



PLANNING COMMISSION STAFF REPORT

September 17, 2026

AGENDA ITEM: **Planning File No. MAJ-26-0003:** A sketch plan review of the Major Site Plan application for a proposed residential development consisting of eight (8) new townhomes.

LOCATION: 207 Granite Street / Lots 13-18, Block 8, Frisco Town Sub

ZONING: Central Core (CC) Zoning District

APPLICANT: Robert Craig

OWNER: 207 Granite St LLC

TOWN STAFF: Emma Heth, Planner II

PROJECT DESCRIPTION

The applicant, Robert Craig, representing the property owner, proposes a new residential development at 207 Granite Street consisting of eight (8) new townhomes.

The application proposes a multi-unit residential development project consisting of two (2) buildings, with four (4) units in each. Each building contains one 5-bedroom unit and three 4-bedroom units. The new buildings are both three levels. No rooftop decks are proposed. Each unit includes an attached 4-car private garage.

For a more complete project description, please refer to the attached application materials.

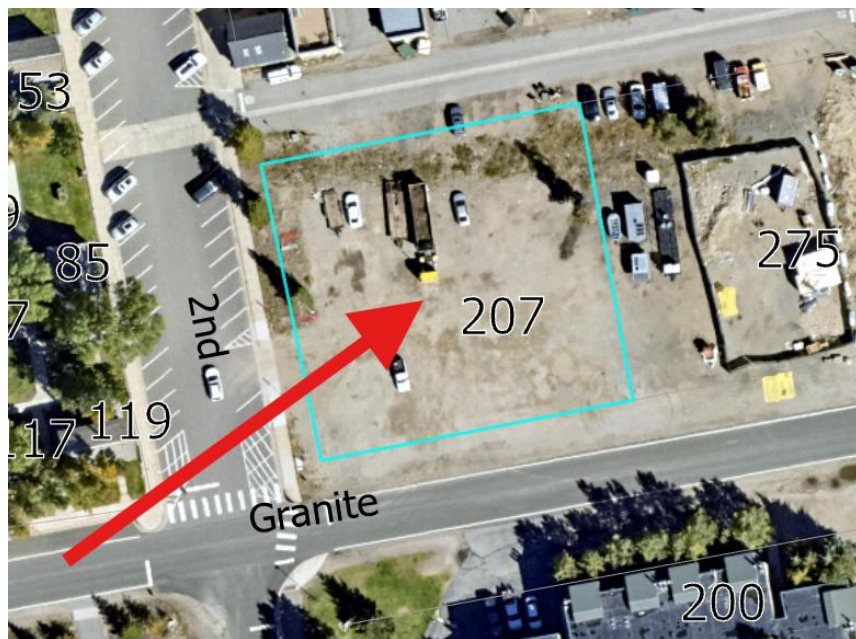
BACKGROUND

The subject property is located in the Frisco Townsite, as platted in the Amended Frisco Townsite in 1966. The property is zoned Central Core (CC) Zoning District.

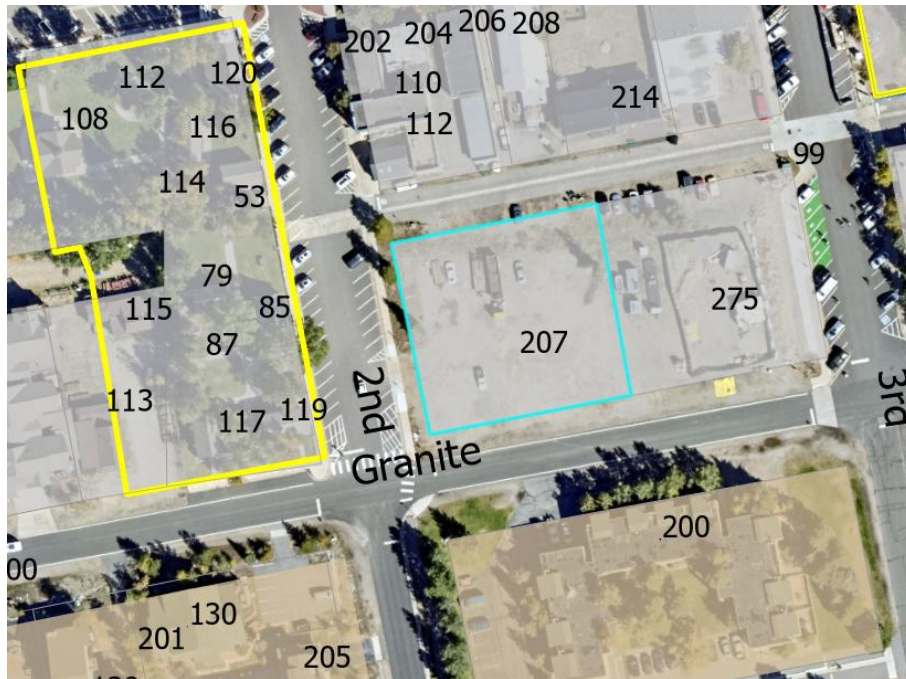
The subject property is currently vacant. Eight long-term rental units were previously located on the property, constructed in the 1950s. The units were demolished in 2005. A development application was approved in 2000, with amendments in 2001 and 2006, for a mixed-use building proposed on the site, but the project was not built.

The surrounding properties are zoned Central Core (CC) to the north, east and west, and Residential High Density (RH) to the south. The property to the west is the Frisco Historic Park and Museum, which is zoned CC and Historic Overlay (HO), and includes many historic structures. The properties to the north (along Main Street) include commercial uses, including restaurants, retail, and office space. The property to the east (275 Granite St.) is vacant and owned by the Town. The property to the south is Tenmile Creek Condos which contains 60 units across two buildings.

Below is a vicinity map of the subject property with an aerial photography base layer and zoning layer. The location of the property lines shown on this map vary in accuracy and should only be used for reference purposes.



Vicinity Map



Zoning Vicinity Map
Gray = Central Core (CC)
Brown = Residential High Density (RH)
Yellow outline = Historic Overlay (HO)

SKETCH PLAN REVIEW

A sketch plan review is the first step in the Major Site Plan review process and is an opportunity for Planning Commission to comment on the various aspects of a development proposal including proposed uses, parking and traffic circulation, architecture, landscape design, and compatibility with the neighborhood. It is also an opportunity for the applicant to listen to the Commissioners' comments and make changes to the proposal prior to the final stage of the major site plan application review. Section 180-2.5.D.3 of Frisco Town Code states:

- a. All applications for major site plans shall present an informal sketch plan of the development before a regularly scheduled meeting of the Planning Commission.
- b. The Planning Commission may require an applicant to return for additional sketch plan presentations if sufficient information is not received or if substantial changes to a proposal are recommended. Presentation of a sketch plan neither binds the Planning Commission to approve a site plan, nor does it confer the applicant any vested rights.
- c. The sketch plan presentation shall become null and void if a complete major site plan application is not submitted to the Community Development Department within 180 days after the date of the Planning Commission's review of the sketch plan.

The Planning Commission will have the opportunity to review the project again at the final review step in the Major Site Plan review process. The proposal will be reviewed in detail for conformance with the Frisco Comprehensive Plan and compliance with the Frisco Unified Development Code (UDC) at that time.

ANALYSIS - FRISCO COMPREHENSIVE PLAN

Comprehensive Plan Goals and Strategies: The goals and strategies are the strategic framework to connect community priorities to the Comprehensive Plan recommendations and provide direction for the future. The following goals and strategies from the Frisco Comprehensive Plan are some of the plan elements that are applicable to the review of the proposed development:

Goal B.1: Continue creating safe, attractive, and sustainable neighborhoods where residents can thrive.

6. Promote walkability and bikeability in neighborhoods. Review complete connections for greenways and trail connections by requiring front yard pedestrian easements for every new development.

Goal C.5: Build and improve connections between facilities, focusing on increasing safety for people of all ages and abilities, and improving access to key destinations and the regional trail network.

1. Review and revise UDC to ensure sidewalks and trails are aligned with the Future Land Use Map and Future Land Use Classifications. Require a sidewalk easement along all street frontages on properties applying for development or redevelopment.
2. Promote Complete Streets. Complete Streets work will begin on Granite Street in 2026. Address complete streets improvements to Galena Street when funding becomes available.

Goal H.5: Collaborate with partner agencies to maintain Frisco as a welcoming Summit County “neighborhood” while addressing regional housing needs.

1. Facilitate infill housing. Facilitate infill housing development in older neighborhoods, along commercial corridors, and near employment centers that helps revitalize these areas and increases housing availability and variety.

Goal R.4: Promote climate action through new and existing development.

4. Support comprehensive sustainable design standards including solar orientation, landscaping guidelines, and water conservation and consider updating the UDC while considering affordability implications.

The layout of the development as proposed only includes one driveway accessed from 2nd Avenue, which creates a preferred layout along Granite Street for future Complete Streets improvements. The Town is recommending, but not requiring, that the applicant review the

Granite Street Complete Streets Plan and install a sidewalk along Granite Street that connects the non-vehicular pathways on that side of the development to the existing 2nd Avenue sidewalk. While the Comprehensive Plan guides the Town to require front yard pedestrian easements, it has not been incorporated as a UDC requirement at this time. Therefore, until a UDC change is made, the Town cannot require a pedestrian easement for new development.

The proposed development facilitates infill development on a lot that has been vacant for 20 years near Main Street. Development on this lot will help revitalize this block.

The proposed development pays close attention to drought-tolerant and wildfire-resistant landscaping, which conserves water and minimizes the need for irrigation. While changes will be required to the landscaping plan, staff notes the applicant's careful consideration for these environmental aspects of the development. The new buildings will be required to meet the Town's adopted codes and associated amendments including but not limited to the International Energy Conservation Code as outlined in Town Ordinance 26-09.

The site plan includes a dedicated refuse and recycling enclosure, which facilitates proper waste management and recycling for residents. The design promotes shared waste services, aligning with the Town's broader waste reduction objectives.

The application, as proposed, generally complies with the principles, goals, and policies of the Frisco Comprehensive Plan.

ANALYSIS – CENTRAL CORE (CC) DISTRICT [§180-3.11]

These parcels shall be developed in accordance with the requirements of the Central Core (CC) District as follows:

Purpose: The purpose of the CC District is to promote the development of Frisco's Main Street commercial district for retail, restaurant, service, commercial, visitor accommodation, recreational, institutional and residential uses, and to enhance the visual character, scale and vitality of the central core.

Maximum Density: The maximum density in the CC District is 16 dwelling units per acre. The lot size is 0.48 acres; therefore, the allowable density is eight (8) units. The application proposes eight (8) residential units on this lot.

Minimum Lot Area: The minimum lot area in the CC District is 3,500 sq. ft. The proposed lot size by combining Lots 13-18 is 21,000 sq. ft.

Minimum Lot Frontage: There is no minimum lot frontage in the CC District.

Maximum Lot Coverage: There is no maximum lot coverage for more than two residential units in the CC District.

Setbacks: The following setbacks are required in the CC District, for properties located between Granite Street and Granite Street Alley:

	Minimum Setback	Proposed Setback
Front Yard	5 feet	5 feet
Side Yard	5 feet	5 feet
Rear Yard	5 feet	5 feet
Alley-Facing Yard	3 feet	3 feet

Staff is interpreting Granite Street as the front yard and the alley as the rear yard; the applicant should clarify in the application materials. The application appears to meet the setback standards. At time of full site plan review, the application materials will need to show additional information for staff to verify setbacks including showing the setback line on each floor and roof plan along with ensuring all door overhangs and decks are clearly shown to verify no portion of any structure encroaches over the setbacks. Refuse enclosures are exempt from side and rear yard setback requirements; the enclosure is proposed in the side setback on this project. An Improvement Location Certificate (ILC) will be required during construction to ensure the structure, including roof eaves, does not encroach into the setback.

Stepbacks: The minimum stepback for the third and above floors of street-facing wall facades is 10 feet, as taken from the floor below. Two feet of roof overhangs and railings are permitted to encroach into the stepback. Based on the Town Code definition of street, a stepback is required along the north, south, and west property lines which are adjacent to a street, avenue, and alley.

Most wall facades appear to meet the stepback standard. Application materials show a portion of each building that contains staircases facing 2nd Avenue which are between the 2nd and 3rd level. Staff requests the Commission provide feedback at sketch plan review on whether this portion of the building is a “third floor” and needs to be stepped back. Staff finds ambiguity in the code interpretation as these are not necessarily a 3rd and above floor but would appreciate confirmation from the Planning Commission. Another portion of the building on this façade is stepped back on the 3rd floor from the staircase adjacent to it, but not from the façade directly below; Staff requests the Commission provide feedback at sketch plan review on whether this meets the stepback requirements.



Portions of building for Planning Commission to analyze stepbacks

At time of full site plan review, the application materials will need to show additional information for staff to verify stepbacks, including showing the stepback line on the floor plans for the third and above floors.

Maximum Building Height: The maximum building height is 40 feet for pitched roofs and 35 feet for flat roofs in the CC District. All roof slopes on the upper roof are pitched, with two flat 2:12 shed roofs on lower levels.

The application includes building height calculations, with maximum height of 39.9'. Roof heights will be verified again at the final site plan review and during construction through a roof height ILC.

ANALYSIS – USE STANDARDS [§180-5]

Permitted and Conditional Uses: In the CC District, a variety of residential uses are permitted, including multi-unit dwellings and townhomes (attached or standalone). There is no requirement in the Central Core to have a portion of the development for commercial use and so 100% residential use is permitted by right.

ANALYSIS - DEVELOPMENT STANDARDS [180-6]

This project will be reviewed for compliance with all development standards of the Unified Development Code (UDC) at the time of the final review of the major site plan. Standards that are included in the discussion of this section have been analyzed to determine whether they are applicable and are not included in the staff report if not applicable.

Buildings Occupying More Than One Lot (§180-6.3.2.) Where a residential or non-residential project has been resubdivided into more than one lot, it shall be considered to be occupying one lot for purposes of complying with district regulations such as density, floor area ratio (FAR) lot coverage, open space, lot size, lot frontage, and setbacks. For purposes of this section, the boundaries of the one lot shall be the outermost lot lines of all lots occupied by the project.

Except in the case of a condominium building or a property line between duplex or townhouse units, for any proposed development, no building shall be constructed over a property line and any proposal to construct a building over an existing property line shall be accompanied by a plat application to cause the property line to be vacated.

Per the requirements of this section, the applicable development regulations are applied to Lots 13-18 as a whole, including density, lot coverage, parking, drainage, and other requirements. If the application is approved at the final site plan, the applicant will need to replat the property to consolidate Lots 13-18 either by vacating the lot lines or through a townhome plat. This will be a condition of approval for the final site plan and will be required prior to issuance of a CO.

Site Grading and Development (§180-6.5) and Drainage Plan (§180-6.6): The contracted Town Engineer provided preliminary comments on the grading and drainage plans. The submittal requirements, design standards, and erosion and sediment control will be approved by the contracted Town Engineer at the time of the final site plan review.

Preliminary comments from Engineering indicate that additional detention or a drainage memo will be required at final site plan review to ensure that drainage on the north side of the site does not flow above historic levels. Grading and drainage near the dumpster enclosure will also need revisions as outlined in the Engineering memo to meet code. At full site plan review, this additional information will be required to be submitted and signed off on by the Town Engineer prior to the application moving forward to the Planning Commission.

Development on Steep Slopes (§180-6.5.1): All development in areas with steep slopes greater than 15% shall comply with the following standards:

- On slopes from 15% to less than 30%, net site disturbance shall not exceed 50% of the total area within this range of slopes.
- On slopes greater than 30%, net site disturbance shall not exceed 15% of the total area over this range of slope.

There appear to be steep slopes on the north side of the site, and it appears that the entire area is proposed to be disturbed and graded. However, staff finds that this area meets the Exception for Minor Changes in Slopes as outlined in Section 180-6.5.1.F. as it is an isolated feature that is likely manmade. Additionally, the area has little vegetation currently and is prone to erosion – development on the site would not negatively impact this slope.

Vehicular Access (§180-6.11.1): All vehicle access shall comply with the standards set forth in Chapter 155, Minimum Street Design and Access Criteria. Where development abuts a Town road, the location and design of access points to the road must be approved by the Frisco Public Works Director.

Preliminary comments from the contracted Town Engineer indicate that the driveway design as proposed does not comply with several provisions of Chapter 155, despite being an

improvement over earlier plans that showed multiple driveway access points. If the applicant intends to move forward with the proposed site plan, waiver requests for the following items need to be submitted and analyzed by Public Works and Engineering (see Engineering review memo in Attachment 2 for more detail):

- Access from 2nd Avenue – driveway connection onto a collector or major arterial street
- Separate dumpster access – dumpster enclosures shall be accessed through the same driveway allowed for access to the property
- Dumpster driveway alignment – All driveways shall intersect the access street at ninety (90) degrees
- Internal driveway classification – If an access way serves more than four residences, it shall be classified as a roadway rather than a driveway and must meet the Town's requirements for road construction

Each waiver request must include a justification for why compliance with the applicable code provision cannot be achieved on the site. The applicant is strongly encouraged to evaluate modifications to the site plan that utilize the alley for accessing the dwelling units and refuse enclosure.

The access will be further reviewed by the Frisco Public Works Director and contracted Town Engineer at the final site plan review. Staff notes that no waivers have been secured at this time and there is no guarantee that they will be granted.

Non-vehicular Access Requirements (§180-6.11.2): It is the purpose of this section to promote the use of non-vehicular modes of transportation through a Town-wide network of connecting non-vehicular pathways and provide safe access year-round. All site plans shall provide for and show non-vehicular access in accordance with the standards set forth in the Frisco Trails Master Plan and Chapter 155, Minimum Street Design and Access Criteria. In addition, all non-vehicular access shall meet the following standards:

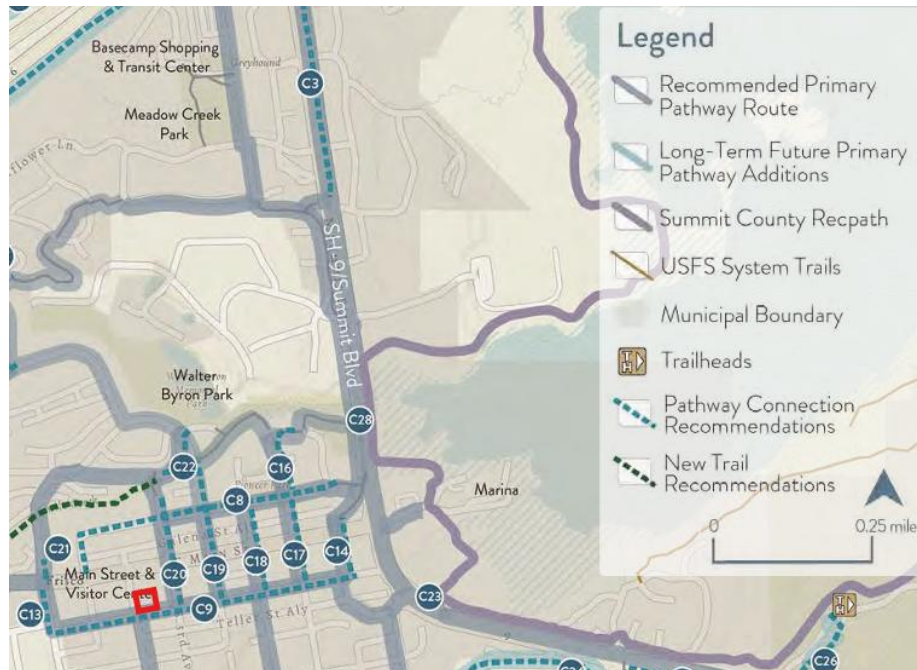
- A. All multi-unit residential, mixed-use, non-residential developments, and residential subdivisions shall provide safe and convenient non-vehicular access to a public street or road year-round. Developments shall install paved, year-round access from and through the development to adjacent public sidewalks, bicycle and pedestrian facilities, or right of way both existing and proposed pursuant to the Frisco Trails Master Plan and in accordance with the Standards of Chapter 155, Minimum Street Design and Access Criteria.
- B. Every principal structure shall provide access to adjacent trail systems or public open space usable for recreation activities.
- C. Developments shall integrate pedestrian ways, trails, and/or bicycle paths with similar existing and planned facilities on adjacent properties. The Frisco Trails Master Plan should be used as a reference when planning for the integration of these facilities.

For units along Granite Street and S. 2nd Avenue, the application materials show walkways connecting each unit to the nearest public street. The units along the alley side show a sidewalk connecting to the dumpster enclosure and out to the sidewalk along S. 2nd Ave. An additional walkway connects the internal garage areas to the dumpster enclosure. These walkways must be paved.

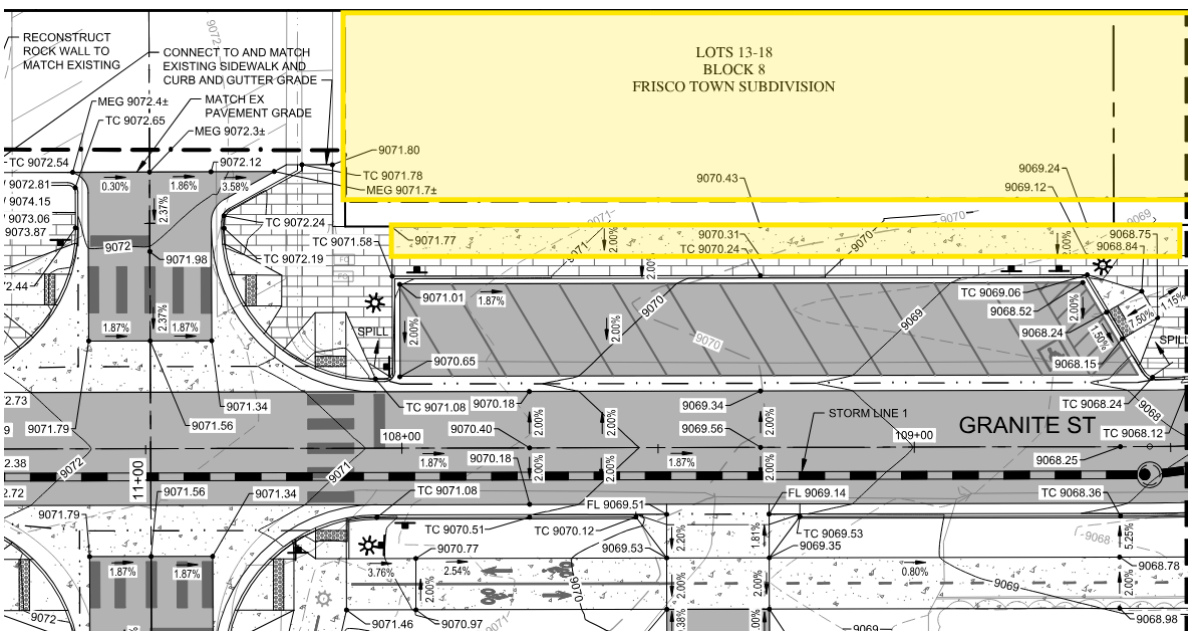


Proposed and existing non-vehicular pathways

The 2023 Frisco Trails and Pathways Master Plan shows a separated multi-use path along Granite Street adjacent to the proposed development as part of the Downtown Complete Streets Plan. The latest plans for Complete Streets, provided by the contracted Town Engineer, show a 6-foot sidewalk with diagonal parking adjacent to the subject property. Staff strongly recommend that the applicant review the planned design for Granite Street and add the proposed sidewalk connection at a minimum for improved pedestrian safety for the development rather than connecting the walkways for each unit on this side to the roadway on Granite Street. The Town cannot require the applicant to build the sidewalk at this time.



Recommendations from the 2023 Frisco Trails and Pathways Master Plan



Plan for Granite Street construction along the subject property

Traffic Study (§180-6.12): Frisco Town Code requires a traffic study, prepared by a professional engineer licensed in the State of Colorado, be submitted for any large project that:

- A. Requires a conditional use or rezoning approval;
- B. Is located adjacent to either Main Street or Summit Boulevard;
- C. Contains only one point of access;
- D. Contains an access point off an unimproved roadway or unincorporated area;

- E. Contains an access point off a road with a service level of D or F; or
- F. Is expected to generate 400 or more daily trips per day.

A large project as defined in Frisco Town Code, 180-9.3 includes any residential development occurring on a lot of 21,000 square feet or greater or any development of 5 or more dwelling units.

This project meets the definition of a large project and contains only one point of access, so a traffic study will be required at final site plan submittal.

On-Premise Parking Requirements (§180-6.13.3.D): One (1) parking space is required per bedroom, with a maximum of four (4) parking spaces per unit. One visitor parking space is required for every five units. See a parking analysis below:

Unit number	Bedroom count	Parking spaces required	Parking spaces provided
1	5	4	4
2	4	4	4
3	4	4	4
4	4	4	4
5	5	4	4
6	4	4	4
7	4	4	4
8	4	4	4
Visitor parking	8 units	1	2
TOTAL	34 bedrooms	33	34

The application materials show compliance with the minimum parking spaces required for the development. Accessible parking spaces are not required because the project does not have seven attached units or more.

Parking Standards and Criteria (§180-6.13.6): Parking spaces must measure 9 by 18.5 feet (including stacked spaces) with the exception of parallel parking spaces which shall be eight by 25 feet. Covered parking spaces and parking structures shall have a minimum vertical clearance of at least 8 feet in height. All required parking spaces shall have adequate access to a street or alley, and residential driveways must be a minimum of nine feet wide by 18.5 feet long. A backup space shall be provided for the end space in dead end lots, with a minimum five-foot depth for the width of the aisle. All parking areas and driveways for multifamily projects with three or more residential units shall be surfaced with concrete or asphalt material.

The application materials show parking spaces measuring 9x18.5 feet. Vertical clearances on the garage spaces appear to measure 8 feet, and the backup space at the end of the parking area appears to measure 5' deep. Preliminary comments from Engineering indicate that the east guest parking space will need to be analyzed to ensure that a vehicle can access it. At time

of final site plan submittal, turning radiuses shall be submitted to demonstrate adequate access to all parking spaces.

Tandem Parking (§180-6.13.6): For multifamily residential projects, two (2) stacked (tandem) spaces may be permitted if the Planning Commission finds that the layout of the parking is functional and, at a minimum, finds two (2) out of the following four (4) criteria are met:

- i. That some of the spaces could be used as potential visitor parking space; and/or,
- ii. That, given the layout and design of the building, adequate storage space is provided for the residents so that it is not anticipated the parking space(s) will be needed predominately for storage; and/or,
- iii. That the architecture of the building façade which faces or accesses the parking spaces avoids a canyon effect, such that movement is provided in the building design; and/or,
- iv. That an adequate turning radius area is provided with the parking layout to allow for turning and backing into or out of the tandem parking spaces.

The proposed parking plan features stacked tandem spaces inside garages for all units. The Planning Commission must determine if the tandem spaces in each of the garages meet the intent of the parking regulations. Staff suggests that the design meets criteria (ii) and (iv).

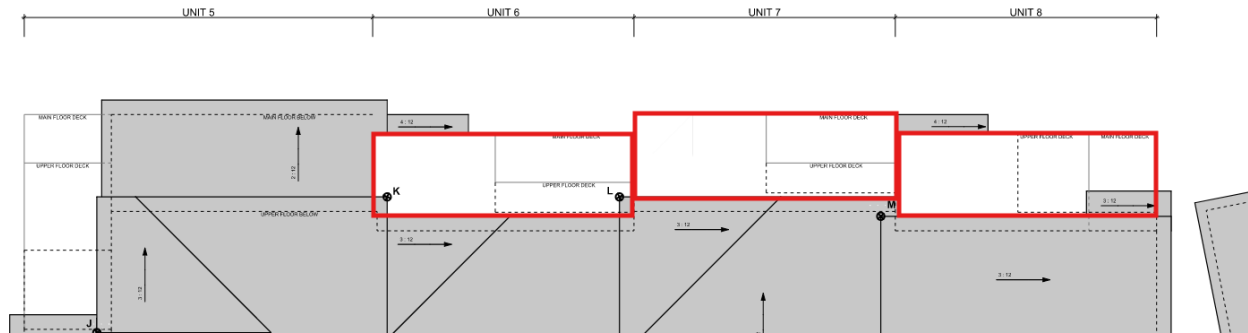
Bicycle Parking (§180-6.13.4): All multifamily residential developments must provide both enclosed, secure bicycle parking and outdoor bicycle parking facilities. One bicycle parking space is required for every bedroom; **34** bike parking spaces are required for this development. 50% of the total spaces must be enclosed, secure bike parking. Dwelling units with a private garage are not required to provide enclosed, secure bicycle parking.

All proposed units have private garages, meeting the requirement for enclosed, secure bike parking. The landscaping plan shows 3 hoop bike racks along S. 2nd Avenue and one 5-bike wall-mounted bike rack on the dumpster enclosure. These provide a total of 11 outdoor bike parking spaces; six additional outdoor bike parking spaces will need to be provided and shown at time of full site plan application submittal.

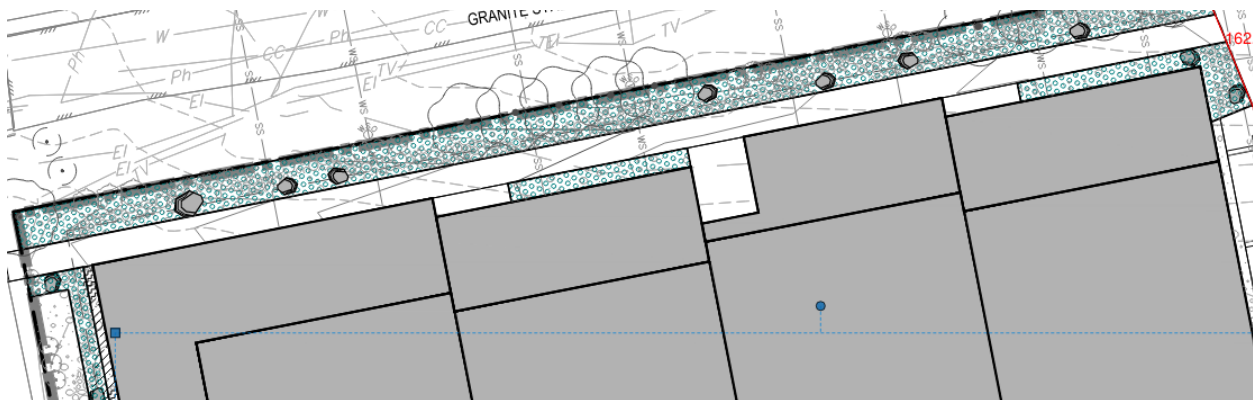
Snow Storage Areas (§180-6.13.7): Snow storage shall be provided on premises in the amount of twenty-five percent of paved surface area and any unpaved parking and driveway areas, including uncovered decks. All snow storage areas shall be located lengthwise adjacent to the applicable area. Any snow storage area provided shall be a minimum of eight feet in width. The applicant must demonstrate that snow removal operations for upper floor decks will not impact adjacent property.

The application materials show that the total snow storage meets the 25% quantity requirement, but additional information will need to be provided at final site plan submittal measuring each applicable surface area individually and the snow storage quantity adjacent to each area. Staff does not have concerns about the 8-foot width requirement. Snow storage also

must be provided for the uncovered portions of upper level decks. The applicant will need to clarify how the snow from uncovered decks on the alley side will not be deposited on the pedestrian walkway on that side:



Alley-facing uncovered decks



Snow storage plan for alley-facing units

Also, staff has concerns that the majority of the snow storage available for the driveway and outdoor parking spaces are located behind 3 proposed trees:



Snow storage plan with driveway snow storage and landscaping plan

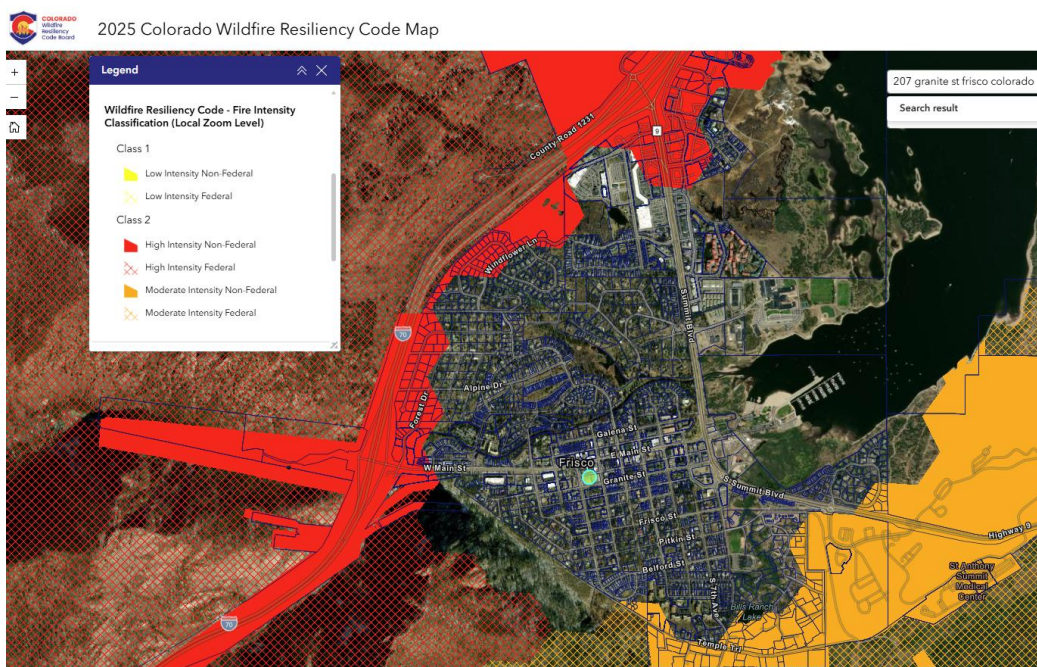
The Planning Commission should comment on the feasibility of the snow storage layout if they have concerns. Snow storage will be verified again at full site plan review and shall be consistently shown on each submittal page.

Landscaping and Revegetation (§180-6.14): This proposal is subject to the landscaping requirements for Residential Development.

1. For every 875 square feet of project lot area or fraction thereof, a minimum of one tree must be planted on the site. One shrub shall be required for every 1,500 square feet.
2. A minimum of one tree shall be planted within the yard setback adjacent to any public street for every 30 feet of total street frontage or fraction thereof. Street trees shall be placed at least eight feet away from the edges of driveways and alleys and to the extent reasonably feasible, be positioned at evenly spaced intervals.

For a project lot area of 21,000 sq. ft., 24 trees and 14 shrubs are required.

The submitted landscaping narrative analyzes the proposed landscaping as it relates to the Colorado Wildfire Resiliency Code (CWRC). The Town of Frisco has not adopted its own local Wildland-Urban Interface (WUI) map, and therefore utilizes the [official state-provided map](#). Per the state map, 207 Granite St. is not in either the Class 1 or Class 2 fire intensity zones that have special requirements for wildfire ignition zones adjacent to the building. Planning Commission does not need to consider these requirements in their decision as they do not apply to this property. More information is available at [CWRC What and Why | Fire Prevention and Control](#).



Official state-provided Colorado Wildfire Resiliency Code Map

The landscape plan submitted shows 27 trees and 47 shrubs to be planted, meeting the species diversity and street tree requirements.

The revegetation requirements (Section 180-6.14.5.E.) state that all areas disturbed by grading or construction, not being formally landscaped, shall be mulched and revegetated with seeding and/or other plant materials. The application materials show rock mulch and cobble used for the majority of ground cover around the site. While boulders and cobble may be appropriate or needed in some areas for formal landscaping, drip lines, or drainage, areas not formally landscaped with trees, shrubs, or perennials will need to be mulched and revegetated with seeding or other plant materials. At time of full site plan submittal, the application materials will be required to show more revegetation with seeding or other plant materials instead of the large amount of rock mulch and cobble currently shown.

The Plant Materials List (Section 180-6.14.8.) states that required landscaping materials shall be chosen from the provided list that are determined to be suitable to Frisco's arid alpine environment. However, alternative materials may be considered if it is determined by the Planning Commission on competent evidence that the proposed plant is suitable to the climate and placement on site. The application materials show Swedish aspen, bush cinquefoil, western smooth sumac, and carpet bugle, which are not listed in the Plant Materials List. The applicant did not provide evidence of why these species would be suitable to the climate and site; this will be required at final site plan submittal.

At final submittal, the application materials will need to show:

- Compliance with Section 180-6.14.4.A. Plant Sizes, specifically the caliper requirement for deciduous trees.
- A construction management plan will need to be submitted, showing protection of the aspen trees at the northwest corner in the right-of-way as indicated in the landscaping plan, using a minimum of a four-foot high-visibility fence.
- Serviceberry listed as a shrub per Frisco's Plant Materials List.
- Compliance with Section 180-6.14.5.E. Revegetation of Disturbed Land.
- Evidence of why any proposed alternative species are suitable to Frisco's climate and placement on the site.
- All required tree trunk plantings entirely on the subject property (not encroaching on the right-of-way). Staff recommends the trees are not planted in as close proximity to the property line as they are proposed to avoid future problems with the adjacent neighbors and Granite Street improvements.

The application will be reviewed again for compliance with these standards at the time of final site plan.

Outdoor Lighting (§180-6.16): Outdoor lighting fixtures for this development are required to meet the design and light output requirements outlined in Town Code. A total of 9,600 lumens

will be allowed for this development, not including fixtures on motion sensors. Lighting information was not submitted with the application materials at this time. Outdoor lighting will be reviewed for full compliance at the final site plan review.

Refuse Management (§180-6.17): All commercial, mixed-use and multi-unit residential development projects containing five or more units shall utilize dumpster enclosures for the storage of all refuse, recycling, grease traps, and compost collection. The proposed refuse and recycling facilities must be located within an enclosure with walls and a roof and provide equal space for refuse, recycling, and compost collection.

The application materials show a proposed location and rendering for a dumpster enclosure. Details on the design were not provided at this time. The rendering appears to meet the requirements for the enclosure's design standards:



PERSPECTIVE FROM GRANITE ALLEY

Rendering of proposed refuse enclosure

At final site plan submittal, the application materials will need to show:

- A floor plan showing appropriate space for refuse, recycling, and compost
- Elevations showing the proposed exterior materials and access points
- A letter from a waste hauler indicating that the location and layout are appropriate for the proposed development

- Dumpster enclosure shall be accessed through the same driveway allowed for access to the property, or a waiver received and approved by Public Works for a separate access

The dumpster enclosure design will be reviewed for full compliance at the final site plan review.

ANALYSIS – RESIDENTIAL DEVELOPMENT STANDARDS [§180-6.22]

Residential Development Standards (§180-6.22): The purpose of the residential development standards is to promote high quality development while still providing for creative and unique building designs; to establish minimum standards related to scale, mass, architecture, materials, and overall design character of development and provide incentives to help achieve desired attributes; and to preserve established neighborhood scale and character, ensuring that residential areas contribute to the streetscape and are conducive to walking.

Façade Standards (§180-6.22.3.A): To ensure that the façade design of development is compatible with Frisco's small mountain town character and provides a human scale to enhance the walking experience in the neighborhood.

1. ***Building Elements.*** *All building elevations shall employ varied articulation of wall surfaces. Each façade shall be articulated through the use of at least four of the following techniques:*
 - a. *Deep eaves or overhangs, at least 24 inches in depth;*
 - b. *Balconies, porches, or patios;*
 - c. *Building elements that provide shelter from natural elements;*
 - d. *Offsets, insets, bays, or other similar architectural features to add a variety of depths to the wall plane;*
 - e. *A change in texture or material, provided all exterior wall textures and materials are consistent with the overall architectural style of the building;*
 - f. *Variation in roof planes or roof forms, including dormers or gables; or*
 - g. *Variation in window sizes and shapes.*

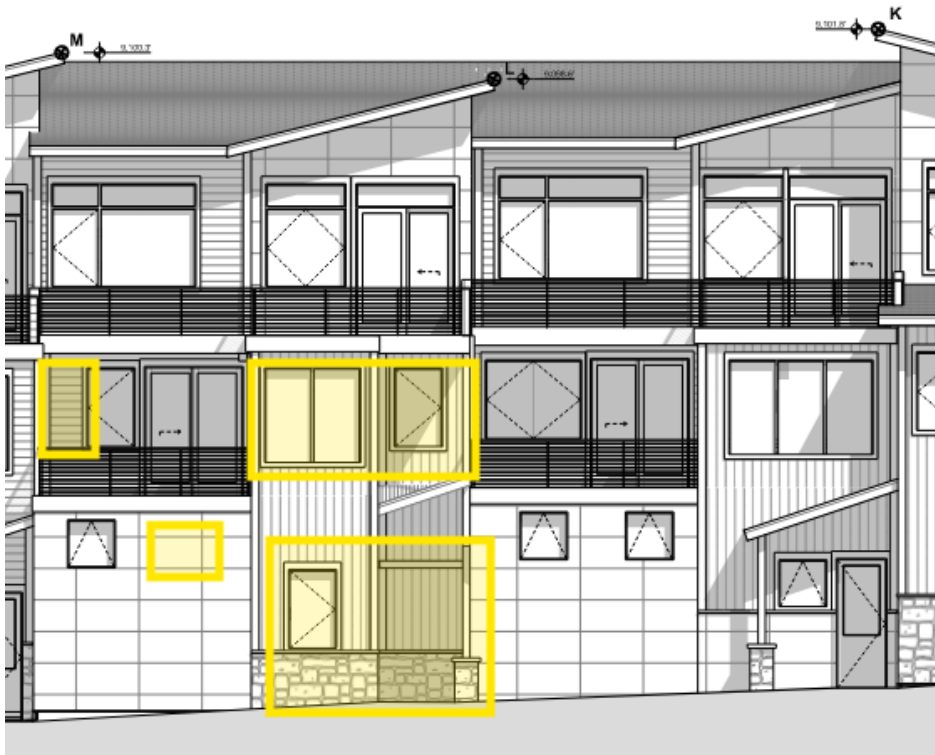
Each façade of each building utilizes at least four of the techniques above with the entire development using all seven techniques in various locations. The application meets this requirement.

2. ***Duplicate Building Design Prohibited.***
 - a. *Building designs that duplicate, or are substantially similar in terms of roof pitch, building articulation, materials, colors, and building elements to existing or proposed structures within a 300-foot radius of the property shall not be allowed, with the exception that accessory structures on the same lot or parcel as the primary structure may be similar in design as the primary structure.*

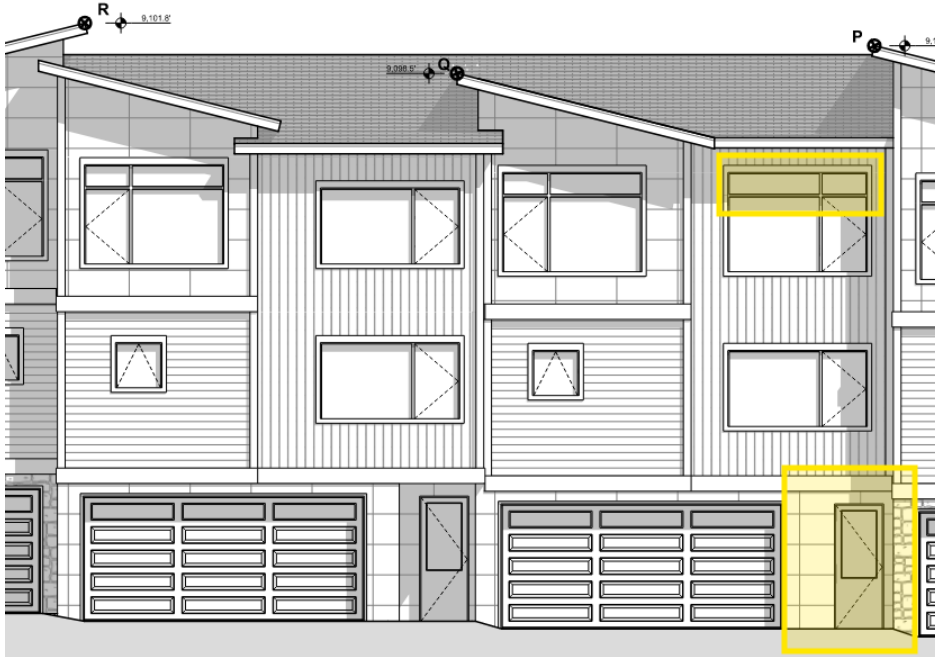
The proposed structures are distinct from all other structures within 300 feet of the subject property.

- b. *Where a project contains two or more buildings or units, not identical units, the building design shall provide architectural relief from the duplication of buildings and units by utilizing a variety of windows, decks, balconies, or exterior facade composition.*

The application materials show two new buildings that are similar to one another but not duplicative. Within each building, some units are similar but none are exact duplicates. The most similar unit facades are facing the internal driveway, not facing streets. Variation is provided with siding materials, windows, entrance locations, roof planes, and more. Examples of differences between two similar units on the north building are shown below. The south building has similar duplication on the middle two units.



North Building, North Elevation – facing alley. Yellow outlines show areas providing relief from duplication of units.



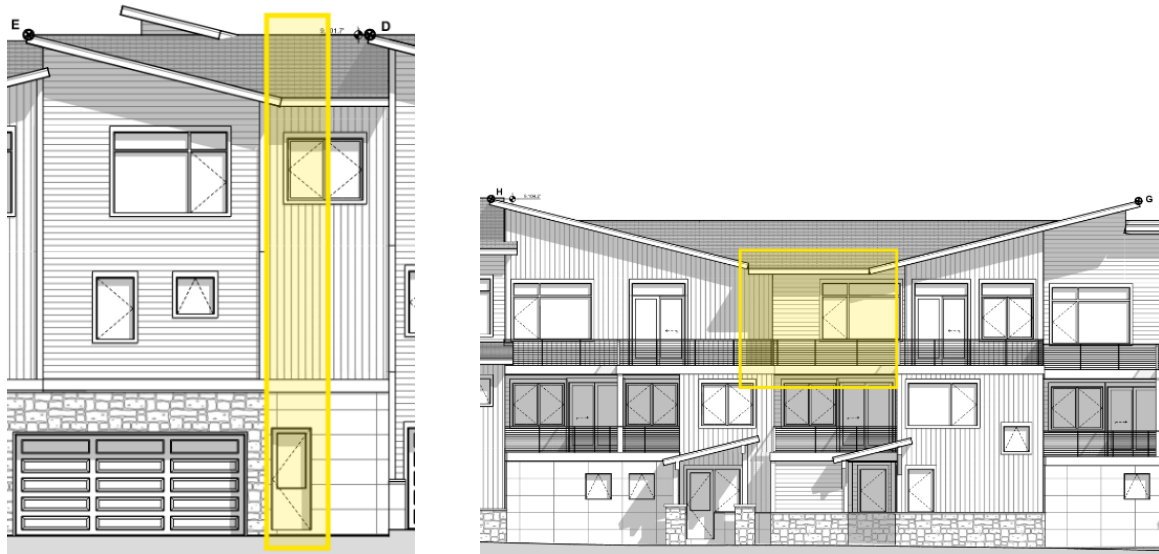
North Building, North Elevation – facing internal driveway. Yellow outlines show areas providing relief from duplication of units.

Staff requests that the Planning Commission provide feedback to the applicant on the building design variety.

Roof Standards (§180-6.22.C): The intent of the Roof Standards is to ensure that roof elements are compatible with or complementary to existing historic or contributing buildings in the area and to encourage visibly pitched roofs or roof elements and the use of dormers and breaks in ridgelines.

2. **Roof Pitch.** *Pitched roofs, or flat roofs with pitched elements, are required. Mansard roofs are prohibited.*
3. **Roof Design.** *Roof lines shall be designed in a manner where they do not substantially deposit snow onto required parking areas, sidewalks, trash storage areas, stairways, decks, balconies, or entryways.*
4. **Roof Materials.** *Metal roofs, asphalt and fiberglass shingles are permitted provided that they heavy material that provides substantial relief and shadow, and the design and color are compatible with the building.*

All roof pitches are proposed to be pitched at 3:12, except for some lower-level roof elements that are 2:12 or 4:12. All roof elements are proposed to have shingles, color “Weathered Wood,” meeting the requirements. There appears to be potential snow shedding issues as identified in images pasted below which should be addressed at time of full site plan application submittal.



Building areas with potential snow shedding concerns

The application will be reviewed again for compliance with the Roof Standards at the time of final site plan.

Building Material Standards (§180-6.22.D): To ensure that building materials are compatible and complementary to existing historic and contributing buildings in the area, using a combination of mainly natural materials.

2. Primary Materials:

- a. *Building materials shall be predominantly natural, including but not limited to, wood siding, wood shakes, logs, stone, brick, or other similar materials.*
- b. *Other materials that imitate natural materials are also acceptable provided their texture, shape, and size are substantially similar to the natural materials they are imitating, and are not obviously artificial materials.*
- c. *Stucco or steel are acceptable materials when used in combination with other acceptable materials.*

Both buildings utilize a combination of the following primary materials:

- Horizontal fiber cement lap siding with woodgrain pattern, color “Roasted Walnut”
- Vertical wood siding, color “Bellevue”
- Stone veneer accent base, “IBEX Brown”
- Corrugated metal accent base, color “Lead-Cote”

These materials are predominantly natural or imitate natural materials, meeting the requirements.

3. **Specific Material Standards:** *Metal shall have a matte finish or a finish proven to fade and not be reflective.*

The application materials show a corrugated metal accent base from Berridge Manufacturing Company with a “Lead-Cote” color. At final site plan review, the application materials will need to confirm that this metal element will have a matte finish or a finish proven to fade and not be reflective.

4. *Variety of Materials on All Building Elevations:*

- a. There shall be a variety of quality and type of exterior materials, and their application shall be generally in balance and proportional on all elevations of the building.*
- b. Materials that wrap around the building, such as a durable material at the base of the structure, shall continue around projecting outside exterior corners and end at recessed inside exterior corners.*

The application appears to meet this standard, but the final determination will be made at the review of the final site plan application.

5. *Accessory Structures:* *The same or similar building materials shall be used on main structures and any accessory structures located on the same site, unless an alternative material can be provided that will complement the project and which meets the other standards of this section.*

The refuse enclosure will be reviewed for conformance with this section at final site plan review.

Building Colors (§180-6.22.E): No color may be used as the primary color of the building that exceeds a chroma of four on the Munsell Color chart. Pure white or black may not be utilized as the primary building color. Colors that exceed a chroma of four, but do not exceed a chroma of eight, may be used sparingly as accents.

The application materials meet this requirement.

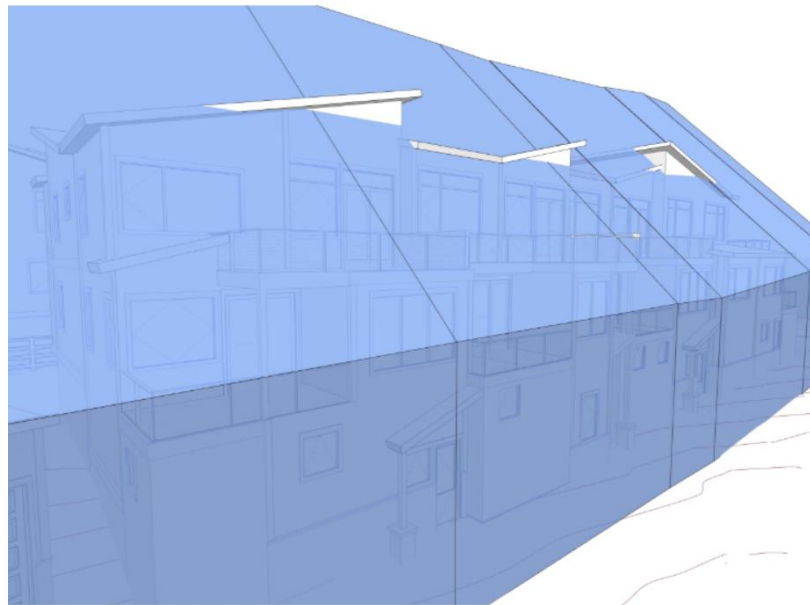
Garage Standards (§180-6.22.F): Garages are encouraged to be located and oriented away from the street where they will not act as the primary design element of the building. Street-facing garage doors shall be recessed behind the front façade of the dwelling and shall not comprise the majority of the street-facing building frontage, unless of a custom style broken up with windows or other features.

All garages on the two buildings are located and oriented away from the street, oriented toward an internal driveway. The street-facing building frontages do not have any garage doors. The application meets this requirement.

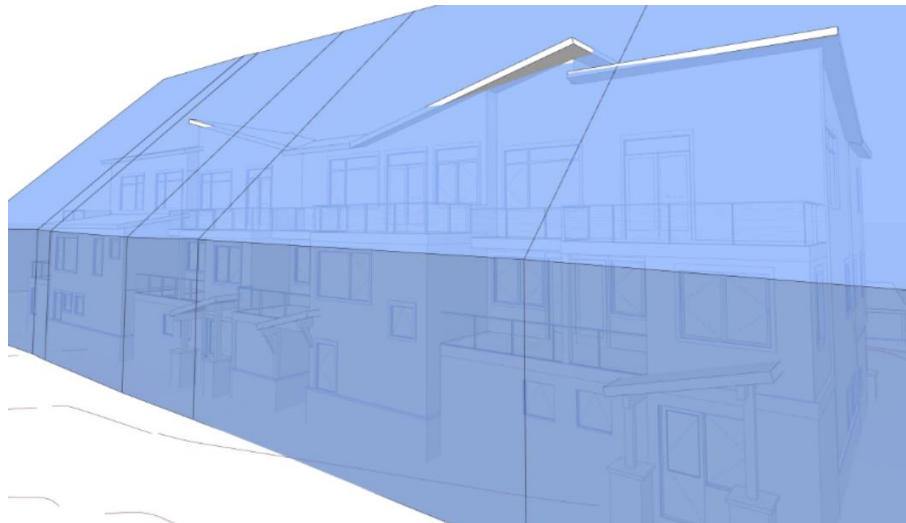
Bulk Standards (§180-6.23): Table 6-K of Town Code outlines bulk plane requirements. Building forms may deviate from bulk plane standards if they do not exceed the maximum building

height and provide substantial architectural relief with the approval of the Planning Commission.

The application materials show bulk plane renderings and calculate 200 cubic feet of total bulk plane encroachments. The bulk plane encroachments appear to be just for roof eaves. Planning Commission should comment on whether the proposed bulk plane encroachments provide substantial architectural relief.



1 NORTH BLDG BULK PLANE ENCROACHMENTS
(A-11)



2 SOUTH BLDG BULK PLANE ENCROACHMENTS
(A-12)

PUBLIC COMMENT

The Community Development Department received no public comments as of September 10, 2026.

STAFF RECOMMENDATIONS

Staff recommends the Planning Commission provide the applicant feedback on the sketch plan application submitted for the project and associated improvements in the context of the recommendations and requirements of the Frisco Comprehensive Plan, the Central Core Zone District, and the Frisco Town Code. Specifically, staff requests that the Planning Commission provide feedback to the applicant on the proposed landscaping, snow storage, access, tandem parking, building design, stepback along 2nd Avenue, and bulk plane encroachments.

ATTACHMENTS

Attachments:

Attachment 1 – Sketch Plan Application – MAJ-26-0003

Attachment 2 – Preliminary Referral Comments

cc: Robert Craig