



**Seth Francis**  
Managing Partner  
Blue River Real Estate

February 20, 2026

Dear Town of Frisco,

We respectfully submit this formal request to modify certain exterior elements of the previously approved site plan for 200 N 7th Ave, Frisco, Colorado 80443.

The proposed modifications include the following items, with additional detail provided below:

- Exterior siding modifications
- Reduction in the number of windows and overall window sizes
- Railing material modification
- Fourth floor roofing material modification
- Removal of certain decks

These updates remain consistent with the overall architectural aesthetic of the building. Window locations, exterior colors, and the general palette of siding and roofing materials remain largely unchanged.

For reference, we have included a PDF comparing the elevations from the approved final site plan with the proposed updates. As shown, the revised elevations appear essentially the same as those approved during the final site plan review.

We appreciate your consideration of this request and remain available to provide any additional information or documentation the Town may require in support of these proposed modifications.

## **Horizontal Wood Siding**

The horizontal siding material originally selected by the architects is a highly custom wood product from one manufacturer that has proven very expensive to source.

We are proposing to use LP SmartSide lap siding, which is also a wood product but engineered to replicate the appearance of cedar. The proposed siding is eight inches in width and matches the color of the originally selected material. This product is widely used throughout the Town of Frisco.



### **Vertical Wood Siding**

The previously approved vertical siding material will continue to be utilized. However, whereas the original design incorporated a randomized pattern of 2-inch, 4-inch, and 8-inch-wide vertical elements, we are proposing to standardize the application to 8-inch-wide vertical members. This adjustment is intended to provide greater visual consistency and uniformity across the façade while maintaining the originally approved material and overall design intent.

### **Fascia Wood Siding**

The originally specified fascia siding is a standard cedar product. In order to maintain consistency with the proposed LP SmartSide horizontal siding we are proposing to use LP SmartSide fascia siding, which is an engineered wood product designed to replicate the look of cedar. The proposed fascia is the same width and matches the color of the originally selected material. The image provided above for the proposed horizontal siding material is a representative example of the appearance and finish of the fascia wood siding. This product is used throughout the Town of Frisco.

## Metal Siding

The originally selected metal siding was Corten, a rusted metal product. Due to its rusted finish, water runoff can carry rust onto adjacent siding, windows, and paved areas, potentially causing staining. Over time, the rusting process can also lead to deterioration and holes in the siding.



We are proposing to use a corrugated metal siding that replicates the appearance of rust. This alternative provides a similar aesthetic while offering greater durability and eliminating the risk

of rust staining adjacent materials. This product is a common alternative to Corten and is used throughout the Town of Frisco.



**Railing**

The originally selected railing design consisted of an all metal railing system.



We are proposing to replace the metal posts with wood posts. This adjustment maintains a look very similar to the original design while introducing additional wood elements that enhance the overall rustic character of the building.



**Roofing**

The originally approved roofing material for the fourth floor roofs is matte black metal.

We are proposing to use GAF charcoal architectural asphalt shingles (or a comparable product) for all fourth floor roof areas. These roof surfaces will not be visible from ground level or from nearby properties. Matte black metal roofing would continue to be used on all roof areas below the fourth floor, where visibility from the ground, decks, and adjacent properties is more prominent.



## **Decks**

Certain units were originally designed with more than two decks. We are proposing to remove the additional decks so that each unit will maintain a maximum of two decks.

The removal of these decks necessitates the addition of roof elements in their place as indicated in the attached PDF. The newly proposed rooflines are all below 35 feet in height and therefore are permitted to have a pitch of less than 2.01:12 in order to comply with applicable code requirements. Notwithstanding, the majority of the newly proposed rooflines are designed with a 2.01:12 pitch.

Thank you for your time and consideration.

Best regards,

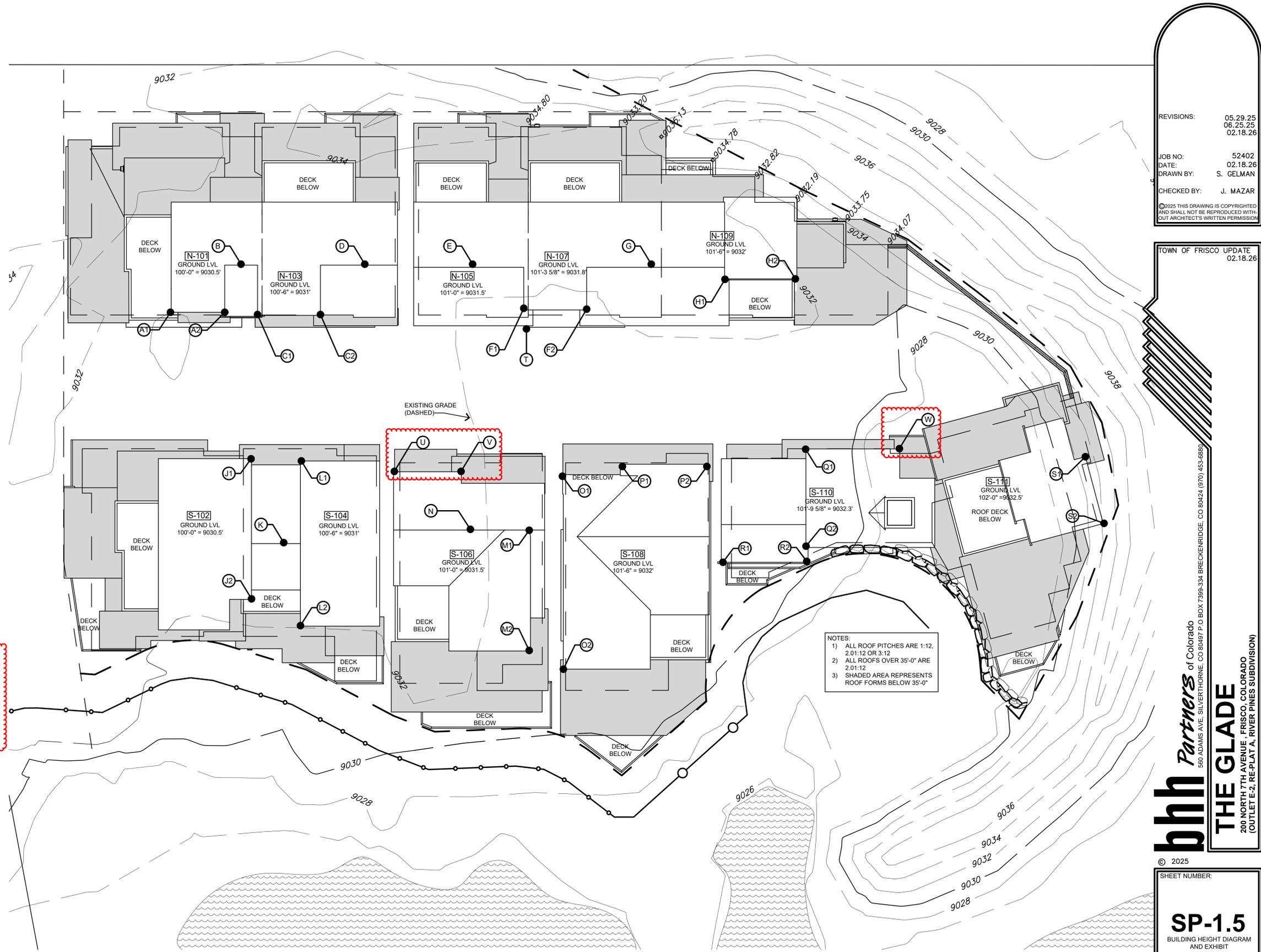
Seth Francis  
Managing Partner of Blue River Real Estate Fund IV LLC

### BUILDING HEIGHT TABLE

RIDGE POINT	RIDGE ELEVATION	NATURAL EXIST'G GRADE ELEVATION (APPROX.)	FINISHED GRADE ELEVATION	AS MEASURED FROM	CALCULATIONS	HEIGHT
A1	9,074.84'	9,034'	9,030.5'	FINISHED	9,074.84' - 9,030.5' =	44.34'
A2	9,074.84'	9,033.5'	9,030.5'	FINISHED	9,074.84' - 9,030.5' =	44.34'
B	9,073.07'	9,032'	9,030.5'	EXIST'G	9,073.07' - 9,032' =	41.07'
C1	9,074.84'	9,032'	9,031'	EXIST'G	9,074.84' - 9,032' =	42.84'
C2	9,074.84'	9,032'	9,031'	EXIST'G	9,074.84' - 9,032' =	42.84'
D	9,073.07'	9,032'	9,031'	EXIST'G	9,073.07' - 9,032' =	41.07'
E	9,073.88'	9,032'	9,031.5'	EXIST'G	9,073.88' - 9,032' =	41.88'
F1	9,075.37'	9,032'	9,031.5'	EXIST'G	9,075.37' - 9,032' =	43.37'
F2	9,075.37'	9,032'	9,031.8'	EXIST'G	9,075.37' - 9,032' =	43.37'
G	9,073.88'	9,032'	9,031.8'	EXIST'G	9,073.88' - 9,032' =	41.88'
H1	9,074.78'	9,032'	9,032'	FINISHED	9,074.78' - 9,032' =	42.78'
H2	9,074.78'	9,032'	9,032'	FINISHED	9,074.56' - 9,031.5' =	42.78'
I	BLANK					
J1	9,074.38'	9,032'	9,031'	EXIST'G	9,074.38' - 9,032' =	42.38'
J2	9,074.38'	9,032'	9,031'	EXIST'G	9,074.38' - 9,032' =	42.38'
K	9,073.25'	9,032'	9,031'	EXIST'G	9,073.25' - 9,032' =	41.25'
L1	9,074.68'	9,032'	9,031'	EXIST'G	9,074.68' - 9,032' =	42.68'
L2	9,074.68'	9,032'	9,031'	EXIST'G	9,074.68' - 9,032' =	42.68'
M1	9,074.76'	9,031.75'	9,031.5'	EXIST'G	9,074.76' - 9,031.75' =	43.01'
M2	9,074.76'	9,031.75'	9,031.5'	EXIST'G	9,074.76' - 9,031.75' =	43.01'
N	9,073.32'	9,031.65'	9,031.5'	FINISHED	9,073.32' - 9,031.5' =	41.82'
O1	9,074.79'	9,031.5'	9,032'	FINISHED	9,074.79' - 9,032' =	42.79'
O2	9,074.79'	9,031.5'	9,032'	FINISHED	9,074.79' - 9,032' =	42.79'
P1	9,074.02'	9,031'	9,032'	EXIST'G	9,074.02' - 9,031' =	43.02'
P2	9,074.02'	9,031'	9,032'	EXIST'G	9,074.02' - 9,031' =	43.02'
Q1	9,074.45'	9,030.5'	9,032.3'	EXIST'G	9,074.45' - 9,030.5' =	44.25'
Q2	9,074.45'	9,030.2'	9,032.3'	EXIST'G	9,074.45' - 9,030.5' =	44.25'
R1	9,073.68'	9,030.3'	9,032.3'	EXIST'G	9,073.68' - 9,030.3' =	43.38'
R2	9,073.68'	9,030.3'	9,032.3'	EXIST'G	9,073.68' - 9,030.3' =	43.38'
S1	9,073.55'	9,033.6'	9,032.5'	EXIST'G	9,073.55' - 9,033.6' =	39.95'
S2	9,073.55'	9,034.25'	9,032.5'	FINISHED	9,073.55' - 9,032.25' =	41.3'
T	9,066.83'	9,032'	9,031.5'	FINISHED	9,066.83' - 9,031.5' =	35.33'

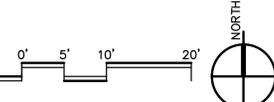
U	9,071.83'	9,032'	9,031.5'	FINISHED	9,071.83' - 9,031.5' =	40.33'
V	9,071.83'	9,032'	9,031.5'	FINISHED	9,071.83' - 9,031.5' =	40.33'
W	9,071.05'	9,028'	9,032.3'	EXIST'G	9,071.05' - 9,028' =	43.05'

ROOF NOTES:  
ALL ROOF SECTIONS, WHETHER NEWLY ADDED OR REPLACING EXISTING DECKS, ARE DESIGNED WITH A 2.01:12 ROOF PITCH IN COMPLIANCE WITH THE DEVELOPMENT STANDARDS FOR THIS PROPERTY.



### BUILDING HEIGHT DIAGRAM AND EXHIBIT

SCALE: 1" = 10'-0"



REVISIONS: 05.29.25  
06.25.25  
02.18.26

JOB NO: 52402  
DATE: 02.18.26  
DRAWN BY: S. GELMAN  
CHECKED BY: J. MAZAR

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TOWN OF FRISCO UPDATE 02.18.26

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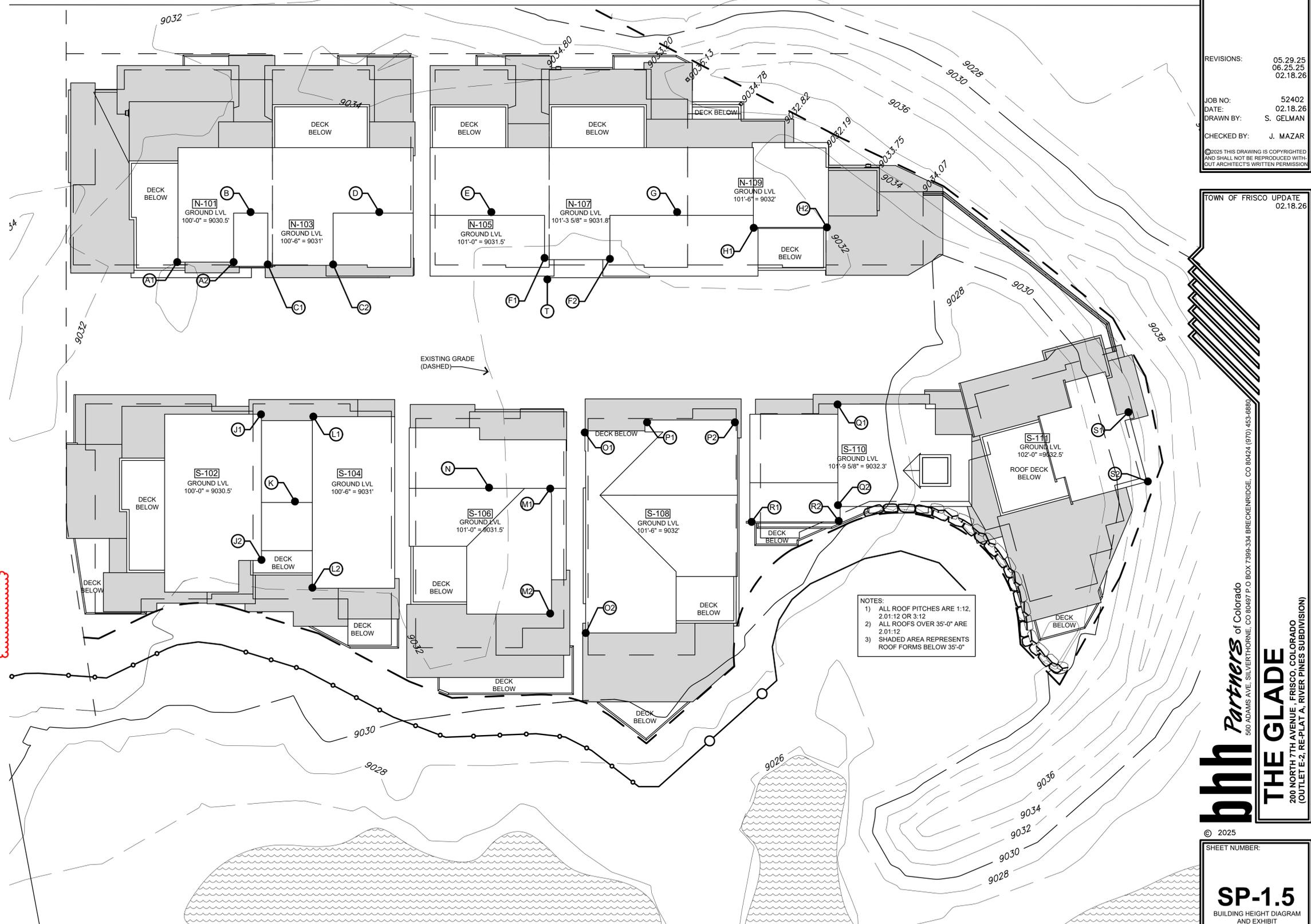
**THE GLADE**  
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(OUTLET E-2, RE-PLAT A, RIVER PINES SUBDIVISION)

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SHEET NUMBER:  
**SP-1.5**  
BUILDING HEIGHT DIAGRAM AND EXHIBIT

### BUILDING HEIGHT TABLE

RIDGE POINT	RIDGE ELEVATION	NATURAL EXIST'G GRADE ELEVATION (APPROX.)	FINISHED GRADE ELEVATION	AS MEASURED FROM	CALCULATIONS	HEIGHT
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C1	9,074.84'	9,032'	9,031'	EXIST'G	9,074.84' - 9,032' =	42.84'
C2	9,074.84'	9,032'	9,031'	EXIST'G	9,074.84' - 9,032' =	42.84'
D	9,073.07'	9,032'	9,031'	EXIST'G	9,073.07' - 9,032' =	41.07'
E	9,073.88'	9,032'	9,031.5'	EXIST'G	9,073.88' - 9,032' =	41.88'
F1	9,075.37'	9,032'	9,031.5'	EXIST'G	9,075.37' - 9,032' =	43.37'
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G	9,073.88'	9,032'	9,031.8'	EXIST'G	9,073.88' - 9,032' =	41.88'
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L2	9,074.68'	9,032'	9,031'	EXIST'G	9,074.68' - 9,032' =	42.68'
M1	9,074.76'	9,031.75'	9,031.5'	EXIST'G	9,074.76' - 9,031.75' =	43.01'
M2	9,074.76'	9,031.75'	9,031.5'	EXIST'G	9,074.76' - 9,031.75' =	43.01'
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O2	9,074.79'	9,031.5'	9,032'	FINISHED	9,074.79' - 9,032' =	42.79'
P1	9,074.02'	9,031'	9,032'	EXIST'G	9,074.02' - 9,031' =	43.02'
P2	9,074.02'	9,031'	9,032'	EXIST'G	9,074.02' - 9,031' =	43.02'
Q1	9,074.45'	9,030.5'	9,032.3'	EXIST'G	9,074.45' - 9,030.5' =	44.25'
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S1	9,073.55'	9,033.6'	9,032.5'	EXIST'G	9,073.55' - 9,033.6' =	39.95'
S2	9,073.55'	9,034.25'	9,032.5'	FINISHED	9,073.55' - 9,032.25' =	41.3'
T	9,066.83'	9,032'	9,031.5'	FINISHED	9,066.83' - 9,031.5' =	35.33'

**ROOF NOTES:**  
 ALL ROOF SECTIONS, WHETHER NEWLY ADDED OR REPLACING EXISTING DECKS, ARE DESIGNED WITH A 2.01:12 ROOF PITCH IN COMPLIANCE WITH THE DEVELOPMENT STANDARDS FOR THIS PROPERTY.



**NOTES:**  
 1) ALL ROOF PITCHES ARE 1:12, 2.01:12 OR 3:12  
 2) ALL ROOFS OVER 35'-0" ARE 2.01:12  
 3) SHADED AREA REPRESENTS ROOF FORMS BELOW 35'-0"

### BUILDING HEIGHT DIAGRAM AND EXHIBIT

SCALE: 1" = 10'-0"

0' 5' 10' 20'

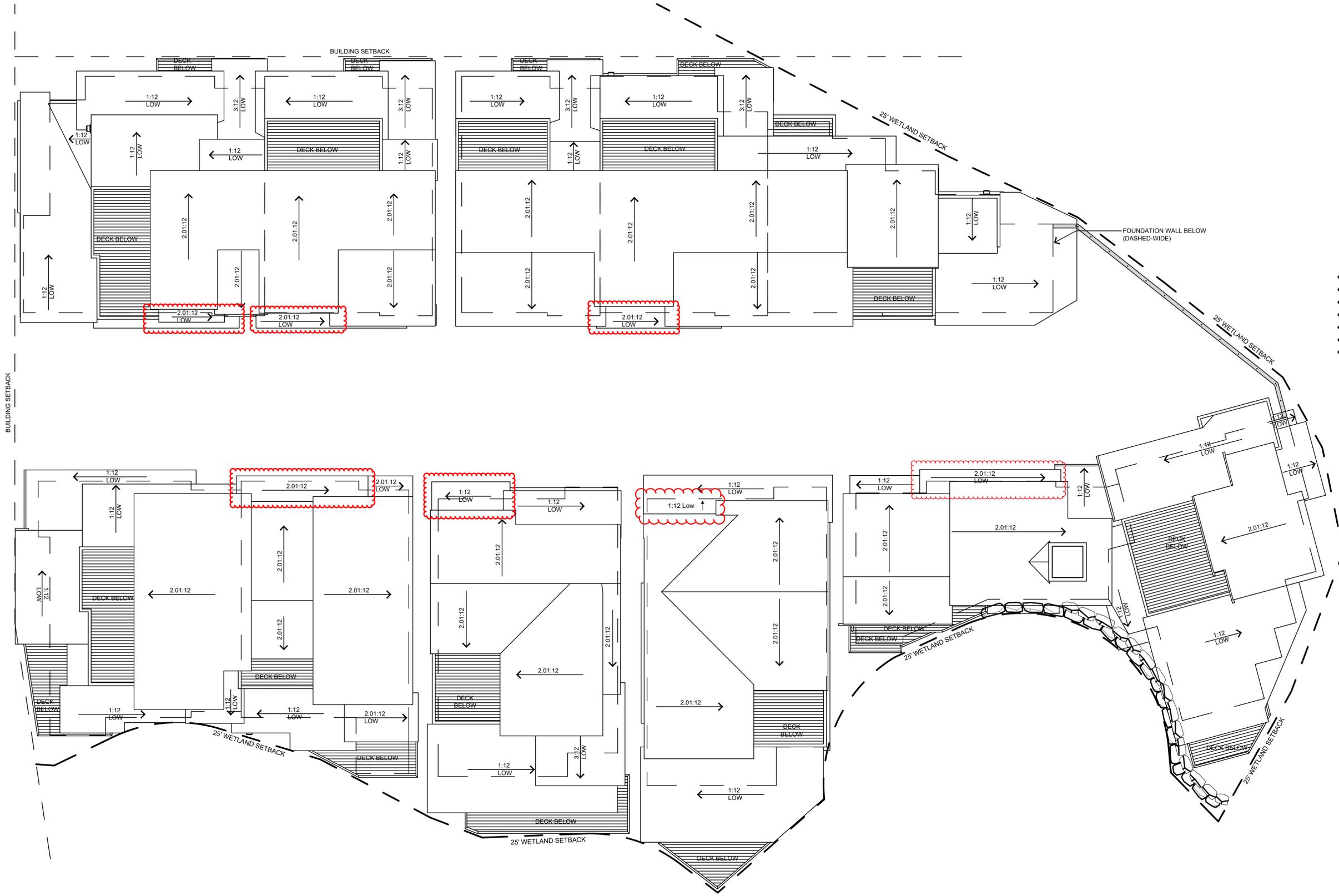


REVISIONS: 05.29.25  
 06.25.25  
 02.18.26  
 JOB NO: 52402  
 DATE: 02.18.26  
 DRAWN BY: S. GELMAN  
 CHECKED BY: J. MAZAR  
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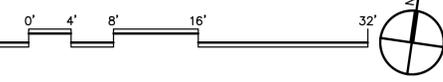
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**SP-1.5**  
 BUILDING HEIGHT DIAGRAM AND EXHIBIT



# ROOF PLAN

SCALE: 1/8" = 1'-0"



REVISIONS:	05.29.25 06.25.25 02.18.26
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02.18.26

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**A-1.5**  
ROOF PLAN

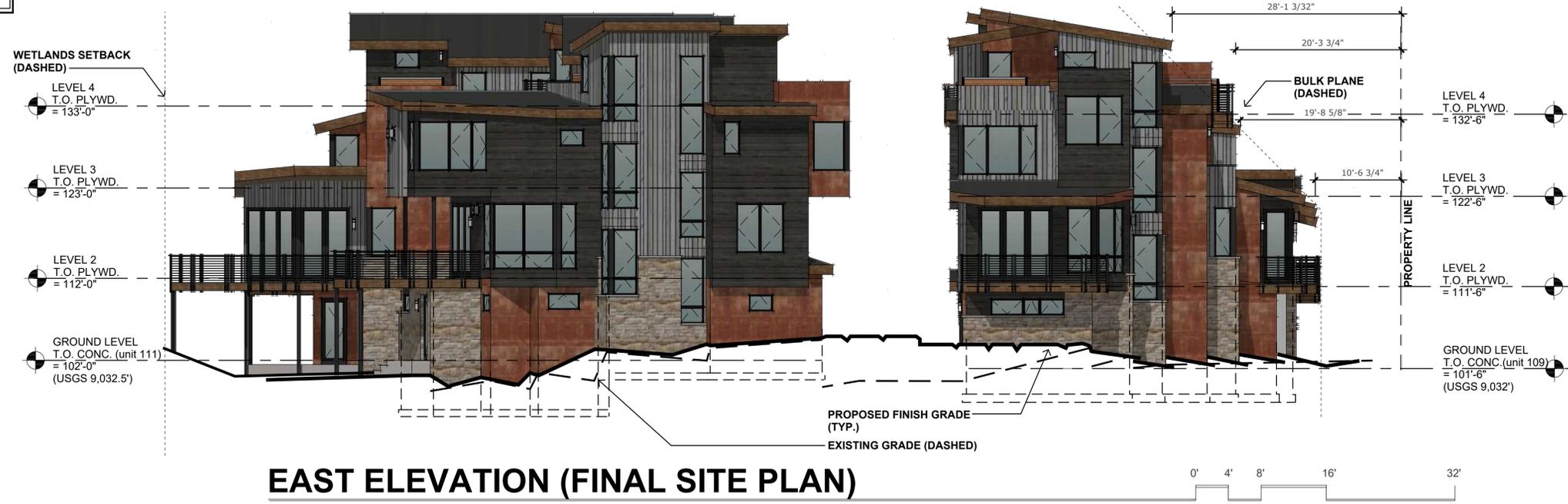
COLOR LEGEND PROPOSED	
1	METAL ROOF - IMAGE II (STAND'G SEAM) mfr: BERRIDGE color: MATTE BLACK
1A	ASPHALT SHINGLE ROOF - LEVEL 4 ROOFS mfr: GAF color: BLACK (NON-REFLECTIVE)
2	FASCIA mfr: LP SMART SIDE color: CIMMARON
3	WINDOW CLAD AND FLASHINGS mfr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDING - 1X8 LAP mfr: LP SMART SIDE color: BLACK HAWK
5	VERTICAL SIDING - 1X8 NICKLE GAP CEDAR mfr: SPECIALTY WOOD PRODUCTS color: POWDERHORN
6	CORRUGATED METAL SIDING mfr: CORTEN color: RUST
7	STONE VENEER mfr: TELLURIDE STONE CO. color: COLORADO BUFF STRIP



### EAST ELEVATION (PROPOSED)

SCALE: 1/8" = 1'-0"

**NOTES:**  
1) ALL ROOF PITCHES ARE 1:12, 2.01:12 OR 3:12.  
2) ALL ROOFS OVER 35'-0" ARE 2.01:12.  
3) SEE SHEET A-2.1 FOR TYPICAL NOTES AND MATERIALS.



### EAST ELEVATION (FINAL SITE PLAN)

SCALE: 1/8" = 1'-0"

REVISIONS:	REVISION 1
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**A2.0**  
BUILDING ELEVATIONS



**SOUTH ELEVATION (PROPOSED)**

SCALE: 1/8" = 1'-0"

**NOTES:**  
 1) ALL ROOF PITCHES ARE 1:12, 2.01:12 OR 3:12.  
 2) ALL ROOFS OVER 35'-0" ARE 2.01:12.  
 3) SEE SHEET A-2.1 FOR TYPICAL NOTES AND MATERIALS.



**SOUTH ELEVATION (FINAL SITE PLAN)**

SCALE: 1/8" = 1'-0"

REVISIONS:	REVISION 1
JOB NO:	52402
DATE:	02.18.26
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TOWN OF FRISCO UPDATE 02.18.26

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 SHEET NUMBER:  
**A2.1**  
 BUILDING ELEVATIONS



**NORTH ELEVATION at SOUTH BUILDINGS (PROPOSED)**

SCALE: 1/8" = 1'-0"

REVISIONS:	REVISION 1
JOB NO:	52402
DATE:	02.18.26
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**NOTES:**  
 1) ALL ROOF PITCHES ARE 1:12, 2.01:12 OR 3:12.  
 2) ALL ROOFS OVER 35'-0" ARE 2.01:12.  
 3) SEE SHEET A-2.1 FOR TYPICAL NOTES AND MATERIALS.



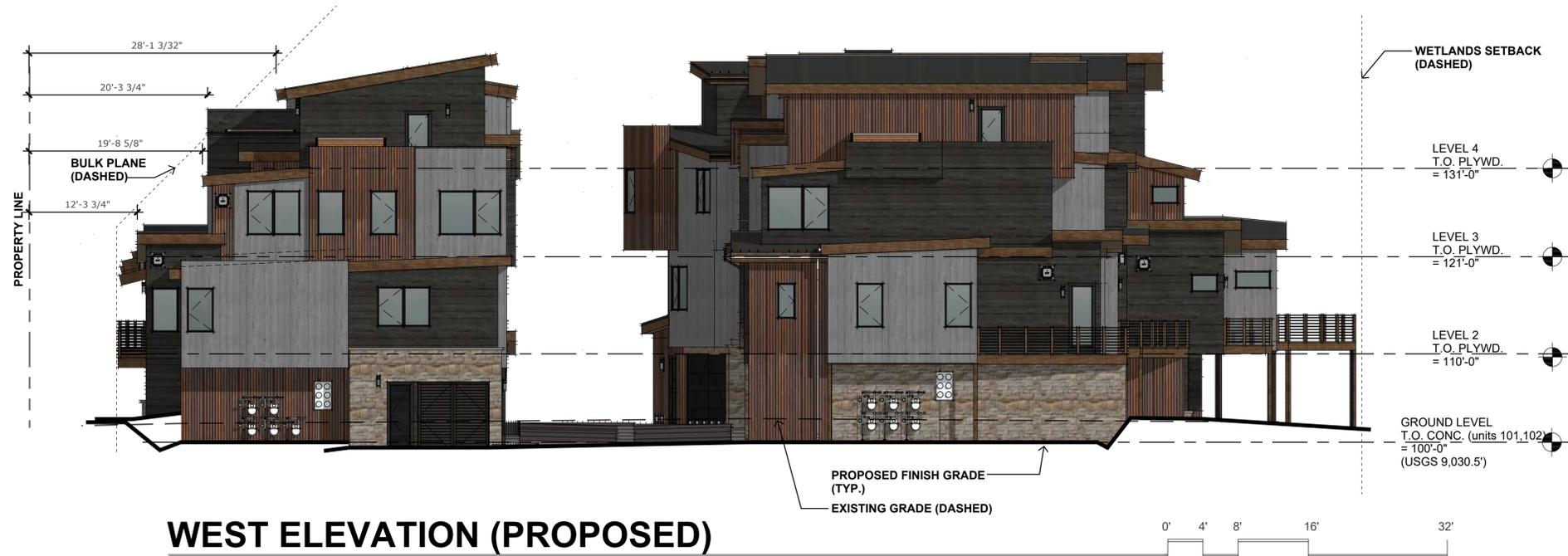
**NORTH ELEVATION at SOUTH BUILDINGS (FINAL SITE PLAN)**

SCALE: 1/8" = 1'-0"

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SHEET NUMBER:  
**A2.2**  
 BUILDING ELEVATIONS at DRIVE AISLE



NOTES:  
 1) ALL ROOF PITCHES ARE 1:12, 2.01:12 OR 3:12.  
 2) ALL ROOFS OVER 35'-0" ARE 2.01:12.  
 3) SEE SHEET A-2.1 FOR TYPICAL NOTES AND MATERIALS.



REVISIONS:	REVISION 1
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**A2.3**  
 BUILDING ELEVATIONS



**SOUTH ELEVATION at NORTH BUILDINGS (PROPOSED)**

SCALE: 1/8" = 1'-0"

REVISIONS:	REVISION 1
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TOWN OF FRISCO UPDATE 02.18.26

- NOTES:**
- 1) ALL ROOF PITCHES ARE 1:12, 2.01:12 OR 3:12.
  - 2) ALL ROOFS OVER 35'-0" ARE 2.01:12.
  - 3) SEE SHEET A-2.1 FOR TYPICAL NOTES AND MATERIALS.



**SOUTH ELEVATION at NORTH BUILDINGS (FINAL SITE PLAN)**

SCALE: 1/8" = 1'-0"

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 SHEET NUMBER:  
**A2.4**  
 BUILDING ELEVATIONS at DRIVE AISLE



### NORTH ELEVATION (PROPOSED)

SCALE: 1/8" = 1'-0"

- NOTES:**
- 1) ALL ROOF PITCHES ARE 1:12, 2.01:12 OR 3:12.
  - 2) ALL ROOFS OVER 35'-0" ARE 2.01:12.
  - 3) SEE SHEET A-2.1 FOR TYPICAL NOTES AND MATERIALS.



### NORTH ELEVATION (FINAL SITE PLAN)

SCALE: 1/8" = 1'-0"

REVISIONS: REVISION 1

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TOWN OF FRISCO UPDATE 02.18.26

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**THE GLADE**  
200 NORTH 7TH AVENUE, FRISCO, COLORADO  
(OUTLET E-2, RE-PLAT A, RIVER PINES SUBDIVISION)

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SHEET NUMBER:

**A2.5**  
BUILDING  
ELEVATIONS