



**PLANNING COMMISSION
MEMORANDUM**

February 19, 2026

AGENDA ITEM: Planning File No. MAJ-25-0002: A sketch plan review of a proposed mixed-use development consisting of five (5) new residential units in addition to keeping existing uses on site

LOCATION: 121 E Main Street / Sixth Degree Town Homes

ZONING: Central Core (CC)

APPLICANT: Margaret Ziedin, SixthDegree

OWNER: Baseline 121 LLC
C/O Margaret Ziedin
2412 Patterson Road
Grand Junction, CO 81505

TOWN STAFF: Kris Valdez, AICP, Principal Planner

PROJECT UPDATE AND DESCRIPTION

The applicant, Margaret Ziedin of SixthDegree, hereinafter referred to as the “Applicant,” has submitted an updated sketch plan review for a proposed mixed-use development consisting of five (5) new residential units and retail space, in addition to maintaining existing on-site uses, including one “Housing Helps” 4-bedroom residential unit. The application materials are included as Attachment A and are herein referred to as the “Application.”

The Application proposes a mixed-use development in the Town’s Central Core (CC) zone that integrates the existing commercial space with one (1) workforce residential unit and five (5) additional market-rate units. The Application shows:

- Five (5) market-rate units
 - Each unit has two (2) bedrooms and two assigned parking spaces
- ~1,023 sq. ft. commercial space
- Retaining the historic log cabin and restaurant
- Retaining the four-bedroom workforce housing unit, with two assigned parking spaces

The parking spaces are provided within a ground-level structure accessed off Galena Alley, and the proposal includes using parking lifts. The garage level includes enclosed bike storage. Outdoor bike storage is also located off the community space on the ground floor.

BACKGROUND

The subject property, hereinafter referred to as the “Property,” is a 0.281-acre developed site located at 121 E. Main Street. The Property consists of two (2) lots from the King Solomon Addition Subdivision and the west half of the vacated North 2nd Avenue, with a total lot area of 0.28 acres. The subject property fronts East Main Street and abuts the Galena Street Alley on the rear. The property contains an existing building that houses a restaurant on the ground floor and a 4-bedroom apartment on the second floor. According to the Frisco Historic Resource Survey, the building, originally constructed in 1908, was converted from a residence to a café in the late 1960s. The survey gives an overview of the building’s historical significance:



“This building is significant for its position as residence turned commercial building that has developed along with the growth of the original Frisco townsite. The original log construction was a typical type of building seen in early Frisco where locally available materials predominated. Main Street in Frisco remained a mixed-use area, with both residential and commercial operations side by side. In 1968, when it was converted to a café, the broader trend was one of shifting residential development to adjacent streets and focusing Main Street on commercial uses.”

The adjacent uses are the mixed-use development at 111 East Main to the west and the Loaf and Jug gas station and convenience store to the east. To the north of the site, across the Galena Street Alley, is the Estates on Galena townhome development. The Frisco Historic Park and Museum is located across East Main Street to the south.

In May 2024, the Town of Frisco purchased a Restrictive Covenant from Baseline Capital Investment LLLP for a residential condo unit through the Town's Housing Helps program. The "Live-Work" restrictive covenant limits residency in the second-floor unit to occupants who work for a business operating within one mile of the Ten Mile Basin in Summit County and who work an average of at least 30 hours per week annually. The covenant does not restrict occupant income nor limit capital improvements made to the unit. The Town Attorney has determined from the plat notes on the condominium plat map named “Sixth Degree Town Homes” dated June 7, 2024, that the Applicant is allowed to have a total of six (6) residential units on the Property, along with two (2) commercial units, without requiring any additional housing covenants. The plat note is shown below:

4. This plat and map are part of the Declaration for SIXTH DEGREE TOWN HOMES recorded

June 7th 2024 at Reception No. _____ As provided in Article 8 of the Declaration, Declarant reserves the right to develop five (5) additional Residential Units, 1 additional Commercial Unit, Common Elements and Limited Common Elements on the Expansion Area. The Development Rights may be exercised in whatever order of development the Declarant determines in its sole discretion. Declarant is not obligated to expand the Community beyond the Units created by this Map, but may expand the Community to include a maximum of six (6) Residential Units and 2 Commercial Units. The consent of Owners or their lenders will not be required for any such expansion.

Based on this plat note, the Property is allowed to develop all the density shown in the Application.

A prior sketch plan application for this project was heard on June 5, 2025. The Planning Commissioners provided the following comments at that time:

- Commissioners explained that they have a code that has to be followed and expects to see revisions that meet Code
- Commissioners believe there are technical hurdles that need to be worked out with staff
- Commissioners noted that they have concerns over the parking and the lift system noting that Frisco has a high water table and recommend trying to stay away from lifts if possible
- Commissioners agreed the Code requires the visitor parking space to be on site
- Commissioners noted that heated snow storage frequently doesn't continue to be used within the town due to the high cost and they would caution the applicant on utilizing it
- Commissioners noted that they would like to see another sketch plan that shows more code compliance
- Commissioners noted that the modern architecture wrapped around the historic structure seems to separate it; they would like to see more historic elements incorporated into the new structure prior to returning
- Commissioners noted that they want this to work for the applicant, and they want them to find a path forward complying with all code requirements

To help the Applicant understand the various planning and agency comments, another Development Review Committee (DRC) meeting was held on August 27, 2025. During this meeting, representatives from several key referral agencies (Summit Fire & EMS, Frisco Public Works and Engineer, Frisco Water, Xcel Energy, Frisco Sanitation, and Frisco Planning) provided their insights and feedback outlining their respective regulations and how they relate to the Application. These comments were important for ensuring that the Applicant understood the necessary compliance standards to navigate the Application process effectively.

The Applicant has submitted a narrative, dated January 29, 2026, which is included in the Application and provides a detailed overview of the project, and includes modifications made in response to the staff report and comments provided in association with the June 5, 2025 sketch plan review.

SKETCH PLAN REVIEW

A sketch plan review gives the Planning Commission an opportunity to provide feedback on various aspects of a development proposal. This feedback includes proposed land uses, parking arrangements, traffic circulation, architectural design, landscape design, and how well the project fits in with the surrounding neighborhood. The process also allows the Applicant to incorporate the Commissioners' feedback and make necessary adjustments to their proposal before submitting a final Major Site Plan application. If the proposal lacks sufficient information or if significant changes are suggested, the Planning Commission may ask the Applicant to resubmit the sketch plan for further review.

It's important to note that presenting a sketch plan does not guarantee approval of a Major Site Plan or confer any vested rights.

The complete Major Site Plan application will also undergo review by the Planning Commission. At that time, it will be thoroughly assessed for compliance with the Frisco Community Plan and the Frisco Unified Development Code, referred to as the “Code.” This Application was submitted prior to the adoption of the 2025 Comprehensive Plan; therefore, it is still reviewed under the 2019 Community Plan.

ANALYSIS – FRISCO COMMUNITY PLAN

The following elements of the Frisco Community Plan apply to the review of the Application:

Vision and Guiding Principles (excerpts)

The vision and guiding principles are a statement of community values. Together, they reflect characteristics that residents value about Frisco today, and the kind of community that residents would like to see Frisco become as it continues to grow and evolve over time. The vision and guiding principles serve as an organizing framework for subsequent chapters and policy guidance in the Community Plan, as well as for the Town Council’s Strategic Plan.

Guiding Principle 1: Inclusive Community

Frisco cares about our neighbors, visitors, and the whole of our community. We are an inclusive community that welcomes people of all backgrounds and income levels. We support a balance of housing options to create opportunities for a diverse population to reside here. Our history is integral to our identity and it is also a guiding principle for our future. As the Town grows and changes, we need to be rooted in the values of our past. The Ten Mile Range mountain backdrop, historic structures, vibrant neighborhoods, and a lively Main Street characterize Frisco along with the friendly people and welcoming vibe. As Frisco grows, this character and identity should be preserved and enhanced throughout Town.

1.3: Preserve and enhance the Town’s historic resources

- 1.3A *Expand protections for Frisco’s historic resources and develop a variety of tools in order to support historic preservation at the local level.*
- 1.3B *Expand access to, and awareness of, educational and financial resources (e.g., grants, tax credits) available at the state and federal level to support historic preservation.*
- **1.3C Encourage the adaptive reuse of historic structures and keeping buildings in place.**
- 1.3D *Continue to educate residents and visitors through the historic park and museum, programming, and events.*

1.4: Reinforce Main Street as the heart of the Community, from the lake to the mountains

- 1.4A *Support the creation of an attractive community entrance along West Main Street to create a gateway that is inviting to visitors, highlights the Tenmile Creek, and is an extension of the history and vision of Frisco.*
- **1.4B Encourage infill and redevelopment that complements the character, scale, and massing of historic structures.**
- **1.4C Ensure ground floor uses on Main Street create a balanced mix of uses that support a thriving commercial atmosphere. Housing may be located above the ground floor along Main Street, to help support the vitality of downtown.**

- 1.4D *Preserve Frisco’s historic street grid to retain the character and walkability of the town core.*
- **1.4E *Design and orient buildings to maintain historic development patterns along public rights of way.***

Guiding Principle 2: Thriving Economy

The Frisco economy is built upon a unique balance of tourism and its role as a commercial-service hub for the region. Tourism, driven by recreational opportunities, and the small, mountain town appeal of Main Street, creates jobs and revenue. Locals and visitors utilize the large retailers, grocery stores, and services located along Summit Boulevard, and support the small businesses on Main Street. While the Frisco economy has seen steady growth in the past decade, diversification of the economy is important. More year-round opportunities will provide stability through the seasons and economic downturns. The Town should focus on small, incremental changes that preserve the town character and a healthy small business community that attracts residents and visitors.

2.1: Maintain a diverse and strong economy

- 2.1A *Continue to attract and retain businesses that support and enhance Frisco’s tourism revenues, while also seeking to build upon entrepreneurship and new or emerging niches.*
- **2.1B *Provide opportunities for a balanced mix of housing and services to support local businesses, employees, residents and visitors.***
- **2.1C *As development and infill occurs, ensure that the Town’s overall mix of land uses remains aligned with community goals.***
- 2.1D *Participate in regional and state economic development efforts that support a diverse economy.*
- 2.1E *Support the creation of home-based businesses and remote workers.*

The Application aligns with several key principles of the 2009 Frisco Community Plan, particularly concerning historic preservation, maintaining Main Street’s character, and supporting the local economy. Below is an analysis of how the proposal addresses these objectives:

- **Adaptive Reuse of Historic Structures:**
 - The Application retains the historic log cabin and restaurant, which corresponds with Principle 1.3C by preserving these significant structures.
 - The ongoing presence of historic elements might contribute to community awareness and engagement in historic preservation.
- **Maintaining Main Street’s Identity:**
 - By preserving existing structures and integrating new development in the CC District, the Application supports Principle 1.4B, ensuring that new infill complements the scale and character of surrounding buildings.
- **Housing Diversity and Inclusivity:**
 - The Application includes one workforce residential unit, maintaining a mix of housing options, which aligns with Principle 1.4C, encouraging residential units above ground-floor commercial spaces.

- The retention of the existing four-bedroom unit supports workforce housing, contributing to Principle 2.1B, which emphasizes the balance of housing options for businesses, employees, and residents.
- **Parking and Mobility Enhancements:**
 - The proposed parking improvements, including the elevator system, align with Principle 1.4D, promoting walkability and accessibility within the Town’s core.
 - The inclusion of bike storage (both enclosed and unenclosed) enhances alternative transportation options, supporting the Town’s commitment to a well-connected and accessible Community.
- **Economic Strength and Sustainability:**
 - The Application reinforces Principle 2.1C, ensuring that Frisco maintains a balanced mix of land uses that align with community goals.
 - By retaining and integrating commercial spaces, the Application supports local businesses and economic sustainability in accordance with Principle 2.1A. It aims to attract and retain businesses that contribute to tourism and economic diversity.

Overall, the Application reflects considerations for sustainable growth, historic preservation, and economic development in Frisco. By integrating new residential units with commercial space and infrastructure enhancements, the Application would contribute to the long-term objectives of housing diversity, pedestrian-friendly design, and economic resilience.

ANALYSIS – CENTRAL CORE [§180-3.11]

The requirements of the Central Core (CC) District are applicable to the review of the Application as follows:

Purpose: The purpose of the CC District is as follows:

“To promote the development of Frisco's Main Street commercial district for retail, restaurant, service, commercial, visitor accommodation, recreational, institutional and residential uses, and to enhance the visual character, scale and vitality of the central core.”

Minimum Lot Area: The CC District has a minimum lot area of 3,500. The total lot area in the Application is 12,254 square feet or 0.281 acres. The Code defines a developable acre as:

“Acre, Developable. 43,560 square feet of horizontal land area neither occupied by a public way nor under a water body nor in a wetland as designated pursuant to procedures under Section 404 of the Clean Water Act, nor in a floodway, as defined on the Flood Insurance Rate Map, nor designated as public open space.”

The Application meets this standard.

Minimum Lot Frontage: The CC district does not have a minimum lot frontage. The Property has a lot frontage of 87.49 feet, which is considered to be off Main Street. The Application meets this standard.

Minimum Open Space: The CC District does not have an open space standard requirement.

Maximum Lot Coverage: Per the Code, there is no maximum lot coverage in the CC District for multi-unit developments. The proposed lot coverage is 8,612 square feet (70.2%), including the building footprint, driveways, decks, and patios. The Application does meet this standard.

Setbacks: Pursuant to §180-9, Definitions, Frisco Town Code:

“Lot Line, Front – The property line separating a lot from the street except, where a lot is bordered by more than one (1) street, the property owner shall determine which side of the lot having street frontage is to be considered the front for setback purposes. Each lot proposed for development shall have at least one (1) property line designated as the front lot line.”

The Property has two street frontages. Access is available from Main Street and Galena Street Alley. The front lot line is adjacent to Main Street. Based on the submitted plans, the Application meets the required setbacks. An Improvement Location Certificate (ILC) will be required during construction to ensure the structure, including roof eaves, does not encroach into the setback.

The minimum required setbacks and proposed setbacks for this Application are as follows:

	Minimum Setback	Proposed Setback
Front Yard	3 feet	3 feet
Side Yard (West)	0 feet	5 feet
Side Yard (East)	0 feet	5 feet
Rear Yard	0 feet	0 feet

The Application meets this standard.

Maximum Building Height: The maximum building height is 35 feet for a flat roof and 40 feet for a pitched roof in the CC district. The building elevations provided in the Application show a maximum height of 40 feet for all ridge lines that are defined as pitched and a maximum building height of 35 feet for all ridge lines that are defined as flat. The Application shows the building height exceeds the maximum height at the point identified as C2.

- Point C2 natural grade based on the existing conditions plan submitted should be documented as 9061.25'. The ridge height is documented at 9101.85' which means the building height for point C2 is 40.6' (maximum permitted height is 40').

Four additional modifications to the submitted building height table will be required to be adjusted for full accuracy at time of full site plan review:

- Point A2 natural grade based on the existing conditions plan submitted should be documented as 9061.85'. The ridge height is documented at 9101.85', which means the building height for point A2 is at exactly 40' (maximum permitted height is 40').
- Point B2 natural grade based on the existing conditions plan submitted should be documented as 9061.99'. The ridge height is documented at 9101.85', which means the building height for point B2 is 39.86' (maximum permitted height is 40').
- Points F1 and F2 show the incorrect number for the “Calculations” column. The height is not close to the maximum height, but the numbers shall be stated accurately.

The Town Code defines a flat roof as:

Roof, Flat. A roof having a slope of 2:12 or less.

Per the Code, Building Height is defined as,

“Building Height. The vertical distance measured from any point on a proposed or existing roof to the natural grade or the finished grade, whichever is lowest, located directly below said roof point, excluding chimneys, steeples, cupolas, turrets, clock towers, similar rooftop decorative elements, mechanical equipment and screening, and solar panels of reasonable, balanced proportions. The building height is thus measured parallel to the existing grade in any direction as depicted in Figure 9-A. Where a building utilizes multiple roof styles or pitches, the highest point of each type of roof or parapet wall shall be in conformance with applicable height regulations as established for the respective roof pitches in each zoning district.”

At time of the final Site Plan application, the building height table shall be modified to accurately reflect all numbers. Architectural modifications will be required to bring point C2 into compliance. Whereas the height of a proposed structure can be drawn and approved at the maximum height, staff cautions the Applicant to ensure the contractor realizes there is no room for any discrepancy in construction. If a height improvement location certificate (ILC) shows a ridgeline above the maximum height, the Town is required to ensure the contractor adjusts the structure to lower its height. This occurs once or twice a year and results in additional costs for the owner. Height will be reviewed again during the final Site Plan application review, and a roof ILC will be required during construction to ensure the building does not exceed the maximum building height allow in the CC District.

Ceiling Height: Per Article, 180- 3.17.8.A.1 of the Code:

“In the Central Core District. For properties located between Main Street and Galena Alley and for properties located between Main Street and Granite Alley, the ground floor ceiling height for all uses shall be a minimum of ten feet in height.”

In the elevation drawings, the ground floor is a minimum of 10 feet above grade. The Application meets this standard.

Stepbacks: Structures in the CC District shall have a 10-foot minimum setback for the third and above floors of street-facing wall facades. Railings and up to 2 feet of roof overhangs are allowed encroachments per §180-3.17.11. The setback is defined as (§180-9.3) *“The horizontal distance that an upper portion of a building facade is set back from the face of the building’s lower portion.”*

Since the Sketch Plan was reviewed on June 5, 2025, by the Planning Commission, the Application has been updated to provide a setback for the third story for the façade along Galena Alley and E Main Street. The structure complies with the setback requirements, as modified in the Application submitted on December 29, 2025.

Density: The permitted density in the CC District is 16 dwelling units per developable acre. With a developable lot size of 0.28 acres, the maximum allowed residential density is 4.48 units, which pursuant to the UDC is rounded to four (4) dwelling units. The Application is proposing five (5) new residential units in addition to the one (1) workforce housing unit. The existing workforce residential unit is located above the restaurant space, which is subject to a Housing Helps covenant. When the covenant was established and the Property was platted, two parking spaces

were designated for the four-bedroom unit, reflecting the requirements for the workforce unit at that time. Although the Housing Helps covenant does not typically provide for additional units through bonus density, as stated above, the Town Attorney has determined that, for this Application, the existing unit qualifies as a workforce unit. This status permits the addition of another unit through bonus density provisions. While the unit does not meet the definition of affordable housing under the 2019 Housing covenant, it is considered exempt from density limitations. The total proposed density for the project is six (6) residential units and two (2) commercial units. The Application meets the permitted density standard due to the Property having been designated additional units of density through the platting process.

ANALYSIS – USE STANDARDS [§180-5]

Permitted and Conditional Uses: A variety of residential and commercial uses are permitted in the CC District, including mixed-use buildings. Per the Code, Article 180-5.2.8. Residential Uses in Central Core:

“Central Core District. For properties located between Main Street and Galena Alley and properties located between Main Street and Granite Alley, residential uses and uses accessory to residential uses are prohibited on the ground floor.”

All the new residential units in the Application are on the second floor or above. Retail and restaurant uses are permitted by right. The Application meets this standard.

Residential Uses in Central Core (§180-5.2.8): In the Central Core District, for properties located between Main Street and Granite Alley, residential uses and uses accessory to residential uses are prohibited on the ground floor.

ANALYSIS - DEVELOPMENT STANDARDS [180-6]

This Application will be reviewed for compliance with all development standards of the Code at the final stage of the Major Site Plan review. However, the staff report highlights items that must be addressed before submitting a final Site Plan application.

Development on Steep Slopes (§180-6.5.1): All development in areas with steep slopes greater than 15% shall comply with the following standards:

- On slopes from 15% to less than 30%, net site disturbance shall not exceed 50% of the total area within this range of slopes.
- On slopes greater than 30%, net site disturbance shall not exceed 15% of the total area over this range of slope.

The Application does not indicate any development or disturbance on steep slopes and therefore does not need to meet the requirements of this Code section.

Drainage Plan (§180-6.6): The contracted Town Engineer has provided preliminary comments on the Application. The comments are attached as Attachment B: Referral Comments. The contracted Town Engineer provided comments regarding drainage on the plans dated January 5, 2026, which stated he “will need to see additional drainage memo to confirm infiltration and proximity to foundation will not cause issues, and “Cover on storm line will likely be very minimal and below standards for HDPE. Concrete pipe likely required.”

The Application dated January 29, 2026, included a response to the contracted Town Engineer's comments on pages 51 and 52, but this response has not been reviewed. This will be reviewed at the time of the final Site Plan application.

Complete drainage plan submittal requirements, design standards, and erosion and sediment control will be reviewed by the contracted Town Engineer, as outlined in §180-6.6 of the Code, at the time of the final review of the Major Site Plan application.

Access (§180-6.11): All vehicle access shall comply with the standards set forth in Chapter 155, Minimum Street Design and Access Criteria. Where development abuts the Town right-of-way (ROW), the location and design of access points to the road must be approved by the Frisco Town Engineer. Chapter 155 states:

Width of Driveways – Driveway width shall be as set forth below and is measured within Town ROW from the ROW line to the edge of pavement, with an allowable three (3) foot angled or radial taper. All access and drive aisles are also subject to minimum widths as specified by the local fire authority

f. Single Family Homes	g. 9 foot Minimum	h. 20 foot Maximum
i. Duplexes or Multi-Units	j. 9 foot Minimum	k. 20 foot Maximum
l. Commercial/Business	m. 12 foot (One-Way)	n. 24 foot (Two-Way)

The Application proposes one driveway into the site off Galena Street Alley. The driveway is 12 feet wide and complies with the Town requirements. Whereas access to parking on the Property is off Galena Street Alley, the Applicant proposes modifications to the Property's existing access to the east off Main Street, which includes the Loaf & Jug and associated gas tanks. The Applicant proposes to reduce the existing driveway width so that it is no longer on the Property. The Town and the Applicant have found no record of any easements allowing the property to the east to use the Property to access their lot. The contracted Town Engineer specifically provided comments in a letter dated January 5, 2026, concerning modifications to the existing access on Main Street, which states in part,

"...the main concerns are the width and alignment of the modified Main Street driveway entrance for 201 E Main Street (Loaf and Jug). The proposed width does not meet the Town code requirement of 24 feet for commercial driveways (the plans measure 24' incorrectly and does not account for the driveway radius). Additionally, the proposed driveway location is significantly offset from South 2nd Avenue (see Sheet C-1 of attached plans for an approximation of this issue). This skew would result in intersection safety concerns. Additional analysis and revision of the driveway design is recommended to meet Town code, provide vehicle access to 201 E Main, and optimize intersection safety.

In addition to the driveway concerns, the submittal would require a waiver from the Public Works Director for both the parking slope in the garage and the separation between the alley parking garage driveway and the dumpster driveway."

The Application dated January 29, 2026, included a response to the contracted Town Engineer's comments on pages 51 and 52, but this response has not been reviewed. The response will be reviewed at the time of the final Major Site Plan application.

At the time of the final Major Site Plan application, the application shall comply with access requirements and receive formal approval from the contracted Town Engineer and the Public Works Director.

Traffic Study (§180-6.12): Frisco Town Code requires a traffic study, prepared by a professional engineer licensed in the State of Colorado, be submitted for any large project that:

- A. *Requires a conditional use or rezoning approval;*
- B. *Is located adjacent to either Main Street or Summit Boulevard;***
- C. *Contains only one point of access;*
- D. *Contains an access point off an unimproved roadway or unincorporated area;*
- E. *Contains an access point off a road with a service level of D or F; or*
- F. *Is expected to generate 400 or more daily trips per day.*

A traffic study was submitted with the sketch plan review, but has not been reviewed at this time. The traffic study will be reviewed by the Public Works Department and the Town Engineer at that time. Staff notes that the submitted traffic study incorrectly states this is not a large project. Per Town Code, this is a large project. A large project is defined as,

“Large Project. Any commercial or mixed-use project, occurring on a lot of 10,500 square feet or greater or occurring on a group of lots combined for a unified development project which contain a total lot area of 10,500 square feet or greater; or any residential development occurring on a lot of 21,000 square feet or greater or any development of five or more dwelling units.”

Non-vehicular Access Requirements (§180-6.11.2):

It is the purpose of this section to promote the use of non-vehicular modes of transportation through a Town- wide network of connecting non-vehicular pathways and provide safe access year round. All site plans shall provide for and show non-vehicular access in accordance with the standards set forth in the Frisco Trails Master Plan and Chapter 155, Minimum Street Design and Access Criteria. In addition, all non-vehicular access shall meet the following standards:

- A. *All multi-family, mixed-use, non-residential developments, and residential subdivisions shall provide safe and convenient non-vehicular access to a public street or road year-round. Developments shall install paved, year round access from and through the development to adjacent public sidewalks, bicycle and pedestrian facilities, or right of way both existing and proposed pursuant to the Frisco Trails Master Plan and in accordance with the Standards of Chapter 155, Minimum Street Design and Access Criteria.*
- B. *Every principal structure shall provide access to adjacent trail systems or public open space usable for recreation activities.*
- C. *Developments shall integrate pedestrian ways, trails, and/or bicycle paths with similar existing and planned facilities on adjacent properties. The Frisco Trails Master Plan should be used as a reference when planning for the integration of these facilities.*

The Application demonstrates pedestrian access along Main Street. The Staff finds that non-vehicular access via the driveway is sufficient. Therefore, the Application meets this standard.

On-Premise Parking Requirements (§180-6.13.3. D): One (1) parking space is required per bedroom with a maximum of four (4) parking spaces per unit. One (1) visitor parking space is required for every five (5) units. All required accessible parking spaces shall not count towards any required visitor parking space requirements. The submitted parking plan shows the same parking space used for both ADA and guest parking. This is not permitted, and at the time of the final Major Site Plan application, the plans shall show that the ADA space and guest space are not in the same location. The required number of parking spaces is still in compliance, as an additional space can be used for guest parking.

The following is a parking analysis:

Use Type	Parking Standard	Bedrooms/ Units	Required Spaces	Spaces Provided
Residential	1 per bedroom Maximum of 4 spaces per unit	Five 2-bedroom units	10	11
Workforce	1 per bedroom Maximum of 4 spaces per unit	One 4-bedroom unit	2	2
Visitor Parking	1 per five units		1	1
ADA Parking - accessible parking spaces and electric vehicle charging stations shall be included in the calculation for required parking spaces	1 space		1	1
Total Required			14	15

Per Article, 180-6.13.6.Parking Standards and Criteria.

- A. Dimensions.** Except as noted in Subsection (3), parking stall dimensions shall be designed to conform to the following minimums: 1. **Parking Facilities.** Nine by 18.5 feet (including stacked spaces) with the exception of parallel parking spaces which shall be eight by 25 feet. **Covered parking spaces and parking structures shall have a minimum vertical clearance of at least eight feet in height.**

Staff requested assistance from the Town Attorney to determine if the proposed parking spaces meet the minimum dimensions as required by the Code. The parking spaces are drawn in size to meet the minimum size requirement of 9'x18.5'. Staff was unsure if the parking lift system proposed in four of the spaces (the Application shows the platform is 8 feet wide, a length of 14'-9", and a vertical height between the platforms ranging from 5 feet to 6'-8 ¾") needed to comply with the minimum size and vertical clearance, or just the parking space itself. Specific information was included in the Application, and more information is available on the company's website at <https://www.hardingaps.com/whr-parklift-411>.

The Town Attorney determined that the proposed parking lift system within the parking spaces, as designed, complies with the Town Code requirements listed under Section 180-6.13.6.

Retail, restaurants, bars, and taverns along Main Street are not required to provide on-site parking. Parking will be reviewed further during the final Major Site Plan review.

Tandem Parking (§180-6.13.6): For multifamily residential projects, two (2) stacked (tandem) spaces may be permitted if the Planning Commission finds that the layout of the parking is functional and, at a minimum, finds two (2) out of the following four (4) criteria are met:

- i. That some of the spaces could be used as potential visitor parking space; and/or,*
- ii. That, given the layout and design of the building, adequate storage space is provided for the residents so that it is not anticipated the parking space(s) will be needed predominately for storage; and/or,*
- iii. That the architecture of the building façade which faces or accesses the parking spaces avoids a canyon effect, such that movement is provided in the building design; and/or,*
- iv. That an adequate turning radius area is provided with the parking layout to allow for turning and backing into or out of the tandem parking spaces.*

The required parking is being provided by car lifts. The Application features two vertically stacked tandem spaces in the garage. The Planning Commission must determine if the tandem spaces in each of the garages meet the intent of the parking regulations. Further information on the turning radius area shall be provided at the time of the final Major Site Plan review.

Understructure Parking Facility Provisions (§180-6.13.3.G): This section states that:

For purposes of this provision, understructure parking shall mean that the parking will be located in a parking facility which is substantially underground or substantially below the average existing grade or located at grade under a structure. All understructure parking must meet the following criteria:

- 1. That above grade parking for the project be significantly screened from adjacent public rights-of-way; and,*
- 2. That the understructure Parking Facility is significantly screened from any public rights-of-way; and,*
- 3. That vehicular access to and from the understructure Parking Facility is not provided from Main Street or Summit Boulevard, unless no other access point exists.*

Technical specifications for underground parking structures are found in the Town of Frisco Minimum Street Design and Access Criteria, as referenced in Chapter 155.

The Application showing the parking at grade under the structure has been modified to screen the parking from adjacent uses. Therefore, the Application meets this standard.

Parking Design (§180-6.13.6.C.):

A backup space shall be provided for the end space in dead end lots. Said backup space shall be sized to allow for a safe backing movement, and provide a minimum depth of five feet for the width of the aisle. Backup space shall be considered part of the parking lot.

The parking design standards require a backup space of at least 5 feet at the end of the parking area. The Application is in compliance with this standard. Parking area drainage, access, and design shall be reviewed in greater detail at the final Major Site Plan review.

Electric Vehicle Charging Stations: Chapter 65 of the Code of Ordinances of the Town of Frisco concerning Building Construction and Housing Standards, Section C405.10.1, references electric vehicle charging stations for new construction. The Application will be reviewed at the time of building permit submittal for compliance with EV charging station requirements.

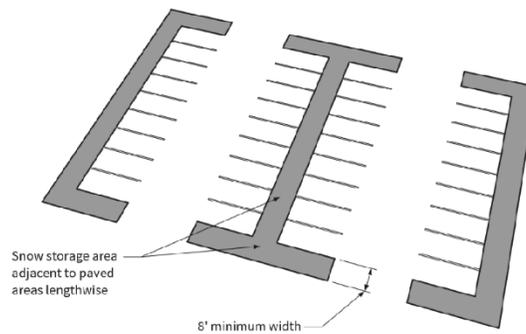
Accessible Parking (§180-6.13.3.H): All facilities, including commercial, mixed-use, and multifamily projects with seven (7) or more attached units, must provide accessible parking. The Application is mixed-use, so the Applicant is required to provide one (1) ADA parking space, which is provided on-site but is not part of the parking lift system. As stated above, the Application currently shows the ADA parking space as the guest space. The parking layout will need to be updated at the time of the final Major Site Plan application.

Bicycle Parking (§180-6.13.4): All multifamily residential developments must provide both enclosed, secure bicycle parking and outdoor bicycle parking facilities. Dwelling units with a private garage are not required to provide enclosed, secure bicycle parking. The requirement is to provide not less than 20 percent of the total number of parking spaces required for the project, with a minimum of five bicycle spaces. The Application shows eight (8) outdoor bicycle parking spaces. The indoor bicycle parking spaces are in front of the parking lifts in the garage. This garage provides a secure area for bicycle parking; however, it is uncertain whether the indoor parking will be compatible with the equipment needed for the parking lifts. While the standard is partially met, additional information is required to ensure that the indoor bicycle parking spaces can function effectively in front of the parking lifts. This information shall be submitted at the time of the final Major Site Plan review.

Snow Storage Areas (§180-6.13.7): The Code requirements state:

Snow Storage Areas. Snow storage for all uncovered parking areas and drives shall be provided for all developments in the following manner:

- A. Amount Required. Snow storage shall be provided on premises in the amount of 25 percent of paved surface area and any unpaved parking and driveway areas, including uncovered decks. The applicant must demonstrate that snow removal operations for upper floor decks will not impact adjacent property.*
- B. [Reserved.]*
- C. Location. All snow storage areas shall be located lengthwise adjacent to the applicable paved area in order to facilitate snow removal. Required snow storage areas may not be placed on any public right-of-way or on adjacent private property. Snow Storage is not permitted within the 25-foot waterbody and wetland setback.*
- D. Minimum Width. The dimension of snow storage areas must be adequate to serve the snow storage purpose and any snow storage area provided shall be a minimum of eight feet in width.*



The Application shows 1,143 square feet of hardscape area and 587 square feet of uncovered decks. The standard requires 433 square feet of snow storage. The Application shows 478 square feet of snow storage. The Application also indicates that all driveways, parking areas, and sidewalks are to be heated and sloped to central drains. The Town Code does not provide exceptions to snow storage for heated areas.

The Application does not comply with the requirement that snow storage be located lengthwise adjacent to the applicable paved area, nor with the minimum width requirement of eight (8) feet.

At the time of the final Major Site Plan application, the application materials shall demonstrate full compliance with snow storage requirements, including required locations and minimum widths, and shall demonstrate that snow storage will not plow snow into neighboring properties.

Outdoor Lighting (§180-6.16): Outdoor lighting installed for new structures shall be full-cut-off fixtures and positioned so that there is no direct light emission onto adjacent properties. The Applicant has not provided a lighting specification sheet, which demonstrates that the proposed lighting will meet the Code. The lighting spec sheet will be required at the time of the final Major Site Plan application.

180-6.16.8: Lighting Plan. Applications for large projects (as defined in Chapter 180, Article IX) shall submit for approval by Planning Commission a preliminary lighting plan.

Because this Application meets the definition of a “large project,” the Applicant will be required to submit a lighting photometric plan at the final review of the Major Site Plan application. The Applicant should be aware that new lighting standards have been adopted by the Town. However, the Applicant falls under the current regulations. Staff strongly suggest they demonstrate full compliance with the new lighting standards at the time of the final Major Site Plan application to avoid having to come into compliance within ten years.

Landscaping and Revegetation (§180-6.14): The Application is subject to the landscaping requirements for mixed-use development. In mixed-use developments, for every 1,000 square feet of project lot area or fraction thereof, a minimum of one tree must be planted on the site. One shrub shall be required for every 1,500 square feet of project lot area or fraction thereof. With a lot size of 12,196 or 12,254 square feet, 12 trees and 8 shrubs are required. Mixed-use projects are eligible for substitution of hardscape and planter boxes for a portion of the landscaping required as outlined in Section 180-6.14.4, Required Vegetation.

The Application shows a total of 25 trees and 15 shrubs being identified on the landscape plan. However, the planting strip on the west side of the building is approximately one (1) foot wide, which does not meet the planting specification in the Application on sheet SP-1.2, which requires a minimum of approximately six (6) feet of planting area for trees and approximately five (5) feet of planting area for shrubs. Staff would encourage the Applicant to consider substituting the required landscaping vegetation with hardscape and planter boxes. Staff would like the Planning Commission to comment on the feasibility of meeting the landscaping and revegetation standards in the Application as currently proposed.

The application shall show full compliance with §180-6.14, Landscaping and Revegetation standards at the final review of the Major Site Plan application. The Application must comply with the Firewise program, including defensible space zones, as regulated by Summit Fire & EMS at the time of building permit review. The Town is currently updating the landscape standards to comply with the Colorado Revised Statutes and to better align with Summit Fire & EMS regulations related to the wildland-urban interface. Although this application meets the existing standards, staff encourages the applicant to adhere to the new landscape standards once they are adopted by the Town.

Refuse Management (§180-6.17): All commercial, mixed-use, and multifamily residential development projects containing five (5) or more units shall utilize a trash enclosure for the collection and storage of refuse and recyclable materials. Per the Code, *“Dumpster enclosures shall provide space for the collection and storage of recyclable materials, including compost, in an amount equal to the space provided for the collection and storage of trash materials, and shall meet the following standards:*

- A. *Equal space for refuse, recycling, and compost collection must be accommodated within the dumpster enclosure in an amount determined to be acceptable by the waste collection provider, based upon the size and use of the development.*
- B. *Storage and collection containers shall be clearly labeled or identified to indicate the type of materials accepted.”*

The Application shows a trash enclosure and areas for recycling. The Application includes a letter from Waste Management confirming they will provide service. The letter included with the submitted Application states the required dumpster and recycling size and states that access to the proposed refuse enclosure is feasible. This standard has been met.

Signs (§180-6.19): Signage is not reviewed as part of the Major Site Plan application. A separate sign permit will be required to review any proposed signage shown in the Application.

Non-Residential Development Standards (§180-6.21): The purpose of the nonresidential development standards is to ensure high-quality site and building design in Frisco; to establish minimum standards related to the scale, mass, architecture, materials, and overall design character of development; and to protect and enhance existing neighborhood character.

The Application shall be held to the following non-residential development standards:

6.21.2. Applicability:

- A. *This section shall apply to the development of any non-residential use that requires site plan review. Findings shall be made that a non-residential development is in compliance with the standards of this section prior to approval of a site plan review. Failure to meet the mandatory standards shall constitute grounds for the decision-*

making body to request amendments to the proposed design or to deny a final plan or site plan.

- B. Mixed-use development shall comply with these non-residential development standards.*

6.21.3. Standards

A. Compatibility with Neighborhood Character

- a. Compatibility. Compatibility shall be achieved through proper consideration of scale, design, proportions, site planning, landscaping, materials, and colors, and compliance with the standards in this section.
 - i. Compatibility of development on Main Street shall be determined based on proper consideration of the above features of nearby properties on Main Street rather than properties on other streets, as well as compliance with the standards in this section.**
- b. The existing landforms and historic structures, as noted in the town's Historic Resource Inventory, on a site shall be preserved onsite whenever possible and reinforced by development rather than destroyed or replaced by it.*

The Application appears to be compatible with the existing neighborhood and consistent with Frisco's small mountain town character. The Application includes building designs that are unique to this project but that are also reflective of the architectural elements and styling of other buildings in Frisco, while incorporating the existing cabin. Staff would like input from the Planning Commission on whether they believe the proposal is compatible with the neighborhood character, incorporating the existing cabin into the design. While the materials, scale, design, and colors meet the Code, staff have concerns regarding landscaping. This standard must be met at the time of the final Major Site Plan application after input from the Planning Commission.

Façade Standards: Intent. *To ensure that the façade design of development is compatible with Frisco's small mountain town character and provides a human scale to enhance the walking experience in the neighborhood.*

2. Building Elements.

All building elevations shall employ varied articulation of wall surfaces, as shown in Figure 6-00.

- a. Each street-facing façade shall include one or more deep eaves or overhangs, at least 24 inches in depth.*
- b. Each façade or each 75-foot portion of a façade visible from public streets or parking lots shall be articulated through the use of at least four of the following building elements that provide shelter from natural elements and provide visual relief.
 - i. **Balconies, porches, or patios;***
 - ii. Building elements that provide shelter from natural elements;*
 - iii. **Offsets, insets, bays, or other similar architectural features to add a variety of depths to the wall plane;***
 - iv. **A change in texture or material, provided all exterior wall textures and materials are consistent with the overall architectural style of the building;***
 - v. **Variation in roof planes or roof forms, including dormers or gables;***
 - vi. **Variation in window sizes and shapes; or***
 - vii. Prominent building entrance features.**

The Application includes building designs that are unique to this Application but have a similar styling to other buildings throughout the Town. A variety of building elements are utilized on all four (4) facades of the building. Varied building articulation is achieved by utilizing the bolded techniques listed above.

3. Building Articulation

- a. *Building walls and corresponding eaves shall not exceed 27 feet in the same geometric plane.*
- b. *Building walls over 27 feet in length shall change geometric planes by at least two feet in depth for a minimum length of six feet.*
- c. *Building walls that exceed 54 feet in total building façade length shall change geometric planes by at least four feet in depth for a minimum length of six feet.*
- d. *Building walls or roof ridgelines over 33 feet in length and facing a front yard or street side yard shall not have more than 66 percent of the length of the wall or roof ridgeline along the same geometric plane.*

The submitted elevation drawings do not show the lengths of the building walls. However, the offsets can also be seen in the submitted 3-D images. At the time of the final Major Site Plan application, all building wall lengths shall be submitted with the Application to demonstrate compliance with building articulation.



SOUTHWEST PERSPECTIVE

SCALE: N.T.S.



SOUTHEAST PERSPECTIVE

SCALE: N.T.S.



CTS
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CTS
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NORTHWEST PERSPECTIVE

SCALE: N.T.S.



NORTHEAST PERSPECTIVE

SCALE: N.T.S.

4. Entrances

- a. For development with over 25,000 square feet of gross floor area, at least two separate and distinct public entrances into the building shall be provided.

The Application has a gross floor area of 11,061 square feet, so this standard does not apply.

C. Bulk Plane Standards

1. Buildings shall be designed in a manner that provides elements that relieve the feeling of mass and provides for the graduation of mass as one moves back from the front of a lot, with the smaller elements located near the street, and the larger elements located further away from the street.
2. See Section 180-6.23 for bulk plane requirements.

Table 6-K of the Code outlines bulk plane requirements. Per footnote 1, side property line bulk plane does not apply to properties located between Main Street and the Granite Street Alley. Bulk plane shall be measured at the front property line and extend up twenty (20) feet prior to extending at a 45-degree angle. There are no proposed bulk plane encroachments. The Application meets this standard.

D. Roof Standards

2. Roof Pitch
 - a. Steep pitched roofs are encouraged.
 - b. Flat roof construction shall be augmented with pitched roof elements, including but not limited to, peaked or sloped facade elements or parapets facing all street sides.

- c. *Pitched roof elements shall vary by a minimum of two feet in elevation.*
- d. *Mansard roofs are not appropriate and are not allowed.*

The Application shows a combination of pitched and flat roof designs with parapets, including roofs that face the street. Staff requests that the Planning Commission provide feedback to the Applicant on the proposed roof pitches.

3. *Roof Design*

- a. *Where pitched roofs are utilized:*
 - i. *A minimum pitch of 4/12 is required.*
 - ii. *Dormers shall be incorporated to break up the roof, to enhance the usability of attic spaces, and to add architectural interest.*
 - iii. *Ridgelines shall change elevation by no less than two feet for each 27 feet of building length. Architectural elements which intersect with the ridgeline may qualify as ridgeline changes upon a finding that the design furthers the purpose of this section.*
- b. *Shed roofs with a minimum pitch of 3/12 may be utilized only if the shed roof element is below the primary roof level and terminates into the roof or wall of the structure.*
- c. *No more than 66 percent of a ridgeline or roof line shall be on the same elevation.*
- d. *Roof lines shall be designed in a manner where they do not substantially deposit snow onto required parking areas, sidewalks, trash storage areas, stairways, decks, balconies, or entryways.*

The Application shows a proposed roof with pitched sections and flat sections with parapets. Staff cannot verify if no more than 66 percent of a ridgeline is on the same elevation. The new roofs created by the proposed addition do not appear to deposit snow onto parking areas, sidewalks, trash storage areas, stairways, decks, balconies, or entryways. The need for snow clips, snow fences, and other similar rooftop snow management techniques on both the existing and proposed roof elements will be reviewed with the building permit application. Further information shall be provided at the time of the final Major Site Plan application to verify compliance with roof design requirements.

4. *Roof Materials*

- a. *If metal roofs are used they shall be surfaced with a low gloss finish or be capable of weathering to a dull finish in order to not be reflective.*
- b. *Metal roofs shall have a standing seam or shall be of a design that provides relief to the roof surface.*
- c. *Asphalt and fiberglass shingles are permitted provided that they are a heavy material that provides substantial relief and shadow, and the design and color are compatible with the building.*
- d. *Spanish or Mission style roofs and other similar roof materials are prohibited.*
- e. *Historic buildings, as noted in the Town's Historic Resource Inventory, may use rolled asphalt roofing materials.*
- f. *Bright colored roofs that exceed a chroma of four on the Munsell Color chart shall not be allowed.*

- g. All rooftop mechanical, electrical, and electronic equipment shall be screened in a manner that is compatible with and substantially similar to the colors and materials of the building or the roof.*

As shown on the 3-D drawings, the roof is proposed to be a metal roof of an ash grey. The Application meets this standard.

E. Building Material Standards

2. Primary Materials

- a. To ensure that building materials are compatible and complementary to existing historic or contributing buildings in the area, using a combination of mainly natural materials.*
- b. Other materials that imitate natural materials are also acceptable, provided their texture, shape, and size are similar to the natural materials they are imitating, and are not obviously artificial materials.*
- c. Stucco, steel, or concrete block shall not be primary exterior materials for the majority of a building.*

The primary exterior materials for the proposed building include metal siding of an ash grey and black, vertical wood siding, and brick. Stucco and concrete block are not proposed. Staff has requested that the Applicant bring a materials board to the sketch plan meeting so the Commissioners can review the proposed materials. The Application must meet this standard at the final Major Site Plan application.

3. Specific Material Standards

- a. Concrete Block*
Concrete block used as an accent material shall be a split, textured, or scored block.
- b. Concrete Panel*
Concrete or concrete panels shall be textured or scored and used in combination with other materials, or shall be faced with another material such as stone, stucco, or other similar materials.
- c. Glass*
Clear glass shall be used for windows. Tinted, colored, or opaque glass may be approved when demonstrated by the applicant to be compatible with the purpose of this section.
- d. Metal*
Metal shall have a matte finish or a finish proven to fade and not be reflective.
- e. Steel*
Steel may only be used as an accent material or used in combination with other materials.
- f. Stucco*
Stucco may only be used as an accent material or used in combination with other materials.

The primary exterior materials for the proposed building include metal siding of an ash grey and black, vertical wood siding, and brick. Stucco and concrete block are not proposed. Staff has requested that the Applicant bring a materials board to the sketch plan meeting so the Commissioners can review the proposed materials. The Application must meet this standard at the final Major Site Plan application to ensure the proposed metal is not reflective.

4. *Prohibited Materials*

The following materials are prohibited:

- a. *Aluminum, steel, or plastic exterior siding that does not imitate natural materials;*
- b. *Mirrored or reflective glass; and*
- c. *Untreated or unpainted galvanized sheet metal*

No aluminum or plastic exterior siding, mirrored glass, or untreated galvanized steel is proposed. The Application meets this standard.

5. *Accessory Structures*

The same or similar building materials shall be used on main structures and any accessory structures located on the same site, unless an alternative design can be provided that will complement the project and meet the purpose of this section.

No accessory structures are proposed. This standard is not applicable.

F. *Building Colors*

2. *Maximum Color Chroma. No color may be used as the primary color of the building that exceeds a chroma of four on the Munsell Color chart.*
3. *Exception for Building Accents. Colors that exceed a chroma of four, but do not exceed a chroma of eight on the Munsell Color chart may be used only sparingly as accents, such as on trim or railings. Luminescent, fluorescent, or reflective colors shall not be utilized on any exterior portion of the building.*
4. *Accessory Structures. The same or similar colors shall be used on main structures and on any accessory structures on the site, unless an alternative scheme can be provided that will complement the project and meet the purpose of this section.*

The proposed structure colors include natural colors on horizontal and vertical siding, and ash gray low-sheen metal siding and roofing. No proposed color appears to exceed a chroma of four on the Munsell Color chart. Staff has requested that the Applicant bring color samples to the sketch plan meeting so the Commissioners can review the proposed materials. The Application must meet this standard at the final Major Site Plan application.

G. *Design Variety*

2. *Duplicate Building Design Prohibited*

- a. *Building designs that duplicate, or are substantially similar in terms of roof pitch, building articulation, materials, colors, and building elements to existing or proposed structures within a 300 foot radius of the property are not allowed, with the exception of accessory structures, which may be designed similarly to the primary structure.*
- b. *Where a proposed building contains multiple identical units, the building design shall provide architectural differentiation from the duplication of units by providing a variety in windows, decks, balconies, or exterior facade compositions.*

The Application does not appear to duplicate or be substantially similar to any other structure within a 300-foot radius of the property. The Application meets this standard.

H. Additions

Additions that are substantially smaller than the square footage of the existing building may be designed to complement the existing structure, even if the existing building does not currently meet the façade, roof, material, or color standards of this section.

The Application reflects modern architecture attached to the historic cabin. At the June 2025 sketch plan meeting, Planning Commissioners noted that the modern architecture wrapping around the historic structure appears to separate it, and they would like to see more historic elements incorporated into the new structure before returning. The Applicant responded to this comment in the narrative dated January 29, 2026, which states:

The building design includes façade articulation through recessed balconies, varied fenestration, and durable, mountain-appropriate materials. Revisions to roof proportions and façade elements were made to address feedback regarding compatibility with the historic building and surrounding downtown character.

Staff would like to receive input from the Planning Commission on whether this building is designed to complement the existing structure.

I. Parking and Loading (§180-6.21.3.I): None of the proposed parking spaces is in front of the building along a principal street façade. The Application meets this standard.

180-6.21.3.I.4. Loading states that “Service, loading, and trash areas shall be screened from all public rights-of-way and parking areas”. The Application has been updated to include a fully enclosed refuse management container and is in compliance with the Town Code.

J. Amenities (§180-6.21.3.J): The purpose of this section is “*To enhance development with the amenities that promote alternative modes of transportation and provide community gathering spaces.*”

As stated above, bicycle parking spaces shall be provided in an amount equal to at least twenty percent (20%) of the required vehicular parking spaces for the development with a minimum of five bicycle spaces. The Application shows eight (8) outdoor bicycle parking spaces. The indoor bicycle parking spaces are located in front of the parking lifts in the garage. This garage provides a secure area for bicycle parking; however, it is uncertain whether the indoor parking will be compatible with the equipment needed for the parking lifts. While the standard is partially met, additional information is required to ensure that the indoor bicycle parking spaces can function effectively in front of the parking lifts.

A minimum of one community space shall be provided for any development with a gross floor area of between 10,000 and 25,000 square feet. The gross floor area in the Application is 12,169 square feet, and so one community space is required. A community space includes, but is not limited to, public benches, water features, public kiosks/gazeboes, public patios/seating areas, public plazas, or public art. The Application shows a courtyard proposed to be covered and approximately 410 sq. ft exclusively for residents, since it would be a challenge to monitor it as a public space. The Application does show a public bench/seating area with landscaping on the east side of the building.

The Application features an outdoor courtyard with a fireplace for residents' private use. Staff would like feedback on whether this community space is suitable for the Application.

REFERRAL COMMENTS

Although referral comments are typically not requested at the time of sketch plan review, staff sent the Application to referral agencies to expedite later reviews at the time of full site plan review, given the length of time this application has been submitted and the request for the second sketch plan. The Applicant has been addressing concerns raised by the Frisco Contracted Engineer and the Xcel Engineer, and, at the time of the final Major Site Plan application, the application materials shall show full compliance with all referral agencies' regulations.

PUBLIC COMMENT

The Community Development Department has not received any formal public comments concerning this project as of February 12, 2026.

STAFF RECOMMENDATIONS

Staff recommends that the Planning Commission provide the Applicant feedback on the Application submitted for 121 E Main Street in the context of the recommendations and requirements of the Frisco Community Plan and the Frisco Town Code:

- Staff recommends that the Planning Commission comment on the tandem parking. Specifically, the use of car lifts as tandem spaces.
- Staff recommends that the Planning Commission comment on the roof pitches.
- Staff recommends that the Planning Commission comment on whether this building is designed to complement the existing structure.
- Staff recommends that the Planning Commission provide feedback on the standard of *Compatibility with Neighborhood Character*.
- Staff recommends that the Planning Commission provide feedback on whether the community space is suitable for the Application.

The Application does not meet, or has not provided sufficient information to prove that it is meeting, the following requirements:

1. The Application will be reviewed for full compliance with §180-3.11, Building Height standards in the Central Core District at the time of the final Major Site Plan application.
2. The Application will be reviewed for full compliance with §180-6.14, Landscaping and Revegetation standards at the time of the final Major Site Plan application.
3. The Application will be reviewed for full compliance with §180-6.15, Snow Storage standards at the time of the final Major Site Plan application.
4. The Application will be reviewed for full compliance with §180-6.21.3.B.3, Building Articulation standards at the time of the final Major Site Plan application.

The Application will need to be revised to demonstrate compliance with the applicable Code requirements before proceeding with the final Major Site Plan review process.

ATTACHMENTS

Attachments:

Attachment A: Application Materials for Sketch Plan

Attachment B: Referral Comments

cc: Margaret Ziedin
Jeff Clark, AIA