



**PLANNING COMMISSION
STAFF REPORT**

May 21, 2026

AGENDA ITEM: **Planning File No. MAJ-26-0002:** A sketch plan review of the Major Site Plan application for a proposed residential development consisting of eight (8) new townhomes and one existing home to remain.

LOCATION: 40 and 42 Granite Street / Lots 6-12, Block 3, King Solomon Sub #2

ZONING: Residential High Density (RH) Zoning District

APPLICANT: Ed Enck

OWNERS: *40 Granite Street:*
Primary: MACATR LLC
Secondary: Shawna R Brooks, Angela D Burger

42 Granite Street:
PRO PROPERTIES LLC

TOWN STAFF: Emma Heth, Planner II

PROJECT DESCRIPTION

The applicant, Ed Enck, representing the property owners, proposes a new residential development at 40 and 42 Granite Street.

The application proposes a multi-unit residential development project consisting of nine (9) townhome units spread across four (4) separate buildings. An existing single-family house has already been relocated on the site to prepare for the development and will remain. Eight (8) additional townhome units are proposed. The new townhouse buildings are all three-story buildings. Buildings A and B also have rooftop decks. Each new unit will include an attached private garage. The buildings include the following units:

- Building A (Units 1, 2, and 3): Three 4-bedroom units

- Building B (Units 6, 7, and 8): Three 4-bedroom units
- Building C (Units 4 and 5): One 2-bedroom and one 3-bedroom unit
- Existing house: 3 bedrooms. This house is on record as a 2-bedroom, but the interior layout identifies an “office” that meets the definition of a bedroom and therefore, Staff is identifying it as a 3-bedroom for parking purposes.

For a more complete project description, please refer to the attached application materials.

BACKGROUND

The subject properties are located in King Solomon Sub #2, which was established in 1908 as an addition to the Frisco Townsite. The properties are zoned Residential High Density (RH) Zoning District.

An existing home at 40 Granite St. (Lots 8-12) was built in 1970. In 2024, a development application (MIN-24-0002) was approved to relocate the house to the northwest corner of the property as a first step to prepare the site for further development. An existing garage on the site was demolished. The building permit for this project is still active.

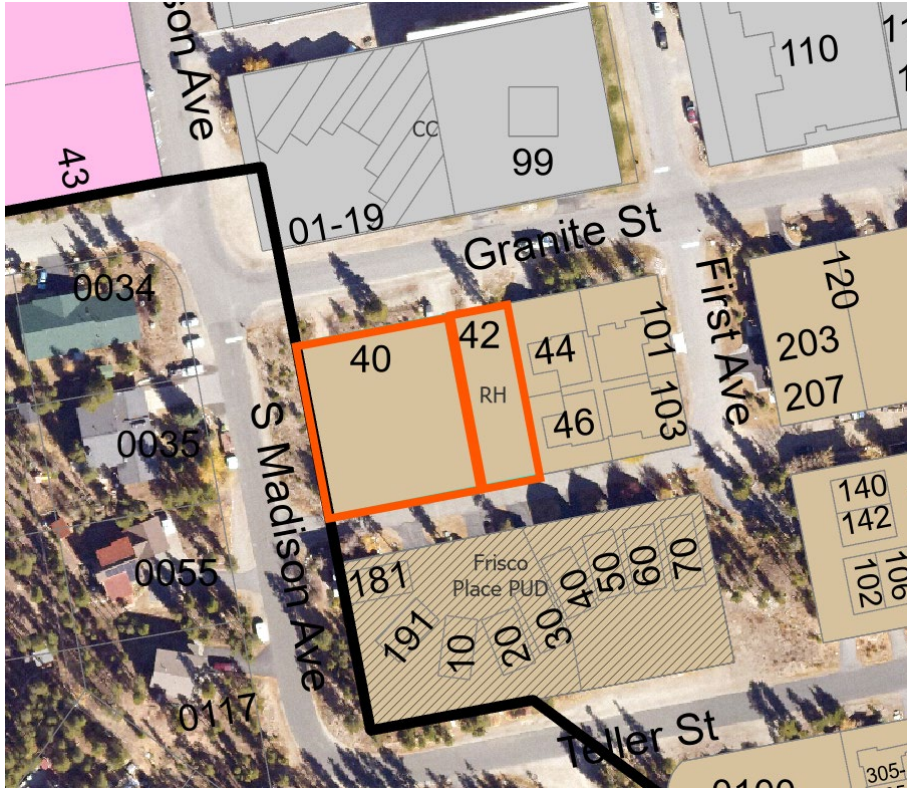
An existing home at 42 Granite St. (Lots 6-7) was built in 1972 and is still in its original location. This house and a retaining wall would be demolished as part of this application.

The surrounding properties are zoned Central Core (CC) to the north, RH to the east, Frisco Place PUD and RH to the south, and R-2 zoning in unincorporated Summit County to the west. The surrounding properties within the Town all contain attached or detached townhomes (Spruce Point Townhomes, Granite One Sub, and Frisco Place). Single family homes are located in unincorporated Summit County on the west side across Madison Ave.

Below is a vicinity map of the subject property with an aerial photography base layer and zoning layer. The location of the property lines shown on this map vary in accuracy and should only be used for reference purposes.



Vicinity Map



Zoning Vicinity Map

SKETCH PLAN REVIEW

A sketch plan review is the first step in the Major Site Plan review process and is an opportunity for Planning Commission to comment on the various aspects of a development proposal including proposed uses, parking and traffic circulation, architecture, landscape design, and compatibility with the neighborhood. It is also an opportunity for the applicant to listen to the Commissioners' comments and make changes to the proposal prior to the final stage of the major site plan application review. Section 180-2.5.D.3 of Frisco Town Code states:

- a. All applications for major site plans shall present an informal sketch plan of the development before a regularly scheduled meeting of the Planning Commission.
- b. The Planning Commission may require an applicant to return for additional sketch plan presentations if sufficient information is not received or if substantial changes to a proposal are recommended. Presentation of a sketch plan neither binds the Planning Commission to approve a site plan, nor does it confer the applicant any vested rights.
- c. The sketch plan presentation shall become null and void if a complete major site plan application is not submitted to the Community Development Department within 180 days after the date of the Planning Commission's review of the sketch plan, which is Tuesday, November 17, 2026

The Planning Commission will have the opportunity to review the project again at the final review step in the Major Site Plan review process. The proposal will be reviewed in detail for conformance with the Frisco Comprehensive Plan and compliance with the Frisco Unified Development Code (UDC) at that time.

ANALYSIS - FRISCO COMPREHENSIVE PLAN

Comprehensive Plan Goals and Strategies: The goals and strategies are the strategic framework to connect community priorities to the Comprehensive Plan recommendations and provide direction for the future. The following goals and strategies from the Frisco Comprehensive Plan are some of the plan elements that are applicable to the review of the proposed development:

Goal B.1: Continue creating safe, attractive, and sustainable neighborhoods where residents can thrive.

6. Promote walkability and bikeability in neighborhoods. Review complete connections for greenways and trail connections by requiring front yard pedestrian easements for every new development.

Goal C.5: Build and improve connections between facilities, focusing on increasing safety for people of all ages and abilities, and improving access to key destinations and the regional trail network.

1. Review and revise UDC to ensure sidewalks and trails are aligned with the Future Land Use Map and Future Land Use Classifications. Require a sidewalk easement along all street frontages on properties applying for development or redevelopment.
2. Promote Complete Streets. Complete Streets work will begin on Granite Street in 2026. Address complete streets improvements to Galena Street when funding becomes available.

Goal H.4: Preserve existing housing stock and promote its efficient and effective utilization through adaptive reuse and rehabilitation.

1. Preserve existing housing. Support the preservation, maintenance, rehabilitation, and improvement of existing housing, including by promoting increased efficiency, water conservation, and other improvements that reduce operating and maintenance costs.

Goal R.4: Promote climate action through new and existing development.

4. Support comprehensive sustainable design standards including solar orientation, landscaping guidelines, and water conservation and consider updating the UDC while considering affordability implications.

The Town is recommending but not requiring that the applicant review the Granite Street Complete Streets Plan and install detached sidewalks along Granite Street that connect the non-vehicular pathways within the development to the existing Madison Avenue pedestrian path. While the Comprehensive Plan guides the Town to require front yard pedestrian easements, it has not been incorporated as a UDC requirement at this time. Therefore, until a UDC change is made, the Town cannot require a pedestrian easement for new development.

The project proposes to preserve an existing house, relocating and upgrading it with new siding. The house’s relocation allows for infill development on the site while keeping an older home.

The proposed development incorporates native and drought-tolerant landscaping, which conserves water and minimizes the need for irrigation. The new buildings will be required to meet the Town’s adopted codes and associated amendments including but not limited to the International Energy Conservation Code as outlined in Town Ordinance 26-09. The application materials show gas in the structures, not fully electrified buildings.

The site plan includes a dedicated refuse and recycling enclosure, which facilitates proper waste management and recycling for residents. The design promotes shared waste services, aligning with the Town's broader waste reduction objectives.

ANALYSIS – RESIDENTIAL HIGH DENSITY (RH) DISTRICT [§180-3.7]

These parcels shall be developed in accordance with the requirements of the Residential High Density (RH) District as follows:

Purpose: The purpose of the RH District is to allow for high density residential development that is in close proximity to commercial activity, and to provide for a broad mix in the housing type and cost for all residents.

Maximum Density: The maximum density in the RH District is 16 dwelling units per acre. The lot size is 0.561 acres; therefore, the allowable density is nine (9) units. The application proposes nine (9) residential units on this lot.

Minimum Lot Area: The minimum lot area in the RH District is 10,500 sq. ft. The proposed lot size by combining Lots 6-12 is 24,500 sq. ft.

Minimum Lot Frontage: The minimum lot frontage in the RH District is 60 ft. The proposed lot frontage along the front property line (along Madison Ave.) is 140 ft.

Maximum Lot Coverage: Maximum lot coverage in the RH District is 55%. The lot size is 24,500 sq. ft.; therefore, the allowable lot coverage is 13,475 sq. ft. Two feet of roof eaves, three feet of the width of private non-vehicular pathways, and dumpster enclosures with space for recycling are exempt from lot coverage. The total lot coverage of the proposed development is 13,452 square feet or 54.9% of the site. The application meets this requirement. Lot coverage will be verified again at the final site plan review process.

Setbacks: The following setbacks are required in the RH District:

	Minimum Setback	Proposed Setback
Front Yard	20 feet	20 feet
Side Yard	10 feet	10 feet
Rear Yard	10 feet	10 feet

The application appears to meet the setback standards.. At time of full site plan review, the application materials will need to show additional information for staff to verify setbacks including showing the setback line on each floor and roof plan along with ensuring all door overhangs and decks are clearly shown to verify no portion of any structure encroaches over the setbacks. An Improvement Location Certificate (ILC) will be required during construction to ensure the structure, including roof eaves, does not encroach into the setback.

Maximum Building Height: The maximum building height is 35 feet in the RH District. The application proposes a flat roof with parapets, pitched roof elements, and rooftop decks. The maximum height of any of the roof elements is 35 feet. The application includes building height tables for each building, with maximum heights of 35' for each; staff notes that the numbers and calculations on the submitted height table need to be verified at time of full site plan submittal. Roof heights will be verified again at the final site plan review and during construction through a roof height ILC.

ANALYSIS – USE STANDARDS [§180-5]

Permitted and Conditional Uses: In the RH District, a variety of residential uses are permitted, including multi-unit dwellings, townhomes (attached or standalone), and single-household detached dwellings.

ANALYSIS - DEVELOPMENT STANDARDS [180-6]

This project will be reviewed for compliance with all development standards of the Unified Development Code (UDC) at the time of the final review of the major site plan. Standards that are included in the discussion of this section have been analyzed to determine whether they are applicable and are not included in the staff report if not applicable.

Buildings Occupying More Than One Lot (§180-6.3.2.) Where a residential or non-residential project has been resubdivided into more than one lot, it shall be considered to be occupying one lot for purposes of complying with district regulations such as density, floor area ratio (FAR) lot coverage, open space, lot size, lot frontage, and setbacks. For purposes of this section, the boundaries of the one lot shall be the outermost lot lines of all lots occupied by the project. Except in the case of a condominium building or a property line between duplex or townhouse units, for any proposed development, no building shall be constructed over a property line and any proposal to construct a building over an existing property line shall be accompanied by a plat application to cause the property line to be vacated.

Per the requirements of this section, the applicable development regulations are applied to 40 and 42 Granite Street as a whole, including density, lot coverage, parking, drainage, and other requirements. If the application is approved at the final site plan, the applicant will need to replat the property to vacate the existing property lines. This will be a condition of approval for the final site plan and will be required prior to issuance of a building permit.

Site Grading and Development (§180-6.5) and **Drainage Plan** (§180-6.6): The contracted Town Engineer provided preliminary comments on the grading and drainage plans. The submittal requirements, design standards, and erosion and sediment control will be approved by the contracted Town Engineer at the time of the final site plan review.

Development on Steep Slopes (§180-6.5.1): All development in areas with steep slopes greater than 15% shall comply with the following standards:

- On slopes from 15% to less than 30%, net site disturbance shall not exceed 50% of the total area within this range of slopes.
- On slopes greater than 30%, net site disturbance shall not exceed 15% of the total area over this range of slope.

There are no steep slopes on site except for an existing retaining wall in the northeast corner that is approximately 2 feet high. This retaining wall will be demolished and a new 3' boulder retaining wall built in this area. §180-6.5.1.F. states: "*Exceptions for Minor Changes in Slopes.* Development

may disturb steep sloped area on lands which have a slope in excess of 15 percent when the slope is due to a minor natural or manmade change in the gradient of a slope and is an irregular or isolated terrain feature which is not continuous with or integral to any other slope or other features.”

Staff considers the retaining wall to be exempt from the steep slope disturbance standards given that the existing retaining wall is a minor manmade change in the gradient that will be maintained with a similar retaining wall in the proposed development.

Access (§180-6.11): All vehicle access shall comply with the standards set forth in Chapter 155, Minimum Street Design and Access Criteria. Where development abuts a Town road, the location and design of access points to the road must be approved by the Frisco Public Works Director. Per the Street Design Criteria, *“Driveway Spacing – No two driveways connecting to a public or private street, alley or highway shall be within thirty (30) feet of one another measured from edge of driveway to edge of driveway within the Town ROW or private street ROW. When this spacing cannot be achieved (for example, due to topography or lot size) effort shall be made to place the driveways as far apart as possible and must be approved by the Public Works Director in accordance with Section VI, Waivers to These Criteria.*

When a new driveway is requested adjacent to a vacant lot, fifteen (15) foot spacing from that property line may be required. The intent is not to restrict the adjacent property owner on the location of their driveway due to the thirty (30) foot separation required.”

A driveway waiver was approved by Public Works in 2023 for an earlier site plan. However, the site plan has changed since this waiver was granted, so Public Works will need to review and approve an updated waiver for the driveway spacing, specifically on the Teller St Alley side where 4 driveways are shown, three of which with <30’ of spacing. Preliminary comments from Engineering indicate that a waiver would be supported given that the driveways are on a low-volume alley and the number of driveways on Granite Street has been reduced to only one. The access will be further reviewed by the Frisco Public Works Director and contracted Town Engineer at the final site plan review.

The driveway access on the west side, along Madison Ave, was referred to the Summit County Road & Bridge Department and Summit County Engineering. An Access Permit will be needed from Summit County. Their final approval will be needed at the final site plan review.

Non-vehicular Access Requirements (§180-6.11.2): It is the purpose of this section to promote the use of non-vehicular modes of transportation through a Town-wide network of connecting non-vehicular pathways and provide safe access year-round. All site plans shall provide for and show non-vehicular access in accordance with the standards set forth in the Frisco Trails Master Plan and Chapter 155, Minimum Street Design and Access Criteria. In addition, all non-vehicular access shall meet the following standards:

- A. All multi-unit residential, mixed-use, non-residential developments, and residential subdivisions shall provide safe and convenient non-vehicular access to a public street

or road year-round. Developments shall install paved, year-round access from and through the development to adjacent public sidewalks, bicycle and pedestrian facilities, or right of way both existing and proposed pursuant to the Frisco Trails Master Plan and in accordance with the Standards of Chapter 155, Minimum Street Design and Access Criteria.

- B. Every principal structure shall provide access to adjacent trail systems or public open space usable for recreation activities.
- C. Developments shall integrate pedestrian ways, trails, and/or bicycle paths with similar existing and planned facilities on adjacent properties. The Frisco Trails Master Plan should be used as a reference when planning for the integration of these facilities.

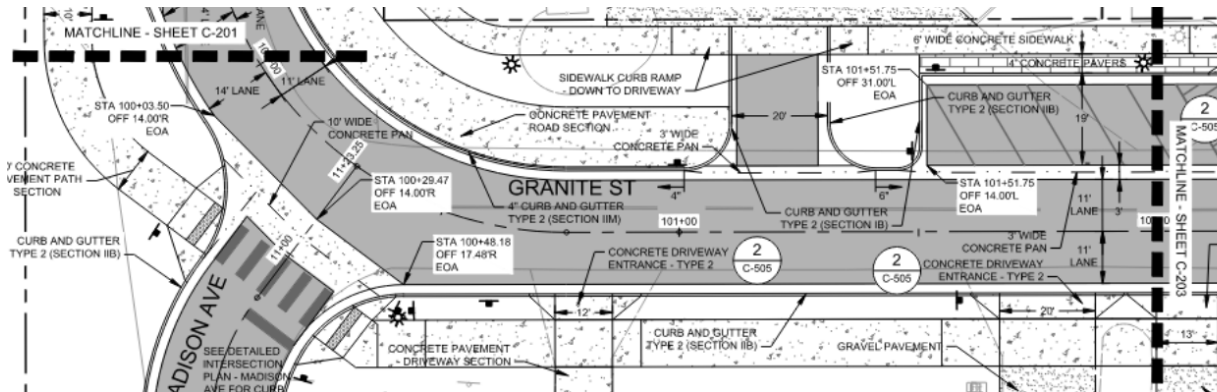
The application materials show internal sidewalks connecting each unit to an internal courtyard and walkways connecting each unit to the nearest public street. These walkways must be paved.

In comments from Summit County Engineering, they noted that pedestrian connections to County roads are not historically allowed without existing pedestrian accommodations in the right-of-way, such as the walkway coming from Unit 4. They recommend the walkway from Unit 4 connecting to the alley or another location outside the County right-of-way.

The 2023 Frisco Trails and Pathways Master Plan shows a separated multi-use path along Granite Street adjacent to the proposed development as part of the Downtown Complete Streets Plan. The latest plans for Complete Streets provided by the contracted Town Engineer show a 10-foot sidewalk, separated from Granite Street and connecting to an existing pedestrian crossing at Madison Ave. Public Works and Engineering recommend that the applicant review the planned design for Granite Street and add sidewalk connections, but the Town cannot require the applicant to build the sidewalk.



Recommendations from the 2023 Frisco Trails and Pathways Master Plan



Plan for Granite Street construction along the subject property

Traffic Study (§180-6.12): Frisco Town Code requires a traffic study, prepared by a professional engineer licensed in the State of Colorado, be submitted for any large project that:

- A. Requires a conditional use or rezoning approval;
- B. Is located adjacent to either Main Street or Summit Boulevard;
- C. Contains only one point of access;

- D. Contains an access point off an unimproved roadway or unincorporated area;
- E. Contains an access point off a road with a service level of D or F; or
- F. Is expected to generate 400 or more daily trips per day.

A large project is defined in Frisco Town Code, 180-9.3 includes any residential development occurring on a lot of 21,000 square feet or greater or any development of 5 or more dwelling units.

This project meets the definition of a large project, but the only other criterion it meets is that it contains an access point off an unincorporated area. Summit County Engineering stated that they will not require a traffic study for this project, so the Town will not require a traffic study based on that criterion either.

On-Premise Parking Requirements (§180-6.13.3.D): One (1) parking space is required per bedroom, with a maximum of four (4) parking spaces per unit. One visitor parking space is required for every five units. See a parking analysis below:

Unit number	Bedroom count	Parking spaces required	Parking spaces provided
1	4	4	4
2	4	4	4
3	4	4	4
4	2	2	2
5	3	3	3
6	4	4	4
7	4	4	4
8	4	4	4
Existing house	3	3	2
Visitor parking	9 units	1	2
Accessible parking		0	0
TOTAL		33	33

The application materials show compliance with the minimum parking spaces required for the development; however, at full site plan submittal, the extra visitor space shall be identified for the existing house.

Parking Standards and Criteria (§180-6.13.6): Parking spaces must measure 9 by 18.5 feet (including stacked spaces) with the exception of parallel parking spaces which shall be eight by 25 feet. Covered parking spaces and parking structures shall have a minimum vertical clearance of at least 8 feet in height. All required parking spaces shall have adequate access to a street or alley, and residential driveways must be a minimum of nine feet wide by 18.5 feet long. All parking areas and driveways for multifamily projects with three or more residential units shall be surfaced with concrete or asphalt material.

The application materials show parking spaces measuring 9x18.5 feet, with the parallel space for the existing house measuring 8x25 feet. Vertical clearances on the garage spaces will need to be verified at final site plan review. Preliminary comments from Engineering indicate that the outdoor parking spaces for Units 7 and 8 will need to be analyzed and redesigned to ensure that a vehicle can access them. At time of final site plan submittal, turning radiuses shall be submitted to demonstrate adequate access to all parking spaces.

Tandem Parking (§180-6.13.6): For multifamily residential projects, two (2) stacked (tandem) spaces may be permitted if the Planning Commission finds that the layout of the parking is functional and, at a minimum, finds two (2) out of the following four (4) criteria are met:

- i. That some of the spaces could be used as potential visitor parking space; and/or,
- ii. That, given the layout and design of the building, adequate storage space is provided for the residents so that it is not anticipated the parking space(s) will be needed predominately for storage; and/or,
- iii. That the architecture of the building façade which faces or accesses the parking spaces avoids a canyon effect, such that movement is provided in the building design; and/or,
- iv. That an adequate turning radius area is provided with the parking layout to allow for turning and backing into or out of the tandem parking spaces.

The proposed parking plan features two stacked tandem spaces for Units 1-3 and 6-8. The Planning Commission must determine if the tandem spaces in each of the garages meet the intent of the parking regulations.

Bicycle Parking (§180-6.13.4): All multifamily residential developments must provide both enclosed, secure bicycle parking and outdoor bicycle parking facilities. One bicycle parking space is required for every bedroom; **32** bike parking spaces are required for this development. 50% of the total spaces must be enclosed, secure bike parking. Dwelling units with a private garage are not required to provide enclosed, secure bicycle parking.

The application materials show two 7-bike racks on the northwest corner of the site, near Unit 6. Two additional outdoor bike parking spaces will need to be provided. Enclosed bike parking is satisfied by the private garages for all new dwelling units. Bicycle parking for the existing house that will remain with no garage will be satisfied through the outdoor bicycle parking spaces.

Snow Storage Areas (§180-6.13.7): Snow storage shall be provided on premises in the amount of twenty-five percent of paved surface area and any unpaved parking and driveway areas, including uncovered decks. The applicant must demonstrate that snow removal operations for upper floor decks will not impact adjacent property.

The application materials show a small discrepancy between the submitted site plan and landscape/snow storage plan. The landscape/snow storage plan documents 3,284 square feet of

uncovered driveway and parking area, and 864 square feet of uncovered rooftop decks. Each of these areas has an appropriate quantity of snow storage provided adjacent to the area. The Planning Commission should comment on the feasibility of the snow storage layout if they have concerns. Snow storage areas and calculations need to be shown for the walkways. Snow storage will be verified again at full site plan review and shall be consistently shown on each submittal page.

Landscaping and Revegetation (§180-6.14): This proposal is subject to the landscaping requirements for Residential Development.

1. For every 875 square feet of project lot area or fraction thereof, a minimum of one tree must be planted on the site. One shrub shall be required for every 1,500 square feet.
2. A minimum of one tree shall be planted within the yard setback adjacent to any public street for every 30 feet of total street frontage or fraction thereof. Street trees shall be placed at least eight feet away from the edges of driveways and alleys and to the extent reasonably feasible, be positioned at evenly spaced intervals.

For a project lot area of 24,500 sq. ft., 28 trees and 16 shrubs are required. The landscape plan submitted shows 37 trees and 94 shrubs to be planted. The requirement for street trees is met. Most requirements for plant species and sizes are met, except:

- The Colorado blue spruce tree sizes must be measured in height rather than trunk diameter (with at least 25% 10-foot height, 25% 8-foot height, and 50% 6-foot height).
- For 28 required trees, no more than 33% may be any one species. If the Shubert chokecherry sizes are changed to meet the requirements for deciduous trees rather than shrubs, this requirement will be met.

The application materials identify some trees to be preserved. Five of these trees are within the property lines. Fencing protecting existing trees to be preserved must be shown on the construction management plan, defined by a minimum of a four-foot-high visibility fence, which is to be located no closer than the drip line of the vegetation to be preserved. If trees in the right-of-way are to be removed, these must be approved by Public Works. A note shall be added to the plans noting compliance with the Town's revegetation requirements.

The application will be reviewed again for compliance with these standards at the time of final site plan. The application materials will be required to comply with the Firewise program, including defensible space zones, as regulated by Summit Fire & EMS at the time of building permit review.

Outdoor Lighting (§180-6.16): Outdoor lighting fixtures for this development are required to meet the design and light output requirements outlined in Town Code. Lighting information was not submitted with the application materials at this time. Outdoor lighting will be reviewed for full compliance at the final site plan review.

Refuse Management (§180-6.17): All commercial, mixed-use and multi-unit residential development projects containing five or more units shall utilize dumpster enclosures for the storage of all refuse, recycling, grease traps, and compost collection. The proposed refuse and recycling facilities must be located within an enclosure with walls and a roof and provide equal space for refuse, recycling, and compost collection.

The application materials show a proposed location for a dumpster enclosure and details on the design. The materials do not show proposed spaces for recycling and compost, only for refuse. The enclosure meets the rest of the design and location requirements. At time of full site plan application, the submitted materials shall show full compliance with waste, recycling, and compost requirements.

While not required at this review stage, the applicant submitted a letter from a waste disposal company showing that proposed facilities are located and sized appropriately for the proposed project. The dumpster enclosure design will be reviewed for full compliance at the final site plan review.

ANALYSIS – RESIDENTIAL DEVELOPMENT STANDARDS [§180-6.22]

Residential Development Standards (§180-6.22): The purpose of the residential development standards is to promote high quality development while still providing for creative and unique building designs; to establish minimum standards related to scale, mass, architecture, materials, and overall design character of development and provide incentives to help achieve desired attributes; and to preserve established neighborhood scale and character, ensuring that residential areas contribute to the streetscape and are conducive to walking.

Façade Standards (§180-6.22.3.A): To ensure that the façade design of development is compatible with Frisco's small mountain town character and provides a human scale to enhance the walking experience in the neighborhood.

- **Building Elements.** *All building elevations shall employ varied articulation of wall surfaces. Each façade shall be articulated through the use of at least four of the following techniques:*
 - a. *Deep eaves or overhangs, at least 24 inches in depth;*
 - b. *Balconies, porches, or patios;*
 - c. *Building elements that provide shelter from natural elements;*
 - d. *Offsets, insets, bays, or other similar architectural features to add a variety of depths to the wall plane;*
 - e. *A change in texture or material, provided all exterior wall textures and materials are consistent with the overall architectural style of the building;*
 - f. *Variation in roof planes or roof forms, including dormers or gables; or*
 - g. *Variation in window sizes and shapes.*

Each façade of each new building utilizes at least four of the techniques above with the entire development using all seven techniques in various locations. The existing house will come closer into conformance by varying the materials used for siding. The application meets this requirement.

- **Duplicate Building Design Prohibited.**

a. *Building designs that duplicate, or are substantially similar in terms of roof pitch, building articulation, materials, colors, and building elements to existing or proposed structures within a 300-foot radius of the property shall not be allowed, with the exception that accessory structures on the same lot or parcel as the primary structure may be similar in design as the primary structure.*

The proposed structures are distinct from all other structures within 300 feet of the subject property.

b. *Where a project contains two or more buildings or units, not identical units, the building design shall provide architectural relief from the duplication of buildings and units by utilizing a variety of windows, decks, balconies, or exterior facade composition.*

The application materials show three new buildings that are distinct from one another and not duplicative. Within each building, some units are similar but none are exact duplicates. Variation is provided with siding materials, balcony locations, rooftop deck location, roof planes, and more. Examples of differences between two similar units are circled below:



Bldg A – South Elevation



Bldg A – North Elevation

Staff requests that the Planning Commission provide feedback to the applicant on the building design variety.

Roof Standards (§180-6.22.C): The intent of the Roof Standards is to ensure that roof elements are compatible with or complementary to existing historic or contributing buildings in the area and to encourage visibly pitched roofs or roof elements and the use of dormers and breaks in ridgelines.

- **Roof Pitch.** *Pitched roofs, or flat roofs with pitched elements, are required. Mansard roofs are prohibited.*
- **Roof Design.** *Roof lines shall be designed in a manner where they do not substantially deposit snow onto required parking areas, sidewalks, trash storage areas, stairways, decks, balconies, or entryways.*
- **Roof Materials.** *Metal roofs shall be surfaced with a low-gloss finish, matte finish, or other finish proven to fade and not be reflective.*

All buildings appear to have flat roofs with pitched elements. Building A has many pitched elements on the second floor-level of the building. Building B appears to only have one pitched roof element, on the east side of the building. Building C has multiple pitched roof elements. Planning Commission should provide comments on whether all buildings are providing sufficient pitched elements to meet the “Roof Pitch” requirement. Proposed roof materials for all buildings include corrugated metal panels pre-finished with “western rust” and asphalt shingles, color “weathered wood.” The materials appear to meet the requirements.



Bldg A – Building rendering showing roof



2 Bldg B from NE

Bldg B – Building rendering

The application will be further reviewed for compliance with the Roof Standards at the time of final site plan.

Building Material Standards (§180-6.22.D): To ensure that building materials are compatible and complementary to existing historic and contributing buildings in the area, using a combination of mainly natural materials.

- **Primary Materials:**
 - a. *Building materials shall be predominantly natural, including but not limited to, wood siding, wood shakes, logs, stone, brick, or other similar materials.*
 - b. *Other materials that imitate natural materials are also acceptable provided their texture, shape, and size are substantially similar to the natural materials they are imitating, and are not obviously artificial materials.*
 - c. *Stucco or steel are acceptable materials when used in combination with other acceptable materials.*

All three new buildings utilize a combination of the following primary materials:

- Horizontal wood siding (spruce-pine-fir boards)
- Horizontal wood lap siding (cedar)
- Vertical standing seam metal siding (matte black)
- Vertical wood siding (cedar)
- Stone veneer with gray mortar (Telluride stone, 60% brown and 40% gray)

The existing house is to be re-sided primarily with the spruce-pine-fir boards and corrugated metal along the bottom, finished with “western rust.”

- **Specific Material Standards:** *Metal shall have a matte finish or a finish proven to fade and not be reflective.*

The application materials show that all metal elements are proposed to have either a matte black finish or a western rust finish.

- **Variety of Materials on All Building Elevations:**
 - a. *There shall be a variety of quality and type of exterior materials, and their application shall be generally in balance and proportional on all elevations of the building.*
 - b. *Materials that wrap around the building, such as a durable material at the base of the structure, shall continue around projecting outside exterior corners and end at recessed inside exterior corners.*

The application appears to meet this standard, but the final determination will be made at the review of the final site plan application.

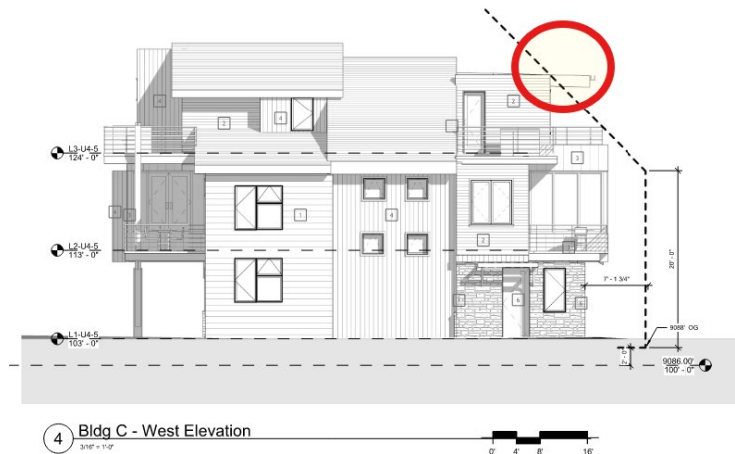
- **Garage Standards:** *Garages are encouraged to be located and oriented away from the street where they will not act as the primary design element of the building. Street-facing garage doors shall be recessed behind the front façade of the dwelling and shall not*

comprise the majority of the street-facing building frontage, unless of a custom style broken up with windows or other features.

All garages on the three new structures are both recessed behind the front façade of the building and are of a custom style broken up with windows. The existing house does not have a garage.

Bulk Standards (§180-6.23): Table 6-K of Town Code outlines bulk plane requirements. Building forms may deviate from bulk plane standards if they do not exceed the maximum building height and provide substantial architectural relief with the approval of the Planning Commission.

The application materials show the bulk plane envelope on the elevation drawings but bulk plane calculations are not provided. While some bulk plane encroachments are shown, they appear to be minimal and to provide architectural relief. Full compliance with the bulk plane standards will be reviewed at final site plan.



PUBLIC COMMENT

The Community Development Department received no public comments as of May 14, 2026.

STAFF RECOMMENDATIONS

Staff recommends the Planning Commission provide the applicant feedback on the sketch plan application submitted for the project and associated improvements in the context of the recommendations and requirements of the Frisco Comprehensive Plan, the Residential High Density Zone District, and the Frisco Town Code. Specifically, staff requests that the Planning Commission provide feedback to the applicant on the proposed building design, design variety, roof pitches, tandem parking, snow storage, and vehicular and non-vehicular access.

ATTACHMENTS

Attachments:

Attachment A – Sketch Plan Application – MAJ-26-0002

Attachment B – Preliminary Referral Comments

cc: Ed Enck