

Attachment B:
Preliminary Referral
Comments



Building a Better World
for All of Us®

MEMORANDUM

TO: Emma Heth, Planner II;
FROM: Chris McGinnis, PE
DATE: April 30, 2026
RE: 40 Granite Street (MAJ-26-0002) Engineering Review

The MAJ-26-0002 submittals were reviewed for general conformance with Town Code, standards, and general engineering principles. Comments were added to the plans and summarized below. Comments need to be addressed by the applicant prior to approval for Engineering.

Please see attached documents for full comments. Below is a summary of comments:

- Section 180-6.11.12 states that "Developments shall install paved, year-round access from and through the development to adjacent public sidewalks, bicycle and pedestrian facilities, or right-of-way both existing and proposed pursuant to the Frisco Trails Master Plan". Additionally, a design has been completed for Granite Street which adds detached sidewalks in this area. We recommend that the applicant review the Granite Street plan and add sidewalk connections to the existing Madison Ave pedestrian path.
- The Town's water construction standards require all water services to be installed at least 15' from adjacent property lines. Service lines are shown within 6' of the existing house at 21 Madison and would require a waiver. The preferred alternative would be installation of a new main and hydrant along Granite Street with perpendicular services.
- The north driveway conflicts with existing utility pedestals.
- The outside parking spaces for Unit 7 and 8 garages appear inaccessible for a vehicle. The vehicle tracking should be analyzed and driveways adjusted accordingly.
- Railings required at step locations with four or more risers and above retaining wall along sidewalk.
- Retaining walls appears to be close to 4'. If wall exceeds 4', an engineered detail is required.
- Sewer services are within 5' of property line. Excavation will require shoring/trench boxes or a construction easement.
- Minor grading adjustments noted on plans.
- Add note that site shall be revegetated to edge of roads/alleys.

Review and approval of these plans does not imply responsibility of the reviewing entity for the accuracy, completeness, or correctness of the design, nor does it relieve the design professional of responsibility of the plans.

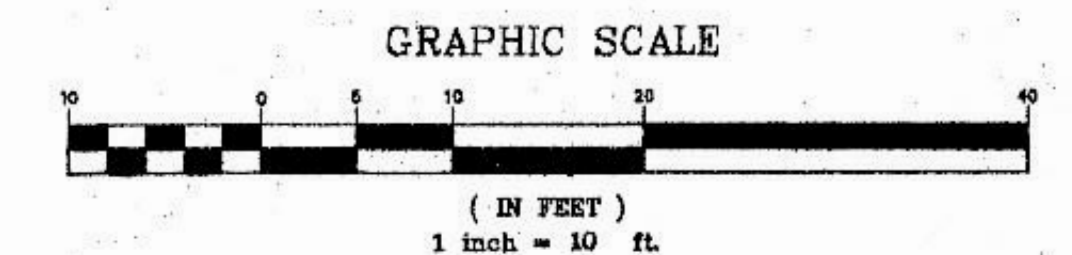
The Town and SEH reserves the right to add or modify comments based on new or revised information provided by the Applicant(s).

Engineers | Architects | Planners | Scientists

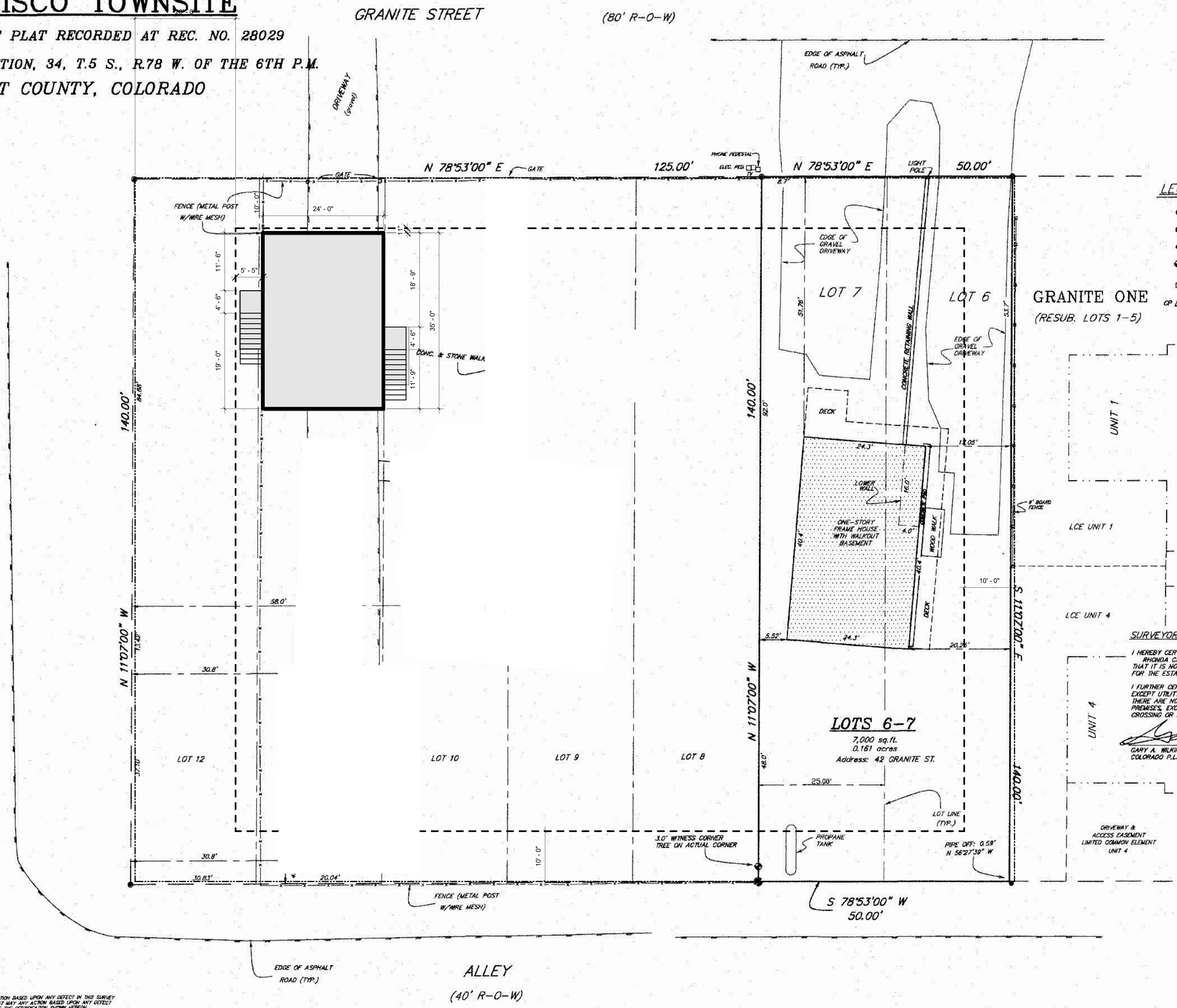
Short Elliott Hendrickson Inc., 2000 S. Colorado Blvd., Suite 6000, Denver, CO 80222-7938
SEH is 100% employee-owned | sehinc.com | 720.540.6800 | 800.490.4966 | 888.908.8166 fax

AN IMPROVEMENT LOCATION CERTIFICATE OF
LOTS 6 & 7, BLOCK 3
KING SOLOMON 2nd ADDITION
TO FRISCO TOWNSITE

ACCORDING TO THE PLAT RECORDED AT REC. NO. 28029
 LOCATED IN NE 1/4 SECTION, 34, T.5 S., R.78 W. OF THE 6TH P.M.
 SUMMIT COUNTY, COLORADO



- LEGEND**
- FOUND No. 4 REBAR & RED PLASTIC CAP (PLS 15242/BARNES)
 - FOUND No. 4 REBAR & YELLOW PLASTIC CAP (PLS 28292/JOHNS)
 - FOUND 1" PIPE
 - ⊕ FOUND No. 4 REBAR & ALUMINUM CAP (PLS 15242/BARNES)
 - UTILITY PEDESTAL
 - CP Δ RANDOM SURVEY CONTROL POINT

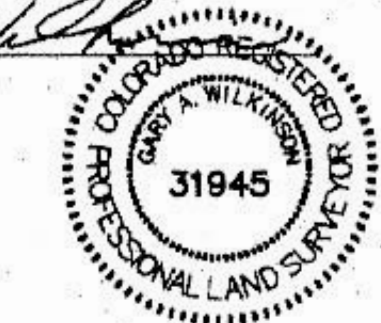


GRANITE ONE
 (RESUB. LOTS 1-5)

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR:
 RHONDA CAMPBELL
 THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, AND THAT IT IS NOT TO BE RELIED UPON
 FOR THE ESTABLISHMENT OF FENCE, BUILDING, OR OTHER FUTURE IMPROVEMENT LINES.
 I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON THIS DATE, MAY 19, 2021,
 EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT
 THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING
 PREMISES, EXCEPT AS INDICATED, AND THAT THERE IS NO APPARENT EVIDENCE OR SIGN OF ANY EASEMENT
 CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED.

Gary A. Wilkinson
 GARY A. WILKINSON
 COLORADO P.L.S. NO. 31945
 DATE May 28, 2021



UNIT 4

LCE UNIT 4

LCE UNIT 1

UNIT 1

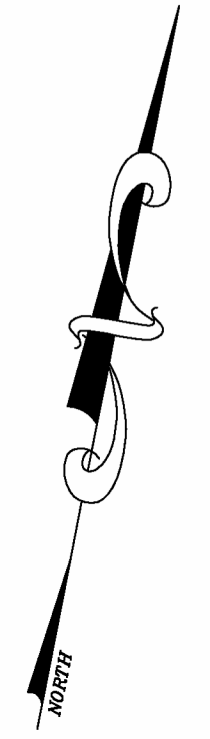
DRIVEWAY &
 ACCESS EASEMENT
 LIMITED COMMON ELEMENT
 UNIT 4

Drawn JJK/GAW	Dwg 22375ILC	Project 22375
Checked JJK	Date 05/28/2021	Sheet 1 of 1
RANGE WEST ENGINEERS & SURVEYORS INC.		
P.O. Box 589 Silverthorn, CO 80498 970-468-6281		

NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT; IN NO EVENT MAY ANY ACTION BE BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

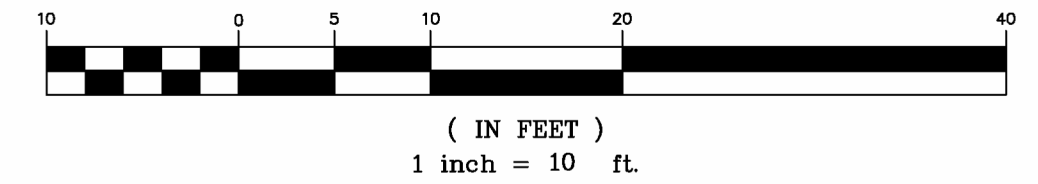
A TOPOGRAPHIC MAP OF
LOTS 6 THRU 12, BLOCK 3
KING SOLOMON 2nd ADDITION
TO FRISCO TOWNSITE

ACCORDING TO THE PLAT RECORDED AT REC. NO. 28029
 LOCATED IN NE 1/4 SECTION, 34, T.5 S., R.78 W. OF THE 6TH P.M.
 SUMMIT COUNTY, COLORADO



DATE OF FIELD SURVEY: 05/13/2022
 CONTOUR INTERVAL=2 FEET

GRAPHIC SCALE



LEGEND

- FOUND No. 4 REBAR & RED PLASTIC CAP (PLS 15242/BARNES)
- FOUND No. 4 REBAR & YELLOW PLASTIC CAP (PLS 26292/JOHNS)
- FOUND 1" PIPE
- ⊕ FOUND No. 4 REBAR & ALUMINUM CAP (PLS 15242/BARNES)
- UTILITY PEDESTAL
- ⊙ SEWER MANHOLE
- WATER VALVE
- ⊙ 8" PINE TREE WITH TRUNK DIAMETER
- GAS LINE MARKER
- H2O- UNDER GROUND WATER LINE
- GAS- UNDER GROUND GAS LINE

NOTE: UNDER GROUND UTILITIES LOCATED ON SITE AT TIME OF TOPOGRAPHIC MAPPING.

SOUTH MADISON AVENUE
 (75' R-O-W)

GRANITE STREET

(80' R-O-W)

ASPHALT ROAD

ASPHALT ROAD

ALLEY

(40' R-O-W)

LOTS 8-12

17,500 sq. ft.
 0.40 acres
 ADDRESS: 40 GRANITE ST.

LOTS 6-7

7,000 sq. ft.
 0.161 acres
 Address: 42 GRANITE ST.

GRANITE ONE
 (RESUB. LOTS 1-5)

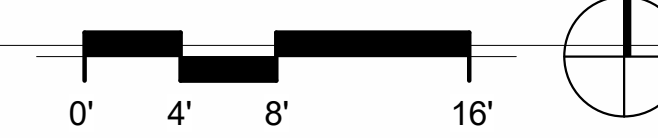
1 TOPO SURVEY

1" = 10'-0"

NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOUR FIRST DISCOVERY OF SUCH DEFECT, IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.



Drawn JJK/GAW/ESH Dwg 22375TP_6-12	Project 22375
Checked JJK	Date 05/18/2022 Sheet 1 of 1
R-A-N-G-E-W-E-S-T ENGINEERS & SURVEYORS INC.	
P.O. Box 589 Silverthorne, CO 80498 970-468-6281	



OVERALL GENERAL NOTES:

1. THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
2. TRENCHES SHALL BE EXCAVATED AND THE PIPE EXPOSED FOR INSPECTION AT ANY LOCATION ON THE PROJECT IF SO ORDERED.
3. ALL STREET STATIONING IS ALONG THE CENTERLINE OF THE ROADWAY UNLESS OTHERWISE NOTED. FOR SEPARATE WATER & SANITARY SEWER PLANS THE STATIONING IS ALONG THE CENTERLINE OF THE PIPE.
4. THE PROFILE GRADE ON THE PLANS IS ALONG THE ROADWAY CENTERLINE UNLESS OTHERWISE NOTED.
5. THE CONTRACTOR SHALL HAVE ON HIS POSSESSION AT THE SITE A COPY OF THE APPROVED CONSTRUCTION PLANS.
6. LIMITS OF WORK: NO AREAS SHALL BE DISTURBED OUTSIDE OF THE TEMPORARY CONSTRUCTION EASEMENTS AND THE ROADWAY DISTURBANCE LIMITS.
7. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF FRISCO STANDARDS AND SPECIFICATIONS AS APPLICABLE. ALL WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DEVELOPER, SUMMIT COUNTY, OR THEIR REPRESENTATIVES. ONE OR ALL OF THE PARTIES HAS THE RIGHT TO REJECT MATERIALS AND WORKMANSHIP WHICH DO NOT CONFORM TO SPECIFICATIONS.
8. THE CONTRACTOR SHALL NOTIFY THE TOWN OF FRISCO AND THE PUBLIC UTILITY COMPANIES PRIOR TO PROCEEDING WITH ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY EXISTING UTILITY (INCLUDING DEPTHS) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION. ALL EXISTING UTILITIES SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. DAMAGED UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE. ALL ITEMS SHOWN ON THE PLANS AS EXISTING ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE ACTUAL LOCATIONS MAY VARY FROM THE PLANS, ESPECIALLY IN THE CASE OF UNDERGROUND UTILITIES. WHENEVER THE CONTRACTOR DISCOVERS A DISCREPANCY IN LOCATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY. ALL WORK PERFORMED IN THE AREA OF THE PUBLIC UTILITIES SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS OF THESE AGENCIES.
9. CONTRACTOR SHALL GIVE 48 HOURS NOTICE TO TOWN OF FRISCO PERSONNEL TO PERFORM REQUIRED INSPECTIONS AND PRIOR TO ANY CONSTRUCTION ON THIS SITE.
10. ALL EXCAVATION SHALL COMPLY WITH OSHA SAFETY REGULATIONS.
11. CONTRACTOR SHALL OBTAIN APPROVAL FOR ALL TRAFFIC CONTROL AND ROAD/ALLEY REQUIREMENTS NECESSARY FROM THE TOWN OF FRISCO. NO ROAD/ALLEY CLOSURES MAY OCCUR WITHOUT APPROVAL AND NOTIFICATION OF TOWN OF FRISCO AND THE FIRE DEPARTMENT.
12. CONTRACTOR SHALL OBTAIN APPROVAL FOR ALL CONSTRUCTION STAGING REQUIREMENTS OFF THE PROPERTY NECESSARY FROM THE TOWN OF FRISCO.
13. PRIOR TO CO THE OWNER SHALL ENTER INTO A RLA AGREEMENT WITH THE TOWN DEFINING THE OWNERSHIP AND MAINTENANCE OF ALL IMPROVEMENTS WITHIN THE RIGHTS OF WA

DISTURBED AREA SEEDING NOTES:

1. All areas to be seeded will be properly prepared to provide a friable soil surface in the upper 6 inches, minimum.
2. Areas to be seeded will be drill seeded with the appropriate mix (Table 2 or 3) at the rates specified. Seed may be broadcast or hydroseeded on steep slopes. The specified seeding rate will be doubled for broadcast seeding or increased by 50 percent for hydroseeding.
3. Seeded areas will be mulched at a rate of at least two tons per acre of certified, weed-free straw mulch, or one ton per acre of wood cellulose, if hydromulching is completed. Hydromulching will be completed as a separate step after seeding. Straw mulch will be secured by use of m-binder tackifier at a rate of 3 pounds/1,000 square feet on slopes flatter than 2:1. Mulch will be secured with netting on slopes steeper than 3:1.

SEED MIX TYPE I			
COMMON NAME	SCIENTIFIC NAME	% MIX	POUNDS PLS/ACRE
IDAHO FESCUE	FESTUCA IDAHOENSIS	20	3.9
ALPINE BLUEGRASS	POA ALPINA	20	1.7
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	20	15.8
JUNE GRASS	KOELERIA CRISTATA	15	0.6
ARIZONA FESCUE	FESTUCA ARIZONICA	20	3.2
WHITE YARROW	ACHILLEA MILLEFOLIUM	5	0.2
TOTAL			25.4

1. Mix should be drill seeded, except on steep slopes where broadcast or hydroseeding are acceptable at 200 and 150 percent of rate shown, respectively.
2. The following wildflowers may also be seeded in certain areas.
 - Blanket Flower 0.8 Pounds PLS/Acre
 - Lupine 4.4 Pounds PLS/Acre
 - Firecracker Penstemon 0.2 Pounds PLS/Acre
 - California Poppy 0.4 Pounds PLS/Acre
3. Divide Pounds PLS/Acre by 43.5 to obtain Pounds PLS/1,000 SQ. FT.

SEED MIX TYPE II			
COMMON NAME	SCIENTIFIC NAME	% MIX	POUNDS PLS/ACRE
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	20	15.8
REDTOP	AGROSTIS ALBA	15	0.3
TUFTED HAIRGRASS	DESCHAMPSIA CAESPITOSA	15	0.5
IDAHO FESCUE	FESTUCA IDAHOENSIS	30	5.8
ALPINE BLUEGRASS	POA ALPINA	20	1.7
TOTAL			24.1

1. Mix should be drill seeded, except on steep slopes where broadcast or hydroseeding are acceptable at 200 and 150 percent of rate shown, respectively.
2. Divide Pounds PLS/Acre by 43.5 to obtain Pounds PLS/1,000 SQ FT.

ROADWAY GENERAL NOTES:

1. EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT FOR THE PROJECT.
2. PAVING SHALL NOT START UNTIL SUBGRADE COMPACTING TESTS ARE TAKEN AND MEET THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS AND FINAL PAVEMENT DESIGN BY GEOTECHNICAL ENGINEER AND/OR TOWN OF FRISCO STANDARDS, WHICHEVER ARE MORE STRINGENT. THE PAVEMENT SECTION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT FOR THIS PROJECT. THE MINIMUM DEPTH OF ASPHALT SHALL BE 3 INCHES.
3. THE CONTRACTOR SHALL SAW-CUT ALL EXISTING PAVEMENT WHERE MATCH LINES WITH EXISTING EDGE OF PAVEMENT OCCUR.
4. PORTLAND CEMENT CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS:
 - A. PORTLAND CEMENT CONCRETE DISTANCES SHOWN ON THE PLANS ARE APPROXIMATE ONLY AND COULD VARY. END SECTIONS ARE INCLUDED IN THE PIPE LENGTH SHOWN ON THE PLANS.
 - B. AIR CONTENT OF 6.5% ± 1.5%.
 - C. MAXIMUM SLUMP OF 3".
 - D. "FIBER MESH" FIBERS SHALL BE ADDED TO CONCRETE FOR STRENGTH, AT A RATE OF 1.5 POUNDS OF FIBER PER CUBIC YARD OF CONCRETE.
5. ROADWAY RETAINING WALL VERTICAL AND HORIZONTAL INFORMATION HAVE BEEN ESTABLISHED AS PART OF THESE ROADWAY PLANS. STRUCTURAL, GEOTECHNICAL, AND DRAINAGE ENGINEERING FOR THE WALLS IS BY OTHERS (SEE SEPARATE DESIGN DOCUMENTS).
6. COMPACTION TESTING FOR THE BASE COURSE IN THE ROADWAY SHALL MEET 95% OF MODIFIED PROCTOR (ASTM D-1557) THE MATERIAL BEING WITHIN 2.0 PERCENT OF OPTIMUM MOISTURE. EACH LIFT OF ASPHALT SHALL MEET THE MINIMUM DENSITY OF 92-96 PERCENT MAXIMUM THEORETICAL DENSITY AS DETERMINED BY THE RICE DENSITY METHOD (ASTM D-2041). TESTS SHALL BE MADE AT A FREQUENCY OF EVERY 200 LINEAR FEET AND AT EVERY 12" COMPACTED LIFT OF FILL PLACED, AND FOR EVERY LIFT OF ASPHALT PLACED OR ROLLED. ASPHALT DENSITY TESTING SHALL BE PERFORMED ON EACH LIFT AT INTERVALS OF ONE TEST PER EVERY 250 LINEAR FEET PER LANE. TEST LOCATIONS ON EACH LIFT AND EACH LANE SHALL BE STAGGERED.
7. DURING EARTHWORK OPERATION GEOTECHNICAL ENGINEER SHALL ASSESS ACTUAL SUB-SURFACE CONDITIONS AND REQUEST ADDITIONAL REQUIREMENTS IF NECESSARY.

STORM SEWER GENERAL NOTES

1. LOCATION AND ELEVATION OF EXISTING STORM SEWER AND CULVERTS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DIFFERENCES FROM DESIGN PLAN SHALL BE REPORTED TO DESIGN ENGINEER.
2. STORM SEWER SHALL BE HDPE (HIGH DENSITY POLYETHYLENE).
3. ALL CULVERTS SHALL HAVE END SECTIONS ON BOTH THE UPSTREAM AND DOWNSTREAM ENDS OF THE PIPE UNLESS OTHERWISE NOTED ON THE PLANS AND SHALL EXTEND 1 TO 3 FEET BEYOND EACH EDGE OF SHOULDERED PAVED DRIVE.
4. STORM SEWER BEDDING AND PIPE ZONE BACKFILL SHALL BE 3/4" TO 1" ROAD BASE OR APPROVED ALTERNATE.
5. PIPE LENGTHS FOR STORM SEWER ARE APPROXIMATE HORIZONTAL DISTANCES FROM END PLANS. FINAL LENGTH OF STORM SEWER SHALL BE SUFFICIENT TO PROVIDE THE ROAD SHOULDERS AND SIDE SLOPES TO NOT BE STEEPER THAN SHOWN ON THE TYPICAL ROAD SECTION.

SANITARY SEWER GENERAL NOTES:

1. ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO FRISCO SANITATION DISTRICT DESIGN STANDARDS AND SPECIFICATIONS FOR SEWER CONSTRUCTION.
2. ALL SEWER MAINS AND SERVICES SHALL BE SDR 35 (UNLESS OTHERWISE NOTED).
3. ALL MANHOLE RIMS WITHIN THE 100-YEAR FLOOD PLAIN SHALL BE SET AT THE 100-YEAR FLOOD PLAIN ELEVATION AND SHALL HAVE GASKETED BOLT DOWN LIDS.
4. MANHOLES SHALL BE WRAPPED WITH BUTHTENE.
5. SANITARY SEWER BEDDING AND PIPE ZONE BACKFILL GRADATION SHALL BE 1/4" TO 3/4" OR APPROVED ALTERNATE.
6. PIPELINE FLUSHING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A CLEANING COMPANY THAT WILL HIGH-PRESSURE JET CLEAN THE LINES TO INSURE THAT SAND, ROCKS, OR OTHER FOREIGN MATERIAL ARE NOT LEFT IN ANY OF THE PIPELINES. WHEN FLUSHING, CARE SHOULD BE TAKEN TO PREVENT DAMAGE TO PROPERTY OR ROADWAYS OR EROSION OF SURROUNDING SOILS. FLUSHING WATER AND FLUSHED DEBRIS SHALL NOT BE ALLOWED TO ENTER THE EXISTING SEWER SYSTEM.
7. SEWER LINE ALIGNMENT, AND GRADE VERIFICATION: ONCE THE SEWER PIPELINES HAVE BEEN FLUSHED, THE SEWER PIPELINES SHALL BE INSPECTED BY MEANS OF CLOSED CIRCUIT TELEVISION (CCTV). DOCUMENTATION SHALL CONSIST OF A COLOR, VHS-FORMAT VIDEOTAPE, LOG SHEETS, AND A WRITTEN REPORT DETAILING THE CONDITION OF THE PIPELINE AND LATERAL CONNECTIONS/OPENINGS. THE REPORT SHALL NOTE THE TIME AND DATE OF VIDEO INSPECTION, STREET NAME, UPSTREAM AND DOWNSTREAM MANHOLE, DIRECTION OF VIEW, DIRECTION OF FLOW, SURFACE MATERIAL, PIPELINE LENGTH, PIPE SECTION LENGTH, PIPE SIZE, PIPE MATERIAL, LATERAL CONNECTIONS, VIDEO TAPE NUMBER, COUNTER NUMBER, AND A DETAILED LOGGING OF DEFECTS ENCOUNTERED. ANY REJECTED WORK SHALL BE REPAIRED, THEN RE-TELEVIEWED.
8. LEAKAGE: ALL PIPELINES SHALL BE TESTED FOR LEAKAGE BY MEANS OF AN AIR PRESSURE TEST. THE TEST SHALL BE PERFORMED AS FOLLOWS:
 - A. PREPARATION FOR TESTS: FLUSH AND CLEAN THE PIPELINE PRIOR TO TESTING IN ORDER TO WET THE PIPE SURFACES AND PRODUCE MORE CONSISTENT RESULTS. PLUG AND BRACE ALL OPENINGS IN THE PIPELINE AND THE UPPER CONNECTIONS. CHECK ALL PIPE PLUGS WITH A SOAP SOLUTION TO INSURE ALL LEAKS ARE FOUND. RELEASE THE AIR PRESSURE, ELIMINATE THE LEAKS, AND START THE TEST PROCEDURE OVER AGAIN.
 - B. PROCEDURE OF TEST: ADD AIR UNTIL THE INTERNAL PRESSURE OF THE PIPELINE IS RAISED TO APPROXIMATELY 4.0 PSI. AT WHICH TIME THE FLOW OF AIR SHALL BE REDUCED AND THE PRESSURE MAINTAINED BETWEEN 3.5 AND 4.5 PSI FOR A SUFFICIENT TIME TO ALLOW THE AIR TEMPERATURE TO EQUILIBRIUM WITH THE TEMPERATURE OF THE PIPE.
 - C. AFTER THE TEMPERATURE HAS STABILIZED, PERMIT THE PRESSURE TO DROP TO 3.5 PSIG IN EXCESS OF THE GROUND WATER PRESSURE ABOVE THE TOP OF THE SEWER, AT WHICH TIME A STOP WATCH OR SWEEP SECOND HAND WATCH SHALL BE USED TO DETERMINE THE TIME LAPSE REQUIRED FOR THE AIR PRESSURE TO DROP TO 3.0 PSIG.
 - D. THE TIME ELAPSED SHALL NOT BE LESS THAN THE FOLLOWING:

PIPE SIZE TIME (INCHES) (MINUTES)	6	8	12
13 OR LESS	2	2	5
18	2	3	9
20	2	3	7

 *BASED ON 3 3/4" GRAM AVAILABLE CHLORINE PER TABLET

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18	2	3	9
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 *BASED ON 3 3/4" GRAM AVAILABLE CHLORINE PER TABLET

9. MANHOLE VISUAL EXAMINATION: THE ENGINEER SHALL VISUALLY CHECK EACH MANHOLE, BOTH EXTERIOR AND INTERIOR, FOR PLANS, CRACKS, HOLES, OR OTHER INADEQUACIES, WHICH MIGHT AFFECT THE OPERATION OR WATER-TIGHT INTEGRITY OF THE MANHOLE. SHOULD ANY INADEQUACIES BE FOUND, THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL MAKE ANY REPAIRS DEEMED NECESSARY BY THE ENGINEER. CONTRACTOR TO NOTIFY ENGINEER 48 HOURS PRIOR TO INSTALLATION OF MAN HOLES.
10. MANHOLE LEAKAGE TEST (VACUUM): ALL MANHOLES SHALL BE TESTED FOR LEAKAGE AND ALL TESTS SHALL BE WITNESSED BY THE ENGINEER. THE LEAKAGE TEST SHALL BE CONDUCTED PRIOR TO BACK-FILLING AROUND THE MANHOLE AND SHALL BE CARRIED OUT IN THE FOLLOWING MANNER:
 - A. MANHOLES SHALL BE VACUUM TESTED AFTER ASSEMBLY AND PRIOR TO BACKFILLING.
 - B. CARE SHALL BE TAKEN TO EFFECT A SEAL BETWEEN THE VACUUM BASE AND THE MANHOLE RIM. PIPE PLUGS SHALL BE INSTALLED TO PREVENT MOVEMENT WHILE THE VACUUM IS DRAWN.
 - C. A VACUUM OF 10 INCHES OF MERCURY SHALL BE DRAWN. THE TIME FOR THE VACUUM TO DROP TO 9 INCHES OF MERCURY SHALL BE RECORDED.
 - D. ACCEPTANCE SHALL BE DEFINED AS WHEN THE TIME TO DROP TO 9 INCHES MEETS OR EXCEEDS THE FOLLOWING:

DIA.	TIME TO DROP 1" HG
4 FT.	120 SECONDS
5 FT.	120 SECONDS
6 FT.	120 SECONDS

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6 FT.	120 SECONDS

11. ALL SEWER LINE WORK SHALL BE INSPECTED BY THE DESIGN ENGINEER DURING CONSTRUCTION.
12. AS BUILT DRAWINGS SHALL BE PROVIDED BY A PROFESSIONAL ENGINEER.
13. EXISTING SEWER MAIN ELEVATIONS MUST BE FIELD VERIFIED.

WATER GENERAL NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE TOWN OF FRISCO WATER DISTRICT CURRENT RULES AND REGULATIONS. WATER SYSTEM SPECIFICATIONS AND TESTING PROCEDURES SHALL BE IN CONFORMANCE WITH TOWN OF FRISCO WATER DISTRICT STANDARDS.
2. ALL WATER MAINS SHALL BE AWWA, CLASS 55, PUSH ON JOINT, DUCTILE IRON PIPE (DIP) WITH RUBBER GASKET.
3. SERVICE LINES SHALL BE 1" K COPPER. ALL SERVICE LINES SHALL HAVE A BACKFLOW PREVENTION DEVICE INSTALLED UPSTREAM OF THE WATER METER CONSISTING OF A DOUBLE CHECK VALVE ASSEMBLY SIMILAR OR EQUAL TO A WATTS REGULATOR NO. 7.
4. MINIMUM COVER WITHIN STREETS IS 9.5 FEET AND 8.5 FEET IN UNPAVED LOCATIONS. INSULATION REQUIRED AT DEPTHS BELOW 8.5'.
5. THE CONTRACTOR IS RESPONSIBLE FOR:
 - A. NOTIFYING ALL CUSTOMERS POSSIBLY AFFECTED BY OUTAGE OF WATER DURING CONSTRUCTION.
 - B. THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL APPLICABLE LICENSES, PERMITS, BONDS, ETC. REQUIRED FOR THE MAIN INSTALLATION/SYSTEM MODIFICATION.
 - C. CONTACTING TOWN OF FRISCO WATER DISTRICT FOR PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

- A. NOTIFYING ALL CUSTOMERS POSSIBLY AFFECTED BY OUTAGE OF WATER DURING CONSTRUCTION.
- B. THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL APPLICABLE LICENSES, PERMITS, BONDS, ETC. REQUIRED FOR THE MAIN INSTALLATION/SYSTEM MODIFICATION.
- C. CONTACTING TOWN OF FRISCO FOR PRE-CONSTRUCTION MEETING AND INSPECTION, 970-XXX-XXXX, AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- D. IN CASE OF AN EMERGENCY AFTER WORKING HOURS, CALL TOWN OF FRISCO AT 970-668-0836 (JEFF GOBLE)

WATER GENERAL NOTES (CONTINUED):

10. VALVES SHALL BE RESILIENT SEAT NRS GATE VALVES AND SHALL OPEN-LEFT (MUELLER, US, WATERLOO OR GLOW BRAND RESILIENT WEDGE VALVES ONLY). CHECK WITH WATER SUPT. FOR VERIFICATION OF SPECIFIC MODEL NUMBERS.
11. VALVE BOXES SHALL BE OVAL BASE BOTTOM TYPE. CHECK WITH WATER SUPT. FOR VERIFICATION OF SPECIFIC MODEL NUMBERS.
12. ALL FIRE HYDRANTS SHALL BE WATERLOO "PACER" WITH 34-INCH MOUNTAIN STANDARD FLANGE MEETING THE FOLLOWING REQUIREMENTS:
 - NOZZLE 5-1/4 INCH
 - INLET 6 INCH FOR MECHANICAL JOINT
 - DEPTH OF BURY 9'-6" OR 8'-6" (AS REQUIRED TO MEET THE WATERLINE COVER)
 - OPERATING NUT/OPEN 1 INCH PENTAGON LEFT (COV)
 - OUTLETS TWO 2-1/2 INCH, ONE 5-1/4 INCH PUMPER NOZZLE (THREADS TO MATCH EXISTING)
 - THREADS NATIONAL STANDARD
 - CAP WITH PENTAGON NUT
 - COLOR RED (ALL ABOVE GROUND PARTS)
 - THRUST RESTRAINT BOTTOM THRUST BLOCK AND 2-3/4" TIE RODS FROM MAIN TEE TO HYDRANT BOTTOM.
 - ELEVATION OF NOZZLE 42" ± 3" OPERATING NUT ABOVE FINISHED GROUND SURFACE AT TRAFFIC FLANGE

13. WATER METER KIT WILL BE PROVIDED BY TOWN. THE CHARGE FOR THE WATER METER KIT WILL BE PAID BY THE DEVELOPER AT THE TIME OF THE BUILDING PERMIT ISSUANCE. THE METER KIT WILL HAVE REMOTE READOUT.
14. AIR RELEASE VALVES (ARV'S) SHALL BE APCO MODEL NO. 143 C COMBINATION AIR/VACUUM VALVE OR APPROVED EQUAL.
15. MECHANICAL JOINT RESTRAINT DEVICES SHALL BE:
 - FOR DUCTILE IRON PIPE: MEGALUG 1700 SERIES ROMAL ROM GRIP UNI-FLANGE 1400 SERIES STAR GRIP 3000 SERIES SIGMA-LOCK
 - FOR GPOVC PIPE: IBECE IRON INC. SERIES 1500

16. PIPE JOINT RESTRAINT DEVICES, TIE RODS AND THRUST BLOCKS SHALL BE INSTALLED PER DETAILS. ALL RESTRAINT RODS AND HARDWARE ARE TO BE STAINLESS STEEL OR CORTEN.
17. CHLORINATION: ALL MAIN EXTENSIONS AND PRIVATE PIPE EXTENSIONS SHALL BE CHLORINATED IN ACCORDANCE WITH AWWA C651. THE CHLORINATING AGENT AND METHOD OF APPLICATION, SHALL BE APPROVED BY THE TOF.
18. HYDROSTATIC TESTING: BEFORE FILLING THE PIPE WITH WATER, THE PIPE SHALL BE CLEAN AND FREE OF DEBRIS TO THE SATISFACTION OF THE TOWN. TO'S WILL NOT PROVIDE LABOR OR MATERIAL FOR DISINFECTION TO APPLICANT'S INSTALLING MAINS UNDER PRIVATE CONTRACT.

19. CHLORINATION TABLETS MAY BE USED FOR DISINFECTION OF 12-INCH AND SMALLER PIPE. SIXTEEN INCH AND LARGER PIPE REQUIRES A CHLORINE SLURRY FED INTO THE WATER USED IN FILLING THE PIPE. CHLORINE TABLETS SHALL BE ATTACHED TO THE INSIDE TOP OF THE PIPE WITH AN APPROVED ADHESIVE CERTIFIED TO NSF STANDARD 61 PRIOR TO THE PIPE INSTALLATION IN THE TRENCH. AN APPROVED ADHESIVE IS DOW CORNING 732 MULT-PURPOSE SEALANT. NUMBER OF HYPOCHLORITE TABLETS OF 5 GRAM STRENGTH REQUIRED FOR A DOSE OF 50 MILLIGRAMS/LITER*

PIPE LENGTH (FEET)	PIPE DIAMETER (INCHES)	6	8	12
13 OR LESS	2	2	5	
18	2	3	9	
20	2	3	7	

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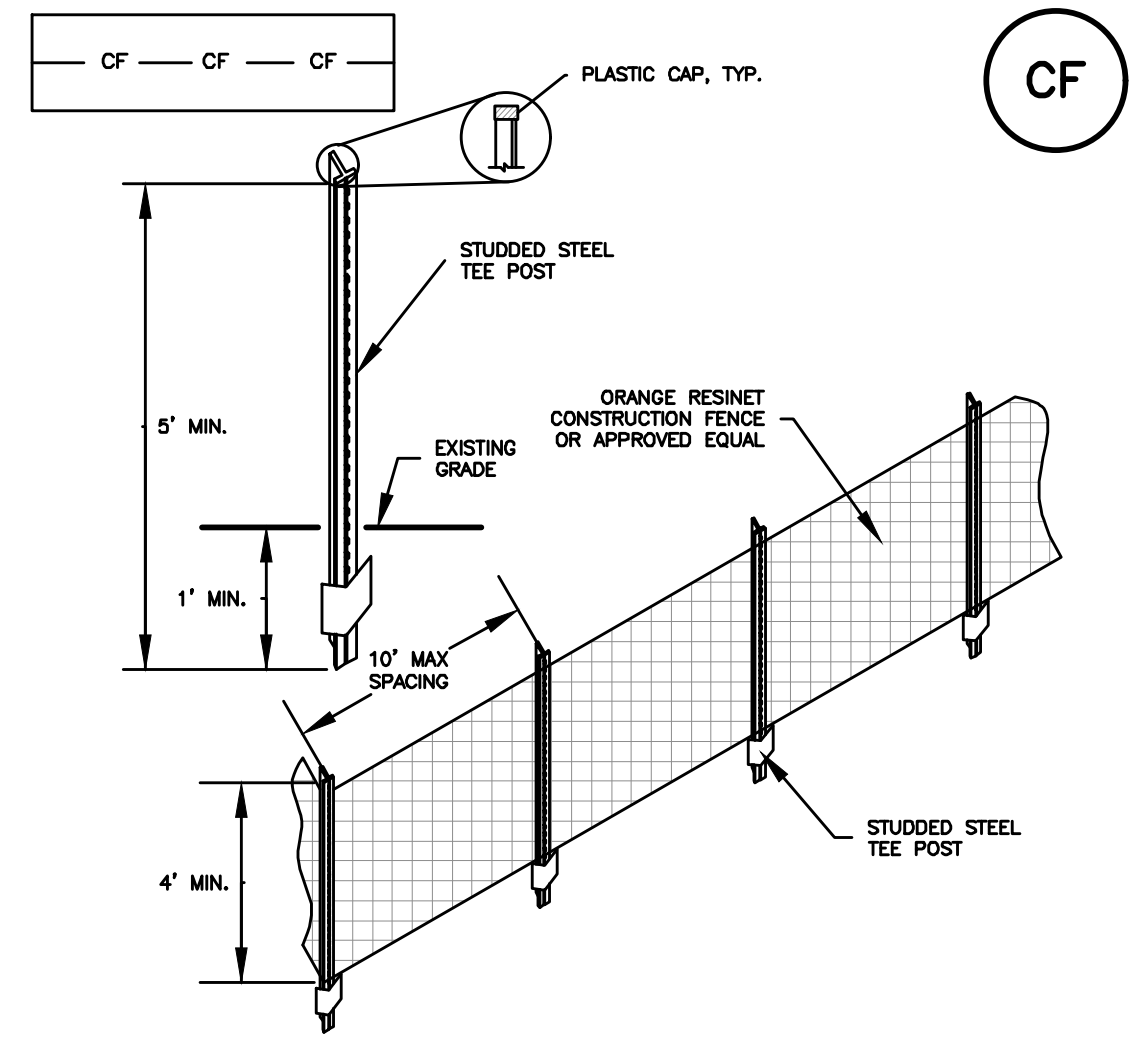
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WATER GENERAL NOTES (CONTINUED):

20. WATER TRENCH BEDDING AND PIPE ZONE BACKFILL SHALL BE GRADED AS FOLLOWS:

SIZE	TOTAL PASSING BY SIZE (% BY WEIGHT)
3/8" to 1 1/2" No. 200	100
	0-3

 OR TOWN OF FRISCO APPROVED CONTRACTOR ALTERNATE.
21. IRRIGATION VAULT TO BE CONSTRUCTED PER TOWN OF FRISCO DETAILS.
22. CLAY CHECK DAMS MAY BE REQUIRED IF GROUNDWATER IS ENCOUNTERED.



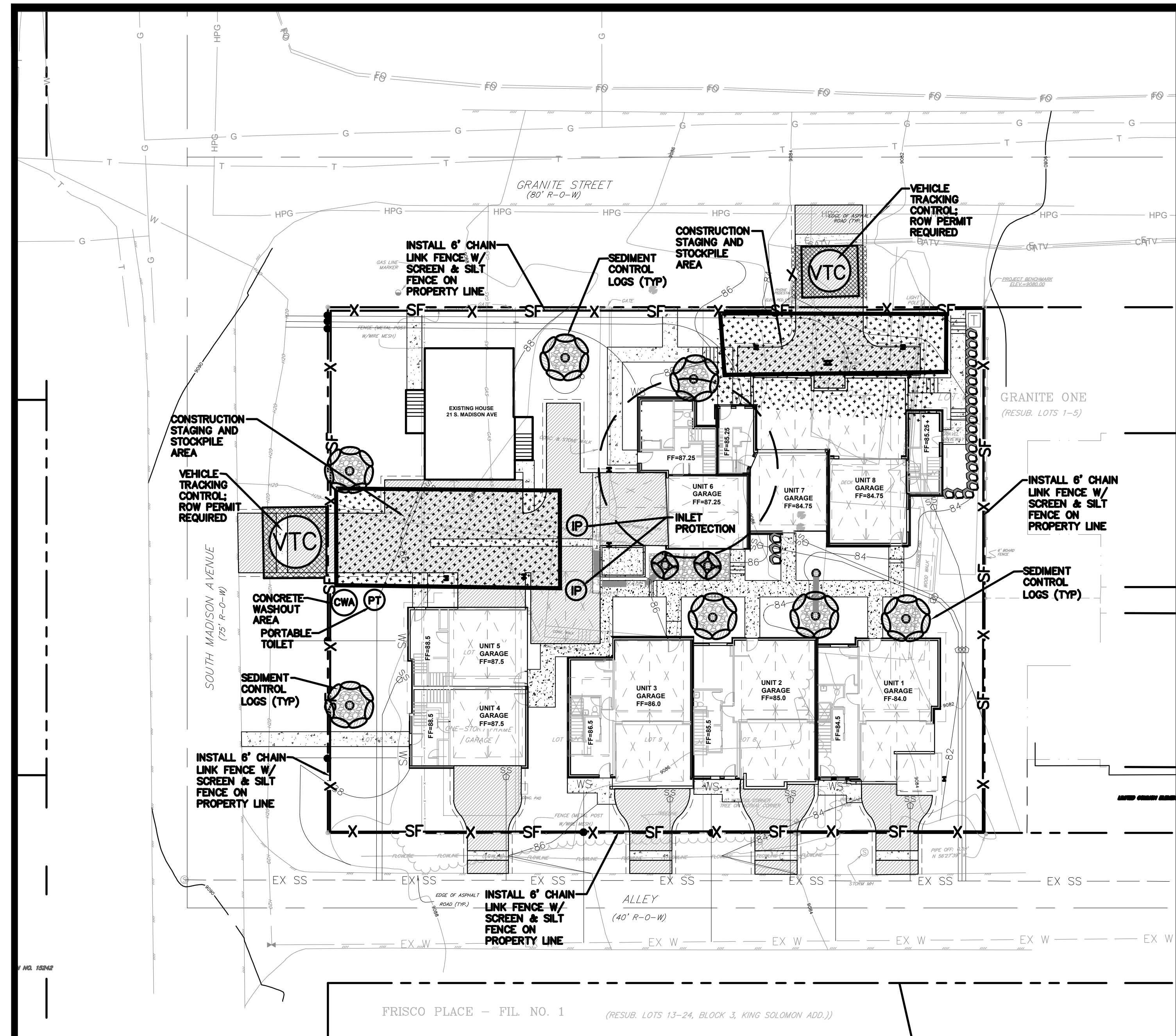
CONSTRUCTION FENCE INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
 - LOCATION OF CONSTRUCTION FENCE.
2. CONSTRUCTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
3. CONSTRUCTION FENCE SHALL BE COMPOSED OF ORANGE, CONTRACTOR-GRADE MATERIAL THAT IS AT LEAST 4' HIGH. METAL POSTS SHOULD HAVE A PLASTIC CAP FOR SAFETY.
4. STUDDED STEEL TEE POSTS SHALL BE UTILIZED TO SUPPORT THE CONSTRUCTION FENCE. MAXIMUM SPACING FOR STEEL TEE POSTS SHALL BE 10'.
5. CONSTRUCTION FENCE SHALL BE SECURELY FASTENED

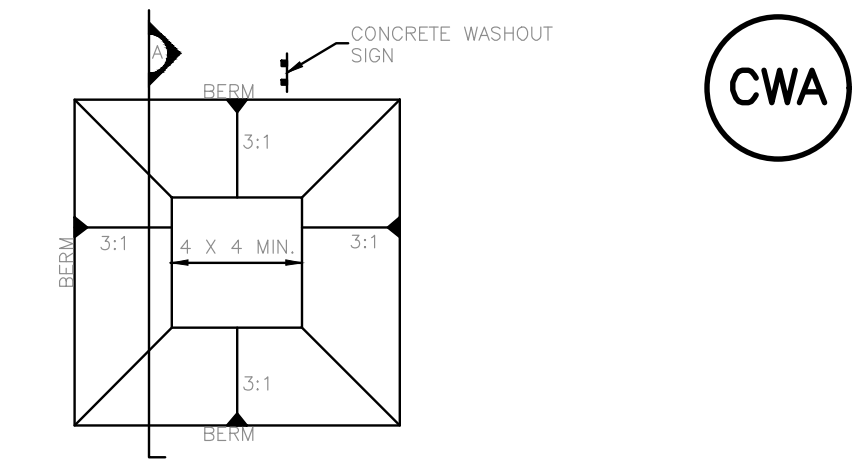
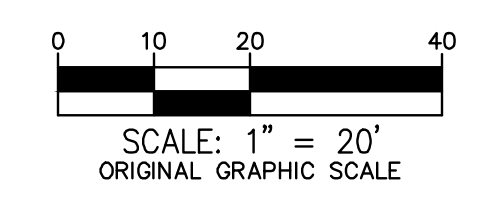


STANDARD EROSION & SEDIMENT CONTROL NOTES:

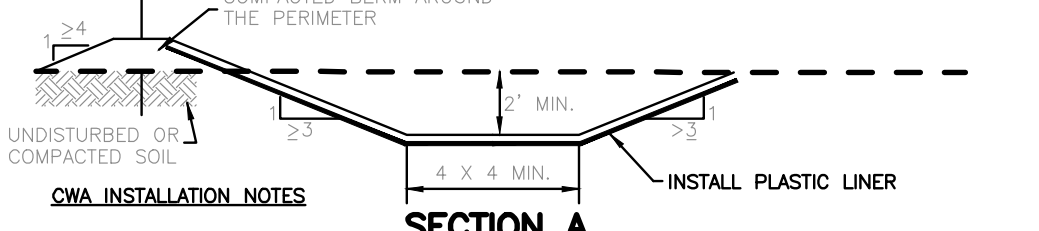
- The contractor must notify Town of Frisco at least 48 hours prior to starting construction.
- All grading, erosion, and sediment control must conform with approved plans. Revisions to disturbance areas, slopes, and/or erosion and sediment control measures are not permitted without prior approval from the Town of Frisco.
- Erosion control measures must be installed prior to grading activities.
- All temporary and permanent soil erosion and sediment control practices must be maintained and repaired as needed to assure continued performance of their intended function. For example, erosion control blankets, straw bale dikes or silt fences may require periodic replacement. Sediment traps and basins will require periodic sediment removal.
- All topsoil, where physically practicable, must be salvaged and not topsoil shall be removed from the site except as set forth in the approved plans. Topsoil and overburden must be segregated and stockpiled separately. Topsoil and overburden must be redistributed within the graded area after rough grading to provide a suitable base for areas, which must be seeded and planted. Runoff from the stockpiled area must be controlled to prevent erosion and resultant sedimentation of receiving water.
- The landowner and/or contractor must immediately take all necessary steps to control increased sediment discharge.
- The landowner and/or contractor is responsible for clean up and removal of all sediment and debris from all drainage infrastructure and other public facilities.
- The landowner and/or contractor must take reasonable precautions to ensure that vehicles do not track or spill earth materials on to streets/roads and must immediately remove such material if this occurs.
- The landowner and/or contractor is responsible for controlling waste such as discarded building materials, concrete truck washout, chemicals, litter, and sanitary waste, as applicable. In addition, spill prevention and containment BMP's for construction materials, waste and fuel must be provided, as applicable.
- If it is necessary to move material in excess of 300 cubic yards and/or 10,000 square feet of land disturbance area to or from another Town of Frisco site, an approved grading and erosion control plan and is necessary for the off-site property, if the material is moved to a property located within another jurisdiction, evidence is required that the local government has approved the grading operation.
- The storm water volume capacity of detention ponds must be restored and storm sewer lines will be cleaned upon completion of the project.
- Soil stabilization measures must be applied within 30 days to the disturbed areas that may not be at final grade, but will be left dormant for longer than 90 days.
- Fugitive dust emissions resulting from grading activities and/or wind shall be controlled using the best available control technology, as defined by the Colorado Department of Public Health and Environment, at the time of grading.
- The erosion and sediment control plan may be modified by the Town of Frisco, or its authorized representative, as field conditions warrant.



CALL UTILITY NOTIFICATION CENTER OF COLORADO
811
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

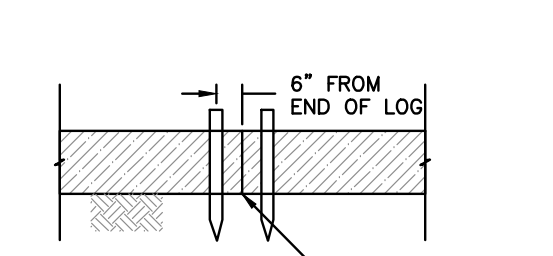


CONCRETE WASHOUT AREA PLAN

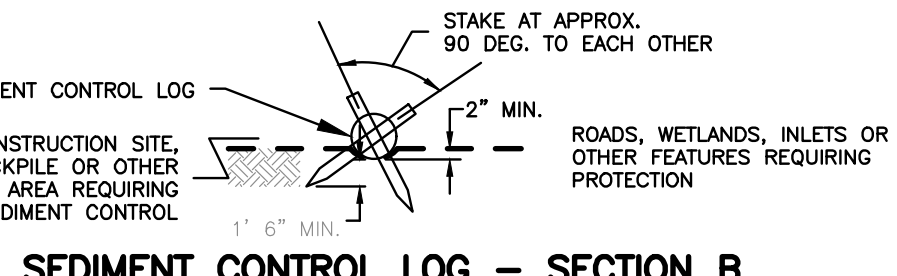


- CWA INSTALLATION NOTES**
- SEE PLAN VIEW FOR -CWA INSTALLATION LOCATION.
 - DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS FEASIBLE, OR IF HEAVILY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
 - THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
 - CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
 - BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.

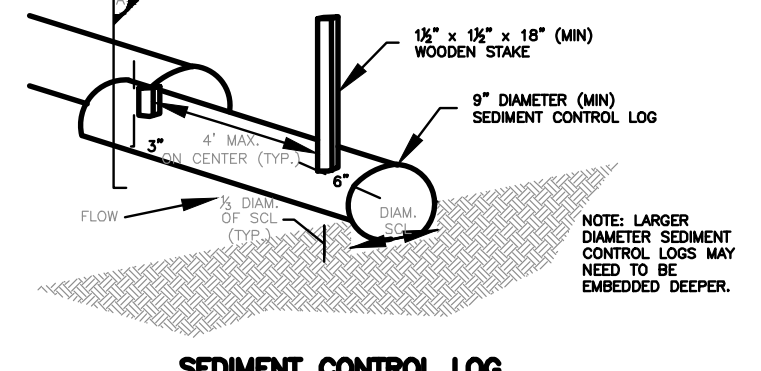
CWA-1. CONCRETE WASHOUT AREA



SEDIMENT CONTROL LOG DETAIL - SECTION A



SEDIMENT CONTROL LOG - SECTION B



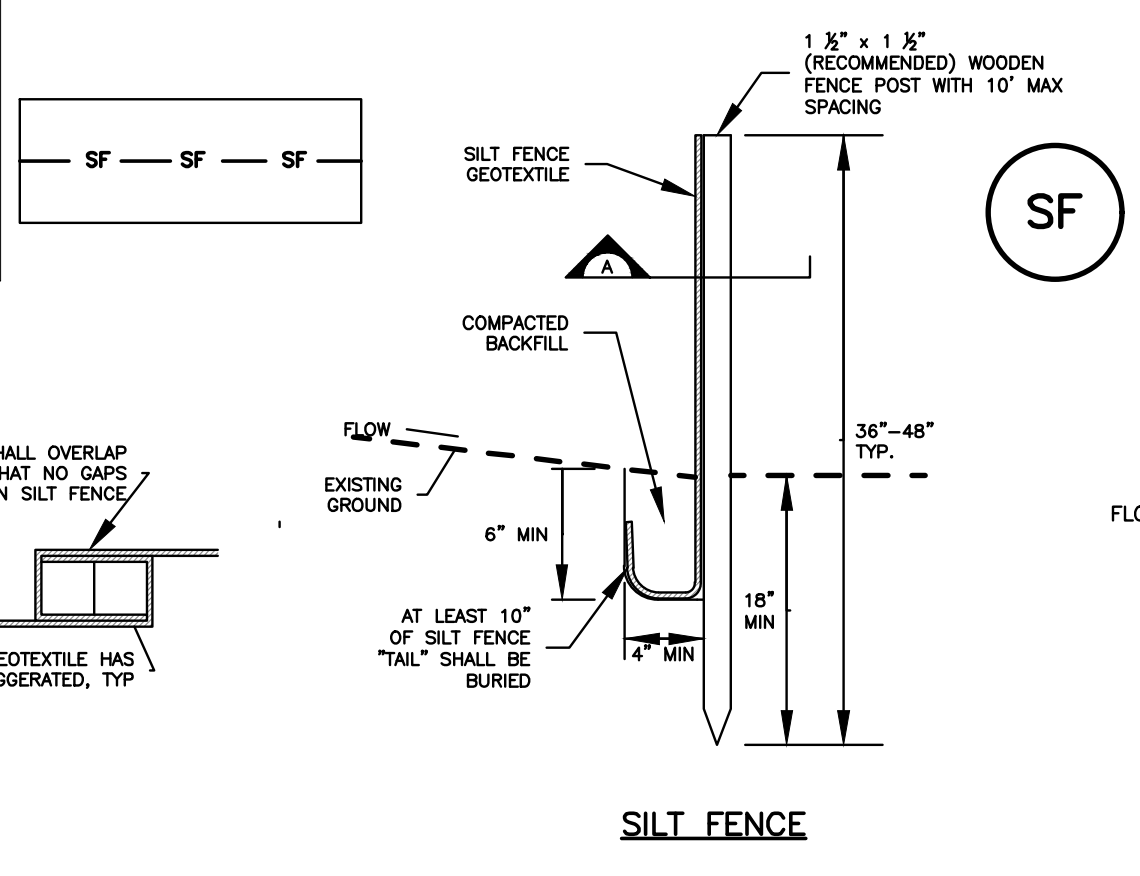
SEDIMENT CONTROL LOG JOINTS

SEDIMENT CONTROL LOG DETAIL

- SEDIMENT CONTROL LOG INSTALLATION NOTES**
- SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOGS.
 - SEDIMENT CONTROL LOGS THAT ACT AS A PERIMETER CONTROL SHALL BE INSTALLED PRIOR TO ANY UPGRADING LAND-DISTURBING ACTIVITIES.
 - SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELISOR OR COCONUT FIBER, AND SHALL BE FREE OF ANY NOXIOUS WEED SEEDS OR DEFECTS INCLUDING RIPS, HOLES AND CRACKS.
 - SEDIMENT CONTROL LOGS MAY BE USED AS SMALL CHECK DAMS IN DITCHES AND SWALES. HOWEVER, THEY SHOULD NOT BE USED IN PERENNIAL STREAMS OR HIGH VELOCITY DRAINAGE WAYS.
 - IT IS RECOMMENDED THAT SEDIMENT CONTROL LOGS BE TRENCHED INTO THE GROUND TO A DEPTH OF APPROXIMATELY 1/3 OF THE DIAMETER OF THE LOG. IF TRENCHING TO THIS DEPTH IS NOT FEASIBLE AND/OR DESIRABLE (SHORT TERM INSTALLATION WITH DESIRE NOT TO DAMAGE LANDSCAPE) A LESSER TRENCHING DEPTH MAY BE ACCEPTABLE WITH MORE ROBUST STAKING.
 - THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL THAT IS FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED INTO THE SHAPE OF A RIGHT TRIANGLE USING A SHOVEL OR WEIGHTED LAWN ROLLER.
 - FOLLOW MANUFACTURERS' GUIDANCE FOR STAKING. IF MANUFACTURERS' INSTRUCTIONS DO NOT SPECIFY SPACING, STAKES SHALL BE PLACED ON 4' CENTERS AND EMBEDDED A MINIMUM OF 6" INTO THE GROUND. 3" OF THE STAKE SHALL PROTRUDE FROM THE TOP OF THE LOG. STAKES THAT ARE BROKEN PRIOR TO INSTALLATION SHALL BE REPLACED.

- SEDIMENT CONTROL LOG MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOG SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE SEDIMENT CONTROL LOG.
 - SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION. IF DISTURBED AREAS EXIST AFTER REMOVAL, THEY SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

SCL-1. SEDIMENT CONTROL LOG



SF SILT FENCE

- SILT FENCE INSTALLATION NOTES**
- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
 - A UNIFORM 6" x 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE, NO ROAD, GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
 - COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
 - SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
 - SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
 - AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
 - SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

- SILT FENCE MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE SILT FENCE, IT SHOULD BE REPLACED.
 - REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
 - SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
 - WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

- SEE PLAN VIEW FOR -LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S). -TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
- CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
- A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
- STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED CONSTRUCTION ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
- SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINAGE.

VTC AGGREGATE

VEHICLE TRACKING CONTROL



STABILIZED CONSTRUCTION ENTRANCE/EXIT DETAIL - SECTION A

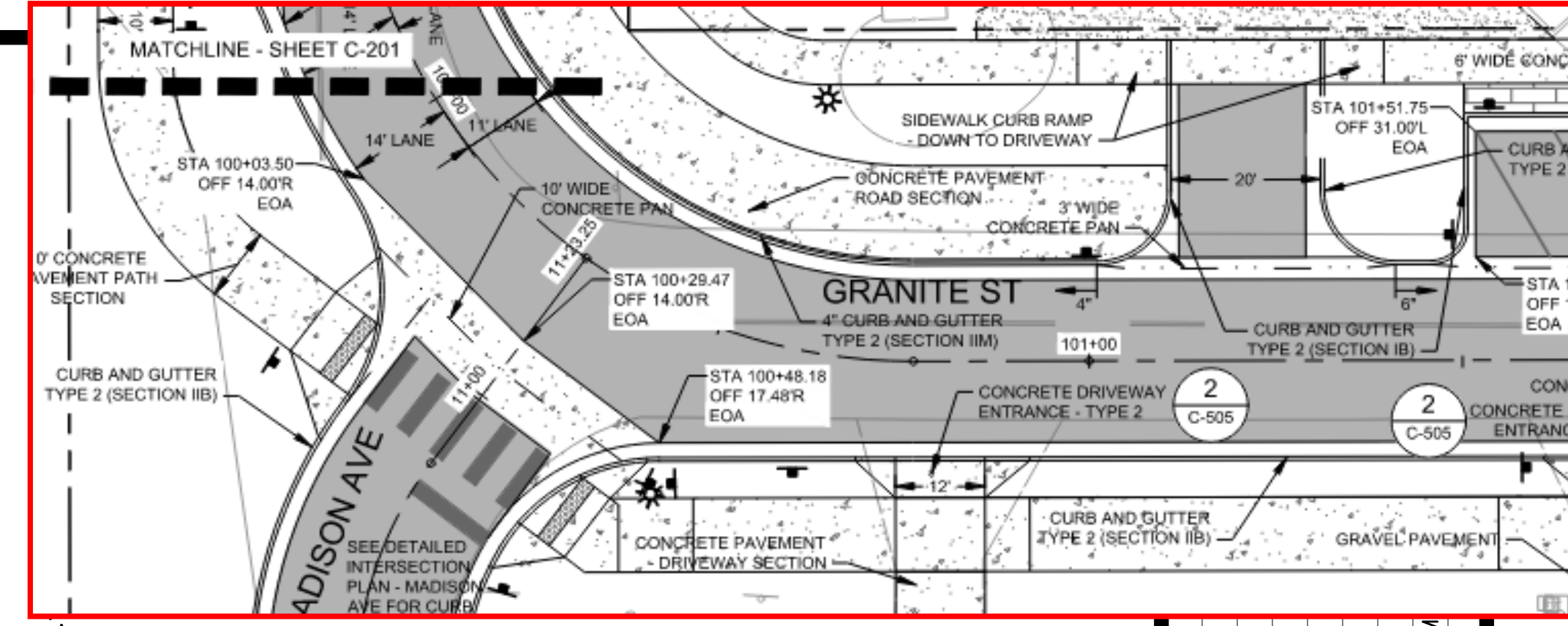
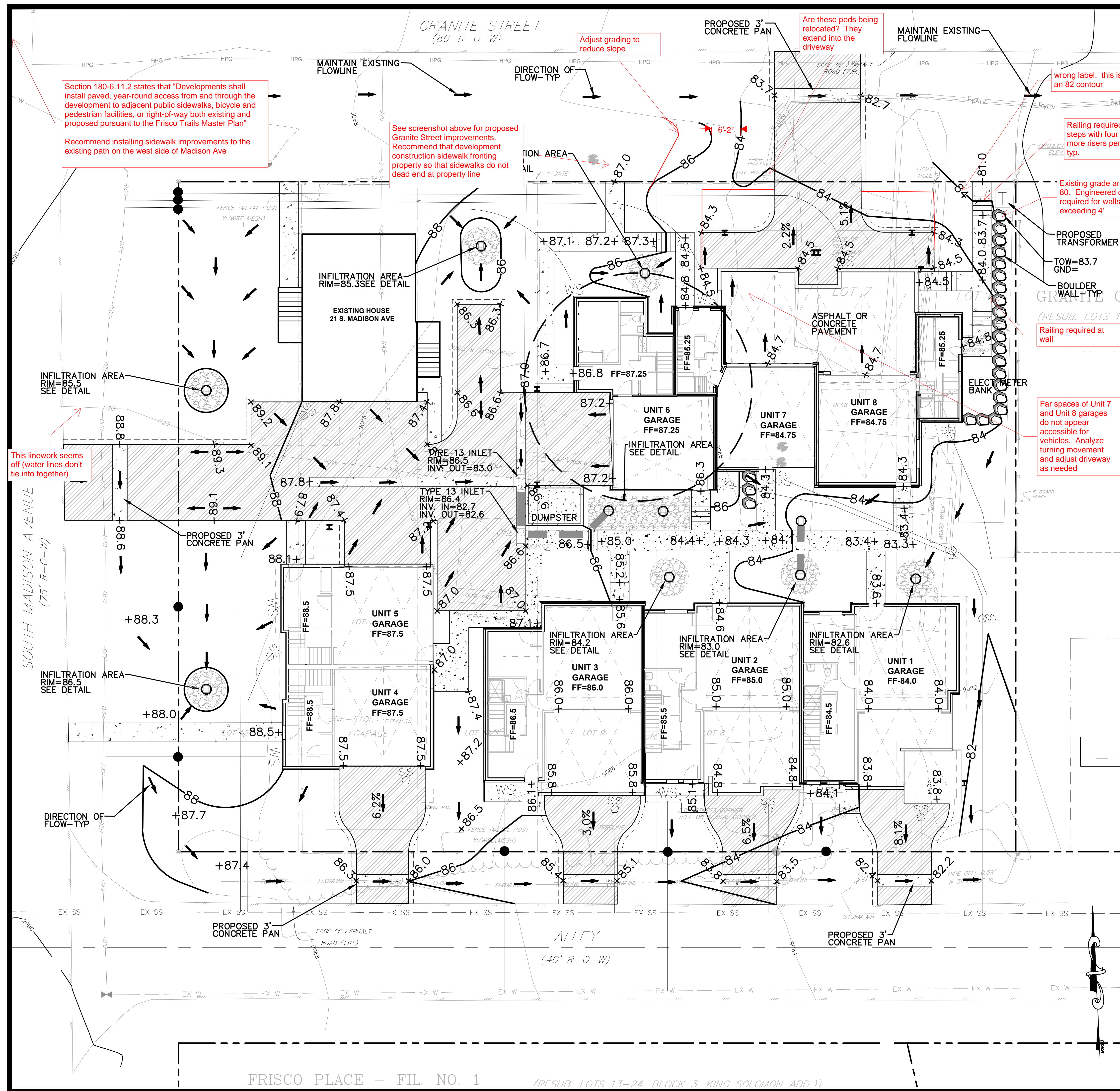
No.	Revision/Issue	Date	Description
1	SKETCH PLAN SUBMITTAL	4/3/24	TOP SKETCH PLAN SUBMITTAL

TEN MILE ENGINEERING, INC.
Professional Civil Engineers
P.O. Box 1785
Frisco, CO 80443
970.485.5773
Joe@tenmileengineering.com

MADISON 9
KING SOLOMON 2ND ADDITION
TOWN OF FRISCO, SUMMIT COUNTY, COLORADO

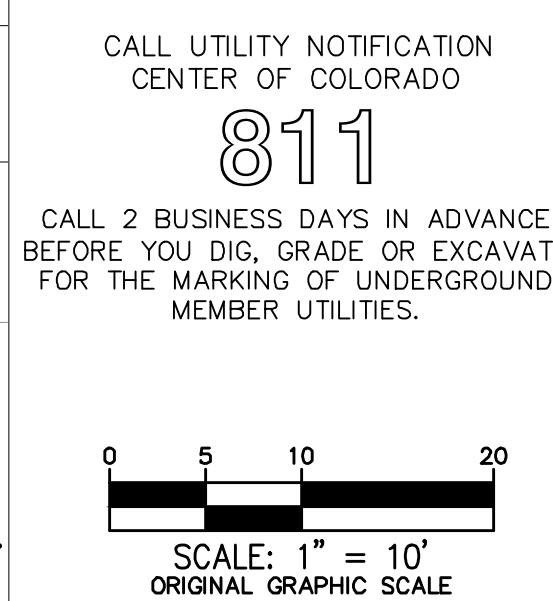
SKETCH PLAN
EROSION CONTROL AND
CONSTRUCTION MANAGEMENT PLAN

Project	MADISON 9
Date	4/3/26
Scale	1"=20'
Sheet	2



- 7) ALL WATER FROM ROOF DRAINS AND GUTTERS SHALL BE PIPED TO THE INFILTRATION GALLERY. SEE ARCHITECTURAL PLANS FOR DETAILS AND PIPE LOCATIONS.
- 8) LANDOWNER/CONTRACTOR TO COORDINATE THE RELOCATION OF EXISTING ELECTRIC, GAS, CATV AND PHONE LINES WITH UTILITY COMPANIES.
- 9) ALL ROAD AND CONCRETE CUTS SHALL BE BROUGHT BACK TO CURRENT TOWN STANDARDS.
- 10) ALL ROOF DRAINAGE SHALL BE CAPTURED IN ROOF DRAIN AND/OR GUTTERS. NO DIRECT DISCHARGE ALLOWED ON TO TOWN ROW. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 11) ALL WATER INSPECTIONS REQUIRE 24 HOUR NOTICE.
- 12) CONTACT TOWN OF FRISCO PUBLIC WORKS TO DETERMINE IF ADDITIONAL TAP FEES ARE REQUIRED.
- 13) ALL WATER LINE INSTALLATION AND CONNECTIONS MUST COMPLY WITH TOWN OF FRISCO CONSTRUCTION STANDARDS IN EFFECT AT TIME OF BUILDING PERMIT ISSUANCE.
- 14) SEE MECHANICAL PLANS FOR DETAILS OF WATERLINE CONNECTION INTO BUILDING, METER AND BACKFLOW PREVENTION PIPING AND REMOTE METER READOUT LOCATION. REQUIRED BEFORE BUILDING PERMIT IS ISSUED.
- 15) SEE MECHANICAL PLANS FOR DETAILS OF SUMP PUMP AND ASSOCIATED PIPING. ALL SUMP PUMP CONNECTIONS TO STORM DRAINAGE SYSTEM MUST BE DOWN STREAM OF PERFORMED MANHOLE AND INFILTRATION AREA.
- 16) ALL CONSTRUCTION STAGING AND MANAGEMENT MUST COMPLY WITH IBC CHAPTER 33 - SAFEGUARDS DURING CONSTRUCTION
- 17) ALL WATER SERVICE MAINTENANCE AND REPAIR IS THE RESPONSIBILITY OF THE HOA/HOMEOWNERS.

- NOTE:**
1. OWNER RESPONSIBLE FOR THE INSTALLATION OF HEAT TAPE IN ALL GUTTERS AND DOWNSPOUTS AS NECESSARY. DIRECT DOWNSPOUTS TO INFILTRATION AREA.
 2. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR DETERMINING ACTUAL VERTICAL & HORIZONTAL LOCATIONS PRIOR TO START OF CONSTRUCTION. REPORT ALL CONFLICTS TO ENGINEER. ACTUAL LOCATION ON PROPOSED IMPROVEMENTS MAY VARY.
 3. NO PARKING - FIRE LANE SIGNS SHALL BE INCORPORATED INTO THE PLANS AS DIRECTED BY THE FIRE DEPARTMENT AND TOWN OF FRISCO.
 4. SEE PLANS AND PERMITS BY OTHERS FOR ALL REQUIREMENTS ASSOCIATED WITH THE DEMOLITION OF EXISTING STRUCTURES.
 5. PRIOR TO CO THE OWNER SHALL ENTER INTO A RLA AGREEMENT WITH THE TOWN DEFINING THE OWNERSHIP AND MAINTENANCE OF ALL IMPROVEMENTS WITHIN THE RIGHTS OF WAY.



PAVEMENT SECTION SHALL BE 3" ASPHALT ON 6" OF ROAD BASE SEE GEOTECHNICAL RECOMMENDATIONS FOR COMPACTION REQUIREMENTS SECTION TO BE FIELD VERIFIED BY GEOTECHNICAL ENGINEER

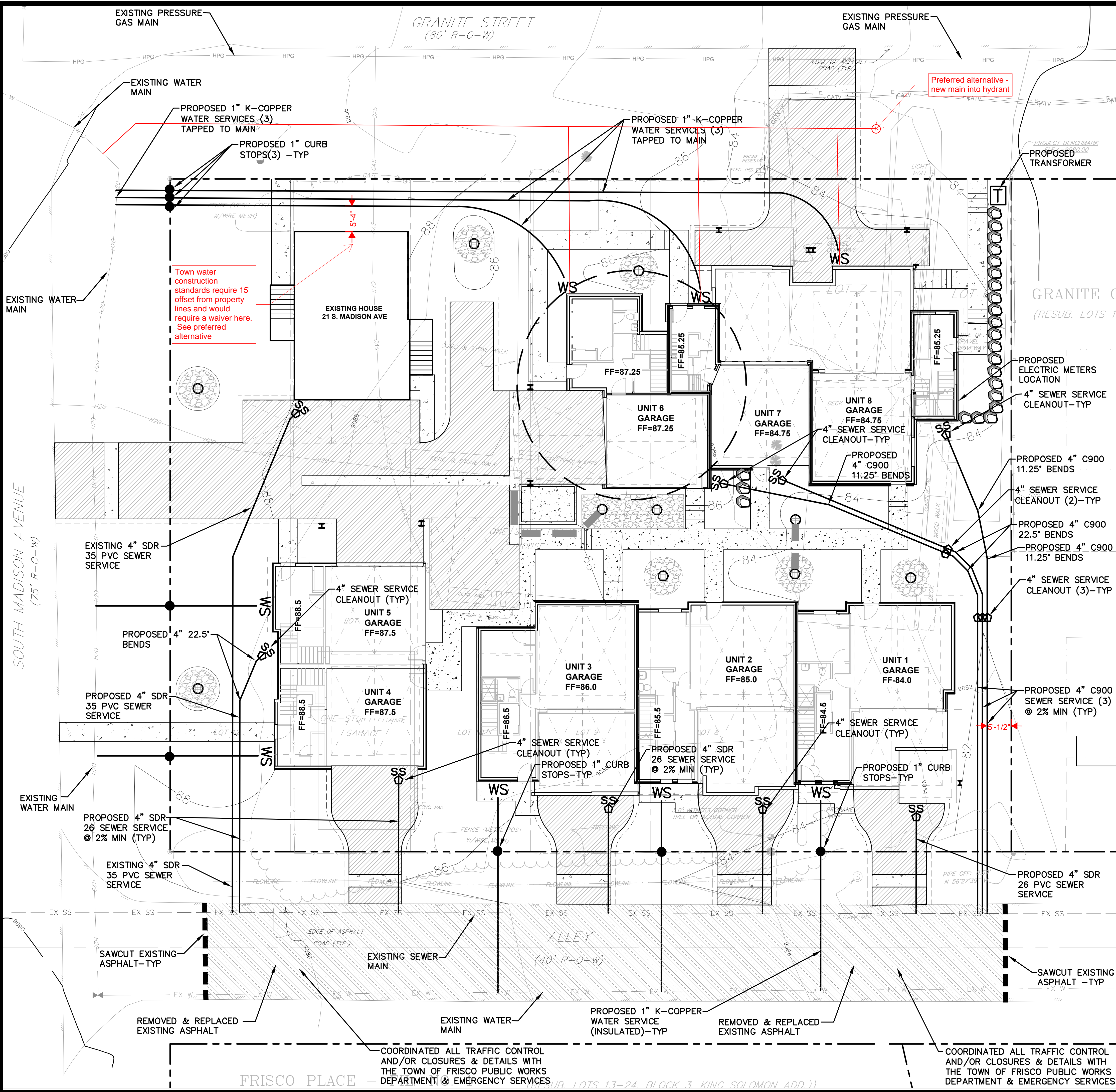
TYPICAL PAVEMENT SECTION
NO SCALE

No.	Revision/Issue	Date	Description
1	SKETCH PLAN SUBMITTAL	4/3/26	TOF SKETCH PLAN SUBM

TEN MILE ENGINEERING, INC.
Professional Civil Engineers
P.O. Box 1785
Frisco, CO 80443
970.485.5773
Joe@tenmileengineering.com

MADISON 9
LOTS 9-12, BLOCK 19
KING SOLOMON 2ND ADDITION
TOWN OF FRISCO, SUMMIT COUNTY, COLORADO

SKETCH PLAN	
GRADING PLAN	
Project	MADISON 9
Date	4/3/26
Scale	1"=10'
Sheet	3



GENERAL AND UTILITY NOTES:

- 1) ALL COLLECTION SYSTEM WORK SHALL CONFORM TO THE FRISCO SANITATION DISTRICT "DESIGN STANDARDS AND SPECIFICATIONS FOR SEWER CONSTRUCTION".
- 2) EXISTING SEWER MAIN ELEVATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- 3) ALL DOMESTIC WATER SERVICE INSTALLATIONS SHALL CONFORM TO THE TOWN OF FRISCO WATER CONSTRUCTION STANDARDS. CONTACT JEFF GOBLE 970 668 0836 WITH QUESTIONS.
- 4) SEE LANDSCAPE PLAN FOR INFORMATION ON IRRIGATION SYSTEM DESIGN.
- 5) SEE MECHANICAL AND FIRE PROTECTION PLANS FOR INFORMATION ON WATER METER, BACKFLOW ASSEMBLY LOCATION AND SIZE REQUIREMENTS.
- 6) SEE SITE PLAN FOR INFORMATION ON SNOW STORAGE.
- 7) ALL WATER FROM ROOF DRAINS AND GUTTERS SHALL BE PIPED TO THE INFILTRATION GALLERY. SEE ARCHITECTURAL PLANS FOR DETAILS AND PIPE LOCATIONS.
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4. SEE PLANS AND PERMITS BY OTHERS FOR ALL REQUIREMENTS ASSOCIATED WITH THE DEMOLITION OF EXISTING STRUCTURES.
5. PRIOR TO CO THE OWNER SHALL ENTER INTO A RLA AGREEMENT WITH THE TOWN DEFINING THE OWNERSHIP AND MAINTENANCE OF ALL IMPROVEMENTS WITHIN THE RIGHTS OF WAY.

CALL UTILITY NOTIFICATION CENTER OF COLORADO
811
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

SCALE: 1" = 10'
 ORIGINAL GRAPHIC SCALE

No.	Revision/Issue	Date	Description
1	SKETCH PLAN SUBMITTAL	4/3/26	TOF SKETCH PLAN SUBMITTAL

TEN MILE ENGINEERING, INC.
 Professional Civil Engineers
 P.O. Box 1785
 Frisco, CO 80443
 970.485.5773
 Joe@tenmileengineering.com

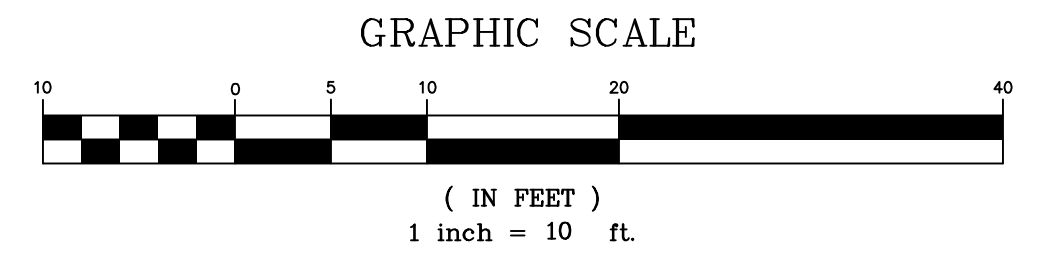
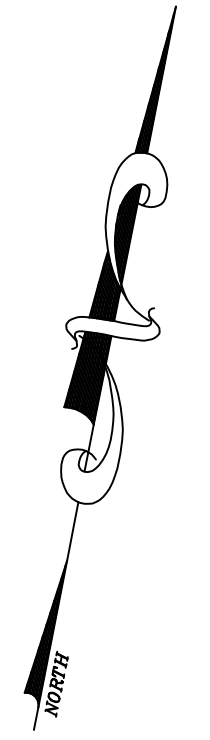
MADISON 9
 LOTS 9-12, BLOCK 19
 KING SOLOMON 2ND ADDITION
 TOWN OF FRISCO, SUMMIT COUNTY, COLORADO

**SKETCH PLAN
 GRADING, DRAINAGE & UTILITY PLAN**

Project MADISON 9	Sheet
Date 4/3/26	4
Scale 1"=10'	

A TOPOGRAPHIC MAP OF
LOTS 6 THRU 12, BLOCK 3
KING SOLOMON 2nd ADDITION
TO FRISCO TOWNSITE

ACCORDING TO THE PLAT RECORDED AT REC. NO. 28029
 LOCATED IN NE 1/4 SECTION, 34, T.5 S., R.78 W. OF THE 6TH P.M.
 SUMMIT COUNTY, COLORADO



DATE OF FIELD SURVEY: 03/26/2026
 CONTOUR INTERVAL=2 FEET

LEGEND

- FOUND No. 4 REBAR & RED PLASTIC CAP (PLS 15242/BARNES)
- FOUND No. 4 REBAR & YELLOW PLASTIC CAP (PLS 26292/JOHNS)
- FOUND 1" PIPE
- ⊕ FOUND No. 4 REBAR & ALUMINUM CAP (PLS 15242/BARNES)
- UTILITY PEDESTAL
- ⊙ SEWER MANHOLE
- WATER VALVE
- PINE TREE WITH TRUNK DIAMETER
- ⊙ ASPEN TREE WITH TRUNK DIAMETER
- ⊙ CURB STOP
- ⊙ SEWER CLEANOUT

SOUTH MADISON AVENUE
 (75' R-O-W)

ASPHALT ROAD

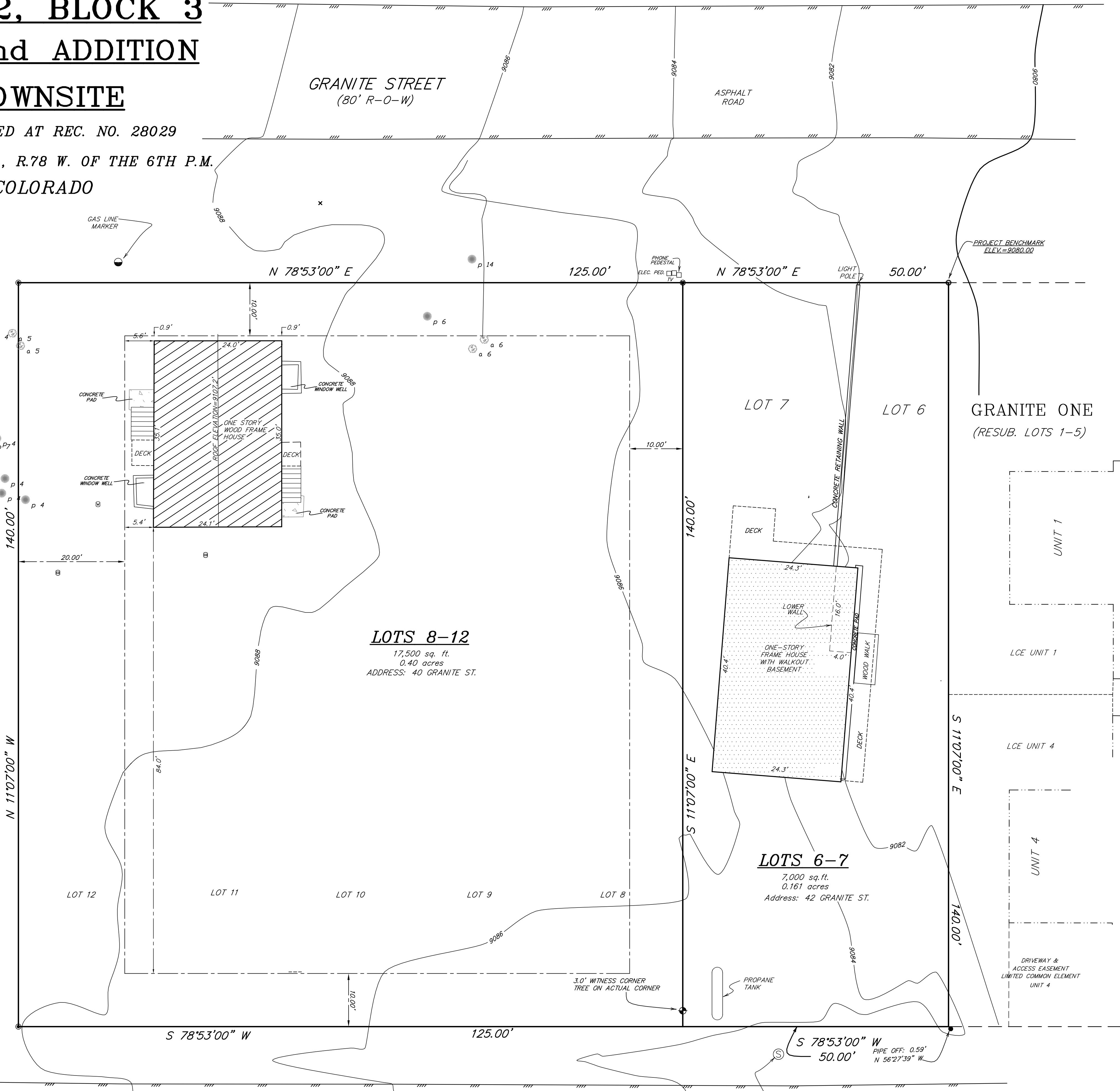
GRANITE STREET
 (80' R-O-W)

ASPHALT ROAD

LOTS 8-12
 17,500 sq. ft.
 0.40 acres
 ADDRESS: 40 GRANITE ST.

LOTS 6-7
 7,000 sq. ft.
 0.161 acres
 Address: 42 GRANITE ST.

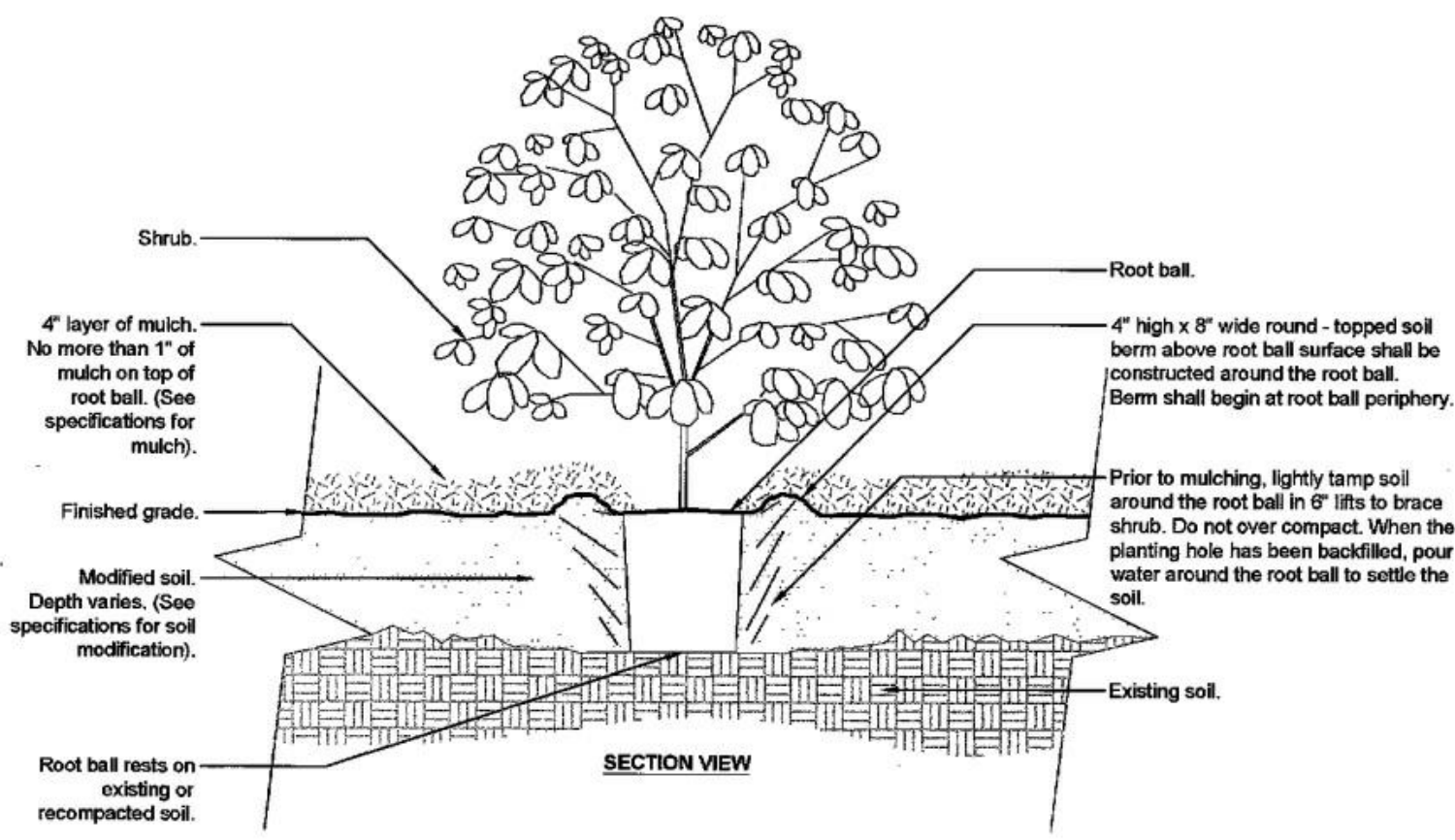
ALLEY
 (40' R-O-W)



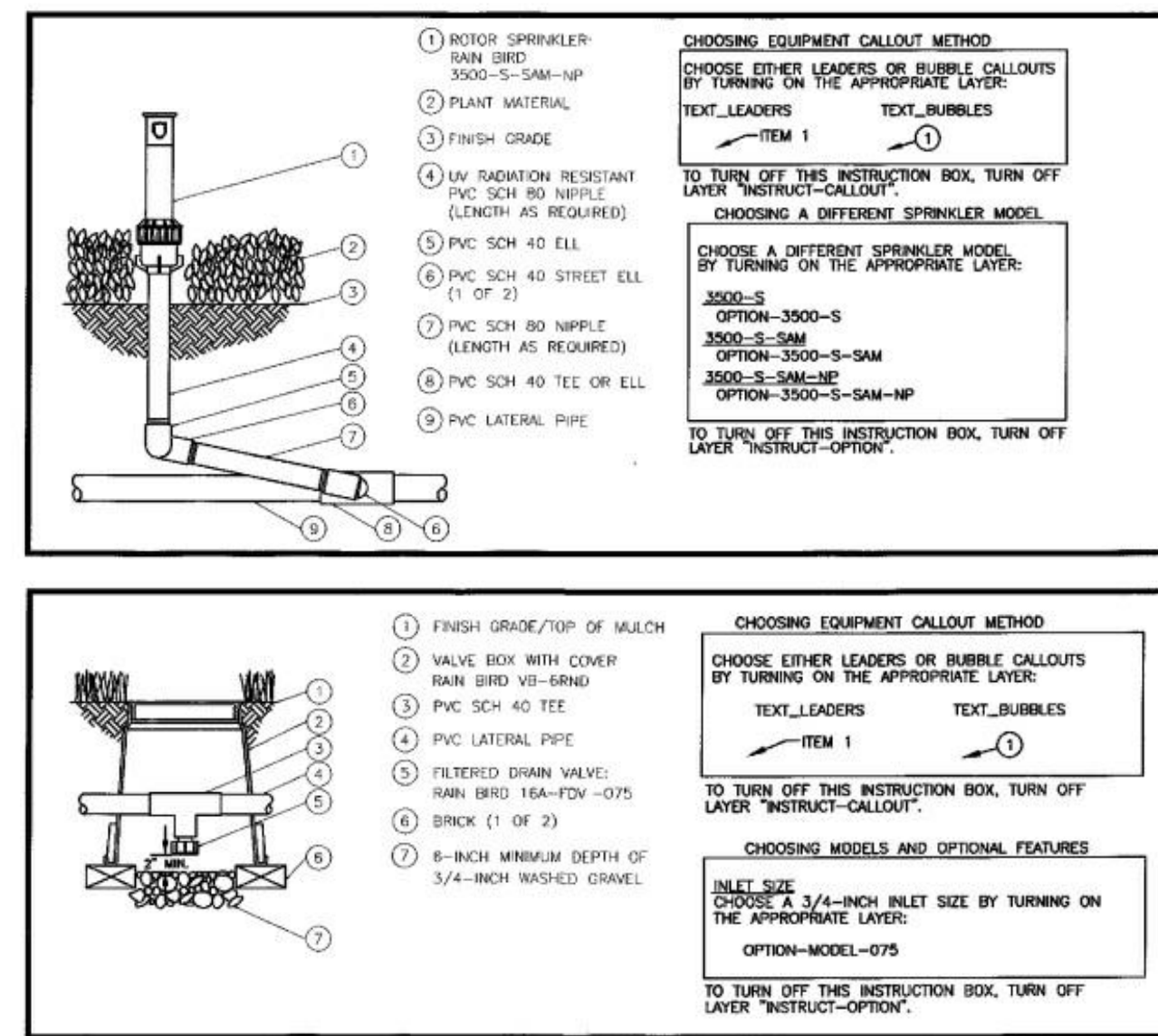
NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT; IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.



Drawn JJK/GAW/ESH	Dwg 22375TP-26-ICAD	Project 22375
Checked JJK	Date 03/30/2026	Sheet 1 of 1
R-A-N-G-E-W-E-S-T ENGINEERS & SURVEYORS INC.		
P.O. Box 589 Silverthorne, CO 80498 970-468-6281		



1 SHRUB PLANTING DET.
SCALE: 1/2" = 1'-0"



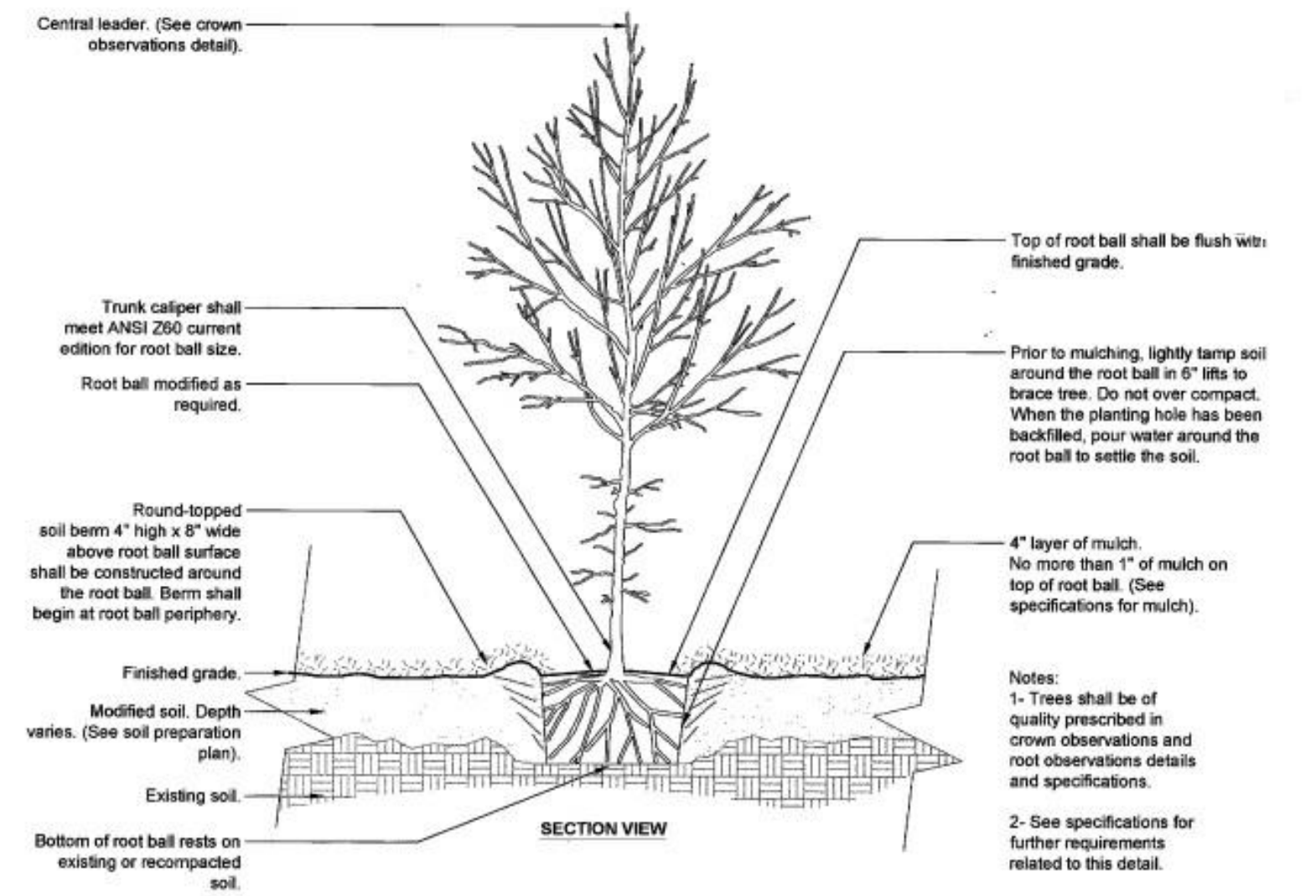
ROTOR POP-UP SPRINKLER
3500 SERIES

1 ALL SOIL IS TO BE AMENDED WITH 6\"/>

2 DRAIN VALVE
16A-FDV OR 16A-FDV-075

GENERAL NOTES:
-Tree and shrub wells to be back filled with 50% native soil and 50% organic amendment.
-Location of all trees shall be staked by Contractor and approved by the Designer prior to installation.
-Locate all plant material to avoid snow shed, snow removal locations, sight lines, utility lines, fire hydrants, and easements.
-Exact placement and shape of planting beds shall be reviewed by Designer prior to installation of irrigation drip tubing.
-Shrubs, in their pots, shall be placed for review by Designer.
-Edging to be 4\"/>

PLANTING SCHEDULE					
Type Mark	Phase Created	Botanical Name	Common Name	Comments	Count
S1	New Construction	POTENTILLA FRUTICOSA	PONTENTILLA	5 GAL	53
S2	New Construction	COMUS SERICCA	RED TWIG DOGWOOD	5 GAL	28
S1	New Construction	PRUNUS VIRGINIANA	CHOKECHERRY SHUBERT	5 GAL	13
T2	New Construction	POPULUS TREMULOIDES	ASPEN TREE	50% 2\"/>	
T3	New Construction	PICEA PUNGENS	COLORADO BLUE SPRUCE	3\"/>	
50					

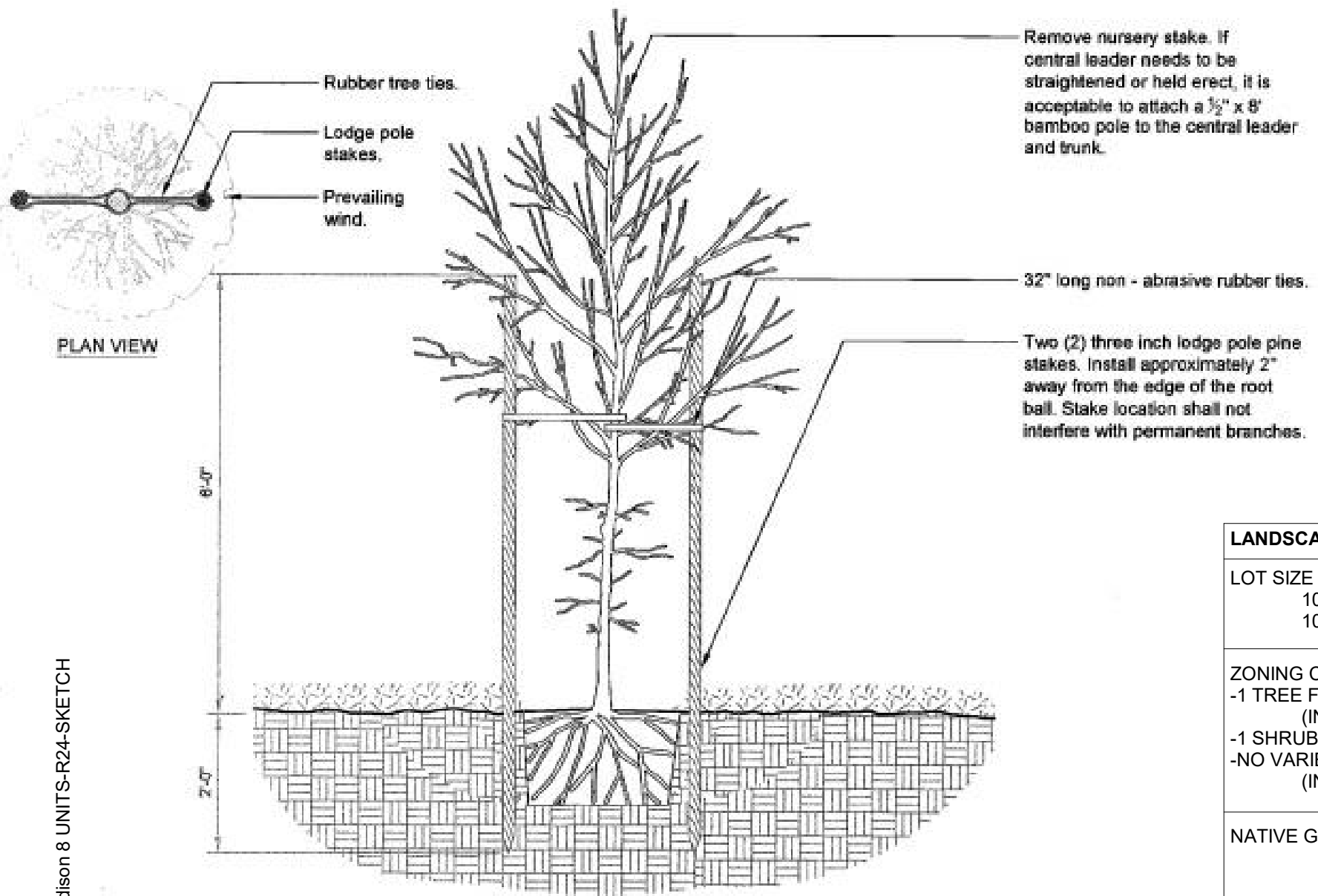


1 TREE PLANTING DET.
SCALE: 1/2" = 1'-0"

Add note that all areas extending to the edge of roadways and alleys to be revegetated with native grass, topsoil, and mulch

EXISTING 8\"/>

EXISTING 8\"/>



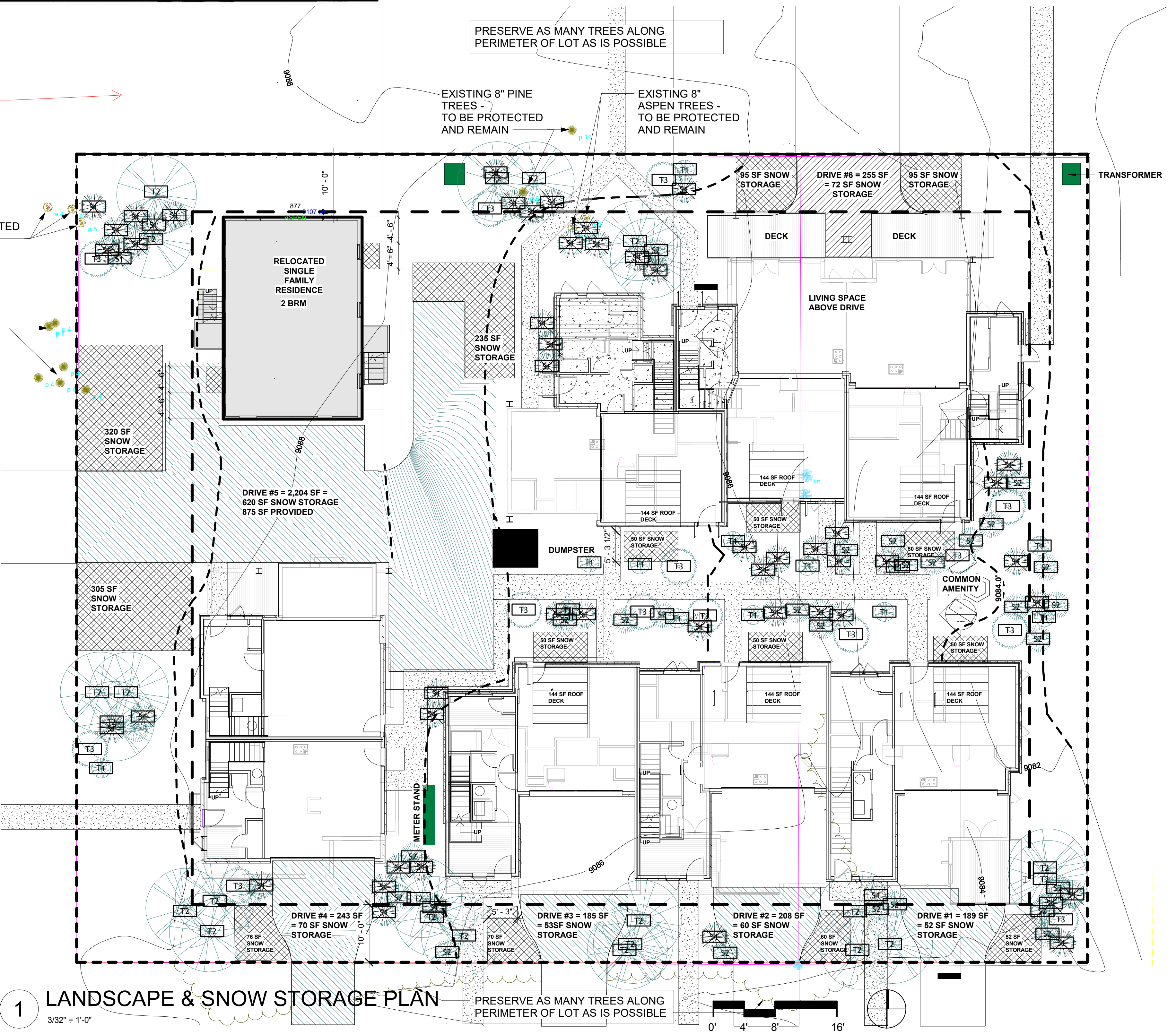
1 TREE STACKING DET.
SCALE: 1/2" = 1'-0"

LANDSCAPE PLAN NOTES

LOT SIZE 10,501 S.F.
10,500 / 875 = 12 REQUIRED TREES
10,500 / 1,500 = 7 REQUIRED SHRUBS

ZONING CODE:
-1 TREE FOR EVERY 875 S.F. - 12 REQUIRED - 14 PROVIDED (INCLUDES EXISTING EVERGREENS TO REMAIN)
-1 SHRUB FOR EVERY 1,500 S.F. - 7 REQUIRED - 10 PROVIDED
-NO VARIETIES OF TREE EXCEEDS 45% OF TOTAL TREE COUNT. (INCLUDES 2 EXISTING LODGE POLE PINES TO REMAIN)

NATIVE GRASS-	SHORT DRY GRASS SEED MIXTURE	PERCENTAGE
HARD FESCUE	30%	
CREeping RED FESCUE	30%	
SHEEP FESCUE	25%	
CANADA BLUEGRASS	10%	
CANBY BLUEGRASS	5%	



1 LANDSCAPE & SNOW STORAGE PLAN
3/32" = 1'-0"

Follow-up comments on 5/13/26 via email from contracted Town Engineer

Blue font is from Engineer

- Grading - Since there is an existing retaining wall in the NE corner of the property and they are just relocating it further east, I'm guessing this would fall under the "Exceptions for Minor Changes in Slopes" section of the steep slopes standards and we don't need to analyze anything related to it?
 - *"Exceptions for Minor Changes in Slopes. Development may disturb steep sloped area on lands which have a slope in excess of 15 percent when the slope is due to a minor natural or manmade change in the gradient of a slope and is an irregular or isolated terrain feature which is not continuous with or integral to any other slope or other features."*
 - I agree that this meets the exception. I consider walls to be separate from steep slopes and generally exempt from the steep slope conditions.
- Driveways - Will the driveways on the alley side need an updated driveway waiver from PW for the spacing?
- Good catch - I had scaled these but most have used the incorrect scale - I just measured again and the three east driveways on the alley do not meet 30', so they will require a waiver. However, I would support a waiver to this. The reasoning is that the driveways are on a low volume alley, and the benefit of the Granite driveway changes (reducing from two driveways to one - this was a problem area for grades on the Granite Street project) would still result in a net benefit I believe. It could also provide leverage on the sidewalk addition request - the waiver could partially in exchange for the sidewalk.



INFORMATION SYSTEMS DEPARTMENT

970-668-4200
Post Office Box 5660
County Commons
0037 County Road 1005
Frisco, Colorado, 80443

TO: Town of Frisco Planning Department
FROM: Chandler Morehardt, GIS Analyst
SUBJECT: Project Review
DATE: February 27, 2025

Property Location: 40-42 Granite St, Frisco Colorado 80443

Property Description: LOT 8,9,10,11,12 BLOCK 3 KING SOLOMON SUB # 2 &
LOT 6,7 BLOCK 3 KING SOLOMON SUB # 2

Project Description: 8 Townhome Development

Comments: "Madison Townhome Complex" is an acceptable project name.

Existing single family home (currently using 40 Granite St) will be relocated with new access off S Madison AVE). Existing home using 42 Granite St will be demolished. The addresses for the proposed townhomes shall be as follows:

Relocated Single Family Home	21 S Madison AVE (CR 1032)
Unit 1	41 Teller Street ALY
Unit 2	31 Teller Street ALY
Unit 3	21 Teller Street ALY
Unit 4	11 Teller Street ALY
Unit 5	33 S Madison AVE (CR 1032)
Unit 6	27 S Madison AVE (CR 1032)
Unit 7	34 Granite ST
Unit 8	36 Granite ST

Sincerely,

Chandler Morehardt
Information Systems
Summit County Government
GIS Analyst
Chandler.Morehardt@summitcountyco.gov
970-668-4219
PO Box 5660
Frisco, CO 80443

From: [Dalton Mundhenk](#)
To: [Heth, Emma](#)
Cc: [Daniel Manguso](#); [Saul Saenz](#); [Tibor Horvath](#); [Jim Benkelman](#)
Subject: Re: For Review: 40 Granite St Major Site Plan Application
Date: Tuesday, May 12, 2026 11:24:14 AM
Attachments: [Outlook-Logo Desc.png](#)

Town of Frisco External Email Warning

This message originated from **outside of your organization**. Please use caution when opening attachments, clicking links, or responding with sensitive information.

For your security and to protect financial, employee, and organizational information, do not provide usernames, passwords, financial, or other confidential data unless you have verified the sender.

If this email appears suspicious, please click on the Proofpoint Report Suspicious button or contact the IT Help Desk immediately.

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This message came from outside your organization.

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[Report Suspicious](#)

Hey Emma, I apologize for not getting this to you sooner. Given the number of units accessing from S Madison, and the classification of the road we would not require a traffic study for this. I do have some other comments below regarding some other items.

- This access would require an Access Permit from Summit County. Generally this is included in our Grading and Excavation Permit, but
- The proposed 3' concrete pan needs to be lower than the edge of existing asphalt on S Madison. If it sticks up higher than the existing asphalt it poses a danger to snowplow operations.
- We historically haven't allowed sidewalk connections to roads without any existing pedestrian accommodations, such as the walkway coming from Unit 4. Can this be moved to the alley, or another location outside of the County ROW?

Dalton Mundhenk

Engineering Technician I
Summit County Engineering Department
(970) 668-4240
dalton.mundhenk@summitcountyco.gov
www.summitcountyco.gov



Date: May 1, 2026

RE: 40 and 42 Granite St – Fire Department Review Comments

Project Address: 40 and 42 Granite St. Frisco, CO 80443

Submittal Date: February 23, 2026

Response Deadline: May 7, 2026

Reviewed By: Fire Inspector A. Myers, Summit Fire & EMS Fire Protection District

Authority Having Jurisdiction (AHJ): Summit Fire & EMS Fire Protection District

Project Summary

The proposed development consists of Madison 9 is comprised of 2 Townhome Triplexes, 1 Townhome Duplex and a relocated Single-family Residence. The average size of the Triplexes is 2,275 SF and each is 4 bedroom/4 ½ baths. The duplex units are at 1,387 SF and 1,780 SF. One duplex has 3 bedrooms and the other has 2 bedrooms. The project style, cohesive across the project, including the remodeled exterior of the single family residence, will be contemporary but reminiscent of old west storefront style. For fire code purposes, primary occupancy is **R-3 (Residential –one and two family)** per 2024 IFC Section 202 and IBC Chapter 3.

To whom it may concern,

Summit Fire & EMS has reviewed the above-referenced development application in accordance with the **2018 International Fire Code (IFC)** and locally adopted amendments and offers the following comments.

Fire & Life Safety Comments

1. Fire Apparatus Access Road(s): Fire apparatus access roads serving the development shall be provided in accordance with 2018 IFC Section 503. Access roads shall have an unobstructed width of not less than 20 feet and vertical clearance of not less than 13 feet 6 inches. Turning radius shall accommodate standard fire apparatus per Summit Fire & EMS specifications. Construction documents clearly delineate all proposed fire apparatus access routes.

2. Site Access During Construction: Adequate fire apparatus access shall be always maintained during construction in accordance with 2018 IFC Section 503 and Chapter 33. A construction access and staging plan

shall be submitted with building permit documents.

a. Temporary addressing for construction site shall be placed in a approved location and plainly legible and visible from the street.

3. Fire Hydrant Placement: Fire hydrants shall be provided and located in accordance with 2018 IFC Section 507 and Appendix C. Hydrants shall be located within 400 feet of all portions of the building as measured along an approved fire apparatus access road. Bollards shall be provided and located not less than 3 feet from the outlet of the hydrants. Final hydrant placement is subject to AHJ approval.

4. Automatic Fire Sprinkler System Required: An automatic fire sprinkler system shall be designed and installed throughout the entire building, including all dwelling units, common areas, underground parking, and all accessory spaces, in accordance with 2018 IFC Section 903 (R-3 occupancy) and NFPA 13 or NFPA 13D as applicable based on building height and construction type, to be determined in coordination with the AHJ at time of building permit submittal. No area of the building is exempt from this requirement.

5. Monitored Fire Alarm System: A fire alarm system shall be provided throughout the building in accordance with 2024 IFC Section 907 (R-2 occupancy) and NFPA 72 (current adopted edition). The system shall be monitored by a UL-listed central station and shall include audible and visible notification appliances.

6. Fire & Life Safety Riser Room: A room shall be designated for fire and life safety equipment. Each system shall have a clearance of 3 feet around. If the fire alarm panel goes into the water entry room, the fire alarm panel shall be placed in a water-resistant cabinet or the panel shall be water resistant. The drain in the water entry room shall be designed to handle the full flow of the system.

a. Signage shall be required on a contrasting background.

7. Knox Box Required: A Knox Box 3200 Series shall be installed at a location approved by the AHJ in accordance with 2018 IFC Section 506.1. The Knox Box shall contain a minimum of four (4) complete sets of keys providing access to all common areas, utility rooms, mechanical spaces, the elevator, underground parking, and any other areas accessible to fire department personnel. Knox Box installation location shall be shown on construction documents.

8. Electric Vehicle (EV) Charging Considerations: If EV charging equipment is proposed within the underground parking structure, the applicant shall address fire protection requirements consistent with 2018 IFC and NFPA 13. EV infrastructure plans shall be submitted for AHJ review at time of building permit. A rapid shut down Knox Box will be required.

9. Aerial Apparatus Access: Buildings with a floor level higher than 30 feet above the lowest level of fire department vehicle access shall have not less than 26-foot-wide unobstructed aerial apparatus access lanes in accordance with 2018 IFC Section 503. The site plan shall demonstrate compliance or identify proposed alternatives for AHJ review.

10. Fire lane signage: Fire Lane signage be required. Please see AHJ for more details.

11. Temporary Heating Equipment: Shall be UL listed and labeled. It will be in accordance with listing and manufacturers' instructions. Oil fired heaters must comply with **IFC Section 605. LP gas** heaters must comply with **IFC chapter 61** and the International Fuel Gas Code. All compressed gas cylinders must be nested and secured and comply with **NFPA 58**. Distancing between heater output and storage products shall adhere to a minimum distance of 5 feet. Power supply to temporary heating equipment shall be integrally intact or replaced.

12. Elevator Requirements: Elevator contractors are required to provide keys to Summit Fire & EMS for elevator car door operation (1 set) and fire-fighter service keys (4 sets) by final inspection. Failure to do so will result in code enforcement.

13. Colorado Wildfire Resiliency Code 2025: This project landscaping and materials shall be designed to meet the minimum requirements.

14. Impact Fees: This project will be subjected to impact fees per resolution 2025-07. Fees will be assessed when the new construction permit is applied. The permit will not be released until all invoices are paid in full.

General Conditions and Next Steps

- All fire protection and life safety systems shall be installed by licensed contractors and shall require separate fire protection permits from Summit Fire & EMS prior to installation.
- Final fire inspections of all fire protection and life safety systems shall be completed by Summit Fire & EMS prior to issuance of a Certificate of Occupancy.
- The applicant and/or contractor shall contact Summit Fire & EMS Community Risk Division to schedule inspections a minimum of 48 hours in advance.
- Summit Fire & EMS reserves the right to impose additional conditions based on subsequent submittals, construction documents, or field conditions not apparent at the time of this review.

15. Colorado Wildfire Resiliency Code 2025: This project landscaping and materials shall be designed to meet the minimum requirements.

Please do not hesitate to contact our office with any questions regarding these comments. We appreciate the applicant's continued engagement and look forward to working collaboratively toward a project that meets all applicable fire and life safety requirements.

Respectfully,

Aaron M. Myers

Fire Inspector

Community Risk Division

Summit Fire & EMS

970-262-5100