSFORMER PAD DIMENSIONS FOR POURED-IN-PLACE



NOTE:
1Ø Pad is a Fiberglass Box Pad
for commercial application.

DRAWING CR-90

OBSTRUCTION AND BUMPER PROTECTION CLEARANCE REQUIREMENTS FOR PAD-MOUNTED EQUIPMENT



NOTES:

- (1) 3' minimum, non door-side for oil-filled equipment
2' minimum, non door-side for switch equipment
- (2) 10' minimum, door-side for pad-mounted equipment except primary metering
- (3) 4" diameter (slugged)
- (4) 3-1/2" diameter with helix
- (5) 4' minimum height
- (6) 3' minimum depth
- (7) The shaded area shown above must be level and free from obstructions.