

UPDATED PROJECT NARRATIVE

Major Site Plan – Sixth Degree Town Homes

121 E. Main Street, Frisco, Colorado

Planning Commission Follow-Up to February 19, 2026 Sketch Plan Review

1. Project Overview (Updated)

The proposed **Sixth Degree Town Homes** project is a mixed use redevelopment located at **121 E. Main Street** within the Town of Frisco Central Core (CC) zoning district. The project includes five (5) new residential units, one (1) new commercial unit, retention of the existing historic log cabin and restaurant, and preservation of the existing deed-restricted workforce housing unit. Mixed use development is permitted and encouraged in the CC District and supports the Town’s goals for a walkable, economically vibrant downtown.

This updated narrative responds directly to feedback provided by the Planning Commission during the **February 19, 2026 Sketch Plan review** and documents how those comments are being addressed as the project advances toward Full Site Plan review.

2. Site Context & Design Intent (Refined)

The site is approximately 0.22 acres and is located along Frisco’s primary pedestrian corridor. The design intent continues to emphasize compatibility with the surrounding downtown context and the retained historic structure. Since the Sketch Plan review, refinements have focused on architectural compatibility, roof articulation, parking functionality, utility coordination, and clarification of community space and operational commitments.

3. Response to Planning Commission Comments

February 19, 2026 – Commissioner Discussion

This section responds point-by-point to the comments raised during the **Commissioner Discussion** portion of the February 19, 2026 Planning Commission meeting.

3.1 Parking Lifts – Functionality, Maintenance, and Long-Term Reliability

Commission Comment: Commissioners expressed concern regarding the maintenance, operation, and long-term reliability of parking lifts and requested assurances that lifts remain operational.

Response:

With some redesign, we reduced the number of parking lifts to **TWO**, while still accommodating secure bicycle storage. The association documents will identify ownership and maintenance responsibility for the lifts for the life of the project within the project declarations.

Per the parking lift manufacturer Harding Auto Park Systems and attached PDF

1. This life of these units – with proper annual maintenance these units can last over 20 years in service.
2. The Maintenance – we recommend annual maintenance which includes inspecting the entire units and servicing them.
3. The Ease of Operation – the units have a key operated system along with a emergency stop button for safety. We have all types of end users operating our systems across the United States daily. We have over 250,000 of the Parklift units in operation each day at hotels, multifamily units, apartments, condominiums, senior retirement centers, all types of offices, transportation hubs, private homes and many more applications. Please see the attached image of the pendant for operating the lifts which are left of the vehicle.

3.2 Local Workforce Unit and Parking Lift Use

Commission Comment: Commissioners noted a preference that the existing workforce (local) unit does not rely on a parking lift.

Response:

The parking allocation for the existing deed-restricted workforce unit will offer non-lift parking options for this unit where feasible, consistent with site constraints and Town Code requirements.

3.3 Tandem Parking and Turning Radii

Commission Comment: Commissioners noted tandem parking is challenging but could meet code if turning radii are demonstrated as adequate.

Response:

The 2-way parking garage and isle have been designed per 180-6.13.6 (Parking Standards & Criteria) with a 24 ft Isle (Fig. 6-G) and a 5 ft backup space at the dead end of the garage providing the turning radii that is standard for this type of garage, 2-way drive isle and parking configuration.

3.4 Architectural Compatibility with Existing Structure

Commission Comment: Commissioners agreed the revised design is compatible and appreciated incorporation of details from the existing historic structure.

Response:

The architectural approach has been further refined to reinforce compatibility, including:

- Adjusted roof proportions and pitches,
 - Material transitions that reference the historic cabin,
 - Vertical articulation and façade rhythm consistent with downtown character.
- These refinements will be documented in the architectural elevations and façade articulation exhibits at Full Site Plan review.

3.5 Community Space Location and Design

Commission Comment: Commissioners noted community space might be more ideal on the west side but acknowledged that community space is provided regardless of bench location.

Response:

The project satisfies the Town's community space that includes seating, landscaping, and bicycle storage. Adequate access and visibility are obtained easily from the East side of the project due to the public nature of operations of the gas station. While constrained by site geometry, the community space functions as walk up amenity for residents and patrons of retail, restaurant, the gas station and contributes to downtown walkability. Furthermore,

the East side offers an additional setback on purpose due to both the gas station and the 20' Town Water Easement, where in the future that easement may become a source of additional landscaping and beautification. Whereas the West side already has a restaurant patio in place with no way to access a bicycle rack.

3.6 Bicycle Parking and Public-Use Signage

Commission Comment: Commissioners requested signage indicating that the bike rack is for public use.

Response:

While there is no code reference for Non Bike-Share Public-use bicycle parking signage. We can definitely notate Public Bicycle Parking on Google Maps and coordinate with Planning Staff to include an aesthetically pleasing notice for the benefit of the site's pedestrian circulation and community space design.

3.7 Roof Pitches

Commission Comment: Commissioners agreed the roof pitches are acceptable and contain a reasonable mix.

Response:

Roof pitch, ridge elevations, and articulation will be clearly documented on the roof plan and building sections to demonstrate compliance with Town Code standards.

3.8 Utilities Above Parking Lifts

Commission Comment: Commissioners requested additional detail regarding utilities located above parking lifts.

Response:

See sheet A3.1. The building section has been refined to show a more developed representation of the floor framing and floor assembly that demonstrates adequate space for mechanical, plumbing and fire protection, as well as the required thermal and sound insulation while maintaining an overall clearance of 13'-3 1/2".

3.9 Snow Storage

Commission Comment: Commissioners noted snow storage is functional and encouraged maximizing on-site snow storage where possible.

Response:

Snow storage areas have been refined to remain onsite and outside the public right-of-way. Calculations and dimensions are shown on the site plan.

3.10 Solar Panels

Commission Comment: Commissioners noted that if solar panels are shown on the plans but not intended to be installed, a future modification would be required.

Response:

The project is designed to be **solar-ready**.

3.11 Short-Term Rentals

Commission Comment: Commissioners discussed potential confusion with parking lifts and suggested consideration of limiting short-term rentals.

Response:

The applicant acknowledges this concern. Any limitations or operational controls related to short-term rentals will be addressed through ownership documents and applicable Town regulations, as required.

4. Conclusion

The Sixth Degree Town Homes project has evolved substantially through Planning Commission and staff feedback. The applicant appreciates the Commission's guidance and has incorporated these comments into the advancing design. The project remains consistent with the intent of the Central Core zoning district, supports downtown vitality, and provides housing and commercial space in a walkable, centrally located setting.

Margaret Ziedin

Subject: FW: MAJ-25-0002, 121 E Main Street Completeness Review
Attachments: Hayden5.jpg; Operating Pendant.pdf

From: Steve Mandic <Steve@hardingaps.com>
Sent: Thursday, April 30, 2026 12:11 PM
To: Margaret Ziedin <Margaret@6ixthdegree.com>
Cc: Jeff Clark <jclark@bhhpartners.com>
Subject: RE: MAJ-25-0002, 121 E Main Street Completeness Review

Margaret, please see my response to the following questions:

1. This life of these units – with proper annual maintenance these units can last over 20 years in service.
2. The Maintenance – we recommend annual maintenance which includes inspecting the entire units and servicing them.
3. The Ease of Operation – the units have a key operated system along with a emergency stop button for safety. We have all types of end users operating our systems across the United States daily. We have over 250,000 of the Parklift units in operation each day at hotels, multifamily units, apartments, condominiums, senior retirement centers, all types of offices, transportation hubs, private homes and many more applications. Please see the attached image of the pendant for operating the lifts which is left of the vehicle.

Thank you,

Steve Mandic
Regional Sales Director Southwest
Harding AutoPark Systems
(626) 340-7002 Cell
Steve@Hardingaps.com



Our AIA **FREE** Continuing Education Course is LIVE!
<https://www.aecdaily.com/s/hardingautopark/>

From: Margaret Ziedin <Margaret@6ixthdegree.com>
Sent: Thursday, April 30, 2026 10:53 AM

To: Steve Mandic <Steve@hardingaps.com>

Cc: Jeff Clark <jclark@bhhpartners.com>

Subject: FW: MAJ-25-0002, 121 E Main Street Completeness Review

Hi Steve,

We are still plugging away here in Frisco, getting closer.

Can you speak to

“Commissioners agreed that the parking lifts seem difficult for maintenance, operating “

1. This life of these units
2. The Maintenance
3. The Ease of Operation

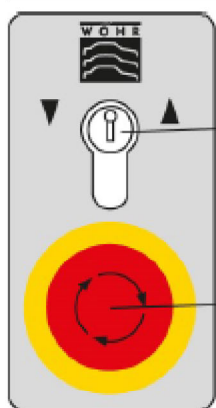
It even came up in conversation that they were concerned that lay people would know how to operate and may need additional code for privately owned car lifts.

I hope we don't go there, I just need some clarification to add to my narrative..

Thanks

Margaret Ziedin

Operating device



Key switch

EMERGENCY
STOP

In order to operate the system, use the specific control unit provided for the purpose



REVISED PROJECT NARRATIVE & RESPONSE MEMORANDUM

Project: 121 W Main Street – Sixth Degree Townhomes

Application: MAJ-25-0002

Date: June 25, 2026

To:

Town of Frisco – Planning Department

Ryan Thompson, Public Works

Chris McGinnis, SEH

Aaron Myers, Summit Fire & EMS

Amy Lagace - Xcel

From:

Margaret D. Ziedin

Sixth Degree Development, LLC

CC:

Jeff Clark – BHH

John Poovey – Baseline 121, LLC

RE: Consolidated Response to Utility, Fire, and Agency Review Comments & Final Sketch Plan Updates

Dear Review Team,

On behalf of the Applicant, we respectfully submit this **updated project narrative and response memorandum** summarizing all revisions incorporated into the **June 25, 2026 Sketch Plan submittal**. These updates reflect coordinated responses to **Town staff, SEH, Xcel Energy, and Summit Fire & EMS** comments and represent a finalized, code-aligned design approach.

1. Xcel Energy Coordination & Electrical Design Updates

3-Phase Service Integration

Based on updated electrical load calculations (~120 kW / 498A), the project has transitioned to **3-phase electrical service**

The revised plan includes:

- **3-phase transformer installation**

- Dedicated **10' x 10' utility easement and concrete pad**
- Compliance with all Xcel requirements for:
 - Access
 - Setbacks
 - Snow storage separation
 - Utility servicing conditions

Transformer Location & Clearance Compliance

- No transformer located in snow storage zones
 - Safe truck access maintained
 - All **clearance envelopes satisfied**, including:
 - No opening windows/doors within required proximity
 - Required vertical/horizontal separations
-

2. Architectural Revisions to Accommodate Utilities

To meet Xcel clearance and access requirements, the building design has been refined:

- **Fenestration was redesigned** to eliminate conflicts within transformer clearance zones
 - Removal of **windows and openings** within restricted areas
 - **Dumpster door removed** to improve access, eliminate circulation conflicts, and support code compliance
 - Façade modifications preserve architectural intent while ensuring full utility compliance
-

3. Waste Management Confirmation

The Applicant confirms:

- Waste Management service **remains fully viable under the revised layout**
- The configuration aligns with a **previously approved servicing condition**

- Design refinements (including dumpster door removal) improve operational clarity and access
-

4. Existing Utility Relocation Strategy

In response to Xcel comments regarding existing infrastructure:

- Existing electric and gas services will be:
 - **Relocated** as required prior to construction
 - Coordination through **Builders Call Line applications**
 - Final routing, trenching, and easements to be completed through Xcel design process
-

5. Metering & Electrical Layout Compliance

The updated plan ensures:

- Consolidated **meter bank locations**
 - Separation of residential and commercial metering
 - One **house meter for common loads**, consistent with Xcel standards
 - Meter placement:
 - Outside
 - Accessible
 - Located on non-drip building faces (critical for Summit County snow conditions)
-

6. Storm Sewer System – Final Resolution

The stormwater system has been fully redesigned in response to SEH and Town comments:

Compliance Improvements

- Conversion to **closed manholes/inlets**
- Meets **CDPHE separation requirements**

- Eliminates prior 10-foot water line conflict

System Optimization

- Transition from sump system → **gravity-fed system**
- Direct connection to **Main Street inlet**
- Minimum **0.5% slope maintained**

Freeze Protection

- **Heated system incorporated**
- Appropriate for shallow installation

Material & Constructability Enhancements

- **Concrete pipe under pavement**
- Durable and code-compliant infrastructure

Outcome

- Fully aligned with SEH guidance
- Reduced operational/maintenance burden
- Improved long-term reliability

7. Summit Fire & EMS Response (Life Safety Compliance)

The project team has carefully reviewed and incorporated the requirements of [2026.05.21 Summit Fire Review Comments for 121 E Main St Frisco](#).

7.1 Fire Sprinkler System & Dedicated Rooms

In response to IFC and NFPA requirements:

- **Full-building sprinkler system** provided (no exemptions)
- Added **dedicated fire riser/sprinkler room(s)**
- Each system designed with:
 - Minimum **3-foot clearance on all sides**
 - Drainage and water-resistant protection as required

- Systems to comply with:
 - NFPA 13 / 13R
 - 2018 IFC Section 903
-

7.2 Main Street Wall-Mounted Fire Hydrant

The revised plan now includes:

- **Wall-mounted fire hydrant along Main Street frontage**
 - Placement coordinated to meet:
 - Required hydrant coverage distances (≤ 400 feet)
 - Fire department access requirements
 - Location integrated with building frontage and pedestrian realm while maintaining protection clearances
-

7.3 Underground Parking Fire Protection

- Underground garage fully sprinklered (S-2 occupancy)
 - Fire department standpipe / hose connections incorporated
 - EV charging areas coordinated with fire protection requirements
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7.4 Fire Access & Operations

- Fire apparatus access maintained per IFC (20' width, clearance requirements)
 - Turning radii and circulation preserved
 - Fire lane signage to be incorporated at permit stage
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7.5 Fire Command & Life Safety Systems

- Fire alarm system (NFPA 72 compliant)
- Knox Box location to be coordinated and installed

- Dedicated fire command / riser space with:
 - No storage conflicts
 - Clear access maintained
-

7.6 Overall Fire Response Outcome

The revised design:

- Fully integrates **Summit Fire & EMS life safety requirements**
 - Enhances fire protection beyond baseline compliance
 - Improves access, system reliability, and emergency response readiness
-

8. Integrated Outcome of All Design Revisions

Collectively, the updated sketch plan:

Regulatory Compliance

- Meets Town, SEH, Xcel, and Summit Fire requirements
- Aligns with IFC, CDPHE, and utility standards

Design Optimization

- Eliminates conflicts between:
 - Utilities
 - Architecture
 - Fire access
 - Site circulation

Operational Improvements

- Simplifies infrastructure (gravity storm vs. pump)
 - Improves serviceability (waste, utilities, fire access)
 - Enhances long-term durability and maintenance
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9. Attachments

- [260619 Memo on Load Requirements](#)
 - [52405-6TH DEGREE-tof-site sub-062526](#)
 - Updated Sketch Plan Set (June 25, 2026)
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10. Conclusion

The Applicant team believes the revised sketch plan:

- Fully addresses **all outstanding agency comments**
- Reflects a **coordinated, code-compliant design solution**
- Improves **functionality, safety, and long-term performance**
- Positions the project for **final approval and progression to permitting**

We appreciate the continued collaboration of the Town and reviewing agencies and welcome any final feedback.

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Margaret D. Ziedin
Sixth Degree Development, LLC

GENERAL NOTES

1) COPYRIGHT:
ALL PLANS, DESIGNS, AND CONCEPTS SHOWN IN THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF BHH PARTNERS PLANNERS/ARCHITECTS, A.I.A./P.C. AND SHALL NOT BE USED, DISCLOSED, OR REPRODUCED FOR ANY PURPOSE WHATSOEVER WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

2) CODES:
THIS PROJECT IS GOVERNED BY THE INTERNATIONAL BUILDING CODE, 2018 EDITION AS ADOPTED BY SUMMIT COUNTY AND THE TOWN OF FRISCO, COLORADO. CODE COMPLIANCE IS MANDATORY. THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT CONFORM TO THESE CODES. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS. BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER PURPOSES.

3) FIELD VERIFICATION:
VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIALS. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES IN THE DRAWINGS IMMEDIATELY.

4) DIMENSIONS:
WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS SHOWN PRIOR TO BEGINNING ANY WORK AND NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES FOR INTERPRETATION OR CLARIFICATION. PLAN DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS, FACE OF WOOD FURRING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTED. SECTION OR ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR TOP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.

5) DISCREPANCIES:
THE OWNER HAS REQUESTED THE ARCHITECT TO PROVIDE LIMITED ARCHITECTURAL AND ENGINEERING SERVICES. IN THE EVENT ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE CONTRACTOR FOR CONSTRUCTION OF ANY ASPECT OF THIS PROJECT, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT. FAILURE TO GIVE SIMPLE NOTICE SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED WITH WRITTEN DIRECTION FROM THE ARCHITECT.

6) DUTY OF COOPERATION:
RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES.

7) CHANGES TO THE WORK:
ANY ITEMS DESCRIBED HEREIN THAT IMPACT PROJECT BUDGET OR TIME SHALL BE REQUESTED FROM THE CONTRACTOR VIA A WRITTEN CHANGE ORDER REQUEST PRIOR TO SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER INDICATES GENERAL CONTRACTOR'S ACKNOWLEDGMENT OF NO INCREASE IN CONTRACT SUM OR TIME. CHANGES FROM THE PLANS OR SPECIFICATIONS MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM SUCH CHANGES.

8) WORKMANSHIP:
IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC., TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY.

9) SUBSTITUTIONS:
SUBSTITUTION OF "EQUAL" PRODUCTS WILL BE ACCEPTABLE WITH ARCHITECT'S WRITTEN APPROVAL. SEE SPECIFICATIONS.

10) CONSTRUCTION SAFETY:
THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.

11) EXCAVATION PROCEDURES:
UPON COMPLETION OF ANY EXCAVATION, THE OWNER SHALL RETAIN A SOILS ENGINEER TO INSPECT THE SUBSURFACE CONDITIONS IN ORDER TO DETERMINE THE ADEQUACY OF FOUNDATION DESIGN. SEE SPECIFICATIONS. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.

12) FIELD CUTTING OF STRUCTURAL MEMBERS:
THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING. REFER TO CURRENT INTERNATIONAL BUILDING CODE, MANUFACTURER'S OR SUPPLIER'S INSTRUCTIONS, AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

13) EXTERIOR MATERIAL MOCKUP:
THE GENERAL CONTRACTOR SHALL PROVIDE A MOCKUP OF ALL EXTERIOR MATERIALS FOR REVIEW BY THE OWNER, ARCHITECT, AND INTERIOR DESIGNER. THIS MOCKUP SHALL BE PROVIDED AND SIGNED OF IN WRITING PRIOR TO ANY EXTERIOR FINISH WORK. THE SAMPLE SHALL INCLUDE FASCIA, TRIM WINDOW CLADDING, AND ALL OTHER EXTERIOR FINISHES INCLUDING 3'x3' SAMPLE OF EXTERIOR STONework. THIS SHALL BE RETAINED ON SITE UNTIL THE FINAL PUNCH LIST IS COMPLETE.

14) WEATHER CONDITIONS:
THE OWNER HAS BEEN ADVISED THAT DUE TO HARSH WINTER CONDITIONS, ROOF AND DECK SURFACES MUST BE MAINTAINED REASONABLY FREE OF ICE AND SNOW TO ENSURE MINIMAL PROBLEMS WITH THESE SURFACES. ALL ROOFING, ROOFING MEMBRANES, AND WATERPROOFING SHALL BE APPROVED IN WRITING BY PRODUCT MANUFACTURER (W.V. GRACE FOR BITUTHENE, ETC.) PRIOR TO PROCEEDING WITH ANY WORK. FAILURE TO PROVIDE THESE WRITTEN APPROVALS REMOVES ALL RESPONSIBILITY FOR THE WORK FROM THE ARCHITECT.

15) BUILDING AREA
BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER USE.

16) PROJECT STAKING
THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND STAKE ALL BUILDING CORNERS AND DRIVEWAY LOCATION FOR OWNER/ARCHITECT AND DESIGN REVIEW BOARD APPROVAL PRIOR TO BEGINNING ANY SITE CLEARING.

17) SITE DISTURBANCE
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE EXISTING TREES TO REMAIN AND ADJACENT PROPERTIES FROM DAMAGE DURING CONSTRUCTION. PROVIDE PROTECTIVE FENCING THROUGHOUT CONSTRUCTION.

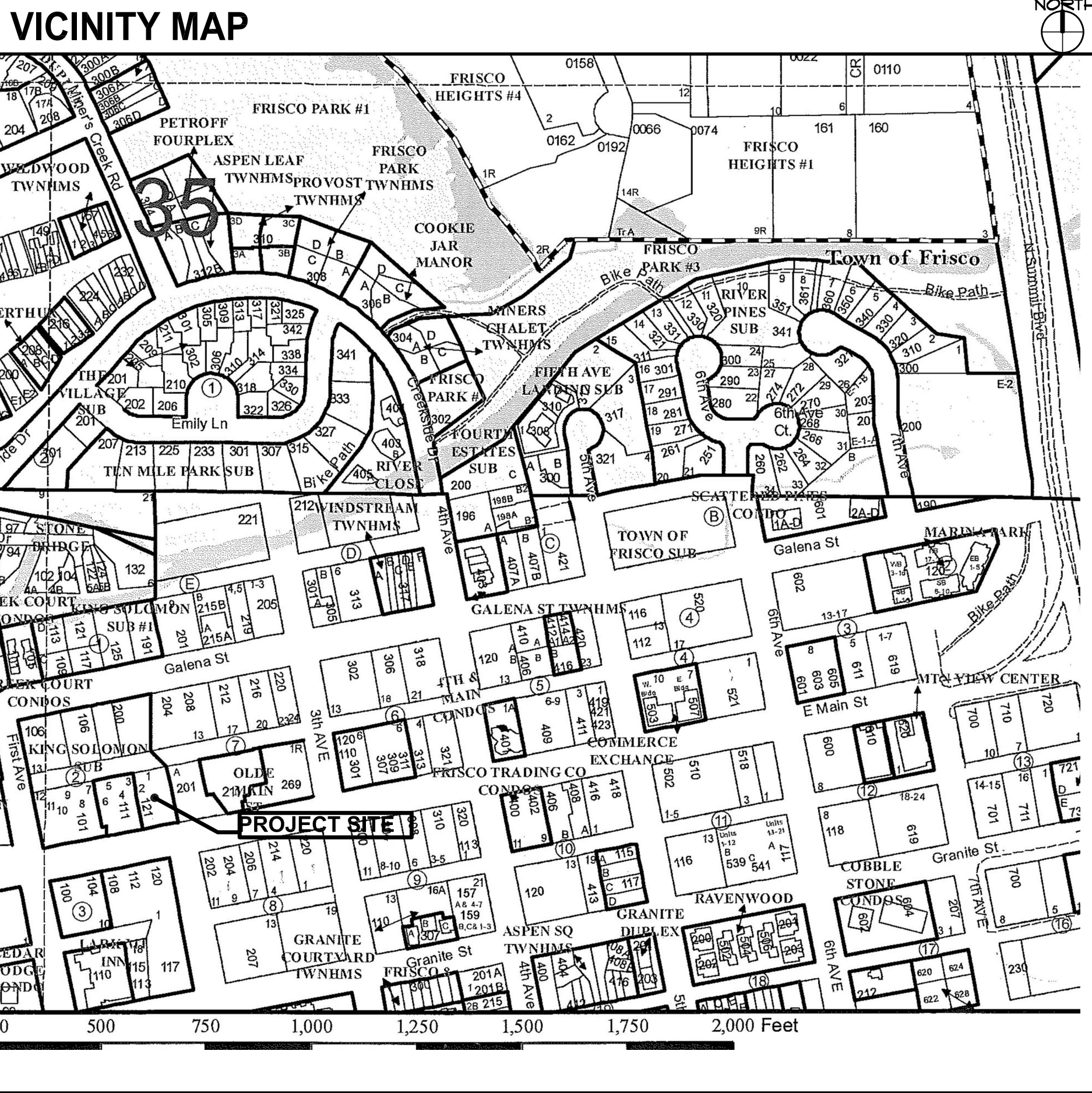
18) PROJECT GRADES
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL GRADES INCLUDING PAVED AREA SLOPES PRIOR TO POURING ANY FOUNDATIONS. SURVEY WORK SHOULD BE VERIFIED IN DETAIL. SEE NUMBERS 5 AND 6.

19) 3D MODELING
THIS PROJECT HAS BEEN DIGITALLY MODELED IN 3D SOFTWARE. THE DIGITAL MODEL IS PROVIDED FOR REFERENCE PURPOSES ONLY. TRANSMISSION OF DIGITAL MODEL FILES CONSTITUTES A WARRANTY BY THE PARTY TRANSMITTING FILES TO THE PARTY RECEIVING FILES THAT THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF THE DIGITAL DATA. UNLESS OTHERWISE AGREED IN WRITING, ANY USE OF, TRANSMISSION OF, OR RELIANCE ON THE MODEL IS AT THE RECEIVING PARTY'S RISK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF QUESTIONS OR COORDINATION ISSUES BETWEEN THE CONTRACT DOCUMENTS AND DIGITAL MODEL.

SIXTH DEGREE TOWNHOMES



VIEW FROM SOUTHEAST



AREA CALCULATIONS

	MAIN LEVEL		UPPER LEVEL		TOTAL
	UN FIN.	FINISHED	UN FIN.	FINISHED	
UNIT 'A'	41 S.F.	788 S.F.	0 S.F.	420 S.F.	1,249 S.F.
UNIT 'B'	41 S.F.	788 S.F.	0 S.F.	420 S.F.	1,249 S.F.
UNIT 'C'	47 S.F.	543 S.F.	0 S.F.	706 S.F.	1,296 S.F.
UNIT 'D'	47 S.F.	543 S.F.	0 S.F.	706 S.F.	1,296 S.F.
UNIT 'E'	87 S.F.	806 S.F.	0 S.F.	753 S.F.	1,646 S.F.
TOTAL	263 S.F.	3,468 S.F.	0 S.F.	3,005 S.F.	6,736 S.F.

	UNFINISHED	FINISHED	TOTAL
PARKING AREA	4,471 S.F. 691 S.F.		
LEVEL ONE	5,162 S.F.	1,020 S.F.	6,182 S.F.
GRAND TOTAL		6,182 S.F. + 6,736 S.F. =	12,918 S.F.

EXISTING MAIN LEVEL	2,144
EXISTING UPPER LEVEL	1,356
EXISTING TOTAL	3,500 (NOT INCLUDED IN CALCS. ABOVE)

NOTE:
SQUARE FOOTAGES ARE CALCULATED FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES.
(SQUARE FOOTAGE NOTED ABOVE IS CALCULATED FROM EXTERIOR FACE OF WALL-"GROSS"-AS DEFINED BY TOWN OF FRISCO UNIFIED DEVELOPMENT CODE)

FINISHED FLOOR ELEVATIONS

LEVEL	U.S.G.S.	ARCHITECTURAL
GARAGE @ BASE - T.O. CONCRETE	9,060.2'	97'-2"
GARAGE @ DOOR - T.O. CONCRETE	9,062.48'	99'-5 7/8"
RETAIL - T.O. CONCRETE	9,062.5'	99'-6"
LEVEL ONE - T.O. CONCRETE	9,063.0'	100'-0"
LEVEL TWO - T.O. PLYWOOD	9,074.5'	111'-6"
LEVEL THREE - T.O. PLYWOOD	9,084.65'	121'-7 3/4"

SHEET INDEX

T1.1	COVER SHEET
	EXISTING CONDITIONS SITE MAP
C-1	UNDER SEPARATE COVER
C-2	UNDER SEPARATE COVER
	INTERSECTION EXHIBIT
SP1.1	SITE PLAN
SP1.2	LANDSCAPE PLAN and SITE ROOFS
SP1.3	PARKING PLAN and SITE LIGHTING PLAN
A-1.1	LEVEL ONE & LEVEL TWO PLAN (1/8" SCALE)
A-1.2	LEVEL THREE & ROOF PLAN (1/8" SCALE)
A-1.3	LEVEL ONE FLOOR PLAN (SOUTH)
A-1.4	LEVEL ONE FLOOR PLAN (NORTH)
A-1.5	ENLARGED FLOOR PLAN UNIT 'A'
A-1.6	ENLARGED FLOOR PLAN UNIT 'B'
A-1.7	ENLARGED FLOOR PLAN UNITS 'C' AND 'D'
A-1.8	ENLARGED FLOOR PLAN UNIT 'E'
A-1.9	ROOF PLAN AT SOUTH
A-1.10	ROOF PLAN AT NORTH
A-2.1	BUILDING PERSPECTIVES
A-2.2	SOUTH ELEVATION
A-2.3	WEST ELEVATION
A2.4	NORTH ELEVATION
A2.5	EAST ELEVATION
A3.1	BUILDING SECTION 'A' (PARTIAL)
E-1.02	ELECTRICAL SITE LIGHTING LEVELS

LEGAL DESCRIPTION

LOT(S) 1 & 2, BLOCK 2, KING SOLOMON ADDITION
AND THE WEST 1/2 VACATED 2ND AVENUE
FRISCO, COLORADO 80443
0.28 ACRES/ 12,196 SQ. FT.

BLANK

SOILS ENG'R:

T.B.D.

PLUMB'G ENG'R:

INDOOR ENVIRONMENTS, USA
STEVE ALSCHULER PE
steve@euanet.net

ELEC'L ENG'R:

INDOOR ENVIRONMENTS, USA
DAVID EXE, PE
INDUSTRIAL ENGINEERING, INC.
3210 29RD AVE SE
RIO RANCHO, NM 87124
dexe@ieim.com

MECH'L ENG'R:

INDOOR ENVIRONMENTS, USA
DAVE SPENCER
SR MECHANICAL ENGINEER
4102456-9915
dave@ieim.net

CIVIL ENGINEER:

MARCIN ENGINEERING LLC
ANTONIO VAZQUEZ
101 EAGLE ROAD #5
AVON, COLORADO
9707148-0214
tonymarcinengineering.com

SURVEYOR:

MARCIN ENGINEERING LLC
TOM MARCIN
130 SKI HILL ROAD #35
BREEKING, COLORADO
9707171-3459
tommarcinengineering.com

STRUCTURAL ENG'R:

T.B.D.

CONTRACTOR:

MARGARET ZIEDIN
891 14TH STREET #3602
DENVER, CO 80202
Margaret@sixthdegree.com

ARCHITECT:

BHH Partners of Colorado
560 ADAMS AVE
P.O. BOX 2113
SILVERTHORNE, CO 80498
(970) 453-6880
jpaule@bhhpartners.com

OWNER:

MARGARET ZIEDIN
891 14TH STREET #3602
DENVER, CO 80202
Margaret@sixthdegree.com

REVISIONS:

JOB NO: 52405
DATE: 6/30/2026
DRAWN BY: J PAULAK
CHECKED BY: ZL/JC

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AND SHALL NOT BE REPRODUCED WITH-
OUT ARCHITECT'S WRITTEN PERMISSION

TOWN OF FRISCO MAJOR
SITE PLAN SUBMITTAL:
6/25/2026

REVISED
TOWN OF FRISCO MAJOR
SITE PLAN SUBMITTAL:
6/30/2026

bhh Partners of Colorado
560 ADAMS AVE., P.O. BOX 2113, SILVERTHORNE, CO 80498, (970) 453-6880 www.bhhpartners.com
SIXTH DEGREE TOWNHOMES
121 EAST MAIN STREET, FRISCO COLORADO 80443
(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

© 2026

SHEET NUMBER:

T-1

TITLE SHEET, GENERAL NOTES,
SCHEDULES AND INFORMATION

DRAWING: C:\Users\Tom\My Documents\Projects\2021\21112-Long Lake\Drawings\21112-Long Lake.dwg

SHALLOW UTILITY NOTE

RELOCATION OF SHALLOW UTILITY PEDESTALS AND/OR SERVICES FOR PROPOSED CONSTRUCTION SHALL BE COORDINATED WITH UTILITY PROVIDERS.

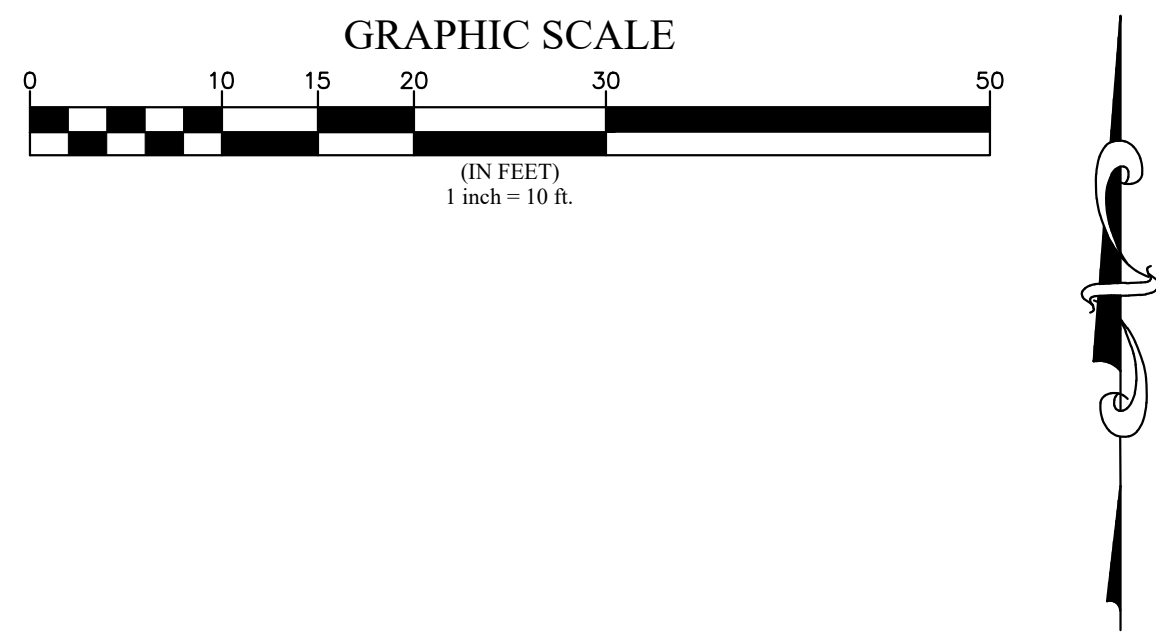
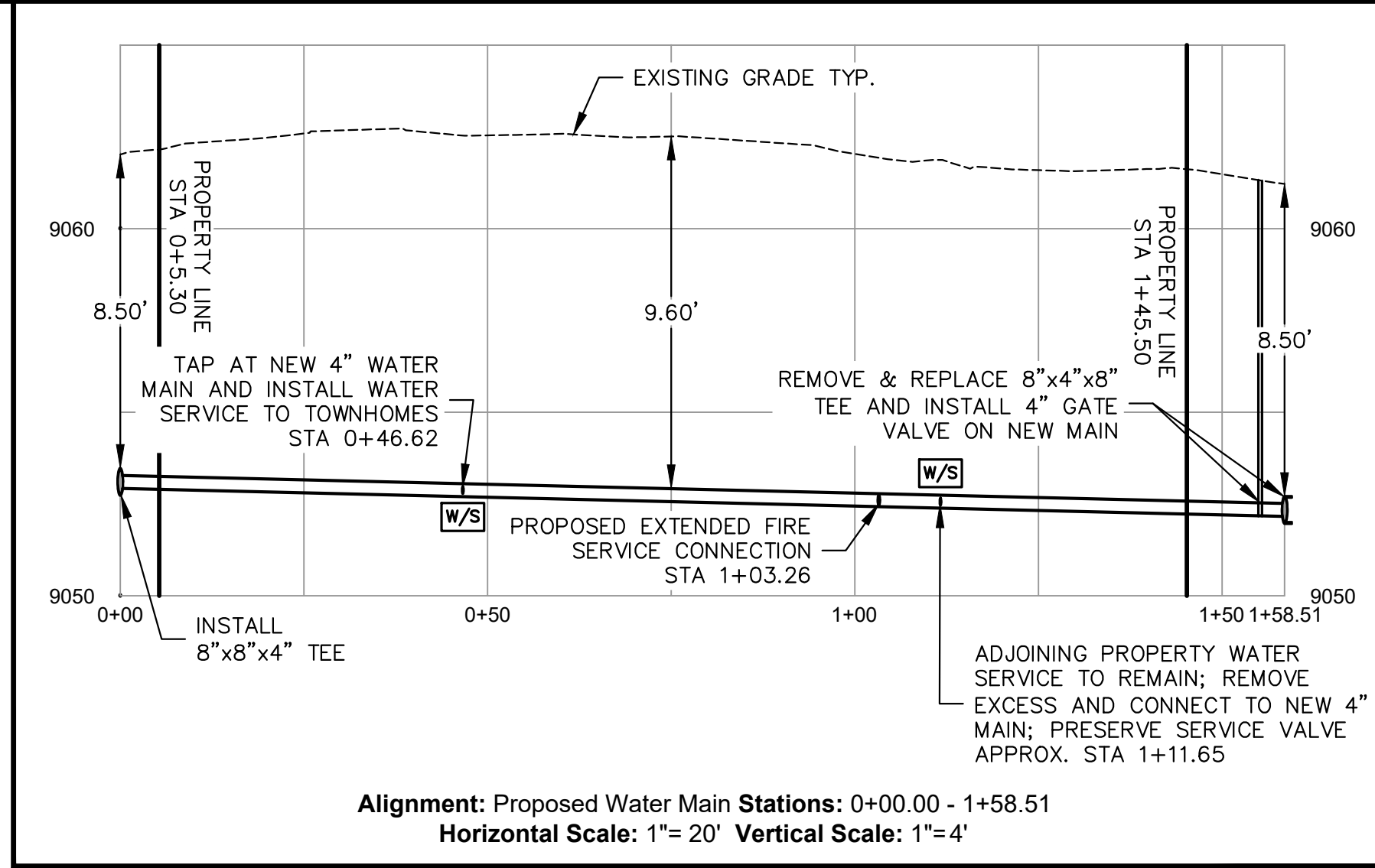
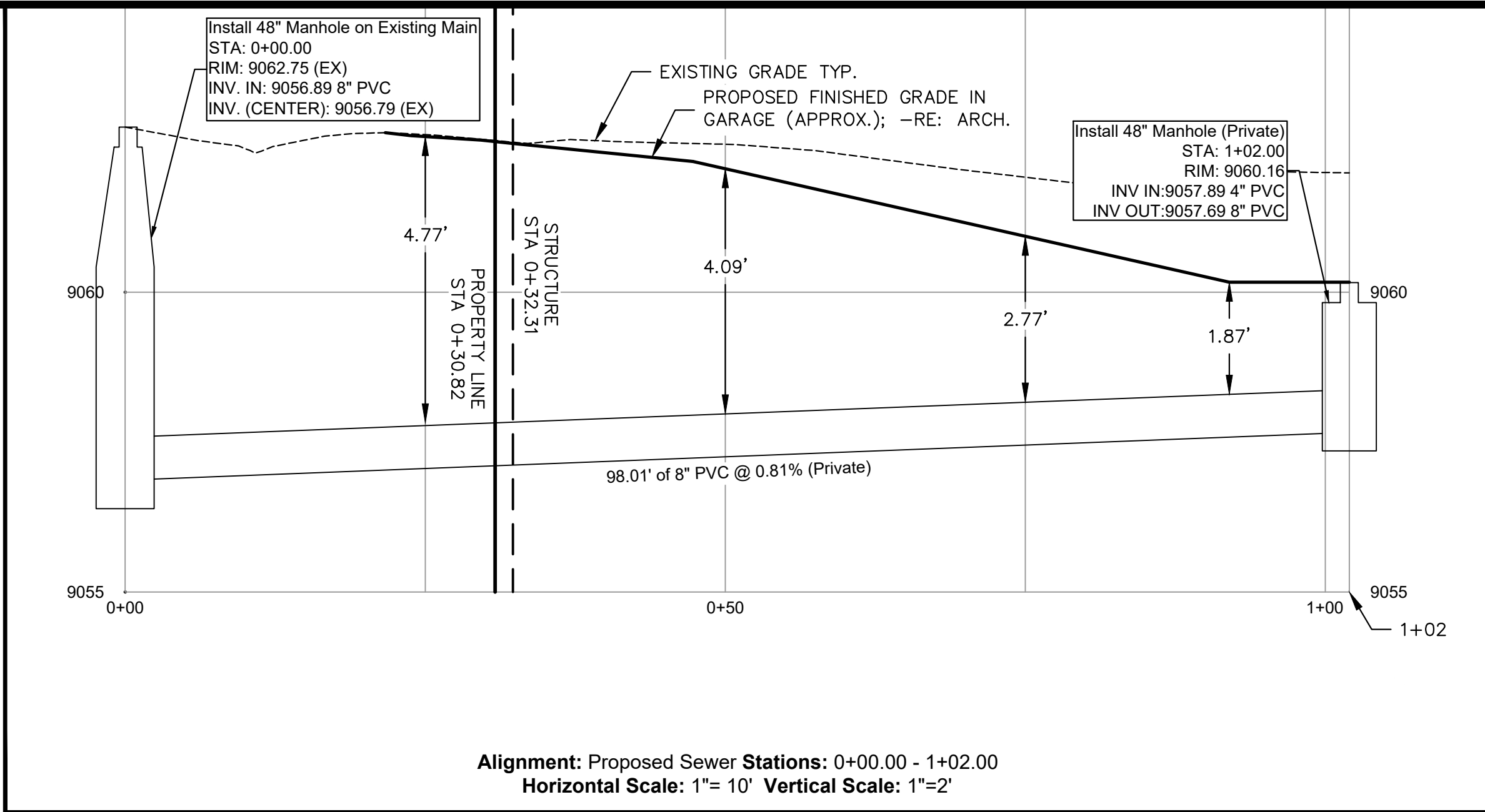
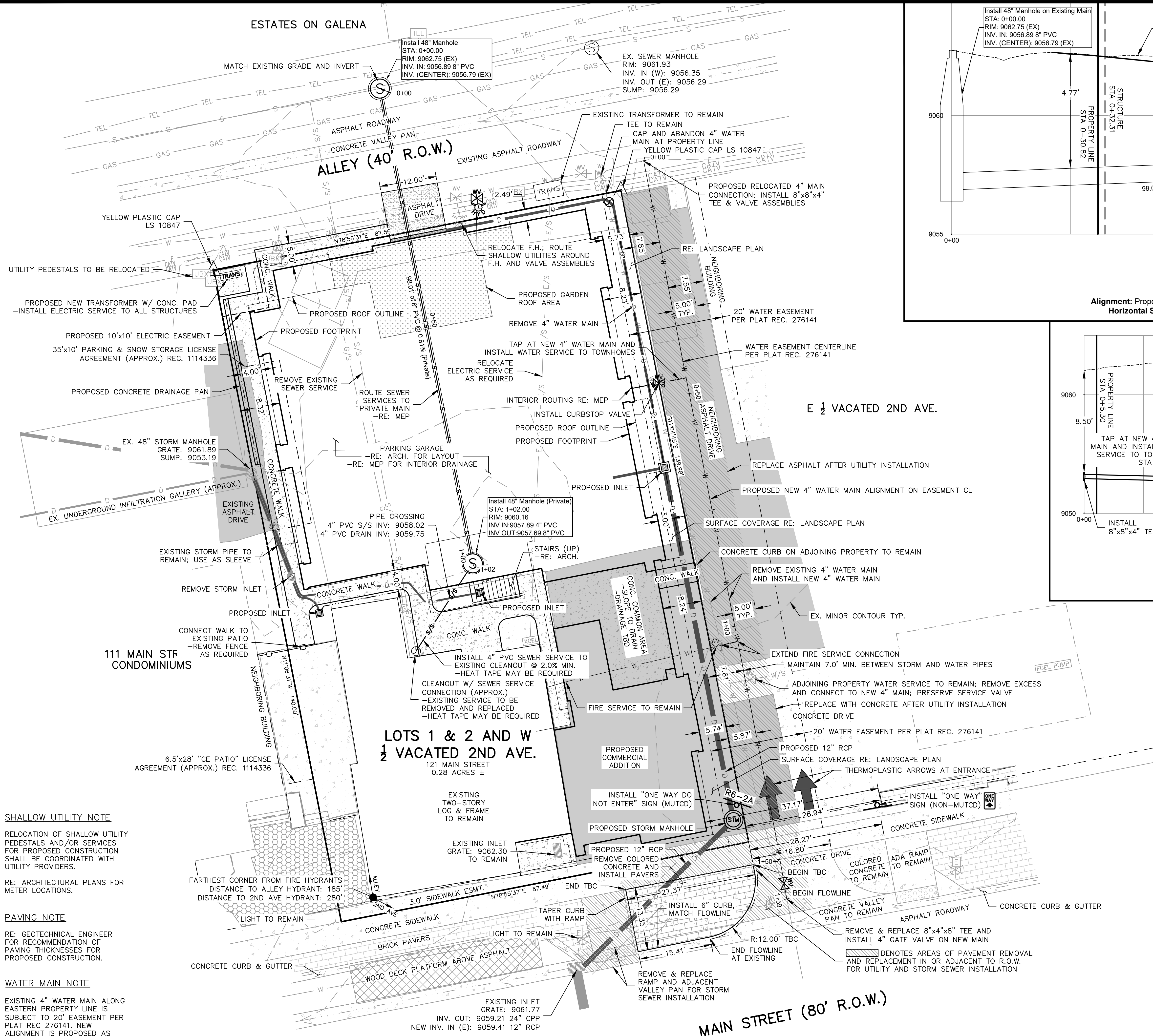
RE: ARCHITECTURAL PLANS FOR METER LOCATIONS.

PAVING NOTE

RE: GEOTECHNICAL ENGINEER FOR RECOMMENDATION OF PAVING THICKNESSES FOR PROPOSED CONSTRUCTION.

WATER MAIN NOTE

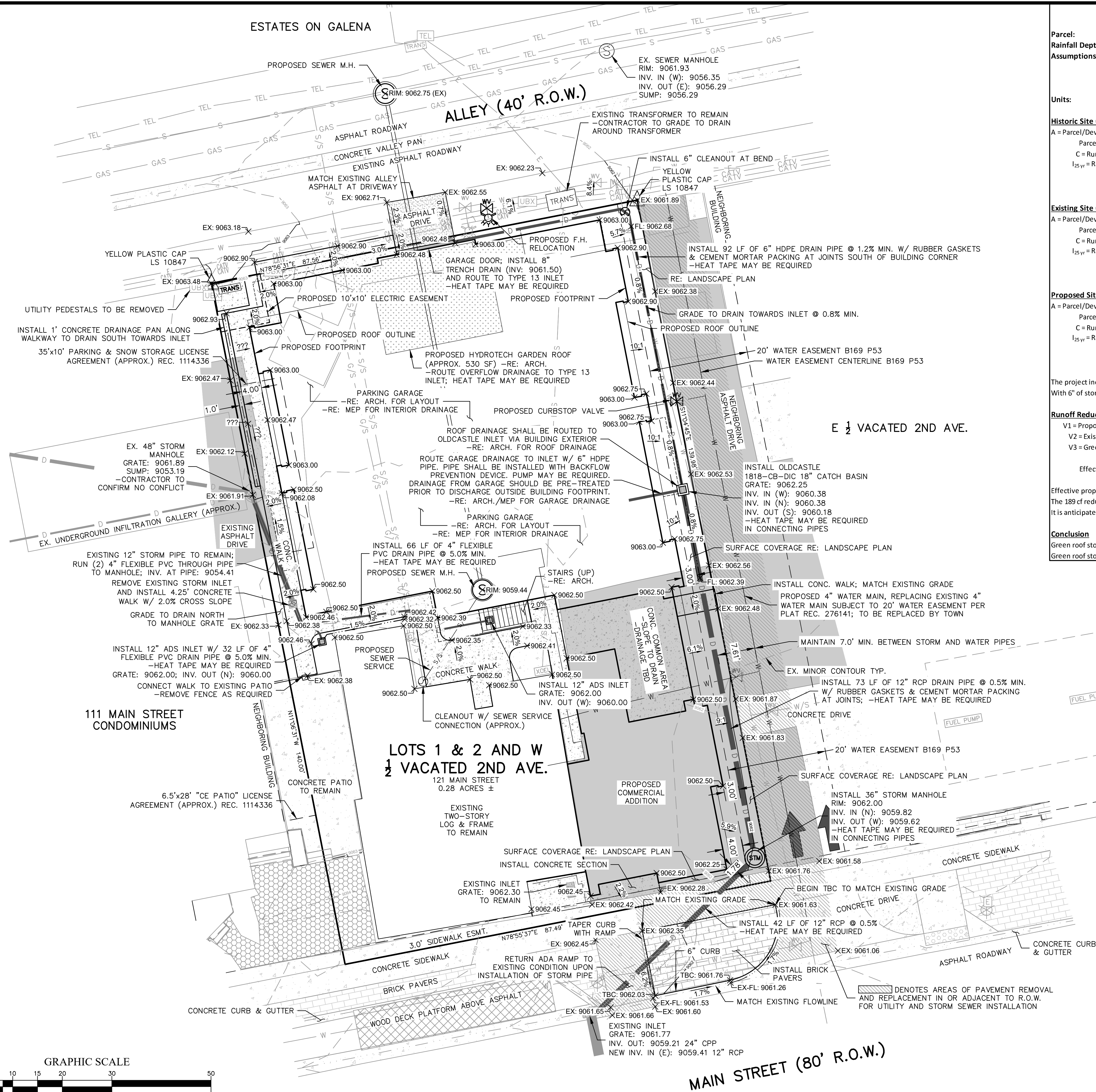
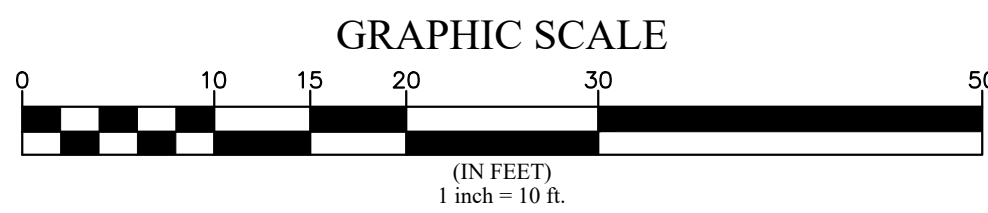
EXISTING 4" WATER MAIN ALONG EASTERN PROPERTY LINE IS SUBJECT TO 20' EASEMENT PER PLAT REC. 276141. NEW ALIGNMENT IS PROPOSED AS PART OF THIS SITE PLAN.



MARCIN ENGINEERING LLC 101 EAGLE ROAD, #5 AVON, COLORADO 970-748-0274	
SITE & UTILITY PLAN SIXTH DEGREE TOWNHOMES LOTS 1 AND 2, BLOCK 2, KING SOLOMON ADDITION 121 MAIN STREET TOWN OF FRISCO, COLORADO	
NO.	DATE
BY	REVISIONS
JOB: 21112 DATE: 06/25/2026 SCALE: 1" = 10'	
SHEET C-1	

PRELIMINARY – NOT FOR CONSTRUCTION

DRAWING: C:\Users\Tom\My Documents\Projects\2021\1112-Log Cabin\1112-Log Cabin.dwg



Drainage Summary - 25-yr

Parcel: 121 East Main Street
Rainfall Depth: 2.20 inches for 25-year, 24-hour storm (per Town of Frisco)
Assumptions:
1. Parcel area is equal to drainage contribution area
2. Historic site condition predates the Town; Existing site condition is used for comparison
3. Impervious areas consist of asphalt, concrete, pavers, and roofs
4. Intensity: the 25-year, 24-hour storm rainfall amount falls within 1 hour
Units: Q = rate of runoff (cubic feet per second), V = volume of runoff (cubic feet)

Historic Site Conditions (25 yr storm)
A = Parcel/Development Area = 0.28 acres (12253 ft²)
Parcel characteristics = 12253 ft² meadow (C = 0.30)
C = Runoff Coefficient = 0.30 (composite)
I_{25 yr} = Rainfall Intensity = 2.20 in/hr
Q = C * I * A = 0.19 cfs
V = C * D * A = 674 cf

Existing Site Conditions (25 yr storm)
A = Parcel/Development Area = 0.28 acres (12253 ft²)
Parcel characteristics = 5914 ft² imperv. (C = 0.90), 4977 ft² compact dirt/gravel (C = 0.80), 1362 ft² unimproved (C = 0.30)
C = Runoff Coefficient = 0.79 (composite)
I_{25 yr} = Rainfall Intensity = 2.20 in/hr
Q = C * I * A = 0.49 cfs
V = C * D * A = 1781 cf

Proposed Site Conditions (25 yr storm)
A = Parcel/Development Area = 0.28 acres (12253 ft²)
Parcel characteristics = 10750 ft² impervious (C = 0.90), 1503 ft² landscaping (C = 0.30)
C = Runoff Coefficient = 0.83 (composite)
I_{25 yr} = Rainfall Intensity = 2.20 in/hr
Q = C * I * A = 0.51 cfs
V = C * D * A = 1856 cf

The project includes green roof runoff storage approximately 530 sf in area.
With 6" of storage depth, the storage volume in the green roof is approximately 265 cf.

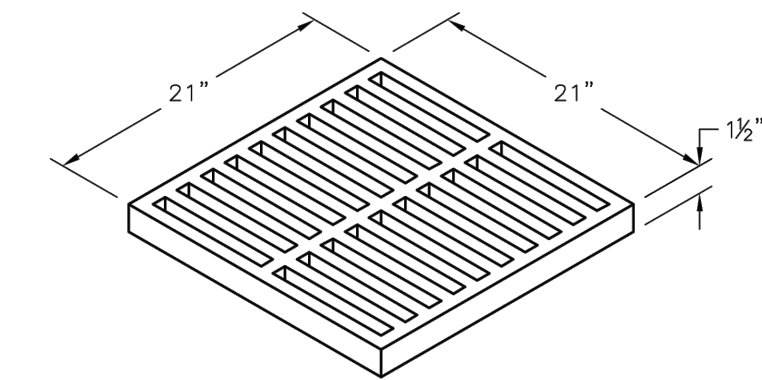
Runoff Reduction (25 yr storm)
V1 = Proposed Site Runoff = 1856 cf
V2 = Existing Site Runoff = 1781 cf
V3 = Green Roof Storage = 265 cf

Effective proposed C = 0.80 (composite) when considering the green roof area (negligible change from existing)

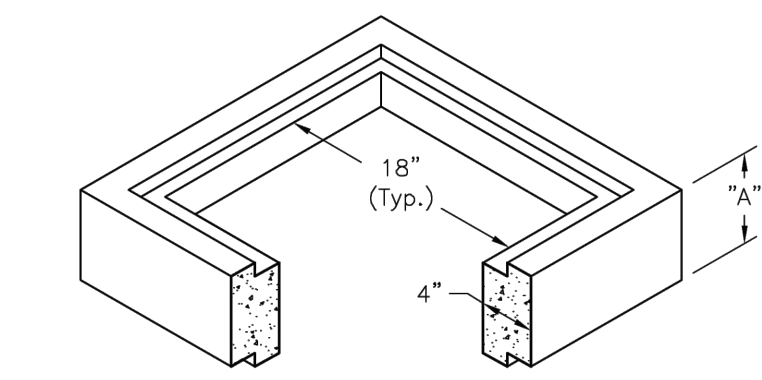
Effective proposed site runoff = 1591 cf, which is a 189 cf reduction compared to the existing site condition.
The 189 cf reduction in runoff constitutes approximately a 10.6% reduction in runoff compared to the existing site condition.
It is anticipated that the green roof also reduces the effective proposed runoff rate (Q) to below the existing 0.49 cfs.

Conclusion
Green roof storage results in a reduction in runoff volume of 189 cf from the existing site condition.
Green roof storage results in a reduction in runoff volume of 10.6% from the existing site condition.

C.I. Grate
Weight = 76 Lbs.

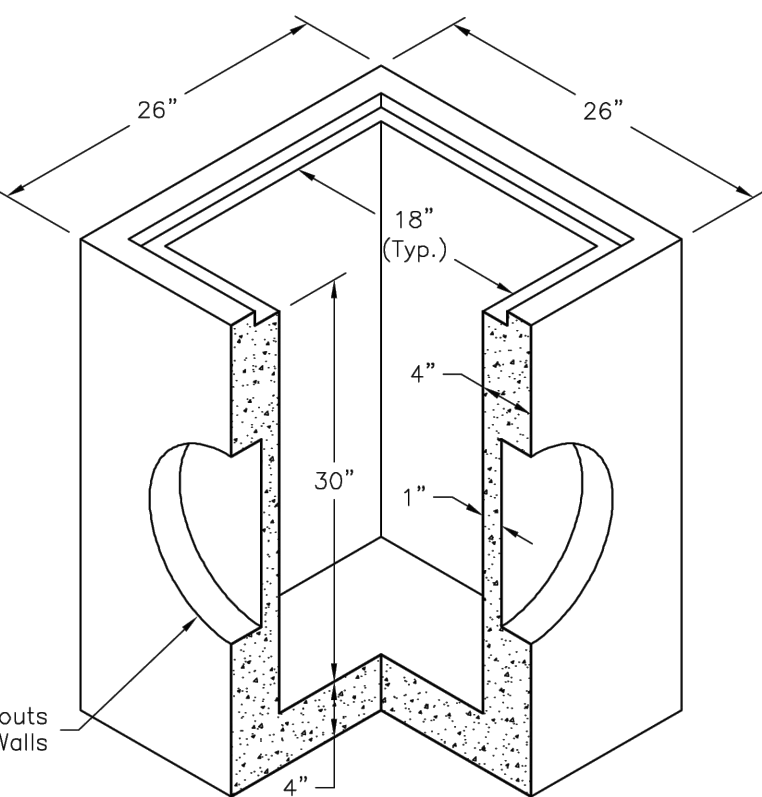


Extension
Weight = See Table



Extension	
A	Weight
12"	370 Lbs.
18"	500 Lbs.
24"	730 Lbs.

Bottom
Weight = 890 Lbs.



13600 South Wayside, Houston, Texas 77048
Phone: 713-991-2400 Fax: 713-991-0815

1818-CB-DIC

FILE NAME: 264DIC1818CB.DWG
ISSUE DATE: January, 2007
www.oldcastlehouston.com

18" x 18" I.D.
Catch Basin
Standard Layout

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MARCIN ENGINEERING LLC
101 EAGLE ROAD, #5
AVON, COLORADO
970-748-0274

GRADING & DRAINAGE PLAN
SIXTH DEGREE TOWNHOMES
LOTS 1 AND 2, BLOCK 2, KING SOLOMON ADDITION
121 MAIN STREET
TOWN OF FRISCO, COLORADO

JOB: 21112
DATE: 06/25/2026
SCALE: 1" = 10'

SHEET
C-2

EXISTING CONDITIONS SITE MAP
LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION
AND THE WEST 1/2 OF VACATED 2ND AVENUE

Section 35, Township 5 South , Range 78 West of the 6th Principal Meridian
Town of Frisco, County of Summit, State of Colorado

LEGAL DESCRIPTION

Lots 1 and 2, Block 2, King Solomon Addition to the Town of Frisco, and the West 1/2 of Vacated 2nd Avenue, Town of Frisco, County of Summit, State of Colorado.

NOTES:

- 1) Survey Date: August 2, 2021.
- 2) Survey Units: US Survey Foot.
- 3) Contour Interval: 1 foot.
- 4) Elevation Datum: NAVD 88, derived from OPUS observation.
- 5) Benchmark: Found yellow plastic cap at the northeast property corner, stamped LS 10847 with elevation 9061.88 derived from OPUS observation.
- 6) This Survey does not constitute a boundary survey nor any investigation into record easements or encumbrances associated with this property. No Title Commitment was supplied to the Surveyor. Boundary of parcel for this survey was based on the (2) found yellow plastic caps along the northern property boundary. A boundary survey is recommended if resolution of parcel boundary is desired.
- 7) Utilities are shown approximately and should be field verified prior to excavation.
- 8) Marcin Engineering LLC does not warrant or certify to the integrity of any Digital Data supplied in conjunction with this map and survey.
- 9) Street Address: 121 Main Street, Frisco, CO 80443.
- 10) This is not a monumented survey, Land Survey Plat, or Improvement Survey plat. No boundary resolution was performed in making this survey. All lot lines, setback lines, and easement lines shown hereon should be considered approximate and should not be relied upon for the placement of any future improvements.

SURVEYOR'S CERTIFICATION:

I, Raymond M. Elko, a Professional Land Surveyor in the State of Colorado, do hereby certify that this Existing Conditions Site Map was prepared for Margaret Ziedin and that this is NOT a Land Survey Plat or Improvement Survey Plat, and that it is not to be relied upon for the establishment of fence, building, or other future improvements lines. This Map is valid only for use by Margaret Ziedin and describes the parcel's appearance on August 2, 2021.

I further certify that the improvements on the above described parcel on this date, August 2, 2021, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no APPARENT evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.

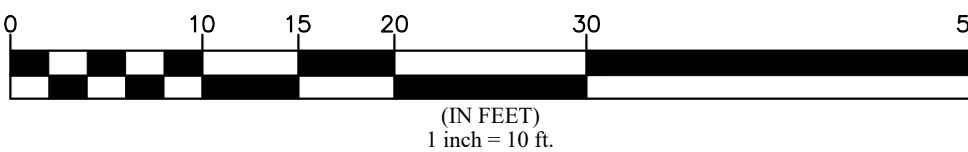
Raymond M. Elko, PLS 38444
Colorado Professional
Land Surveyor



PEAK VIEW VECTORS

Peak Name	Degrees from North	Degrees from Horizontal
Mount Royal	210°	22.5°
Wichita Mountain	240°	13.0°
Chief Mountain	280°	16.0°
Buffalo Mountain	308°	11.5°

GRAPHIC SCALE



LEGEND	
	ASPHALT
	GRAVEL
	BRICK
	CONCRETE
	DECORATIVE ROCK
	RAISED TRACTION DOMES
	FIRE HYDRANT
	WATER VALVE
	GAS VALVE
	LIGHT POLE
	UTILITY BOX
	ELECTRIC BOX
	FOUND MONUMENT, AS DESCRIBED

EXISTING CONDITIONS SITE MAP
LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION
AND THE WEST 1/2 OF VACATED 2ND AVENUE
Town of Frisco, County of Summit, State of Colorado

DRAWN BY: TLV

DATE: 09/22/2021

CHECKED BY: RME

DRAWING NO.: ECSM

JOB NO: 21112

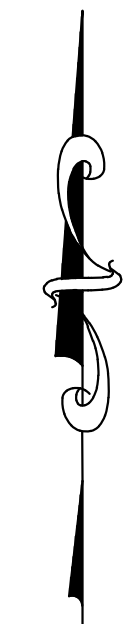
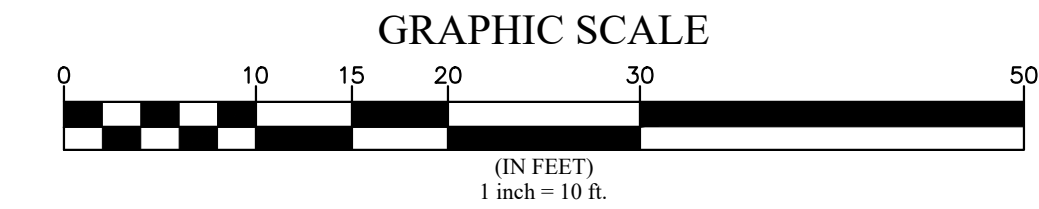
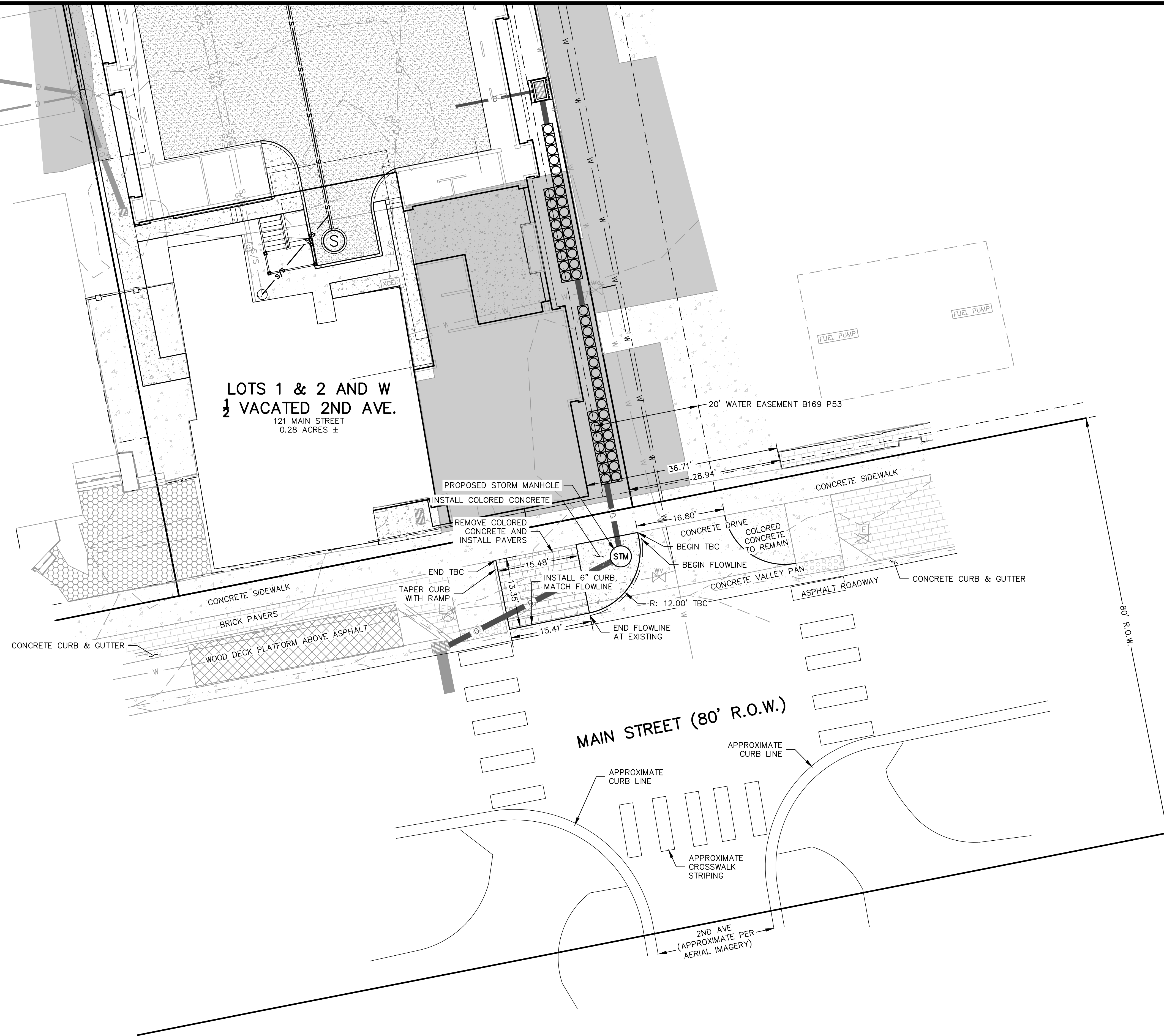
SHEET: 1 OF 1

MARCIN ENGINEERING LLC

130 SKI HILL ROAD, #235
P.O. BOX 6008
BRECKENRIDGE, CO 80424
(970) 771-3459

NOTICE: According to Colorado law you MUST commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

DRAWING: C:\Users\Tom\My Documents\Projects\2021\21112-Lug Curb\Map\21112-Site.dwg



JOB: 21112 DATE: 01/29/2026 SCALE: 1" = 10'		NO.		DATE	REVISIONS	BY	MAIN ST-2ND AVE INTERSECTION EXHIBIT SIXTH DEGREE TOWNHOMES LOTS 1 AND 2, BLOCK 2, KING SOLOMON ADDITION 121 MAIN STREET TOWN OF FRISCO, COLORADO		MARCIN ENGINEERING LLC 101 EAGLE ROAD, #5 AVON, COLORADO 970-748-0274	
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NOT FOR CONSTRUCTION

SHEET
EXHIBIT

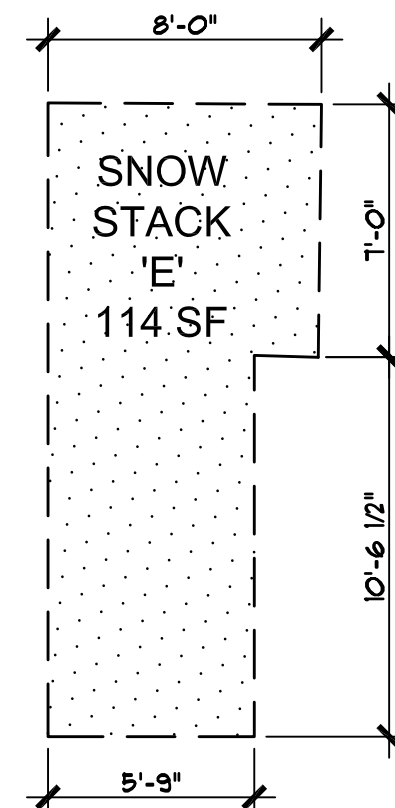
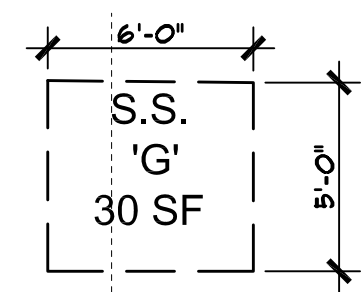
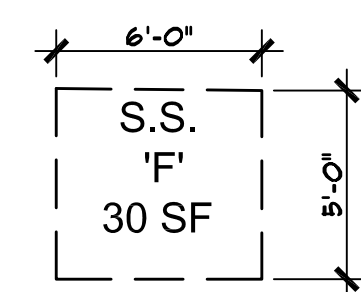
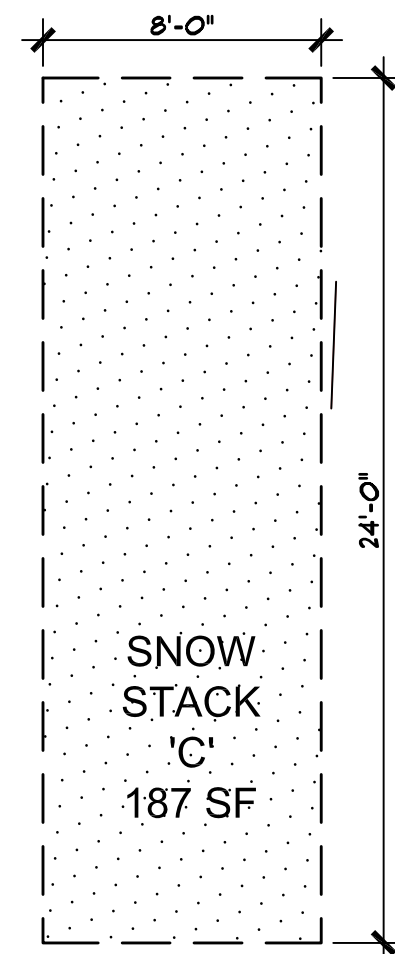
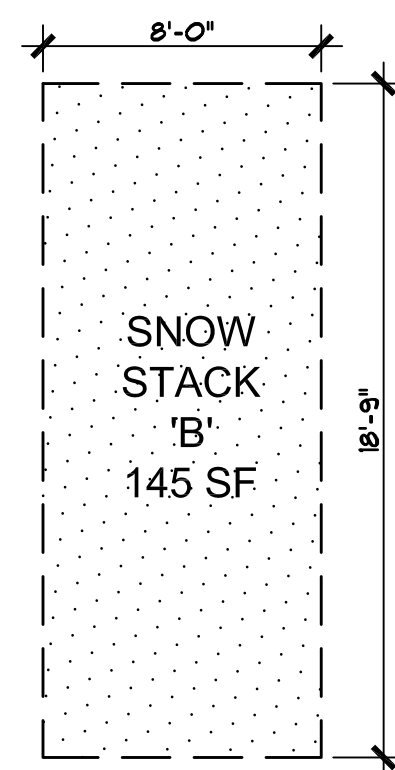
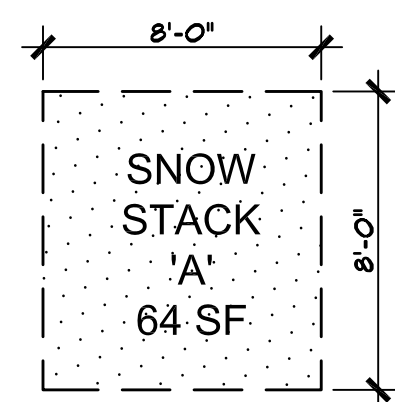
1. ELECTRIC, CABLE T.V. AND TELEPHONE UNDERGROUND IN COMMON TRENCH
2. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND
3. TOPOGRAPHIC INFORMATION OBTAINED FROM RANGE WEST ENGINEERS & SURVEYORS, JOB # 21728
4. PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1:12 MIN.)
5. REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE. DRAINS TO BE SLOPED TO DAYLIGHT TO NATURAL TRENCH
6. FLAG ALL TREES FOR OWNER PRIOR TO THINNING OR REMOVING
7. PROTECT ALL REMAINING TREES WITH SNOW FENCE OR OTHER APPROVED BARRIER DURING CONSTRUCTION
8. PROVIDE 6" DIA. STONE RIP RAP OVER WEED BARRIER FABRIC AT EAVES AND VALLEY DRIP LOCATIONS
9. STAKE HOUSE LOCATION FOR OWNER AND ARCHITECT PRIOR TO ANY WORK
10. GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL SUBDIVISION CONDITIONS. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT
11. DRIVEWAY SHOWN IS EXISTING AND IS MAX. 2.5% SLOPE FOR FIRST 20' FROM ROAD EDGE OF PAVEMENT OR AS REQUIRED.
12. TREES TO BE REMOVED TO ALLOW 10' BETWEEN CANOPIES WITH EXCEPTION OF CLUSTERS TO BE APPROVED BY SUMMIT COUNTY.
13. ALL DRAINAGE WILL BE ON-SITE, AS PROVIDED BY THE CIVIL ENGINEER.

EXISTING MINOR	— — — — —	DRAINAGE ARROW	
EXISTING MAJOR	- - - - -	SPOT GRADE AT DOT	9.063'
PROPOSED			

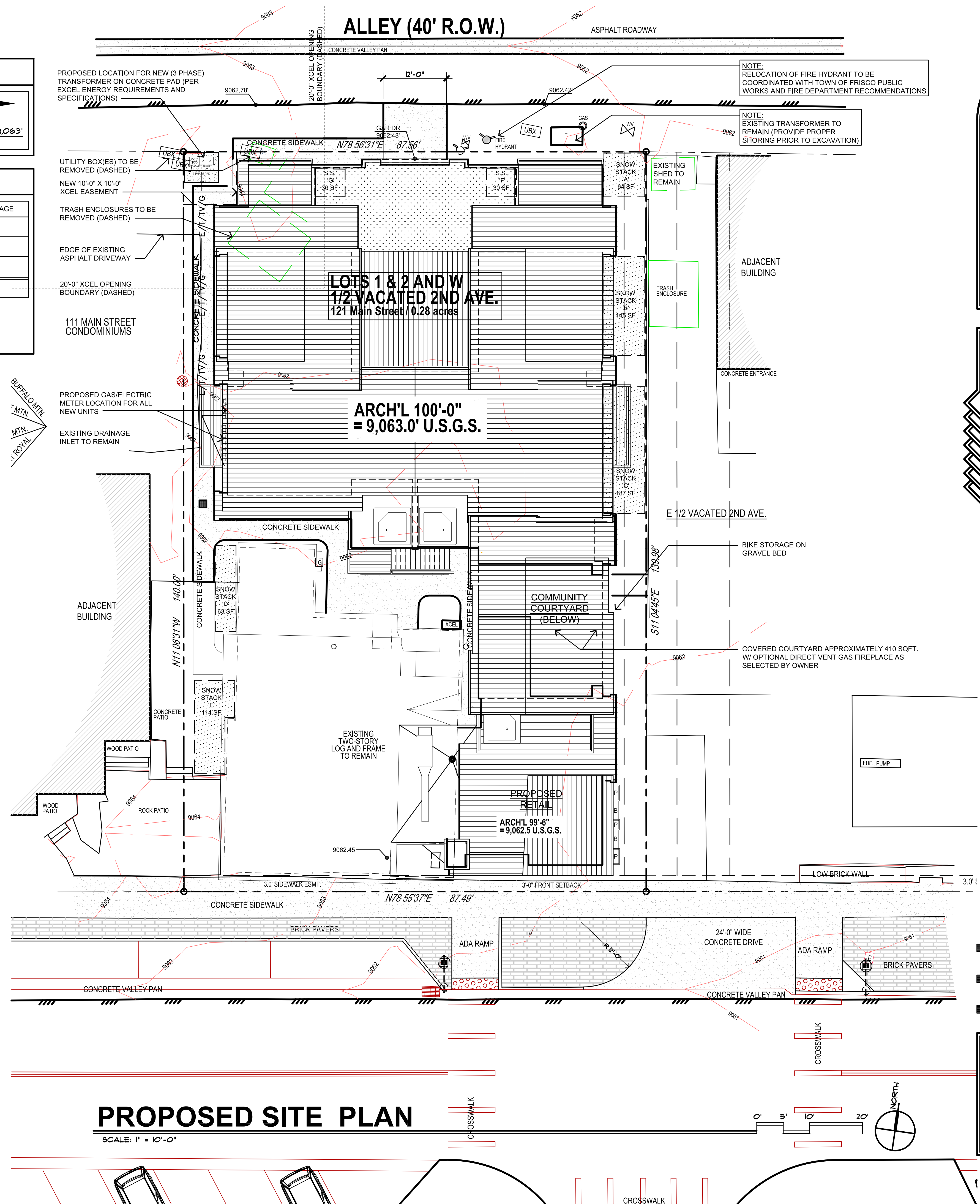
	SQ. FT.	PERCENTAGE
BUILDING FOOTPRINT includes: (roof overhangs, decks, stairs, and courtyard)	9,729 S.F.	79%
HARDSCAPE AREAS includes: (un-covered driveway and un-covered walks)	1,000 S.F.	9%
OPEN SPACE	1,467 S.F.	12%
TOTAL LOT SIZE	12,196 S.F.	100%

	SQ. FT.	PERCENTAGE
HARDSCAPE AREAS: DRIVEWAY (INSIDE PROPERTY LINE) DRIVEWAY (OUTSIDE PROPERTY LINE) SIDEWALKS (UNCOVERED) TOTAL HARDSCAPE AREA	16 S.F. 109 S.F. 984 S.F. 1,109 S.F.	100%
REQUIRED SNOW STACK (25% OF HARDSCAPE)	277 S.F.	25%
UN-COVERED DECK AREAS	726 S.F.	100%
REQ'D SNOW STACK (25% OF DECKS)	182 S.F.	25%
TOTAL SNOW STACK PROVIDED	633 S.F.	57%

NOTE:
OWNER OPTION TO HEAT UNCOVERED AREAS



SCALE: 3/16" = 1'-0"



Partners of Colorado
560 ADAMS AVE., P.O. BOX 2113, SILVERTHORNE, CO 80498, (970) 453-6880, www.bhpartners.com

616TH DEGREE TOWNHOMES
121 EAST MAIN STREET, FRISCO COLORADO 80443
(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

SP-1.1

PROPOSED SITE PLAN

LANDSCAPE NOTES

1. PROVIDE 3" (MIN.) CLAYFREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SHORT SEED MIX (AS APPROVED BY SUMMIT COUNTY STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.)
2. KEEP EXISTING TREES WHERE POSSIBLE. TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
3. GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS. PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
4. LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE.
5. SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
6. ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. MAXIMUM 1,000 SF IRRIGATED SPACE. PROVIDE SUBMITTAL.
7. ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
8. NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
9. SCREEN ALL UTILITY PEDESTALS WITH LANDSCAPE MATERIAL.
10. PROVIDE 3" TO 4" DIAMETER STONE RIPRAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNDULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
11. INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
12. ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
13. PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.
14. LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER AS APPROVED BYTOWN OF BRECKENRIDGE PRIOR TO INSTALLATION.
15. ALL ROCK OUTCROPPINGS THAT ARE TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY.
16. ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.

NOTE: ALL LANDSCAPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH TOWN OF FRISCO AND HOA.

REVEGETATION NOTES

REVEGETATE ALL DISTURBED AREAS ON THE SITE WITH:

SHORT DRY GRASS MIX @2 LBS/1000 SF:
HARD FESCUE 30%
CREEPING RED FESCUE 30%
SHEEP FESCUE 25%
CANADA BLUEGRASS 10%
CANBY BLUEGRASS 5%

SLOPES OVER 3:1 SHALL BE HAY TACKIFIED OR NETTED.

MOUNTAIN MAGIC WILDFLOWER MIX @1 LB/10,000 SF:
BABY'S BREATH BLANKETFLOWER
CALIFORNIA POPPY SHIRLEY POPPY
BLUE FLAX LUPINE MIX
WALLFLOWER MAIDEN PINKS
PENSTEMON, ROCKY MOUNTAIN WILD THYME

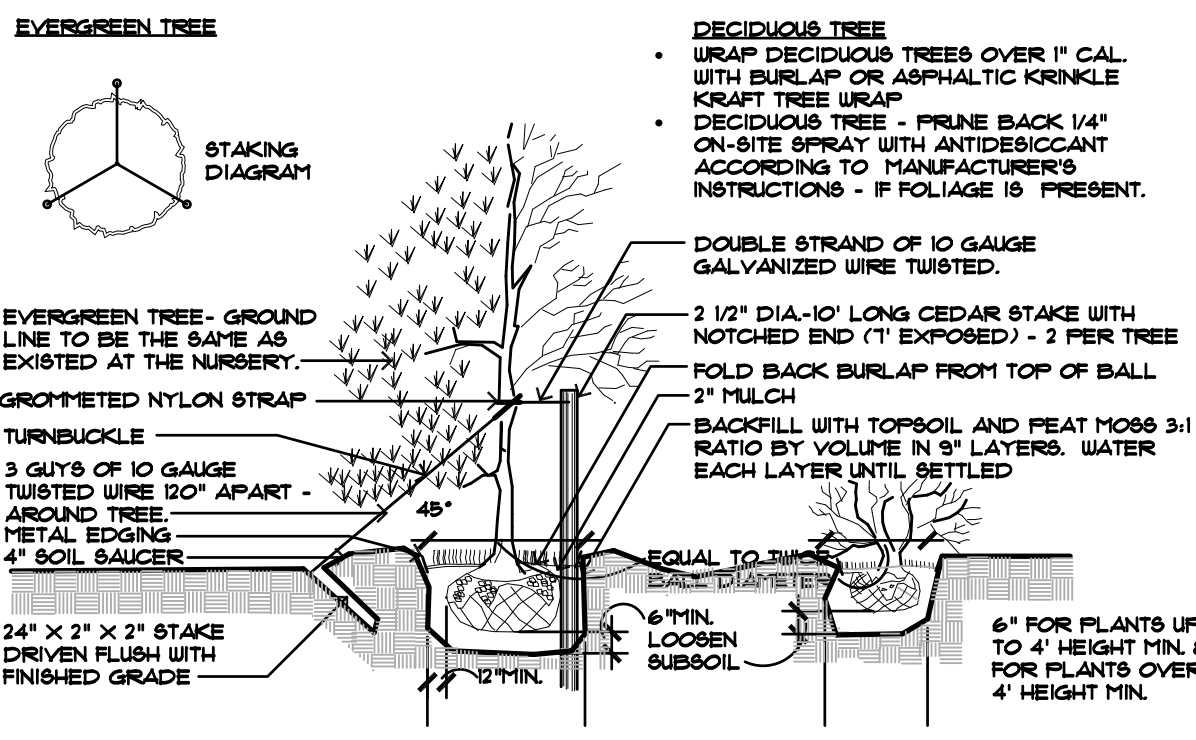
ROCKY MOUNTAIN BLUE COLUMBINE MIX @1LB/25,000 SF OR
WESTERN NATIVE WILDFLOWER MIX @1 LB/6000 SF:
MOUNTAIN LUPINE CONEFLOWER, WESTERN PENSTEMON, SMALL FLOWERED
COLUMBINE, COLORADO SULFUR FLOWER PENSTEMON, ROCKY MOUNTAIN
GERANIUM, RICHARDSON NODDING GROUNDSEL PENSTEMON, WASATCH
ASTER, ENGLEMANNS WESTERN LARKSPUR PENSTEMON, RYDBERGS
ORANGE MOUNTAIN DAISY AMERICAN VETCH GAILLARDIA/BLANKETFLOWER
GIANT LOUSEWORT

PLANTING LIST

KEY	COMMON	BOTANICAL	NO.	SIZE	NOTES
EXISTING TREES					
EXISTING	VARIES	--	SEE SITE PLAN		
PROPOSED TREES/SHRUBS TO BE ADDED					
COLORADO SPRUCE	PICEA PUNGENS OR PICEA ENGELMANNI	2	8" TALL 10" TALL		
ASPEN	POPULUS TREMULOIDES	4	2"-3" CALIPER 50% MULTI-STEM		
ROCKY MOUNTAIN BRISTLECOCK PINE		1	6'-8" TALL		
SHUBERT CHOKE CHERRY		4	2"-3" CALIPER		
POTENTILLA	POTENTILLA FRUTICOSA	5	5 GAL.	NEEDS SUN (36" TALL, 4'-0" WIDE)	
ALPINE CURRANT	RIBES ALPINUM	6	5 GAL.	GROWS TO 3-6' TALL	
PEKING COTONEASTER	COTONEASTER LUCIDAS OR APICALTUS	6	5 GAL.	GROWS TO 6-10' TALL	
NATIVE GROUND COVER AND PERENNIALS	PROVIDE SUBMITTAL	10	1 FLAT	PROVIDE TO ALL DISTURBED AREAS	

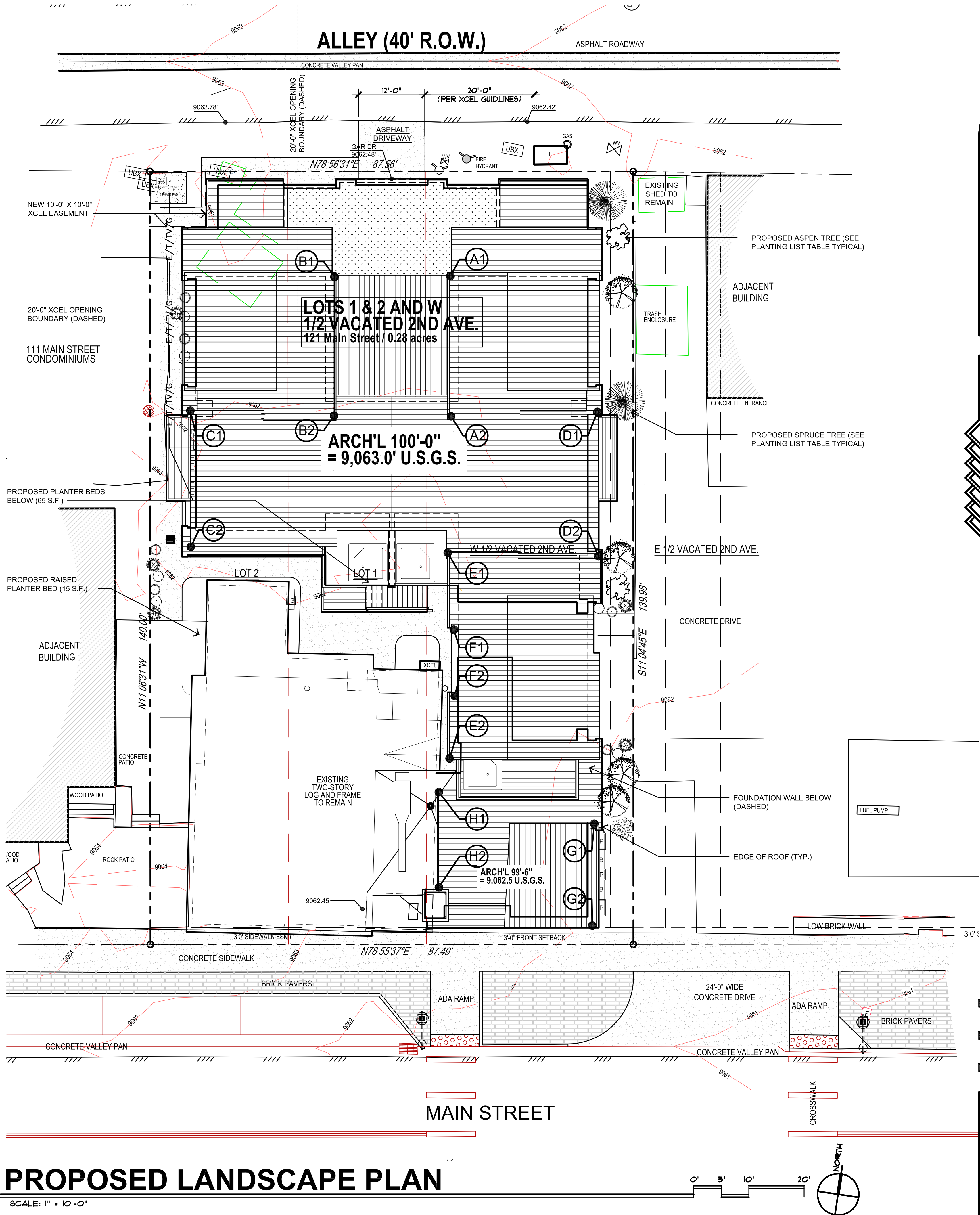
*** NOTE: PLANTER BOXES TO BE 5 S.F. MIN. TO SUBSTITUTE ONE TREE - SEE SITE PLAN***

PLANTING DETAIL



BUILDING HEIGHT TABLE

RIDGE POINT	HIGH EAVE ELEVATION	NATURAL EXIST'G GRADE ELEVATION LOWEST POINT	FINISHED GRADE ELEVATION	AS MEASURED FROM	CALCULATIONS	HEIGHT
A1	9,099.62'	9,062'	9,062.5'	EXIST'G	9,099.62-9062.0' =	37.62'
A2	9,099.62'	9,061.85'	9,063'	EXIST'G	9,099.62-9061.85' =	37.77'
B1	9,099.62'	9,062'	9,063'	EXIST'G	9,099.62-9062.0' =	37.62'
B2	9,099.62'	9,061.99'	9,063'	EXIST'G	9,099.62-9061.99' =	37.63'
C1	9,096.09'	9,061.25'	9,062'	EXIST'G	9,096.09' - 9,061.25' =	34.84'
C2	9,096.09'	9,061.99'	9,062'	EXIST'G	9,096.09' - 9,061.99' =	34.10'
D1	9,096.25'	9,061.79'	9,062'	EXIST'G	9,096.25' - 9,061.79' =	34.46'
D2	9,096.25'	9,061.89'	9,062'	EXIST'G	9,096.25' - 9,061.89' =	34.36'
E1	9,099.62'	9,061.99'	9,063'	EXIST'G	9,099.62 - 9061.99' =	37.63'
E2	9,099.62'	9,061.79'	9,063'	EXIST'G	9,099.62 - 9061.79' =	37.83'
F1	9,100.44'	9,061.89'	9,062.5'	EXIST'G	9,100.44' - 9,061.89' =	38.55'
F2	9,100.44'	9,061.92'	9,062.5'	EXIST'G	9,100.44' - 9,061.92' =	38.52'
G1	9,077.20'	9,062.7'	9,061.8'	PROP.	9,077.20' - 9,061.80' =	15.40'
G2	9,077.39'	9,062.5'	9,061.8'	PROP.	9,077.39' - 9,061.8' =	15.59'
H1	9,079.35'	9,061.8'	9,062.0'	EXIST'G	9,079.35' - 9,061.80' =	17.55'
H2	9,079.23'	9,061.8'	9,062.0'	EXIST'G	9,079.23' - 9,061.80' =	17.43'



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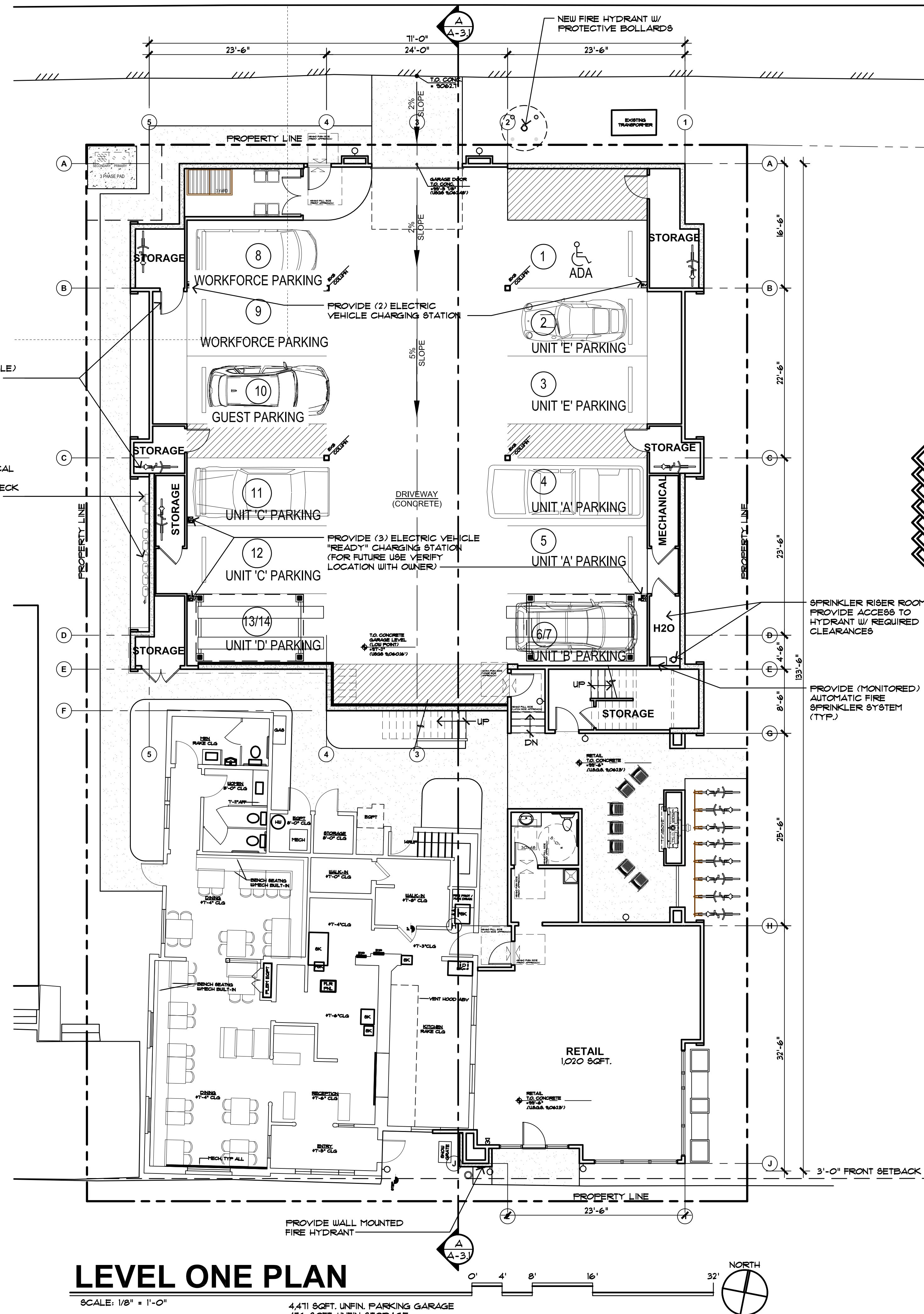
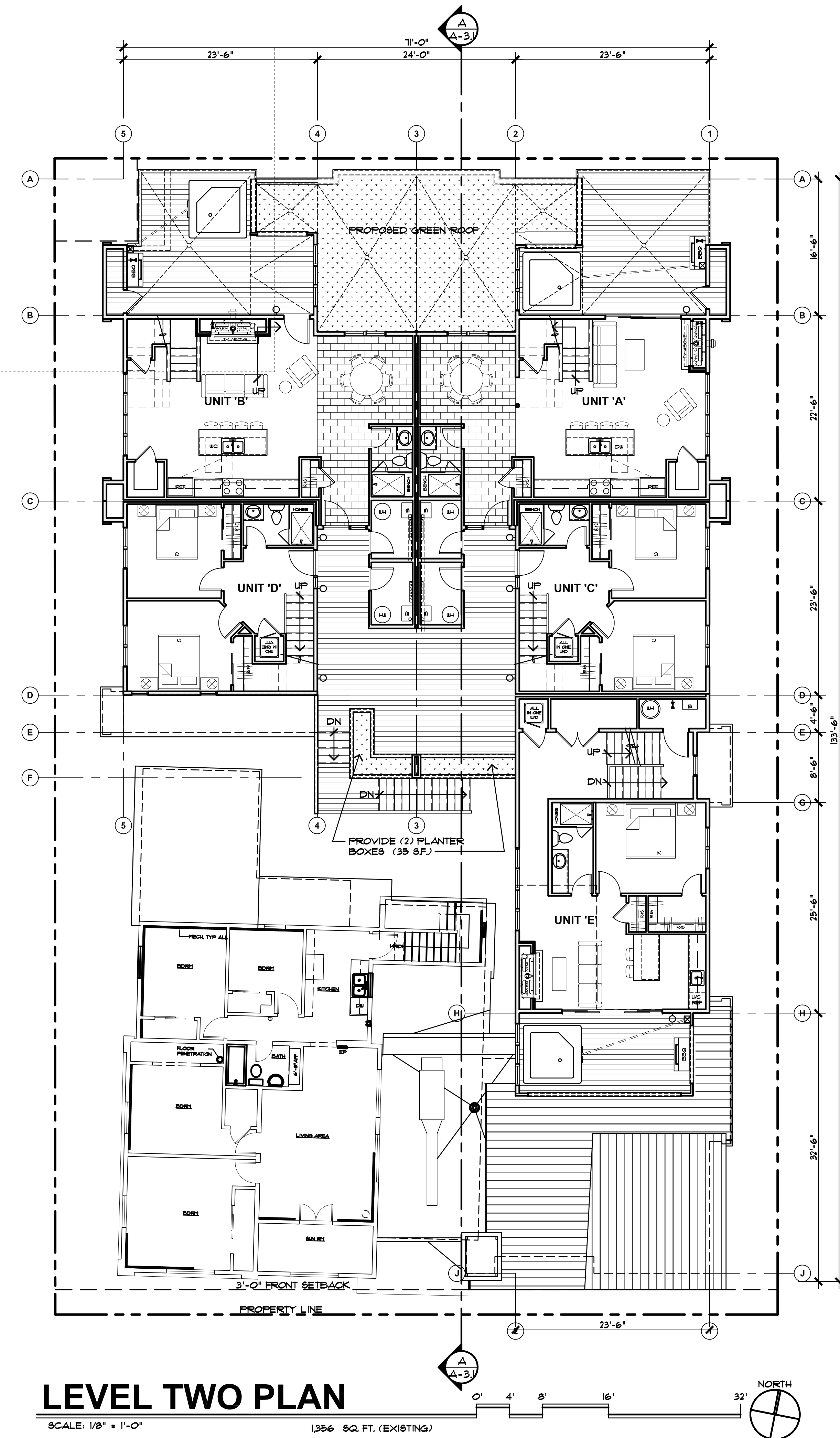
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121 EAST MAIN STREET, FRISCO COLORADO 80443
(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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SHEET NUMBER:

SP-1.2
PROPOSED LANDSCAPE PLAN



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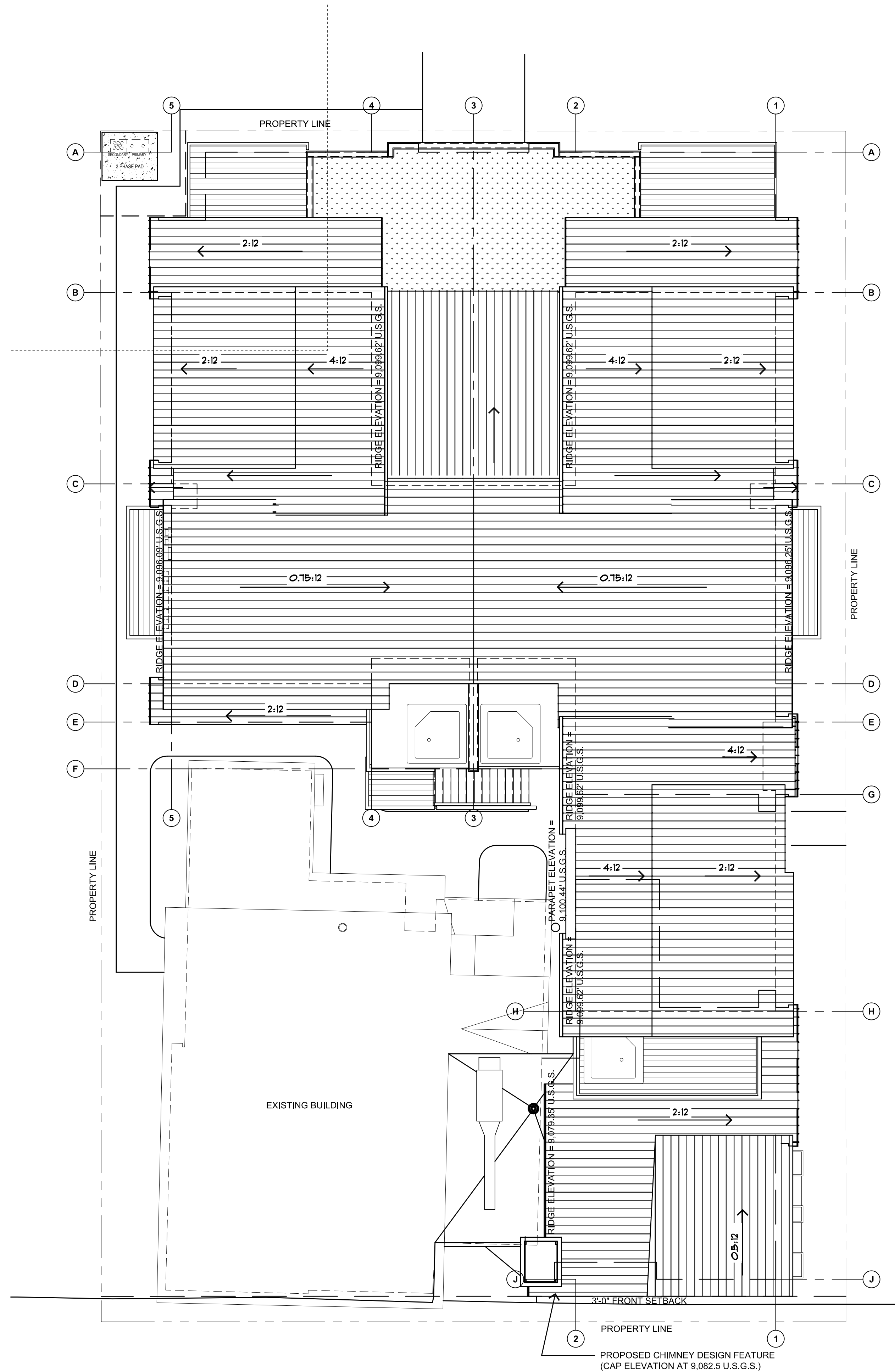
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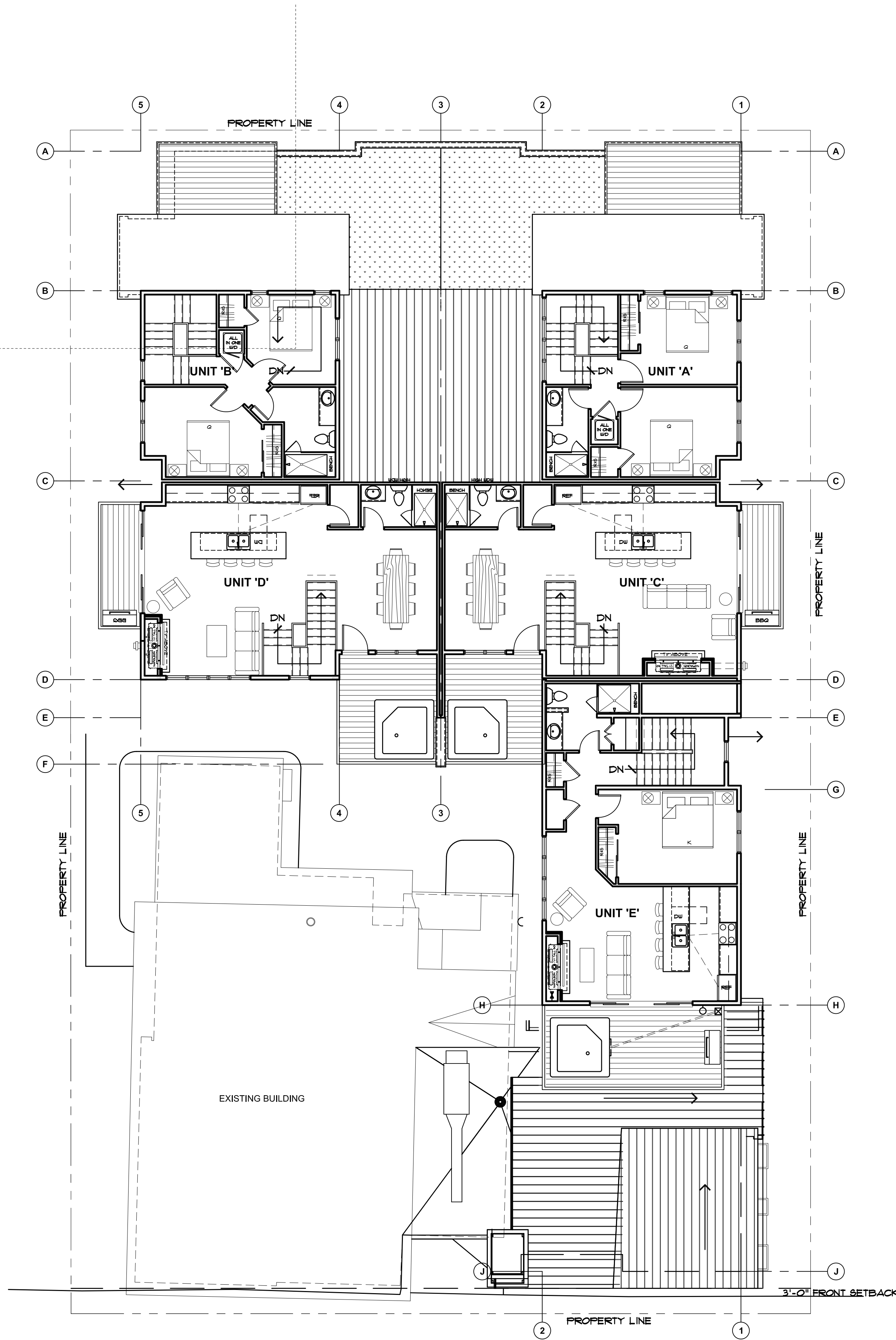
A-1.1
LEVEL ONE AND LEVEL TWO FLOOR PLAN



ROOF PLAN

SCALE: 1/8" = 1'-0"

NOTE:
SEE 1/4" SCALE DRAWINGS ON
SHEETS A-1.8 & A-1.9 FOR
MORE INFORMATION.



LEVEL THREE PLAN

SCALE: 1/8" = 1'-0"



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SHEET NUMBER:

A-1.2
LEVEL THREE AND
ROOF PLAN



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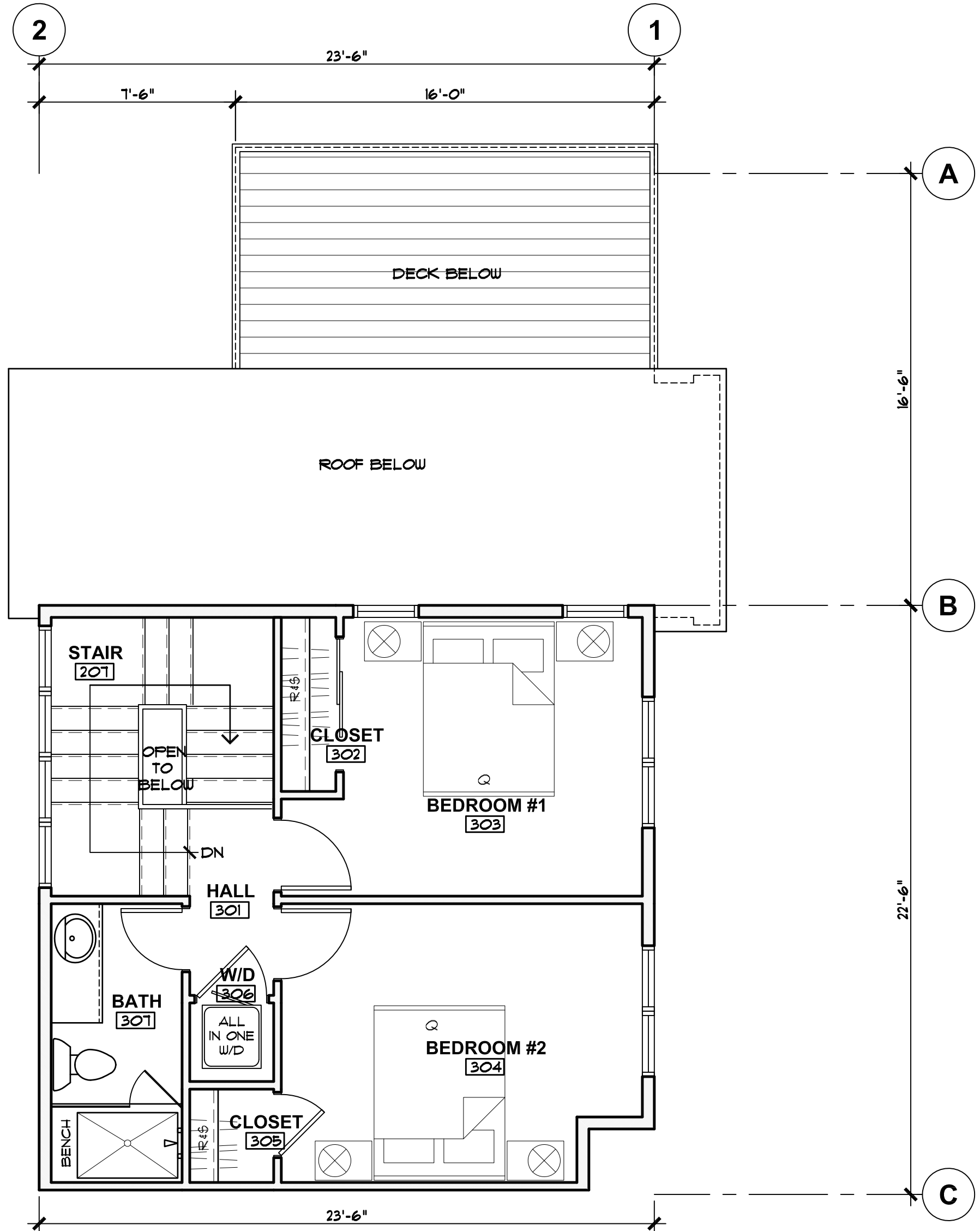
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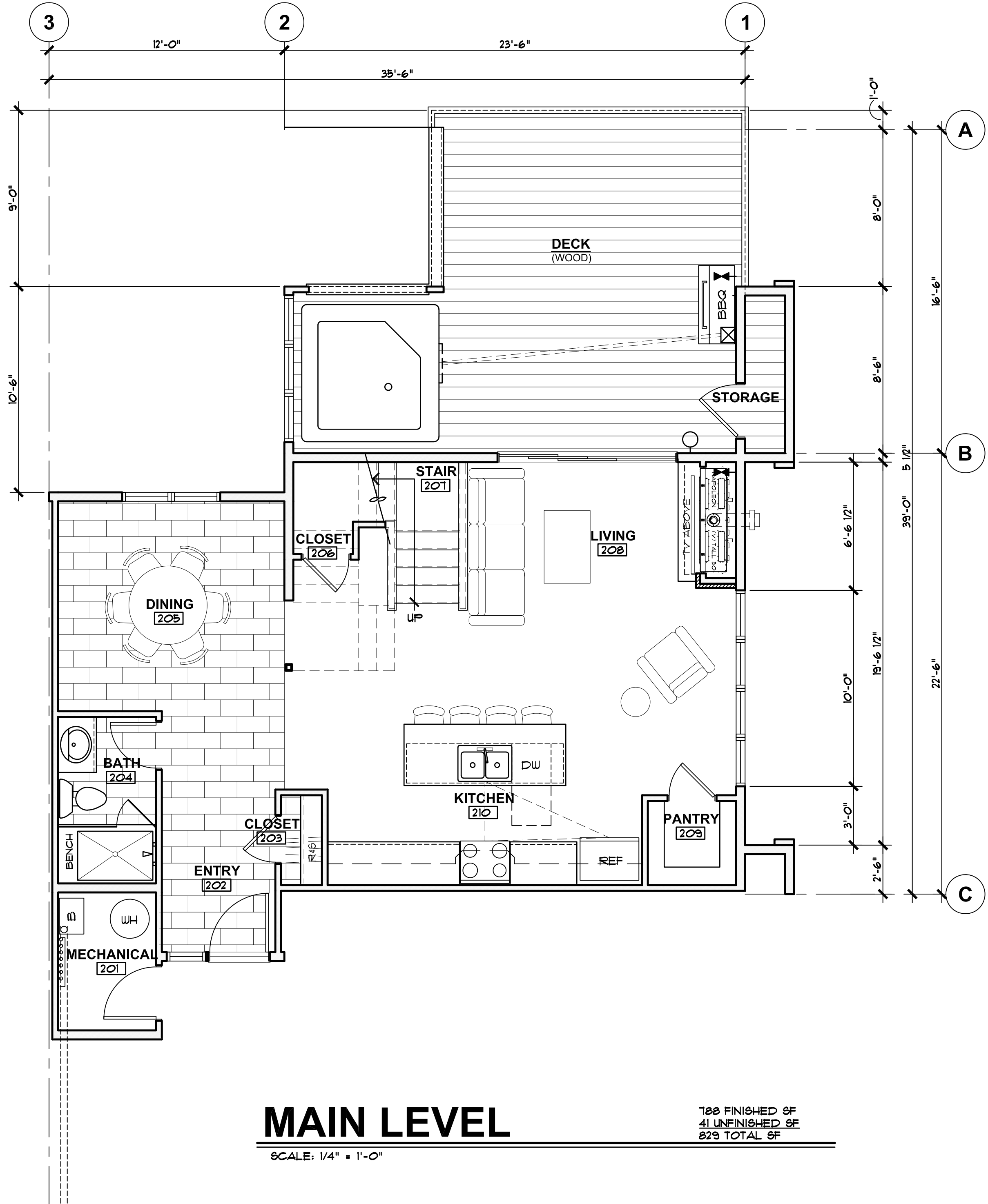
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A-1.4

LEVEL ONE PLAN

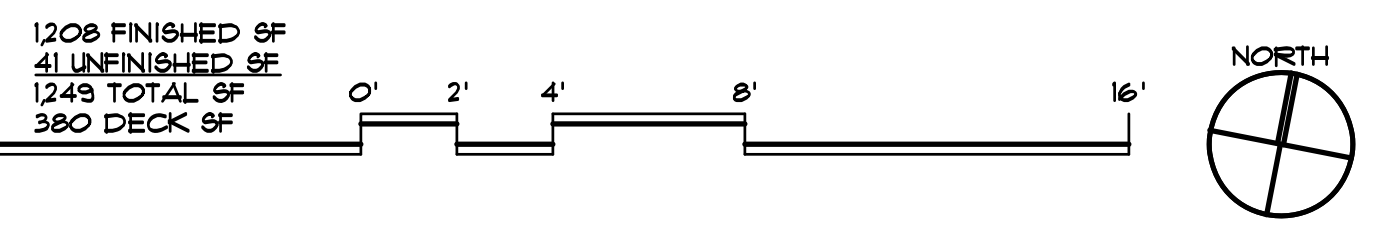


UPPER LEVEL
420 FINISHED SF
SCALE: 1/4" = 1'-0"



MAIN LEVEL
788 FINISHED SF
41 UNFINISHED SF
829 TOTAL SF
SCALE: 1/4" = 1'-0"

UNIT TYP 'A'
SCALE: 1/4" = 1'-0"



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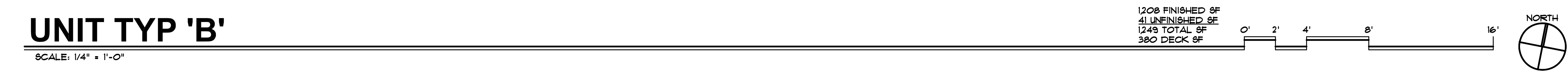
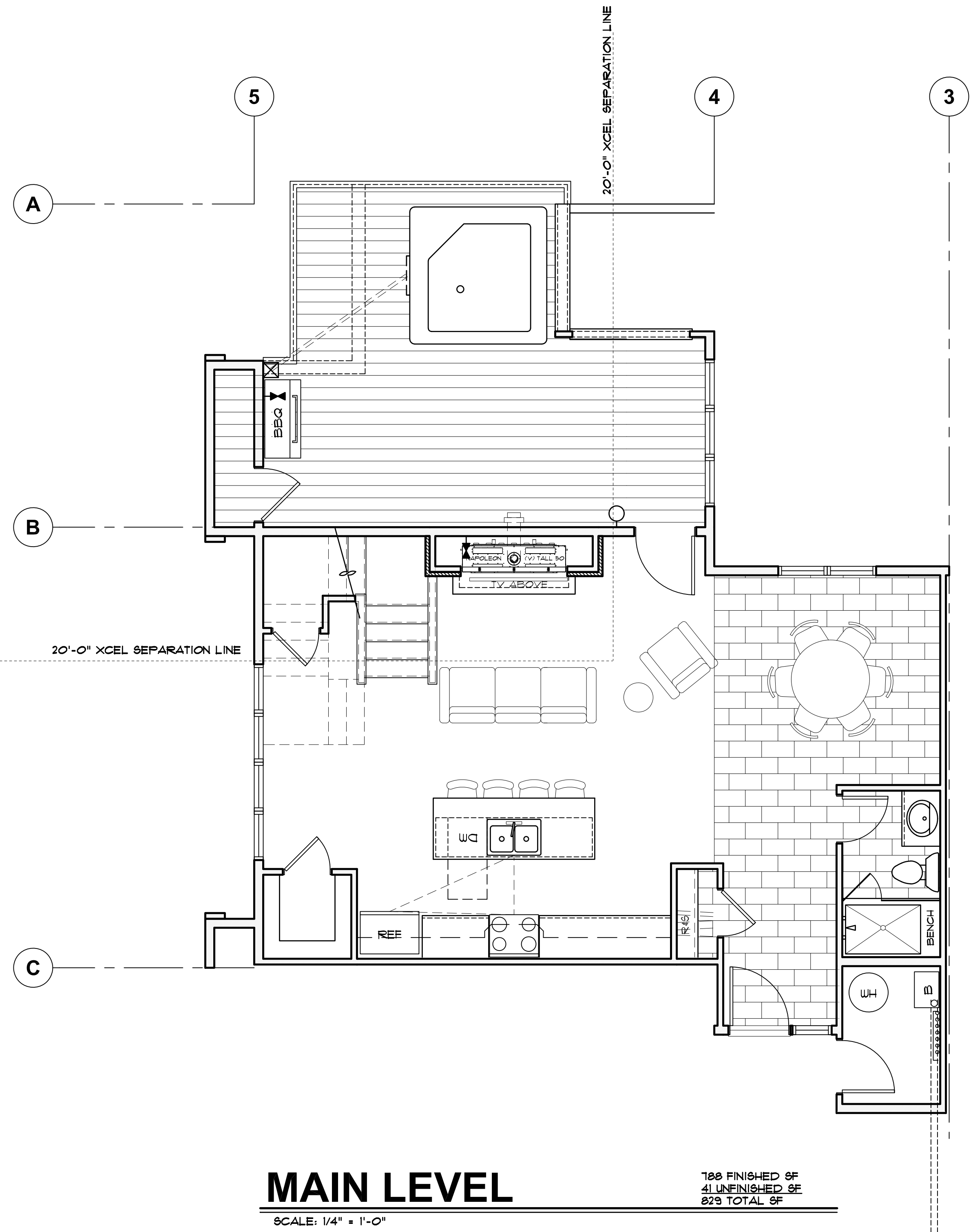
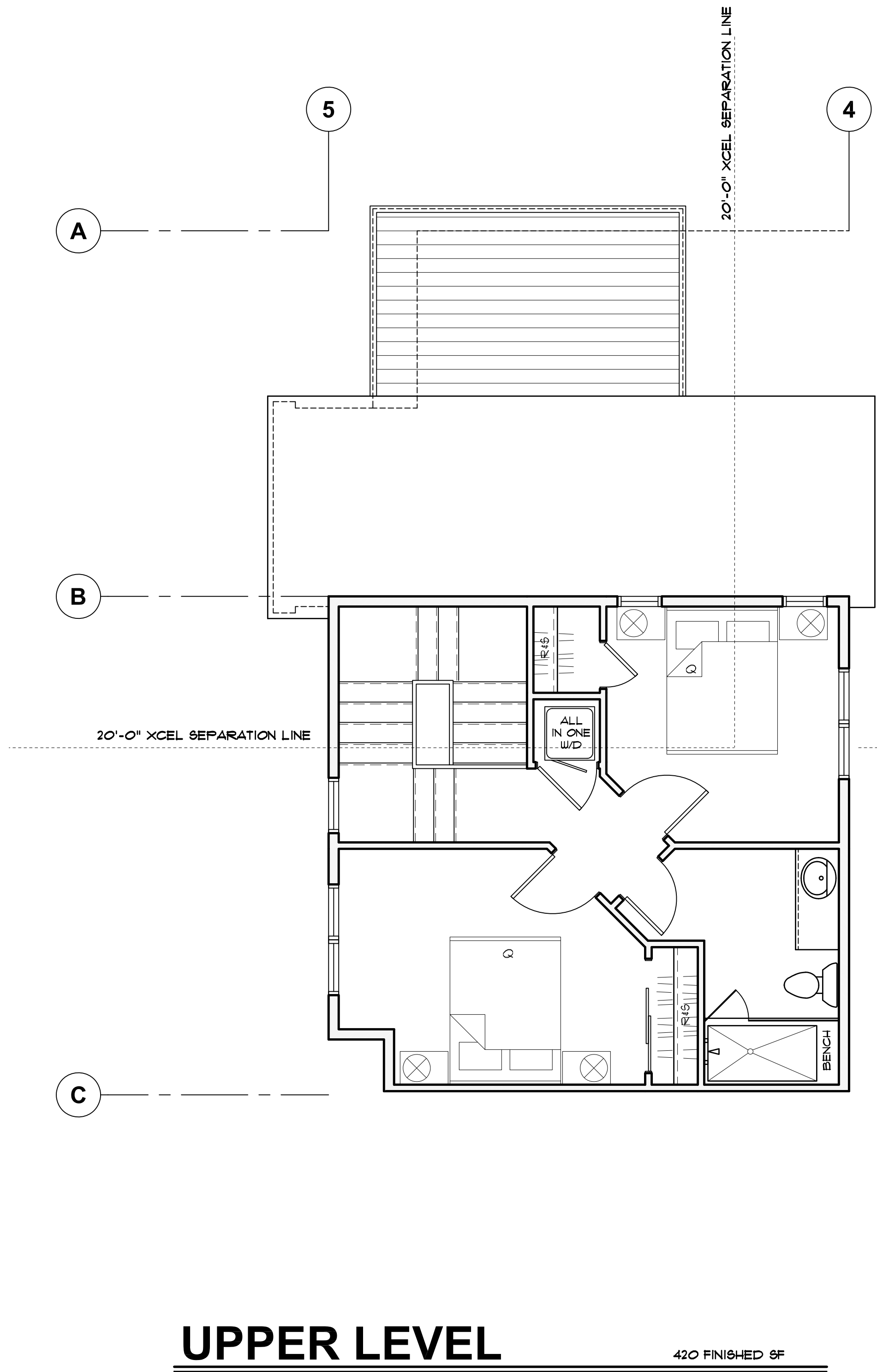
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SHEET NUMBER:

A-1.5
UNIT TYPE 'A'



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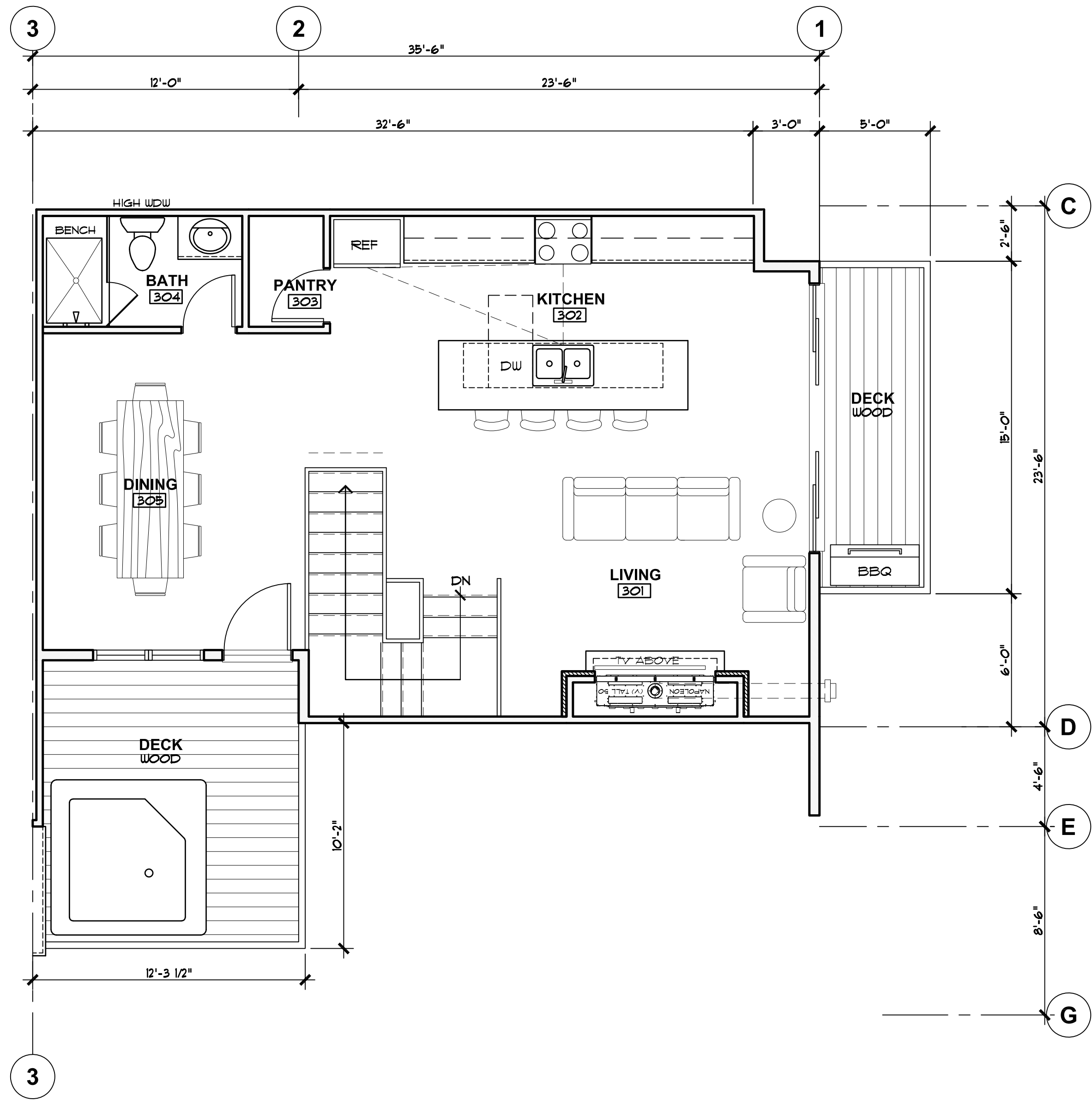
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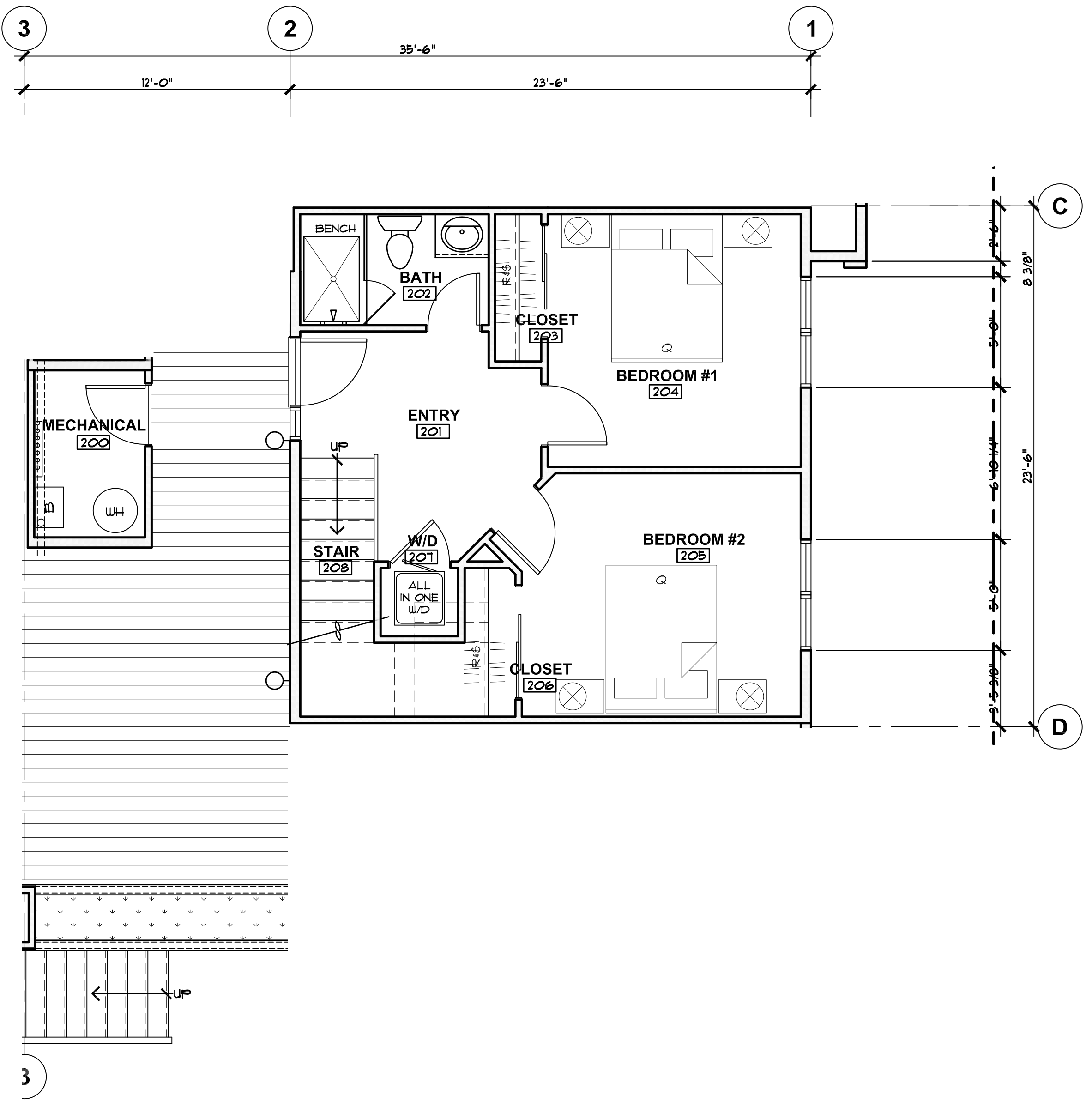
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SHEET NUMBER:

A-1.6
UNIT TYPE 'B'



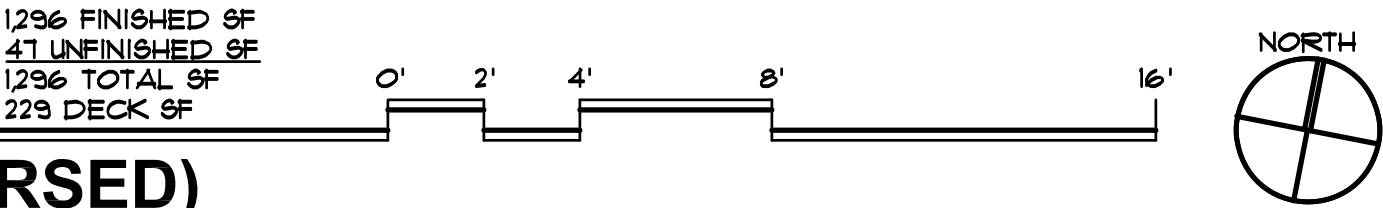
UPPER LEVEL
106 FINISHED SF
SCALE: 1/4" = 1'-0"



MAIN LEVEL
543 FINISHED SF
41 UNFINISHED SF
590 TOTAL SF
SCALE: 1/4" = 1'-0"

UNIT TYP 'C'
SCALE: 1/4" = 1'-0"

(NOTE: UNIT TYP 'D' IS SIMILAR BUT REVERSED)



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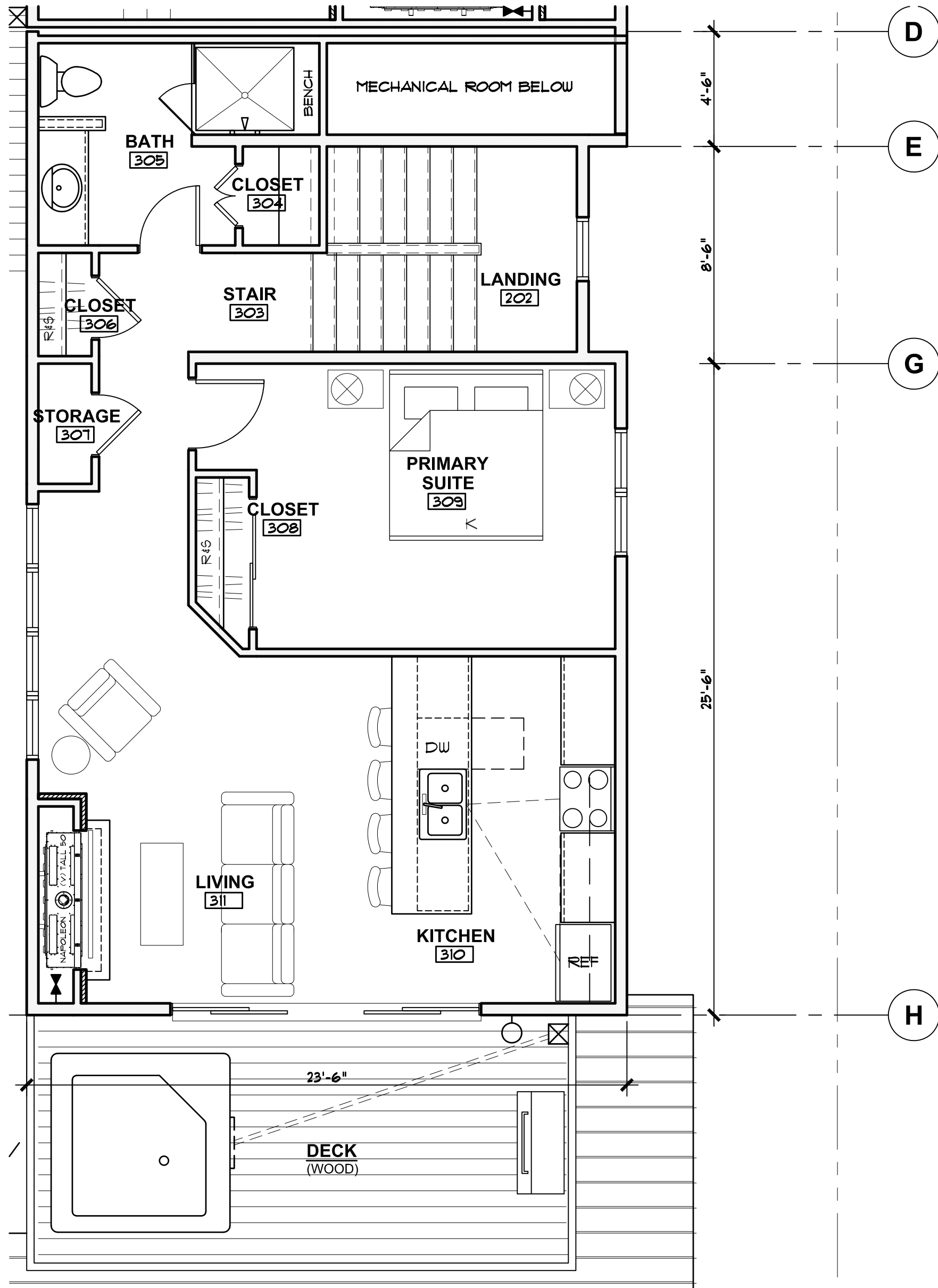
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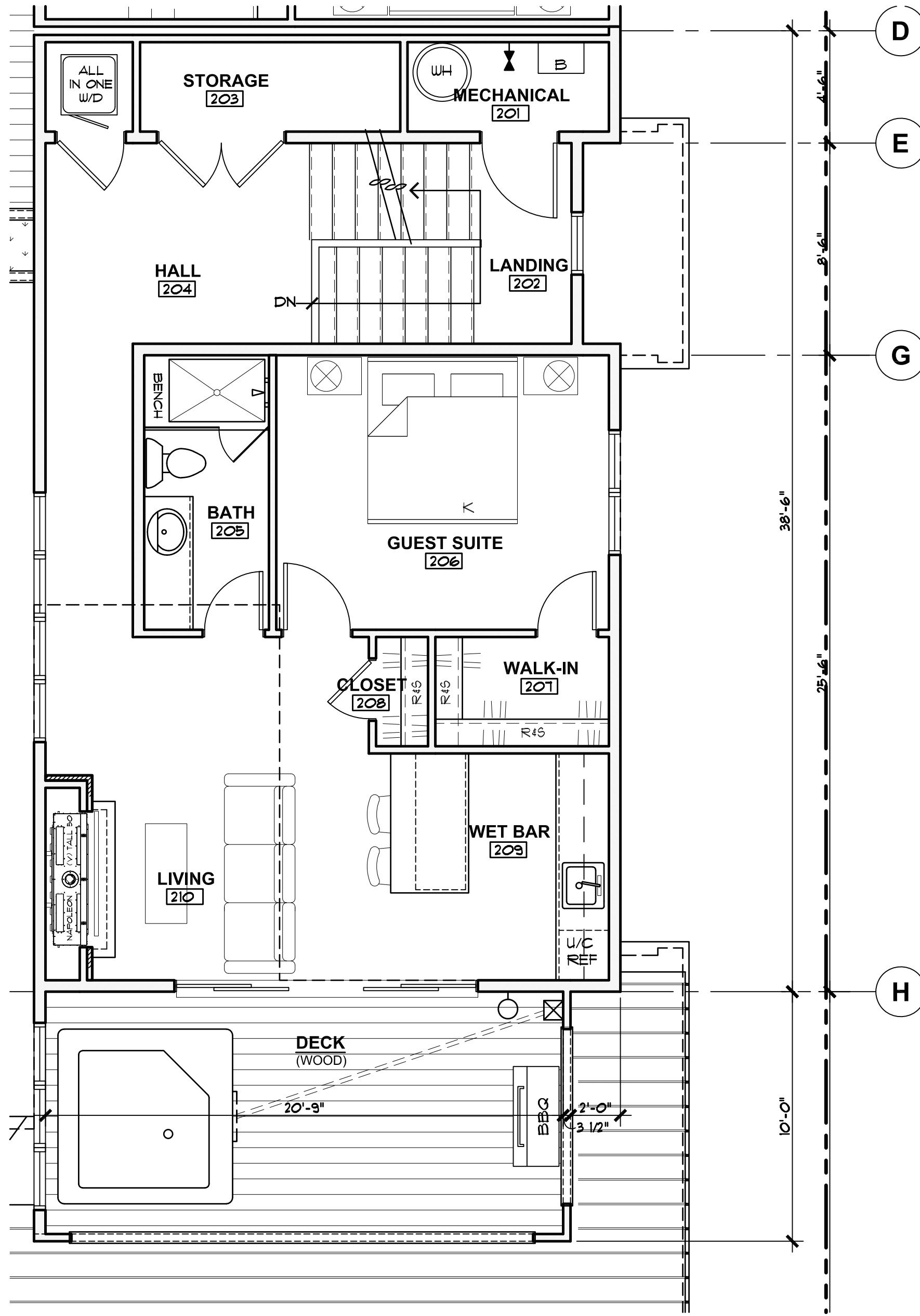
A-1.7
UNIT TYPES
'C' AND 'D'



UPPER LEVEL

153 FINISHED SF

SCALE: 1/4" = 1'-0"



MAIN LEVEL

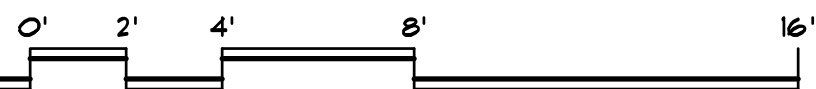
181 FINISHED SF
106 UNFINISHED SF
283 TOTAL SF

SCALE: 1/4" = 1'-0"

UNIT TYP 'E'

SCALE: 1/4" = 1'-0"

1549 FINISHED SF
21 UNFINISHED SF
1646 TOTAL SF
430 DECK SF



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SHEET NUMBER:

A-1.8
UNIT TYPE 'E'

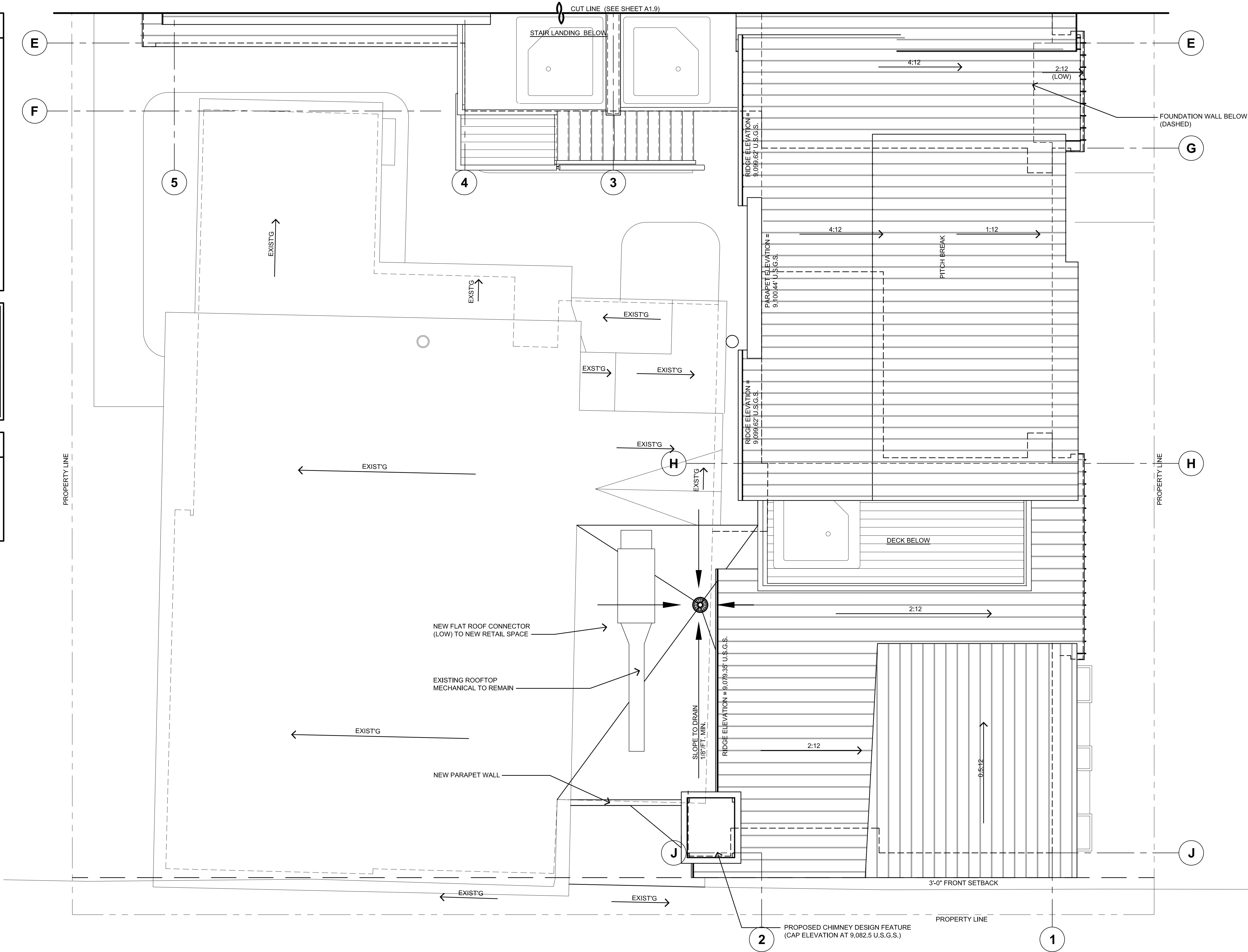
- ROOF NOTES:**
1. PROVIDE HEAT TAPE @ HEATED GUTTERS & DOWNSPOUTS. PROVIDE ELECTRIC OUTLET FOR HEAT TAPE AT EACH DOWNSPOUT LOCATION.
 2. PAINT ALL EXPOSED PIPING EXTENDING THROUGH ROOF TO MATCH ROOF.
 3. PROVIDE VALLEY FLASHING AT ALL VALLEYS.
 4. OVERHANG DIMENSIONS ARE TO END OF RAFTER/TRUSSES - SEE DETAILS.
 5. REFER TO PLAN FOR ALL ROOF OVERHANGS.
 6. PROVIDE KICK-OUT FLASHING AT ALL EAVE/WALL JUNCTURES.
 7. PROVIDE ADDITIONAL SOFFIT OUTLETS FOR CHRISTMAS LIGHTING - LOCATE PER OWNER INPUT.
 8. SEE SHEET SP1.2 FOR BUILDING RIDGE HEIGHTS.
 9. PROVIDE ILC AS REQUIRED.
 10. CONTRACTOR TO COORDINATE HEATED GUTTER AND DOWNSPOUT LOCATIONS WITH ARCHITECT
 11. ALL PLUMBING VENTS, BOILER VENTS, AND OTHER ROOF PENETRATIONS ARE WITHIN 5" OF RIDGE LINES. PAINT TO MATCH ROOF COLOR.

ROOFING NOTE:
REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.

MAINTENANCE NOTE:
THE OWNER HAS BEEN ADVISED THAT ALL ROOF AND DECK SURFACES MUST BE MAINTAINED RELATIVELY FREE OF SNOW & ICE.

COLD ROOF NOTE:

THIS PROJECT INCLUDES A "COLD ROOF" DESIGN. PROVIDE INSULATION BAFFLES AT ALL RAFTER SPACES AND HOLD DOWN VALLEY FRAMING TO ENSURE AIRFLOW ABOVE ALL VALLEYS. THIS INCLUDES FLUSH VALLEYS (SEE DETAIL). IF NECESSARY DRILL HOLES FOR VENTILATION AS APPROVED BY THE STRUCTURAL ENGINEER. THIS INCLUDES BEAMS AND ALL AREAS THAT RESTRICT AIR FLOW FROM SOFFIT VENTS UP TO RIDGE VENTS. PROVIDE 1" DIAMETER HOLES @ 8" O.C. IN THESE AREAS. RETAIN 1 1/2" OF BEAM ABOVE VENTILATION HOLES. VERIFY WITH STRUCTURAL ENGINEER.



ROOF PLAN (SOUTH)

SCALE: 1/4" = 1'-0"

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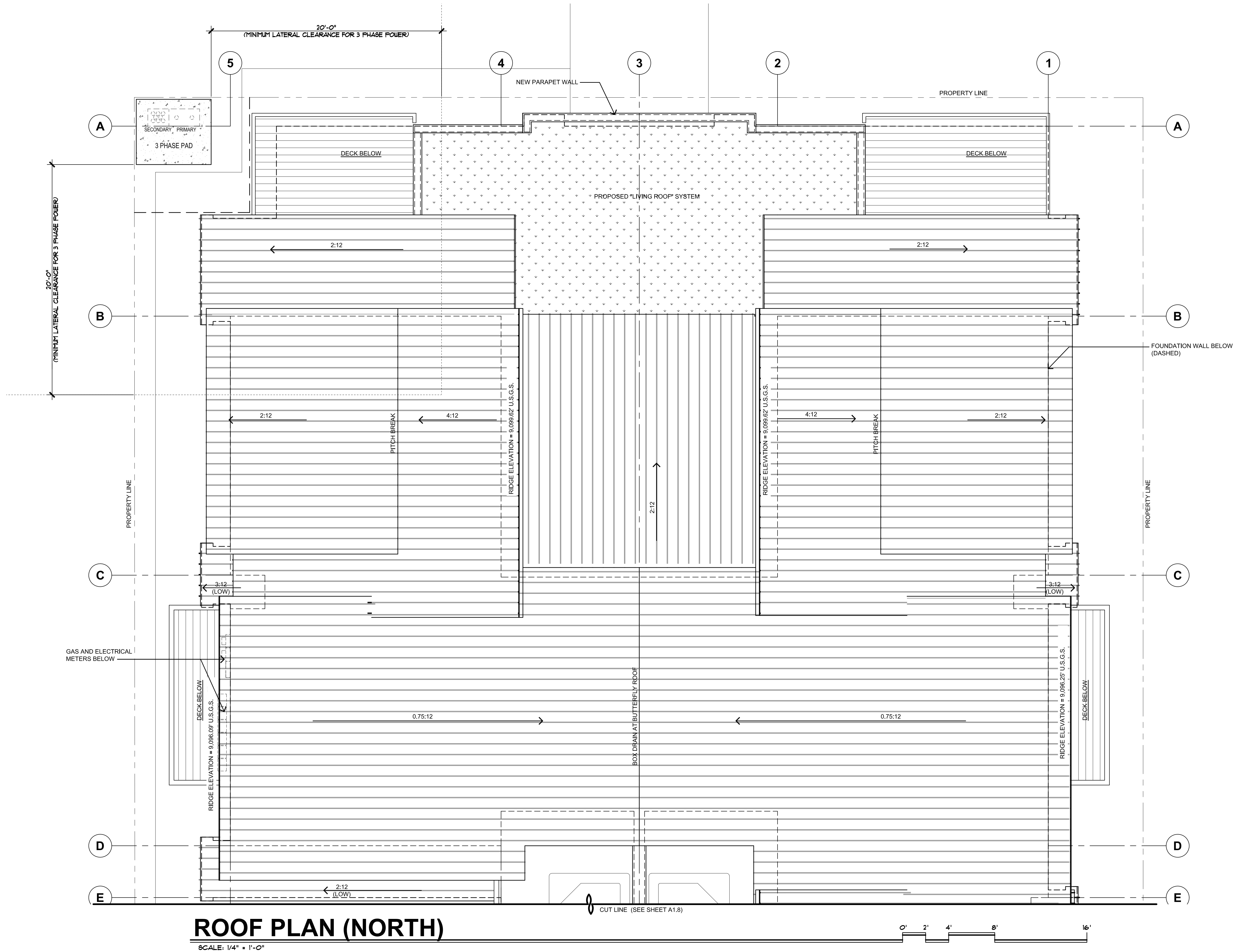
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SHEET NUMBER:

A-1.9
ROOF PLAN
(SOUTH)



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SHEET NUMBER:

A-1.10
ROOF PLAN
(NORTH)



SOUTHWEST PERSPECTIVE

SCALE: N.T.S.



SOUTHEAST PERSPECTIVE

SCALE: N.T.S.

COLOR LEGEND		
1	METAL ROOF -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: SLATE GREY
2	METAL FASCIA	mfr: METAL SALES color: SLATE GREY
3	WINDOW CLAD and FLASHINGS	mfr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDING -1X4 T & G	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE BARNUM
5	HORIZONTAL SIDING -1X6 CHANNEL RUSTIC	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HIGHLANDS
6	HORIZONTAL SIDING -1X8 SHIPLAP	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT	mfr: METAL SALES color: BLACK
8	METAL ROOFING (VERTICAL) -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: SLATE GREY
9	STONE VENEER	mfr: TELLURIDE STONE color: ASHLAR - LIMSTONE TUSCAN GREY SAWN



NORTHEAST PERSPECTIVE

SCALE: N.T.S.



NORTHWEST PERSPECTIVE

SCALE: N.T.S.

REVISIONS:

JOB NO: 52405
DATE: 6/30/2026
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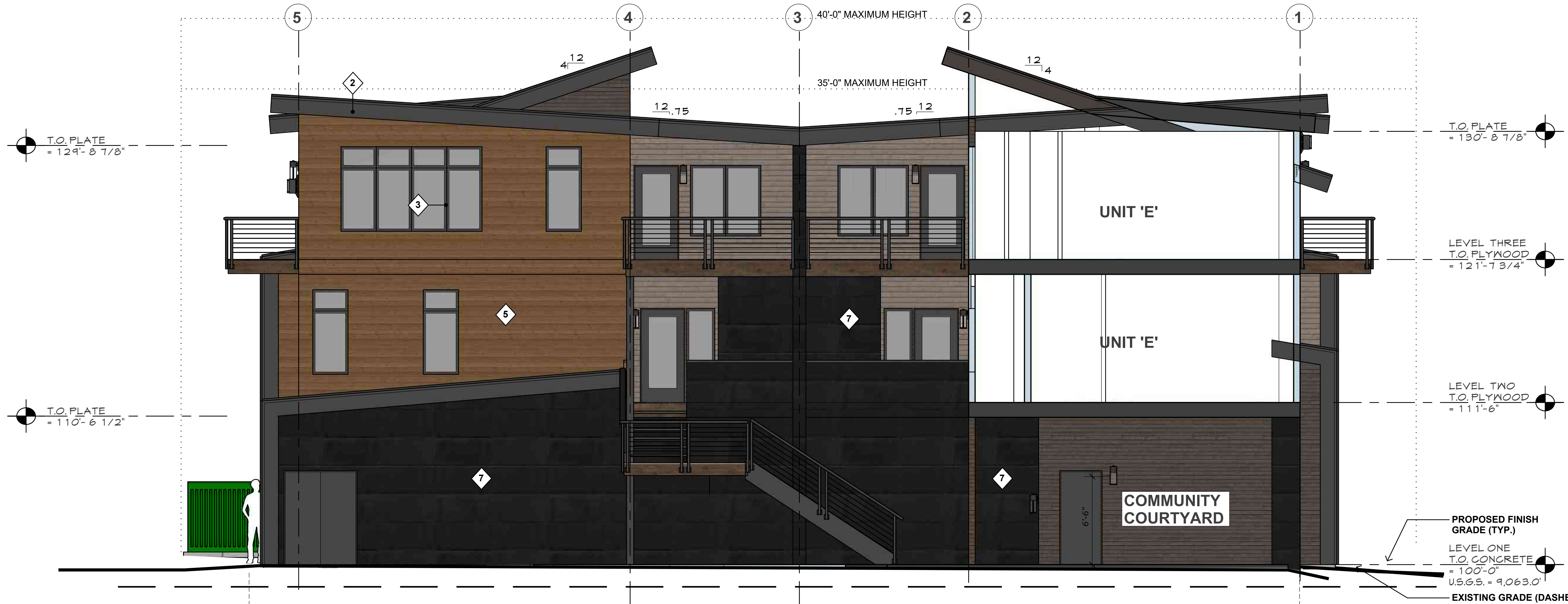
TOWN OF FRISCO
MAJOR SITE PLAN
SUBMITTAL: 6/25/2026
REVISED
TOWN OF FRISCO
MAJOR SITE PLAN
SUBMITTAL: 6/30/2026

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560 ADAMS AVE, SILVERTHORNE, CO 80497 P.O. BOX 7995-334 BRECKENRIDGE, CO 80424 (970) 453-6860
SIXTH DEGREE TOWNHOMES
121 MAIN ST., FRISCO, COLORADO
(LOTS 1 & 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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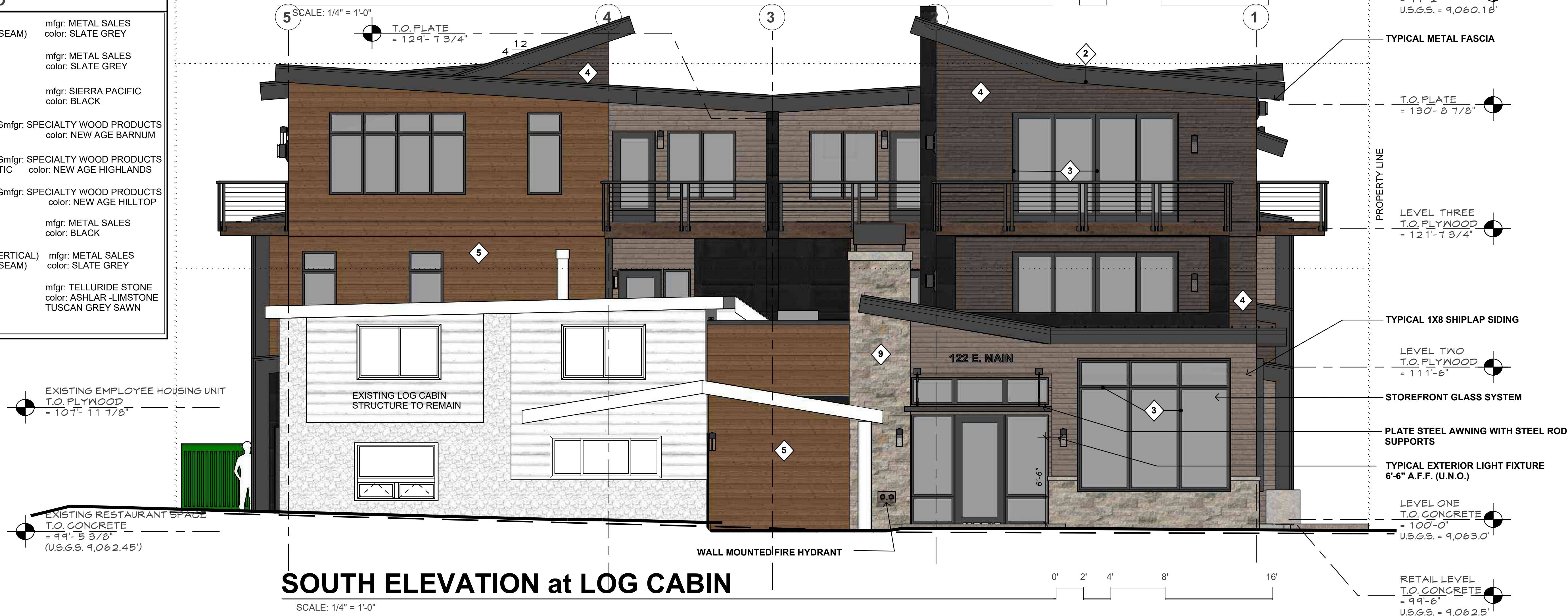
SHEET NUMBER:

A-2.1
BUILDING
PERSPECTIVES



SOUTH ELEVATION/ PARTIAL SECTION

COLOR LEGEND		
1	METAL ROOF -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: SLATE GREY
2	METAL FASCIA	mfr: METAL SALES color: SLATE GREY
3	WINDOW CLAD and FLASHINGS	mfr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDING -1X4 T & G	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE BARNUM
5	HORIZONTAL SIDING -1X6 CHANNEL RUSTIC	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HIGHLANDS
6	HORIZONTAL SIDING -1X8 SHIPLAP	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT	mfr: METAL SALES color: BLACK
8	METAL ROOFING (VERTICAL) -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: SLATE GREY
9	STONE VENEER	mfr: TELLURIDE STONE color: ASHLAR-LIMSTONE TUSCAN GREY SAWN



SOUTH ELEVATION at LOG CABIN

REVISIONS:

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MAJOR SITE PLAN
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SIXTH DEGREE TOWNHOMES
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SHEET NUMBER:

A-2.2

SOUTH
ELEVATION



COLOR LEGEND		
1	METAL ROOF -IMAGE II (STAND'G SEAM)	mfgr: METAL SALES color: SLATE GREY
2	METAL FASCIA	mfgr: METAL SALES color: SLATE GREY
3	WINDOW CLAD and FLASHINGS	mfgr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDING -1X4 T & G	mfgr: SPECIALTY WOOD PRODUCTS color: NEW AGE BARNUM
5	HORIZONTAL SIDING -1X6 CHANNEL RUSTIC	mfgr: SPECIALTY WOOD PRODUCTS color: NEW AGE HIGHLANDS
6	HORIZONTAL SIDING -1X8 SHIPLAP	mfgr: SPECIALTY WOOD PRODUCTS color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT	mfgr: METAL SALES color: BLACK
8	METAL ROOFING (VERTICAL) -IMAGE II (STAND'G SEAM)	mfgr: METAL SALES color: SLATE GREY
9	STONE VENEER	mfgr: TELLURIDE STONE color: ASHLAR - LIMSTONE TUSCAN GREY SAWN



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MAJOR SITE PLAN
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SIXTH DEGREE TOWNHOMES
121 MAIN ST., FRISCO, COLORADO
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SHEET NUMBER:

A-2.3
WEST
ELEVATION

REVISIONS:

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MAJOR SITE PLAN
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TOWN OF FRISCO
MAJOR SITE PLAN
SUBMITTAL: 6/30/2026



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

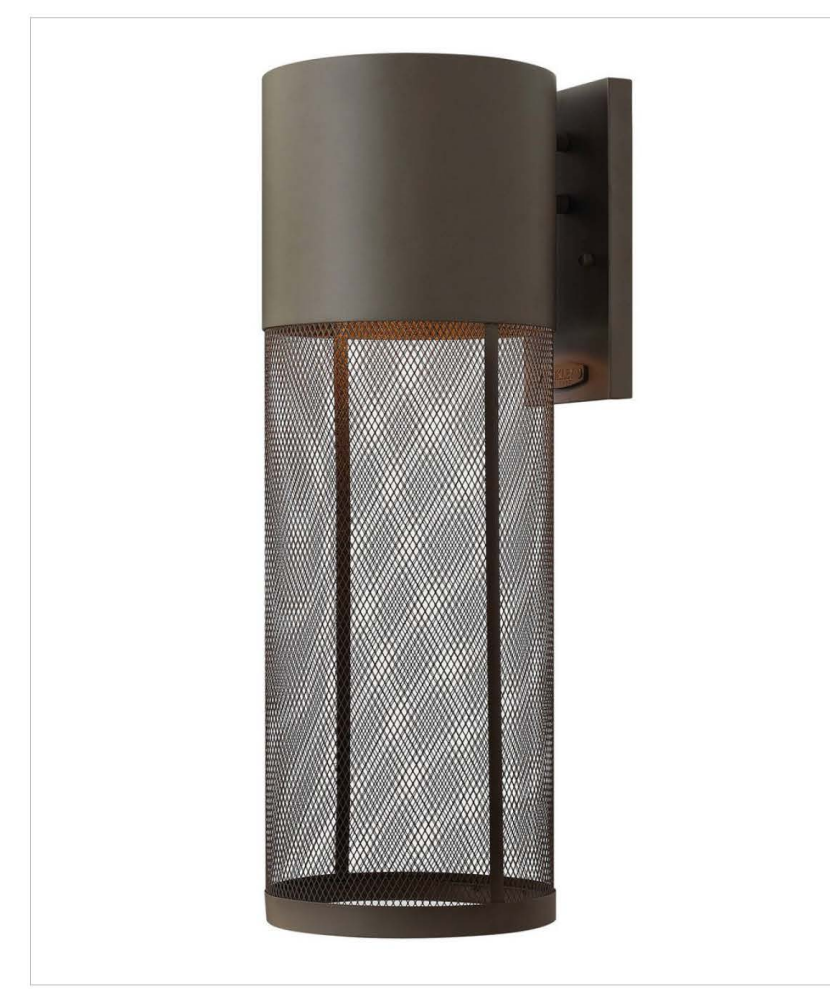
EXISTING XCEL ENERGY ELECTRICAL
TRANSFORMER (NO WORK).

RELOCATED FIRE HYDRANT (SEE SHEET SP1.1)

PROPOSED (3 PHASE)
TRANSFORMER ON CONCRETE PAD
(PER XCEL ENERGY REQUIREMENTS
AND SPECIFICATIONS)

LEVEL ONE
T.O. CONCRETE
= 100'-0"
U.S.G.S. = 9,063.0'

GARAGE LEVEL
T.O. CONCRETE
= 97'-2"
U.S.G.S. = 9,060.16'



ARIA	
2305KZ	
LARGE WALL SCONCE	
Aria is a contemporary style that effortlessly complements the facade of any exterior. Its modern shape in durable aluminum is enhanced by a stainless steel mesh shade.	
DETAILS	
FINISH:	Buckeye Bronze
MATERIAL:	Aluminum
DIMMABLE:	YES - CL TYPE DIMMER (SSL7A)
DIMENSIONS	
WIDTH:	7.3"
HEIGHT:	21.8"
WEIGHT:	3lb
BACK PLATE:	4.5"W X 8.25"H
EXTENSION:	8.8"
TOP TO OUTLET:	5"
LIGHT SOURCE	
LIGHT SOURCE:	Socketed
LED NAME:	2 SWSR20-30K
WATTAGE:	1-6 50w Med. LED *Included
VOLTAGE:	120v
LUMENS:	205
CR:	90
INCANDESCENT EQUIVALENCY:	1 x 50w
DIMMABLE:	YES - CL TYPE DIMMER (SSL7A)
SHIPPING	
CARTON LENGTH:	20.5
CARTON WIDTH:	10.5
CARTON HEIGHT:	10
CARTON WEIGHT:	5

PRODUCT DETAILS:

- Wet Rated
- Dark Sky compliant design limits light pollution in surrounding outdoor spaces
- Outdoor finishes carry a 2-year warranty
- Angular lines, a bold finish and robust details create an industrial edge to add flair to any type of facade
- Aluminum material ensures this piece can withstand strenuous outdoor conditions
- Mounted at a point of entry, wall mount lights provide safety and security with a welcoming element
- Part of the MOOO Collection, designed to elevate contemporary architecture with modern style, clean lines, and precisely engineered illumination

COLOR LEGEND

1	METAL ROOF -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: SLATE GREY
2	METAL FASCIA	mfr: METAL SALES color: SLATE GREY
3	WINDOW CLAD and FLASHINGS	mfr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDING -1X4 T & G	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE BARNUM
5	HORIZONTAL SIDING -1X6 CHANNEL RUSTIC	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HIGHLANDS
6	HORIZONTAL SIDING -1X8 SHIPLAP	mfr: SPECIALTY WOOD PRODUCTS color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT	mfr: METAL SALES color: BLACK
8	METAL ROOFING (VERTICAL) -IMAGE II (STAND'G SEAM)	mfr: METAL SALES color: SLATE GREY
9	STONE VENEER	mfr: TELLURIDE STONE color: ASHLAR - LIMSTONE TUSCAN GREY SAWN



EAST ELEVATION

SCALE: 1/4" = 1'-0"

LOCATE (6) PROPOSED ELECTRICAL METERS IN APPROVED ELECTRICAL BANK

COLOR LEGEND		
1	METAL ROOF -IMAGE II (STAND'G SEAM)	mfgr: METAL SALES color: SLATE GREY
2	METAL FASCIA	mfgr: METAL SALES color: SLATE GREY
3	WINDOW CLAD and FLASHINGS	mfgr: SIERRA PACIFIC color: BLACK
4	HORIZONTAL SIDING -1X4 T & G	mfgr: SPECIALTY WOOD PRODUCTS color: NEW AGE BARNUM
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6	HORIZONTAL SIDING -1X8 SHIPLAP	mfgr: SPECIALTY WOOD PRODUCTS color: NEW AGE HILLTOP
7	METAL SIDING -TLC-1 FLAT	mfgr: METAL SALES color: BLACK
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9	STONE VENEER	mfgr: TELLURIDE STONE color: ASHLAR - LIMSTONE TUSCAN GREY SAWN

EXISTING EMPLOYEE HOUSING UNIT
T.O. PLYWOOD
= 107'-11 7/8"

NEW RETAIL SPACE
T.O. CONCRETE
= 99'-6"
(U.S.G.S. 9,062.5')

EXISTING RESTAURANT SPACE
T.O. CONCRETE
= 99'-5 3/8"
(U.S.G.S. 9,062.45')

PROPERTY LINE

BULK PLANE

J

H

G

EAST ELEVATION at LOG CABIN

SCALE: 1/4" = 1'-0"



EXISTING LOG CABIN STRUCTURE TO REMAIN (BEYOND)

REVISIONS:

JOB NO: 52405
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MAJOR SITE PLAN
SUBMITTAL: 6/25/2026
REVISED
TOWN OF FRISCO
MAJOR SITE PLAN
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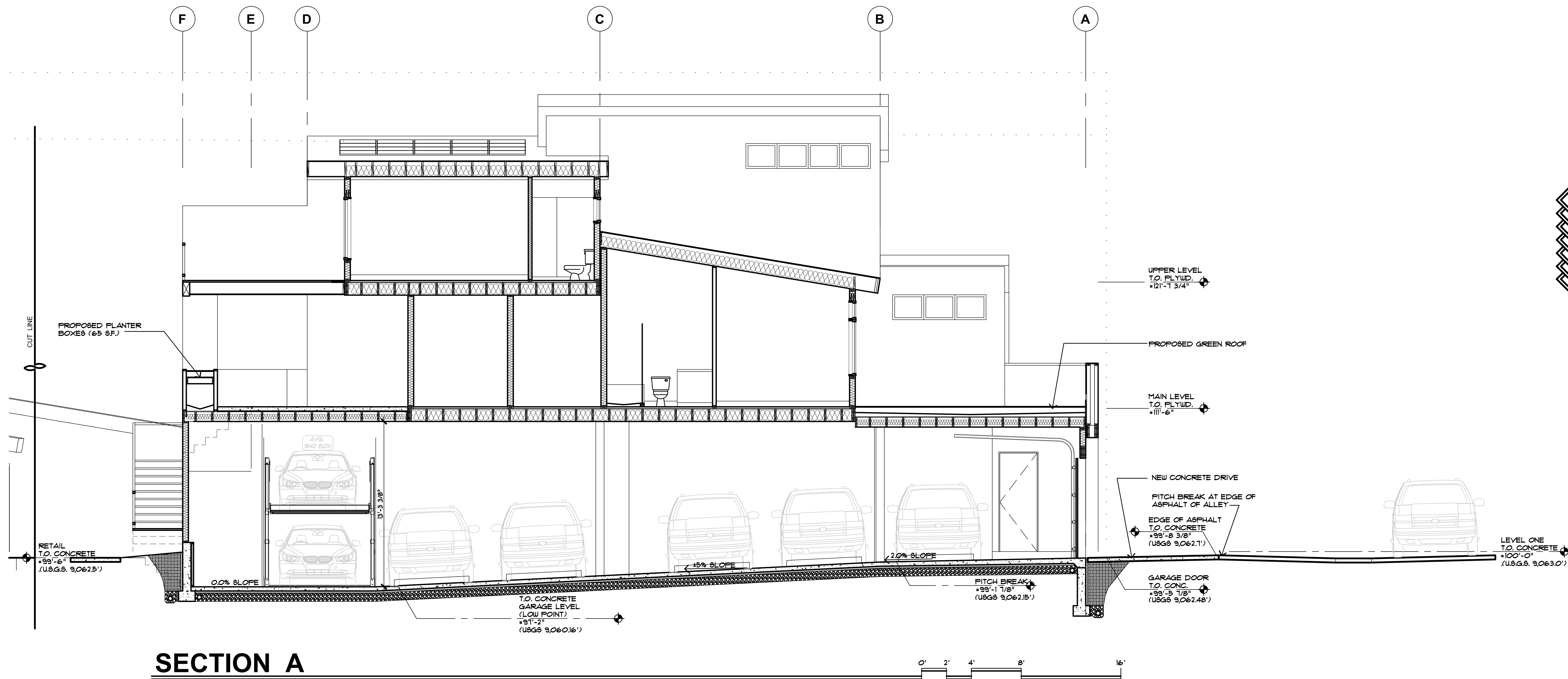
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121 MAIN ST., FRISCO, COLORADO
(LOTS 1 & 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

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SHEET NUMBER:

A-2.5

EAST
ELEVATION



SECTION A

SCALE: 1/4" = 1'-0"

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TOWN OF FRISCO MAJOR
SITE PLAN SUBMITTAL:
6/25/2026
REVISED
TOWN OF FRISCO MAJOR
SITE PLAN SUBMITTAL:
6/30/2026

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SIXTH DEGREE TOWNHOMES
121 EAST MAIN STREET, FRISCO COLORADO 80443
(LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE)

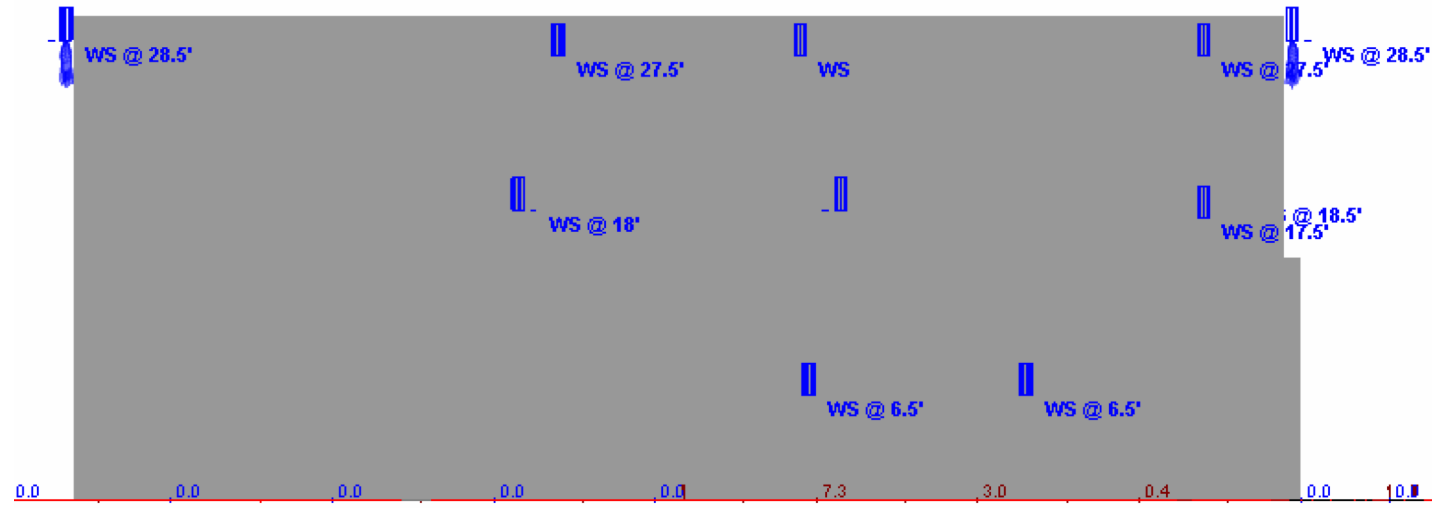
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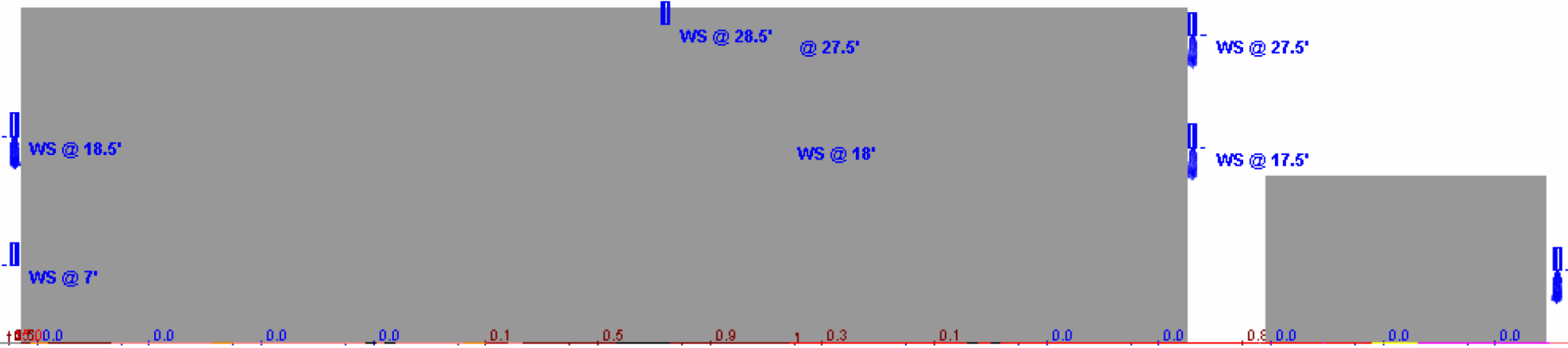
A-3.1
BUILDING SECTIONS

Schedule				
Manufacturer	Catalog Number	Description	Lamp	Wattage
Hinkley	2305KZ	1325BK with 7W R20 LED Lamp	LED	6.42

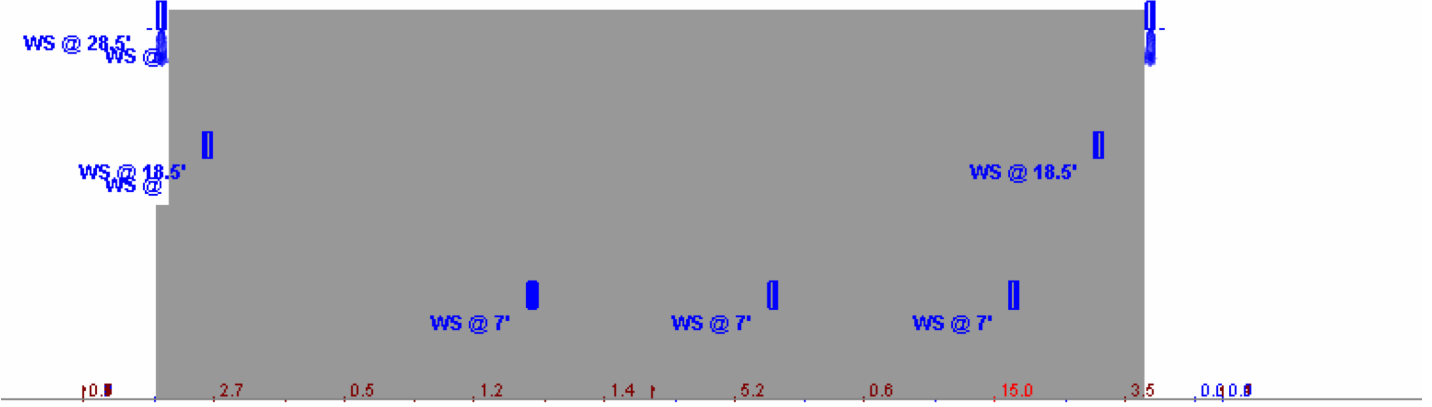
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE	+	1.0 fc	15.0 fc	0.0 fc	N/A	N/A



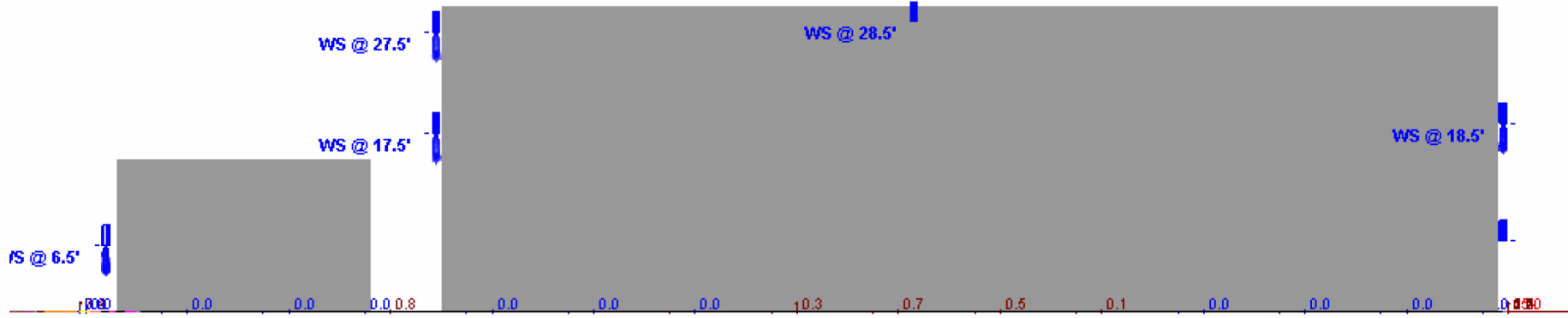
3 ELECTRICAL SITE LIGHTING CALCULATIONS SOUTH ELEVATION
E-1.02 1/8" = 1'-0"



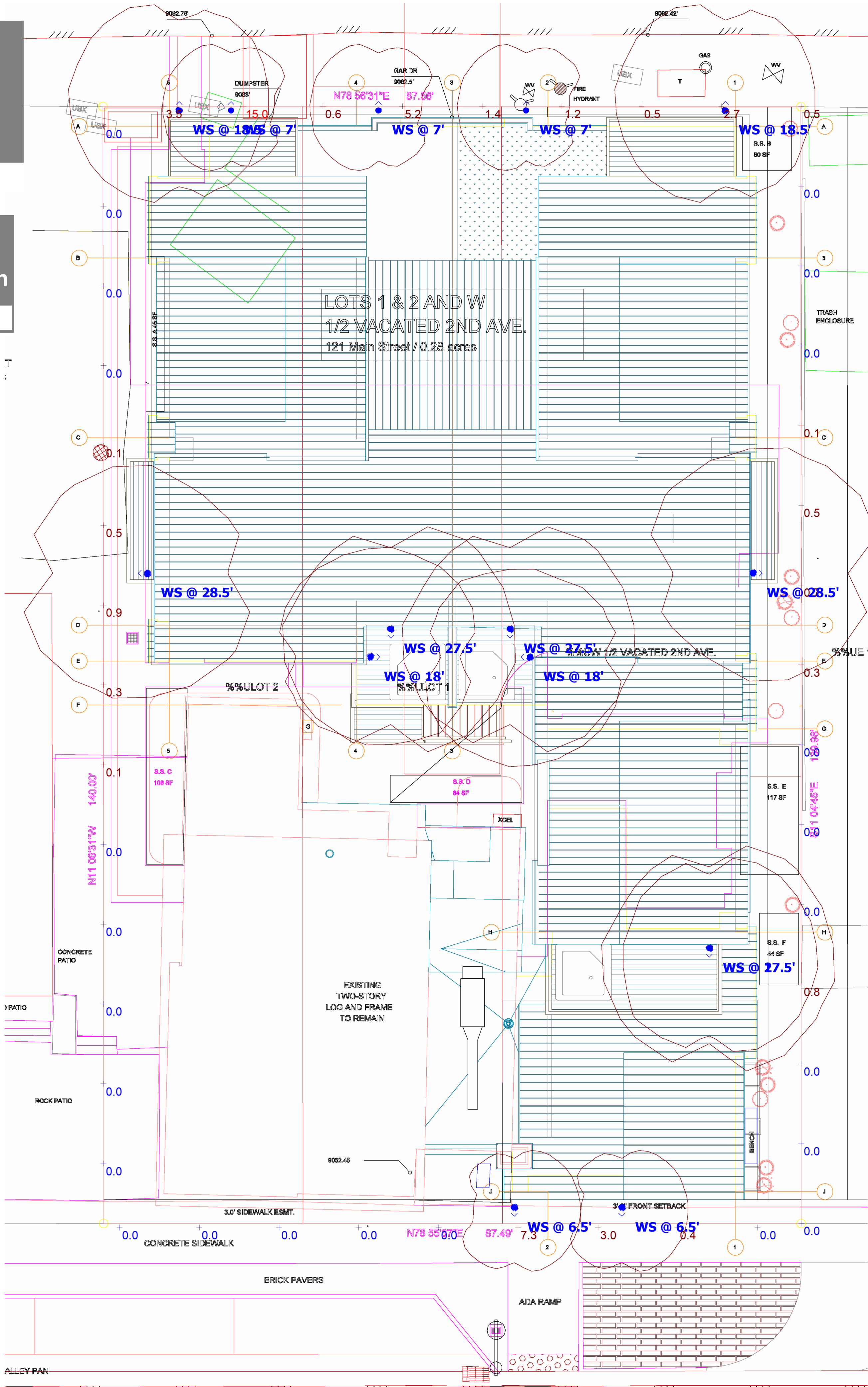
5 ELECTRICAL SITE LIGHTING CALCULATIONS WEST ELEVATION
E-1.02 1/8" = 1'-0"



6 ELECTRICAL SITE LIGHTING CALCULATIONS NORTH ELEVATION
E-1.02 1/8" = 1'-0"



7 ELECTRICAL SITE LIGHTING CALCULATIONS EAST ELEVATION
E-1.02 1/8" = 1'-0"



1 ELECTRICAL SITE LIGHTING CALCULATIONS
E-1.02 1/4" = 1'-0"

INDOOR ENVIRONMENTS USA

A LIMITED LIABILITY COMPANY

1920 13th STREET, SUITE B1
BOULDER, CO 80302
720 742-1587

REVISIONS:

JOB NO: 62025

DATE: 04/21/26

DRAWN BY: Author

CHECKED BY: Checker

COLORADO LICENSED
55707
14 FEB. 2026
PROFESSIONAL ENGINEER

ELECTRICAL SITE LIGHTING LEVELS

SIXTH DEGREE TOWNHOMES

121 MAIN STREET, FRISCO, COLORADO
LOTS 1 & 2, BLOCK 2, KING SOLOMON ADDITION AND THE WEST 1/2 OF VACATED 2ND AVENUE

SHEET NUMBER

E-1.02